



CITY OF BRIDGEPORT

**ZONING BOARD OF APPEALS APPLICATION**

The undersigned presents the following application for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

9, 25 & 35 Island Brook Avenue Zone I-L  
(Number) (Street) (Zone Classification)

On the South side of the street about 550 feet East from  
(North, South, East, West) (North, South, East, West)

Twitchell Street Block: 1538 Lot: 11,12, & 13A  
(Street)

Dimension of Lot in Question 150.00' x 200.00' x 73.00' x 351.46' x 105.00' x 1.65' x 38.81' x 0.80' x 197.80'  
(Specify)

1. NAME OF APPLICANT / BUSINESS Architectural Stone Group, LLC  
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Lessee  
(Print)

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Proposed outdoor storage in coastal area zone

5. THIS APPLICATION RELATES TO: Check all that Apply

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: Outdoor storage in coastal area zone

6. USE TO BE MADE OF PROPERTY Outdoor storage of stone and gravel in coastal zone

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT [Signature] DATE 11/20/2020  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**

All questions must be answered in detail (use separate sheet if necessary).  
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this application.  
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.  
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_



Colin B. Connor  
Elizabeth A. Falkoff\*  
Robert G. Golger  
David K. Kurata  
Katherine M. Macol  
Leah M. Parisi  
William M. Petroccio\*  
Raymond Rizio\*  
Christopher B. Russo  
Robert D. Russo  
John J. Ryan  
Vanessa R. Wambolt  
(\*Also Admitted in NY)

November 20, 2020

Dennis Buckley  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace, Room 210  
Bridgeport, CT 06604

**Re: Application for variance – 9, 25 & 35 Island Brook Avenue (the “Site”)**

Dear Mr. Buckley:

Please accept this letter on behalf of our client for an application for variances to permit the outdoor storage of stone and gravel materials in connection with an existing stone and masonry supply use at the Site.

**Variations Requested**

Variance of Section 14-3-3i of the Regulations to permit the outdoor storage and wholesale trade of stone and gravel materials in connection with a stone and masonry supply business.

**Narrative**

The Site has frontage on along Island Brook Avenue in the I-L Zone and it is located within the coastal area zone. It is located in a very industrial area of the street with industrial uses surrounding the entire Site and on the other side of Island Brook. For decades, The Site has contained industrial uses and outdoor storage yards. As early as 1954, the Site was approved as a location for a used car dealer and vehicle repair with the outdoor storage of junk vehicles. In 1991, the Site was approved as a school bus maintenance and repair facility, and in 1999, it was further approved for Bud’s Truck and Diesel Service for the display, sale and repair of used motor vehicles. The Site contains a pre-existing 1,607 SF one-story concrete masonry building.

The Petitioner proposes to transition the Site away from its history as a vehicle repair facility and junk yard to a stone and masonry supply building with the outdoor storage of stone and gravel materials with defined jersey barrier bays located behind the existing building and chainlink fence, which is located along the street property line. No barrier has previously existed

10 Sasco Hill Road  
Fairfield, CT 06824  
Tel 203-255-9928  
Fax 203-255-6618

between the outdoor storage on the Site and neighboring properties or Island Brook except for certain areas of chainlink fence. The Petitioner will locate the jersey barriers in accordance with setback standards in the I-L Zone and in accordance with Section 11-6 of the Regulations and better protect the coastal zone. The Site directly abuts Island Brook, but it does not directly abut the Pequonnock River.

### **Hardship**

Granting the Petitioner the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as they propose to improve the protections of the coastal area by no longer utilizing the property as a motor vehicles sales and repair facility and junk yard, which has been the use of the Site for decades. In addition, the Petitioner will locate stone and gravel supplies with bays made of jersey barriers to contain the products offered by the Petitioner. The Petition will not have a negative impact on the neighborhood, which has been industrial for decades, or the coastal zone, which has not had any type of screening or protection from prior uses on the Site.

For the above-stated reasons, the Petitioner respectfully requests approval of this petition for a variance.

Thank you for your assistance in this matter.

Sincerely,

A handwritten signature in black ink that reads "Christopher Russo". The signature is written in a cursive style with a long, sweeping tail on the "o" at the end.

Christopher Russo

**PROPERTY OWNERS WITHIN 100' OF 9, 25 AND 35 ISLAND BROOK AVENUE**

<b>PROPERTY ADDRESS</b>	<b>OWNER'S NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
3 ISLAND BROOK AV #7	3-7 ISLAND BROOK LLC	136 MEADOWVIEW DR	TRUMBULL	CT	06611
10 ISLAND BROOK AV	10 ISLAND BROOK LLC	89-50 127TH ST	RICHMOND HILLS	NY	11418
34 ISLAND BROOK AV	30 MLW LLC	30 ISLAND BROOK AVE	BRIDGEPORT	CT	06605
30 ISLAND BROOK AV	30 MLW LLC	30 ISLAND BROOK AVE	BRIDGEPORT	CT	06605
18 ISLAND BROOK AV	MLW INC	18 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
35 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
25 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
9 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
35 ISLAND BROOK AV #REAR	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
52 ISLAND BROOK AV #54	MLW INC	52 ISLAND BROOK AVE	BRIDGEPORT	CT	06604
44 ISLAND BROOK AV	MLW INC	25 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
45 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
236 EVERGREEN ST	CITY OF BRIDGEPORT	45 LYON TERRACE	BRIDGEPORT	CT	06604
101 ISLAND BROOK REAR AV	MOTA JOSEPH	100 WALNUT AVE	SHELTON	CT	06484
89 ISLAND BROOK AV	LCJA LLC	100 WALNUT AVE	SHELTON	CT	06484
61 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606

## Business Inquiry

### Business Details

Business Name: ARCHITECTURAL STONE GROUP, LLC      Citizenship/State Inc: Domestic/CT  
Business ID: 1222575      Last Report Filed Year: NONE  
Business Address: 9 ISLANDBROOK AVENUE, BRIDGEPORT, CT, 06606      Business Type: Domestic Limited Liability Company  
Mailing Address: 9 ISLANDBROOK AVENUE, BRIDGEPORT, CT, 06606      Business Status: Active  
Date Inc/Registration: Nov 18, 2016  
Annual Report Due Date: 11/18/2017  
NAICS Code: NONE      NAICS Sub Code: NONE

### Principals Details

Name/Title	Business Address	Residence Address
ARCHITECTURAL STONE WHOLESALERS LLC MANAGER	18 GLEN STREET, MILFORD, CT, 06460	NONE

### Agent Summary

Agent Name ARCHITECTURAL STONE WHOLESALERS LLC  
Agent Business Address 18 GLEN STREET, MILFORD, CT, 06460  
Agent Residence Address NONE  
Agent Mailing Address NONE

# I-L Zone Development Standards

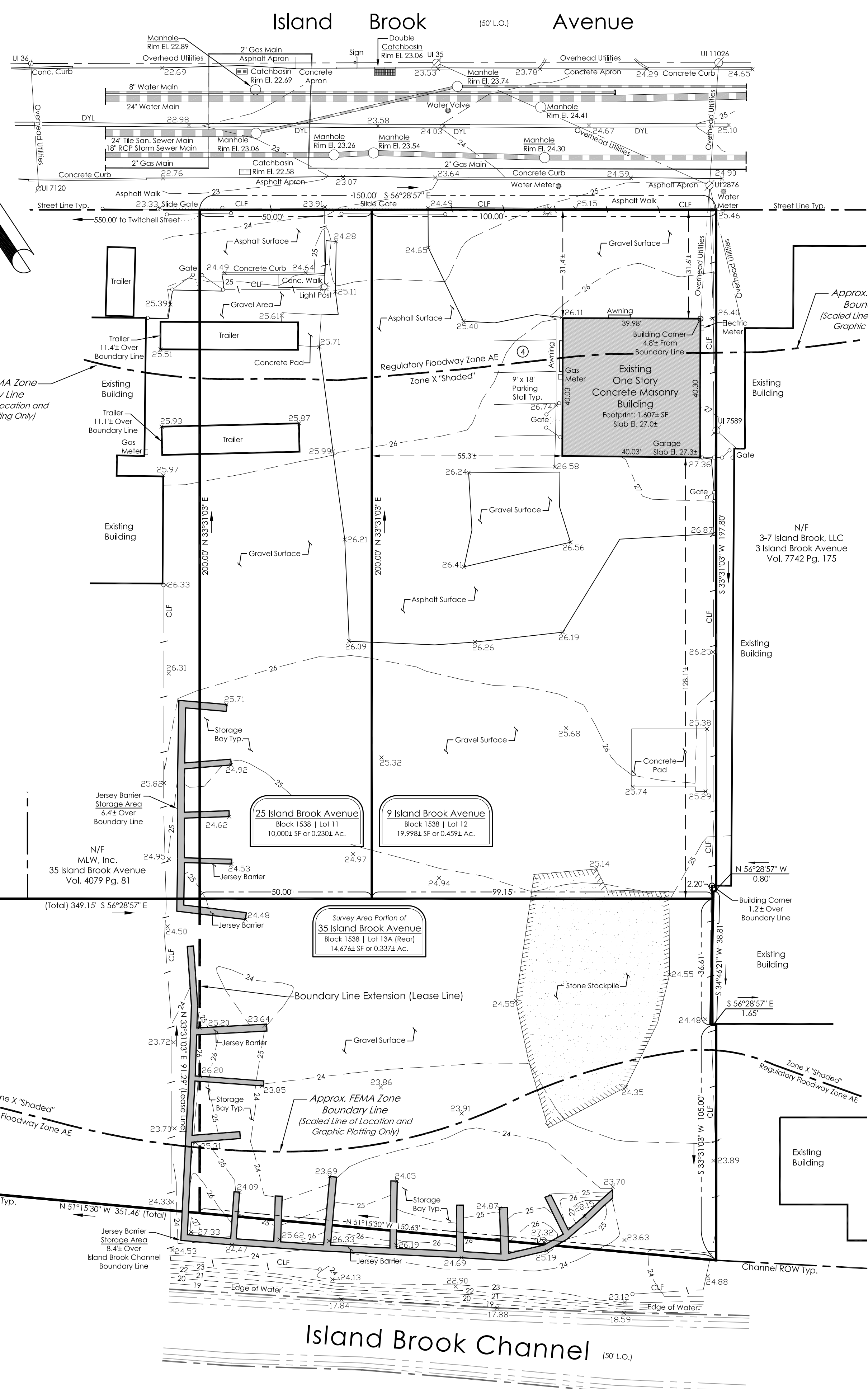
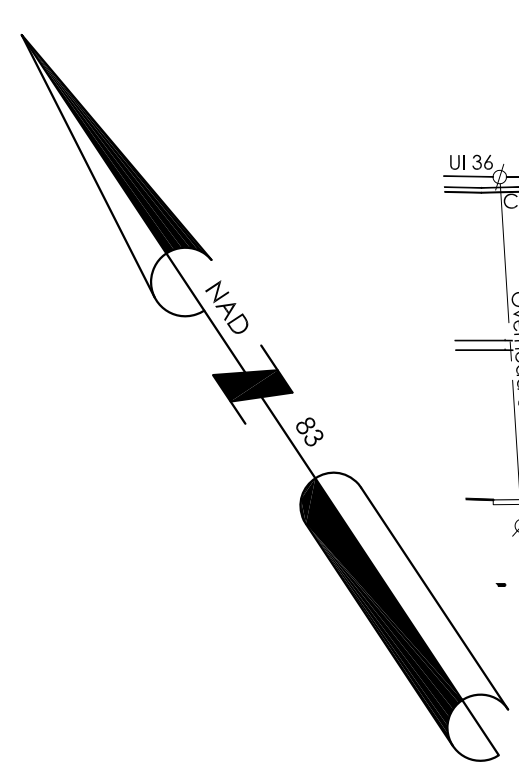
	REQUIRED	EXISTING	PROPOSED
<b>LOT</b>			
LOT AREA, MINIMUM	N/A	44,674± SF	44,674± SF
FRONTAGE, MINIMUM	25 FT	150.00 FT	150.00 FT
FLOOR AREA RATIO, MAXIMUM	N/A	N/A	N/A
PRINCIPLE BUILDING SIZE, MAXIMUM	N/A	N/A	N/A
<b>PRINCIPLE BUILDING SETBACK</b>			
FRONT LOT LINE, MINIMUM FROM	N/A	N/A	N/A
STREET LOT LINE, MINIMUM FROM	15 FT	31.4± FT	± FT
MAXIMUM SETBACK	N/A	N/A	N/A
SIDE LOT LINE, MINIMUM FROM	N/A	N/A	N/A
REAR LOT LINE, MINIMUM FROM	N/A	N/A	N/A
NOT TO EXCEED	N/A	N/A	N/A
<b>MINIMUM SETBACK FROM:</b>			
OTHER HEAVY INDUSTRIAL USE	10 FT	4.8± FT	± FT
OTHER USE	0	4.8± FT	± FT
LOT LINE ABUTTING AN 'R' ZONE	15 FT	N/A	N/A
SIDE	N/A	N/A	N/A
REAR	N/A	N/A	N/A
LOT LINE ABUTTING AN 'M' OR 'I' ZONE	0	4.8± FT	± FT
CORNER LOT YARDS	NOTE 2	N/A	NOTE 2
MEAN HIGH WATER, MINIMUM FROM	N/A	N/A	N/A
<b>ACCESSORY STRUCTURE</b>			
SETBACKS	NOTE 9	N/A	NOTE 9
<b>COVERAGE</b>			
BUILDING COVERAGE, MAXIMUM	85%	5%	± %
SITE COVERAGE, MAXIMUM	85%	100%	± %
<b>LANDSCAPED AREA</b>			
MINIMUM	15%	0%	± %
IN SETBACK ABUTTING AN 'R' ZONE, MIN.	10 FT DEEP @ L4	N/A	±
<b>HEIGHT</b>			
<b>PRINCIPAL BUILDING</b>			
MAXIMUM FOR PRINCIPAL BUILDING	75 FT	14± FT	± FT
PROJECTIONS AND FEATURES	NOTE 5	NONE	NOTE 5
<b>ACCESSORY STRUCTURE, MAXIMUM</b>			
HEIGHT, MAXIMUM	NOTE 7	9± FT	NOTE 7
FLOOR AREA, GROSS MAXIMUM	NOTE 8	40± SF	NOTE 8
<b>PUBLIC ACCESS EASEMENT</b>			
	NOTE 10	NONE	NOTE 10

- NOTES:
- NO MAXIMUM BUILDING SETBACK FROM A STREET LOT LINE SHALL BE REQUIRED FOR ANY PARCEL OF LAND BOUNDED ON THREE OR MORE SIDES BY CITY STREETS AND OWNED BY A CITY GOVERNMENT AGENCY.
  - ON A CORNER LOT IN ANY ZONE, THERE SHALL BE TWO FRONT YARDS AND TWO SIDE YARDS.
  - THE MINIMUM SETBACK FROM MEAN HIGH WATER SHALL BE THIRTY (30) FEET EXCEPT FOR BUILDINGS SUPPORTING WATER-DEPENDENT USES THAT MAY REQUIRE LOCATION IMMEDIATELY ADJACENT TO THE WATER.
  - SEE SECTION 11-3, LANDSCAPING AND SCREENING - THE MINIMUM AREAS REQUIRED TO BE LANDSCAPED ARE LISTED IN TABLE 3, ZONE DEVELOPMENT STANDARDS FOR RESIDENTIAL ZONES AND TABLE 4.A AND 4.B, ZONE DEVELOPMENT STANDARDS FOR NON-RESIDENTIAL ZONES. ANY REQUIRED LANDSCAPING AS FOR REQUIRED SETBACKS OR PARKING LOTS, MAY BE APPLIED TOWARD THE MINIMUM LANDSCAPED AREA PERCENTAGE REQUIREMENT. REQUIRED LANDSCAPING AND SCREENING MUST MEET THE LEVELS REFERENCED IN EACH APPLICABLE ZONE DEVELOPMENT STANDARDS TABLE AND APPLICABLE STANDARDS SET FORTH ELSEWHERE IN THESE REGULATIONS. LANDSCAPING AND SCREENING STANDARDS LEVELS ARE SET FORTH IN SECTION 11-3-1.
  - SEE SECTION 4-4, HEIGHT - MAXIMUM HEIGHTS FOR STRUCTURES ARE LISTED IN THE ZONE DEVELOPMENT STANDARDS TABLES. EXCEPTIONS TO THE MAXIMUM HEIGHTS ARE SET FORTH IN SECTION 4-4-1 (PROJECTIONS ALLOWED) AND 4-4-2 (ARCHITECTURAL FEATURES).
  - BUILDINGS PROPOSED FOR MORE THAN THREE (3) STORES SHALL REQUIRE A SPECIAL PERMIT.
  - ANY ACCESSORY STRUCTURE WITH A FLAT OR ROUNDED ROOF SHALL BE NO HIGHER AT ITS HIGHEST POINT THAN TWELVE (12) FEET AND ANY ACCESSORY STRUCTURE WITH A PITCHED ROOF SHALL BE NO HIGHER THAN FIFTEEN (15) FEET, MEASURED FROM THE AVERAGE LEVEL OF THE GROUND ALONG ALL WALLS OF THE STRUCTURE. IN 'M' AND 'I' ZONES, THE MAXIMUM HEIGHT FOR ANY ACCESSORY STRUCTURE SHALL NOT EXCEED (5) OF THE MAXIMUM HEIGHT FOR PRINCIPAL STRUCTURES IN THAT ZONE.
  - SEE SECTION 4-9, ACCESSORY STRUCTURES - CUSTOMARY ACCESSORY STRUCTURES ARE ALLOWED IN ALL ZONES, AS SPECIFICALLY REGULATED IN THAT ZONE UNDER THE PROVISIONS OF A. LOCATION; B. COMPLIANCE; C. SITE; AND D. PROHIBITED USE.
  - SETBACKS FOR ACCESSORY STRUCTURES SHALL BE THE SAME AS SETBACKS FOR PRINCIPAL STRUCTURES.
  - A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON ANY NON-RESIDENTIAL PROPERTY ABUTTING A WATERWAY, IN SUCH A CASE, A DEDICATED OPEN SPACE AREA SHALL BE ESTABLISHED FROM THE TOP OF THE EMBANKMENT AND FOR TWENTY (20) FEET INLAND.
  - PARKING GARAGES SHALL BE EXEMPT FROM THE FLOOR AREA RATIO (FAR) REQUIREMENT AND SHALL NOT BE INCLUDED IN THE CALCULATION OF THE GROSS FLOOR AREA IN AN 'M' OR 'I' ZONE.
  - MAXIMUM HEIGHT FOR A PASSENGER TERMINAL SHALL BE 60 FT.
  - N/A - NOT APPLICABLE  
N/C - NO CHANGE

## LEGEND

NF	NOW OR FORMERLY	CB	CATCH BASIN
MON	MONUMENT	WM	WATER METER
IP	IRON PIPE	WV	WATER VALVE
FND	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
UG	UNDER GROUND	INT	INTERSECTION
MH	MANHOLE	INV	INVERT
ELEC.	ELECTRIC	C.I.	CAST IRON
UT	UTILITY POLE	V.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EOP	EDGE OF PAVEMENT	± 8.65	EXISTING SPOT GRADE
RET.	RETAINING	± 10	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
FFE	FINISHED FLOOR ELEVATION	②	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
ET	EXISTING CONIFER TREE	ET	EXISTING DECIDUOUS TREE

GROSS LAND AREA TABLE		
	SQ. FT.	ACRES
9 Island Brook Avenue (Lot 12)	19,998±	0.459±
25 Island Brook Avenue (Lot 11)	10,000±	0.230±
35 Island Brook Avenue Rear (Lot 13A) Portion Of	14,676±	0.337±
COMBINED AREA	44,674±	1.026±



LOCATION MAP  
SCALE: 1" = 800'

### NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS AN **IMPROVEMENT LOCATION SURVEY AND TOPOGRAPHIC SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS 1-2 AND IS INTENDED FOR **MUNICIPAL COMPLIANCE** PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED USING GEOID03 AND CONVERTED TO THE CITY OF BRIDGEPORT DATUM (+14.60). LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (CORS96). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON **APRIL 4, 2012** IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA: **STATION: ORANGE, NORTHING 453555.9292, EASTING 927267.5499, LATITUDE 41°15'15.89404", LONGITUDE 73°00'52.60263", ELLIPSOID -4.143**
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
  - MAP ENTITLED "SITE PLAN SHOWING SUBDIVISION OF PROPERTY OF HELEN MINUTOLA, ISLAND BROOK AVENUE, BRIDGEPORT," DATED JULY 21, 1977; REVISED SEPTEMBER 21, 1977; PREPARED BY J&D KASPER & ASSOC. AND FOUND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - MAP ENTITLED "SUBDIVISION FOR THE SCHWARTZ BROTHERS COMPANY," DATED APRIL 8, 1954; REVISED JULY 16, 1954; PREPARED BY FULLER & CO. AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 18 PG. 68**.
  - MAP ENTITLED "MAP OF PROPERTY OF NICHOLAS DeNAPOLI," DATED JANUARY 3, 1955; PREPARED BY FRANK C. PENNY AND FOUND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 1538**.
- PARCEL INFORMATION:
  - 9 ISLAND BROOK AVENUE  
A. ASSESSOR'S REFERENCE: BLOCK 1538 | LOT 12  
B. TOTAL PARCEL AREA = 20,000± SQ. FT., 0.459± AC.  
C. RECORD OWNER: MLW, INC.; VOL. 4079 PG. 81
  - 25 ISLAND BROOK AVENUE  
A. ASSESSOR'S REFERENCE: BLOCK 1538 | LOT 11  
B. TOTAL PARCEL AREA = 10,000± SQ. FT., 0.230± AC.  
C. RECORD OWNER: MLW, INC.; VOL. 4079 PG. 81
  - 35 ISLAND BROOK AVENUE  
A. ASSESSOR'S REFERENCE: BLOCK 1538 | LOT 13A  
B. TOTAL PARCEL AREA = 31,104± SQ. FT., 0.714± AC.  
C. RECORD OWNER: MLW, INC.; VOL. 4079 PG. 81
- PARCELS ARE LOCATED WITHIN THE 'L' ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 429 OF 426, COMMUNITY BRIDGEPORT, CITY OF, NUMBER 090002 PANEL 0429 SUFFIX G, MAP REVISED JULY 8, 2013. THE PARCELS LOCATED IN AREAS DESIGNATED AS **ZONE X (SHADED)** ARE A **REGULATORY FLOODWAY IN ZONE AE BETWEEN CROSS SECTION 'J' ELEVATION 12.1 AND CROSS SECTION 'K' ELEVATION 13.7 (DATUM NAVD 88)**.
- THE SUBJECT PARCEL IS LOCATED WITHIN THE PEQUONNOCK RIVER COASTAL BOUNDARY - NON-RESIDENTIAL ZONE. SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT **SHEET 4 OF 4**, SCALE: 1"=500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.
- BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).

## IMPROVEMENT LOCATION SURVEY - AND - TOPOGRAPHIC SURVEY

PREPARED FOR  
**ARCHITECTURAL STONE GROUP, LLC**

9, 25 AND A PORTION OF 35  
ISLAND BROOK AVENUE  
BRIDGEPORT, CONNECTICUT  
ASSESSOR'S REFERENCE: MAP 53 | BLOCK 1538 | LOT 12, 11, 13A

SHEET 1 OF 1  
MAY 18, 2020 WASHINGTON CABEZAS, JR., P.E. LS SCALE: 1" = 20'

**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604  
P:203 330 8700 • F:203 330 8701

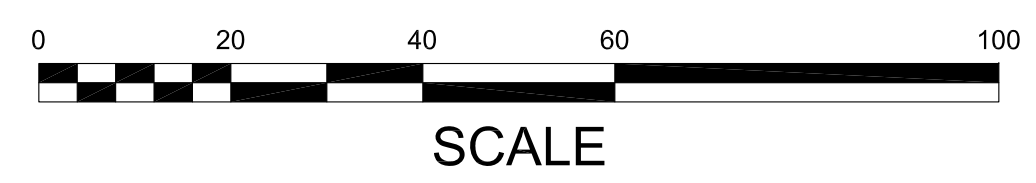
SCALE: 1"=20'  
FIELD FILE: 9-25-35 Island Brook Ave.rw5  
PROJECT NO. CD1382  
DATE: May 18, 2020  
FILE: 9, 25, 35 Island Brook Av., ILS.dwg  
SHEET 1 OF 1  
REV: 1

STATE OF CONNECTICUT  
WASHINGTON CABEZAS, JR.  
No. 70210  
LICENSED PROFESSIONAL SURVEYOR

STATE OF CONNECTICUT  
WASHINGTON CABEZAS, JR.  
No. 70210  
LICENSED PROFESSIONAL ENGINEER

TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

WASHINGTON CABEZAS, JR. PEL 70210



**PROGRESS PRINT**  
**5-18-2020**

# PETITION TO THE BOARD OF APPEALS

## City of Bridgeport, Connecticut

The undersigned presents the following petition for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

146 Carnegie Ave Zone R-13  
(Number) (Street) (Zone Classification)

On the EAST side of the street about -0- feet SOUTH from  
(North, South, East, West) (North, South, East, West)

POST STREET Block: 1936 Lot: 11  
(Street)

Dimension of Lot in Question 65' + 121.10' + 71.32' + 105.51'  
(Specify)

1. NAME OF PETITIONER / BUSINESS \_\_\_\_\_  
(Print)

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) OWNER

3. HAS ANY PREVIOUS PETITION BEEN FILED? NO IF SO, GIVE DATE OF HEARING N/A  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT PROPOSED 2ND FLOOR ADDITION OVER EXISTING 1ST FLOOR TO ADD A BEDROOM AND FULL BATHROOM.

5. THIS PETITION RELATES TO:

(Check all that Apply)

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY SINGLE FAMILY RESIDENTIAL

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? FOOTPRINT OF EXISTING HOUSE IS NOT IN COMPLIANCE WITH ZONING REGULATION.

PETITIONER Paul Hunt 1. Gabriel Hernandez DATE 2-5-2021  
(Signature) (Print)

Esther Martinez Esther Martinez 2-5-2021  
(Signature) (Print) (Email)

Mailing Address \_\_\_\_\_  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_  
(If other than owner) (Signature) (Print)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
 Notary Public In & for the County of Fairfield, State of Connecticut.

### Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All questions must be answered in detail (use separate sheet if necessary).  
 The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this petition.  
**NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-578-7217)**

ZONING BOARD APPEALS  
City of Bridgeport  
203-576-7217

Gabriel Hernandez & Esther Martinez  
146 Carnegie ave  
Bridgeport CT  
06610

Re: 146 Carnegie ave; Appeal; Statement citing Zoning Board Appeals

Dear Zoning Board in accordance with the regulations specified of the Zoning and Board of appeals; we are providing the following information relevant to your evaluation of our appeal ( in every instance of granting a variance by the Board):

Our proposed development of our goal is to only extend our 2nd floor addition over our existing 1st floor to add three full bed rooms and bathroom to our single family residence. With the foot print shown of our existing house is not in compliance with zoning resolution.

Adding this addition to our home will increase the total value of our property; also showing exceptional effort to our fellow neighbors and nearby residents. We would only be extending upwards to our current home not any side additions/add ons.

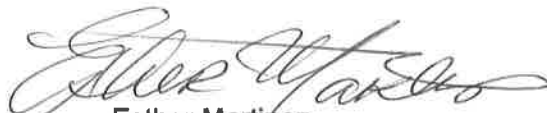
Adding this 2nd floor over our existing first floor will give our family a true lifetime of bliss and enlightenment. Currently we as a family of four are looking to expand our living space to the fullest (with regulations and evaluation of appeal) with adding 3 bedrooms and a bath for a more comfortable living space (as shown in the blueprint). This would be one of our biggest accomplishments as a young hard working family that would only want to provide what is best for our children.

Lastly, when describing our proposed development goal for our home we would want for the Zoning Board to fully understand our appeal as our efforts to best help understand our purpose and motive to approve this Appeal. With having not only to give value to our home but to the city of bridgeport and fellow neighbors/ acquaintances but to fully fulfill our greatest motive of giving the best to our family here in the city of bridgeport.

Sincerely,



Gabriel Hernandez



Esther Martinez



BACK JOHN W  
000038 POST ST  
BRIDGEPORT, CT 06610

ALICEA FRANCESCO  
168 CARNEGIE  
BRIDGEPORT, CT 06610

GURGE RONALD  
000075 GRANFIELD AVE  
BRIDGEPORT, CT 06610

ZELINSKY EDWARD A & KATHLEEN F  
000146 CARNEGIE AVE  
BRIDGEPORT, CT 06610

EYES ELIZABETH ETAL  
000134 CARNEGIE AVE  
BRIDGEPORT, CT 06610

UREN JOHANNE  
000157 CARNEGIE AVE  
BRIDGEPORT, CT 06610

OREMBA ALEXANDER P JR &  
000039 GARY ST  
BRIDGEPORT, CT 06610

COMER GEORGE H  
120 CARNEGIE AVE  
BRIDGEPORT, CT 06610

SPANN WENDY B & RODNEY T  
000145 CARNEGIE AVE  
BRIDGEPORT, CT 06606

BRODERICK PAMELA S EST  
000127 CARNEGIE AVE  
BRIDGEPORT, CT 06610

RUSSEY ASHLEY  
000178 CARNEGIE AVE  
BRIDGEPORT, CT 06606

VINALES JOSE AMID  
000046 POST ST  
BRIDGEPORT, CT 06610

SHULER JIMMY L & JENETT L  
000167 CARNEGIE AVE  
BRIDGEPORT, CT 06610

BROWN-UPCHURCH MARTHA  
000039 POST ST  
BRIDGEPORT, CT 06610

MALDONADO EUGENIO  
000110 CARNEGIE AVE  
BRIDGEPORT, CT 06610

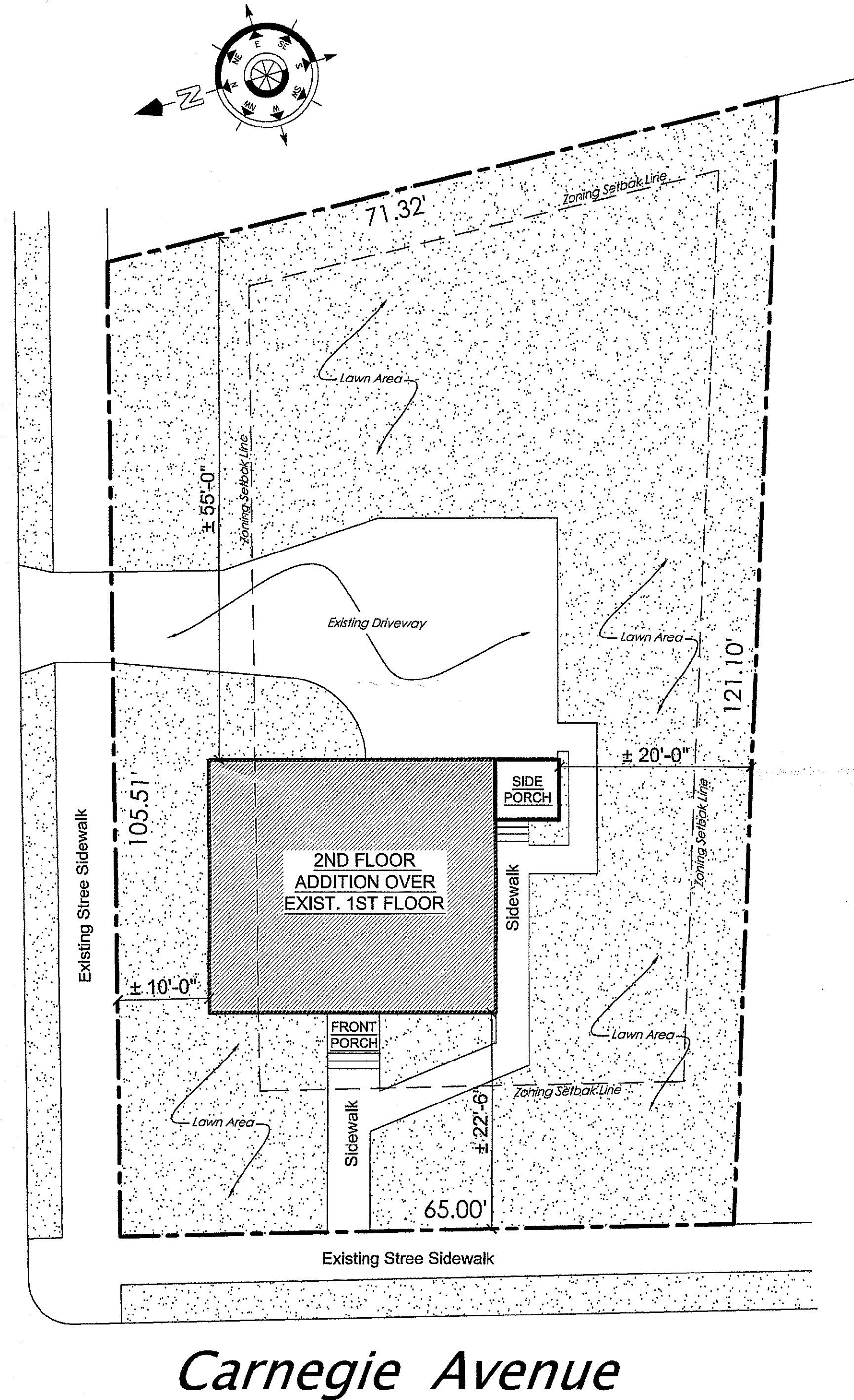
OUELLETTE ROBERT J  
135 CARNEGIE AVE  
BRIDGEPORT, CT 06610

PAGE JEAN  
0001015 FAIRFIELD AVE  
BRIDGEPORT, CT 06610

POLLOCK JAMES D & REGINA M  
151 MANILA ST  
BRIDGEPORT, CT 06610

LUNA FELIPE  
27 GARY ST  
BRIDGEPORT, CT 06610

Post Street



Carnegie Avenue

**SCHEMATIC PLOT PLAN**  
SCALE 1" = 10'-0"

NOTE:  
THIS SCHEMATIC PLOT PLAN WAS PREPARED  
BASED ON FIELD CONDITIONS AND INFORMATION  
GATHERED FROM THE CITY OF BRIDGEPORT "GIS MAP"  
FOR THE PURPOSE OF ILLUSTRATING EXISTING AND  
PROPOSED CONDITIONS.

DEVELOPMENT STANDARDS	R-B	EXISTING / PROPOSED	COMMENTS
<b>LOT</b>			
LOT AREA MINIMUM	9,000 SF / 7,500 SF	±7,600 SF	EXISTING
FRONTAGE, MINIMUM	60 FT / 75 FT	65.0 FT + 105.51 FT	EXISTING
DEPTH MINIMUM	N.A. / 100 FT	N.A.	
LOT AREA PER DWELLING UNIT, MINIMUM	N.A.	N.A.	
<b>PRINCIPAL BUILDING SETBACK</b>			
FRONT LOT LINE, MINIMUM FROM	15 FT	10'-0" + 22'-6"	EXISTING
SIDE LOT LINE, MINIMUM FROM	6 FT	20'-0" + 55'-0"	EXISTING
ONE SIDE	6 FT	± 20'-0"	EXISTING
BOTH SIDES SHALL ADD UP TO	20% OF LOT WIDTH	± 75'-0"	EXISTING
REAR LOT LINE	20% OF LOT DEPTH	N.A.	
MINIMUM	20 FT	N.A.	
<b>ACCESSORY STRUCTURE</b>			
SETBACK MINIMUM:			
FRONT LOT LINE	The lesser of 50% of lot depth OR 75 FT	N.A.	
SIDE LOT LINE	3 FT	N.A.	
REAR LOT LINE	3 FT	N.A.	
CORNER LOT	NOTE 2	N.A.	
FLOOR AREA MAXIMUM	NOTE 4	N.A.	
<b>COVERAGE</b>			
BUILDING COVERAGE, MAXIMUM	45%	1,490 SF (17.42%)	EXISTING
SITE COVERAGE, MAXIMUM	65%	43.90 %	EXISTING
<b>LANDSCAPED AREA</b>			
MINIMUM	35%	50.70 %	EXISTING
<b>HEIGHT</b>			
PRINCIPAL BUILDING, MAXIMUM TO MID-POINT OF HIGHEST ROOF	28 FT		
MAX. TO RIDGE	35 FT	34'-8"	EXISTING
ACCESSORY STRUCTURE, MAXIMUM FLAT OR ROUNDED ROOF	12 FT	N.A.	
TO RIDGE	15 FT	N.A.	

- NOTES:
- SIDE SETBACK SHALL BE EITHER TEN (10) FT MINIMUM OR FORTY (40) PERCENT OF THE PRINCIPAL BUILDING HEIGHT, WHICHEVER IS GREATER.
  - CORNER LOTS ARE REQUIRED TO PROVIDE TWO FRONT YARDS AND TWO SIDE YARDS.
  - R-A 5,000 SF LOT MINIMUM SHALL APPLY ONLY TO LAWFULLY CREATED LOTS THAT PRE-EXIST THE EFFECTIVE DATE OF THESE REGULATIONS. NO NEW SUCH LOTS SHALL BE CREATED.
  - SEE SECTION 4-8-1 (C)(2).
  - ON LOTS OF FIVE (5) ACRES OR MORE BUILDING COVERAGE SHALL NOT EXCEED 60% AND SITE COVERAGE SHALL NOT EXCEED 70%.
  - FOR NURSING HOMES, CONVALESCENT HOMES, ASSISTED LIVING FACILITY OR CONGREGATE HOUSING, MAXIMUM ALLOWANCE HEIGHT OF A PRINCIPAL BUILDING SHALL BE 6-STORIES OR 60 FT AND THE LOT SIZE IS AT LEAST FIVE (5) ACRES (DORMITORIES EXCLUDED).
  - FOR PUBLIC INTER-DISTRICT MULTIMAGNET SCHOOLS WITH 200,000 SF OR MORE OF FLOOR AREA IN THE R-A ZONE. SEE TABLE 3.A ALL OTHER SCHOOLS SEE TABLE 3.
  - IN FLOOD PLAN AREAS WHERE THE LOWEST FLOOR OF THE BUILDING IS ELEVATED TO MEET THE FLOOD DAMAGE PREVENTION STANDARDS, THE MAXIMUM TOTAL BUILDING HEIGHT SHALL BE MEASURED FROM THE BASE FLOOD ELEVATION (BFE) + 1 ELEVATION PROVIDED THAT THE RESULTING HEIGHT OF THE BUILDING IS NOT MORE THAN FIVE (5) FEET GREATER THAN THE MAXIMUM BUILDING HEIGHT PERMITTED IN THE RCCZONE.
  - MINIMUM SIDE SETBACK ALONG COMMERCIAL CORRIDORS IS 0'.
  - HALF STORY: AN ATTIC OR STORY IMMEDIATELY BELOW A SLOPING ROOF WITH NO MORE THAN 50% OF SAID SPACE HAVING A FLOOR TO CEILING HEIGHT GREATER THAN SEVEN FEET SIX INCHES (7'-6")

N.A.: NOT APPLICABLE

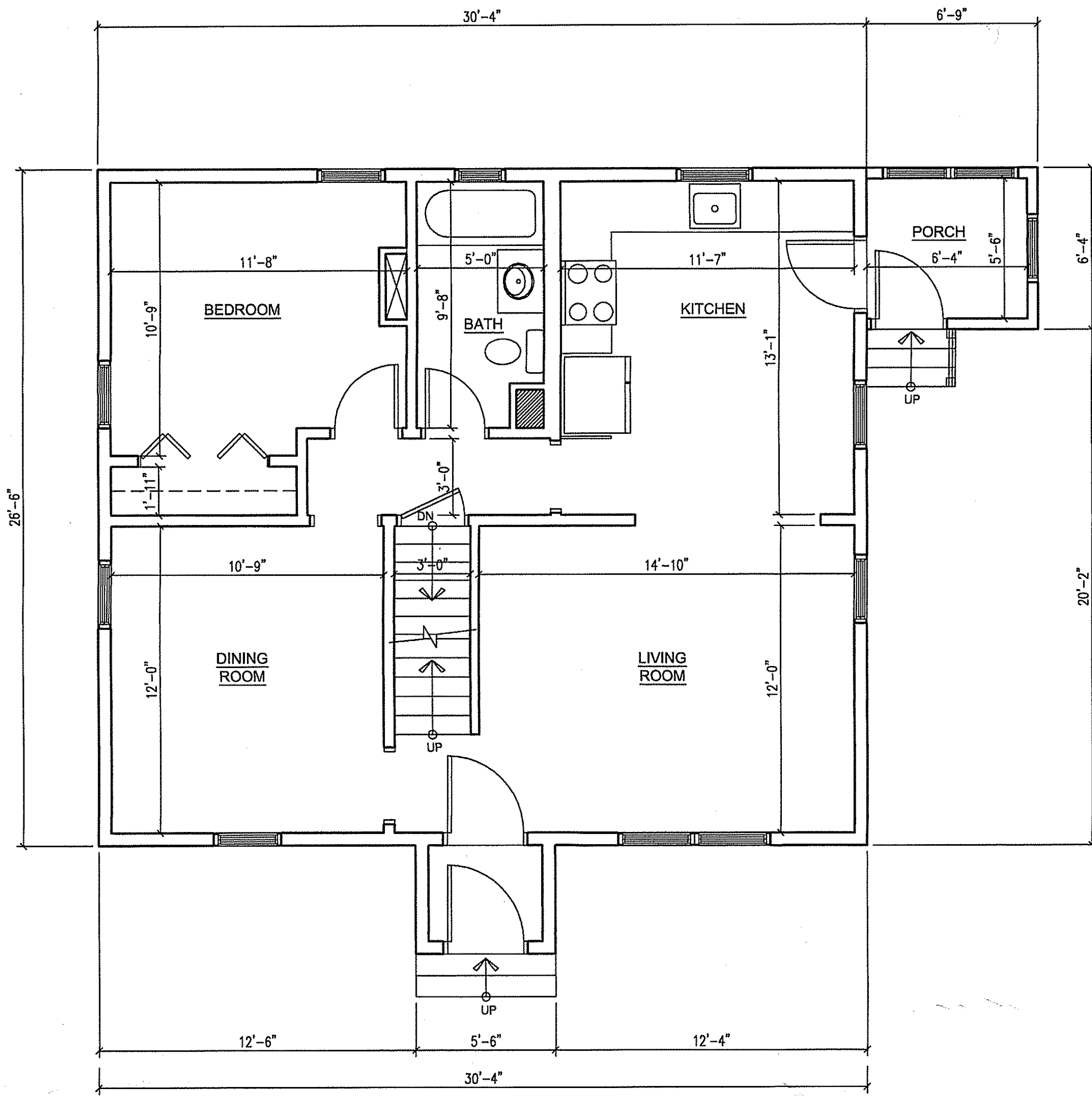
1	2	3	4	5	6
REVISIONS					

PROPOSED ADDITION TO SINGLE FAMILY HOME  
PREPARED FOR PROPERTY LOCATED AT  
149 CARNEGIE AVE., BRIDGEPORT, CT

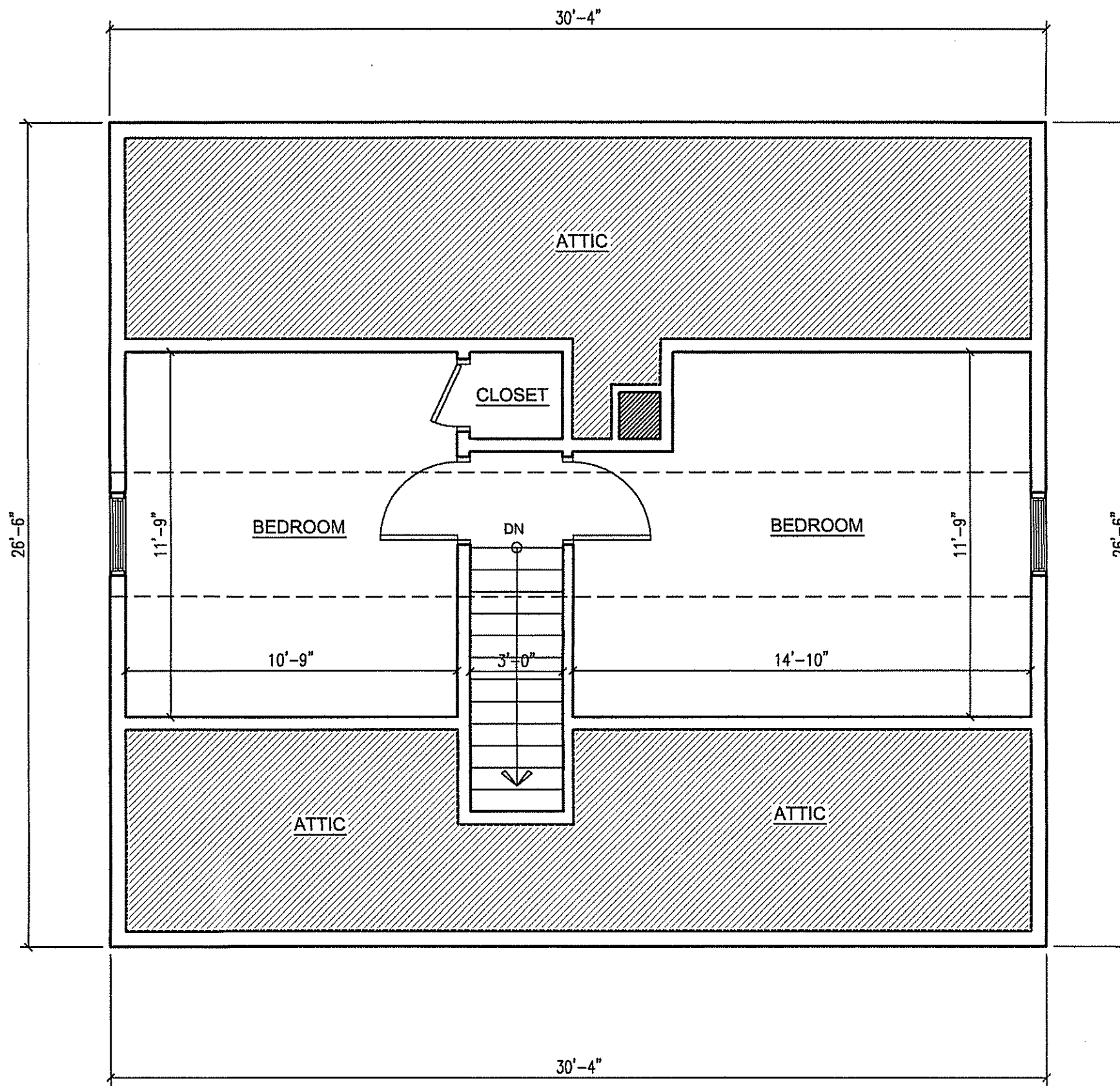
SCHEMATIC PLOT PLAN	
date: 02-04-2021	scale: AS NOTED
drawn: M. REINHHEIMER 203-449-6137	project #: MCR-2021-109
E-Mail: marcosprimrose@yahoo.com	

This drawing is the property of the designer. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

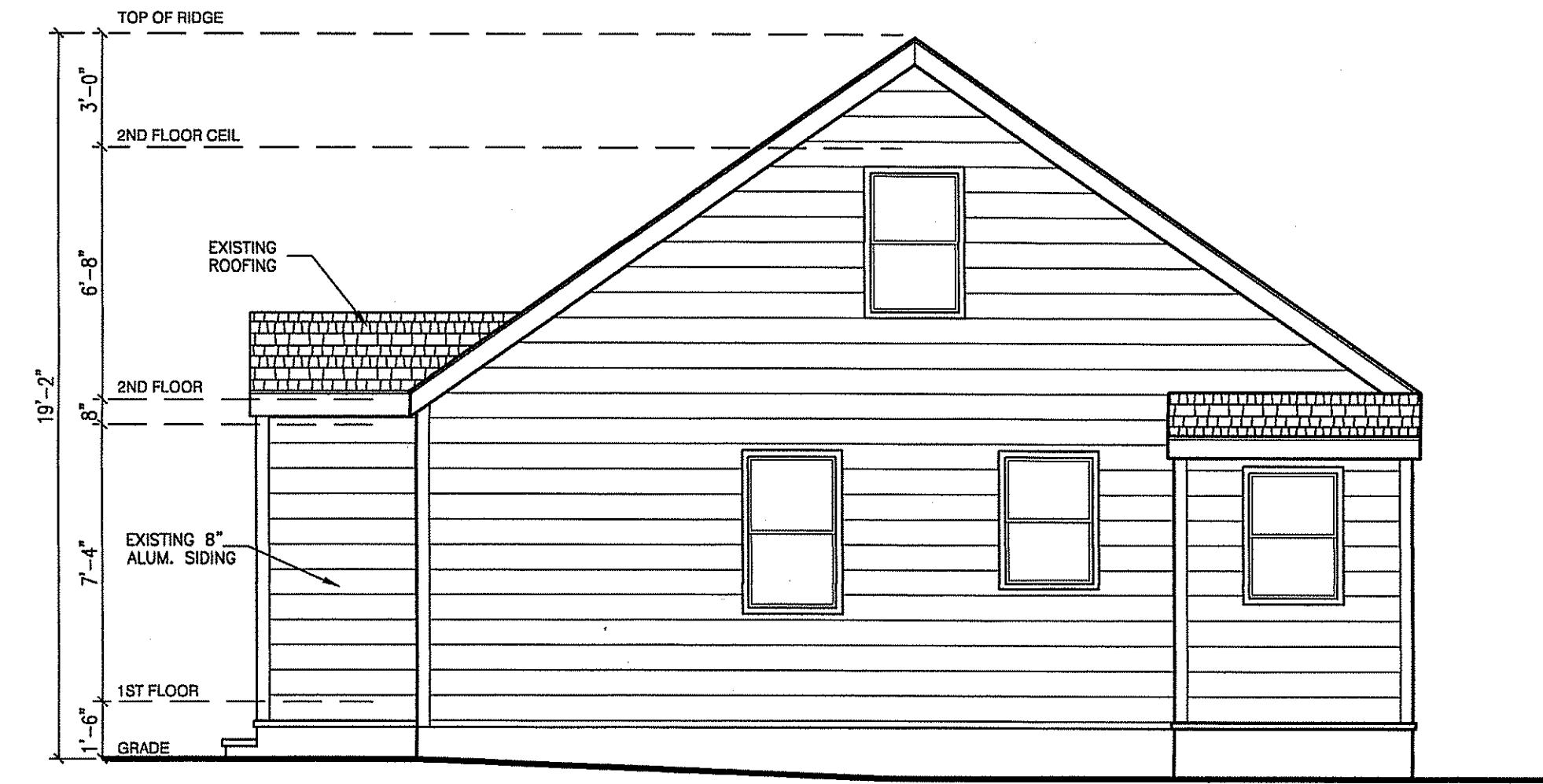
**ST-1**



**EXISTING 1ST FLOOR PLAN**  
SCALE 1/4" = 1'-0"



**EXISTING 2ND FLOOR PLAN**  
SCALE 1/4" = 1'-0"



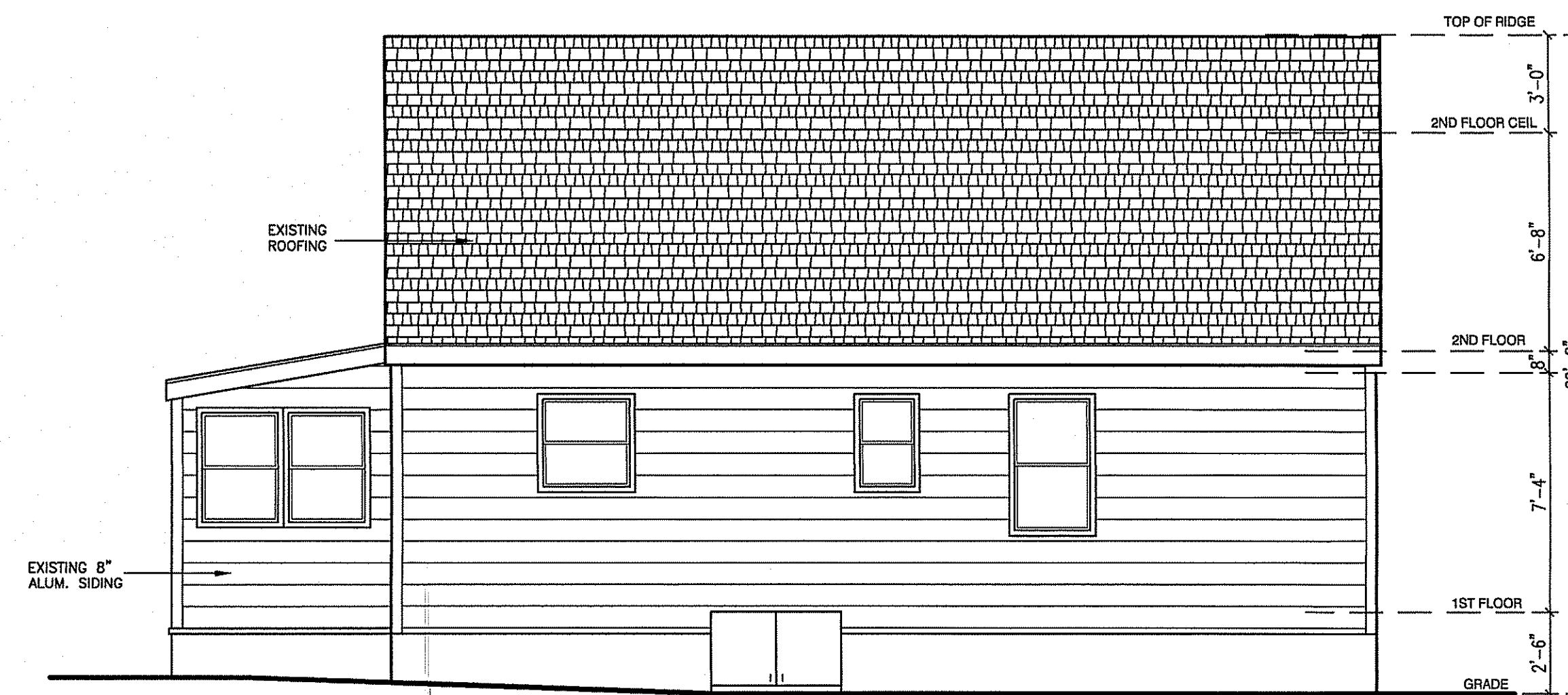
**EXISTING RIGHT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"



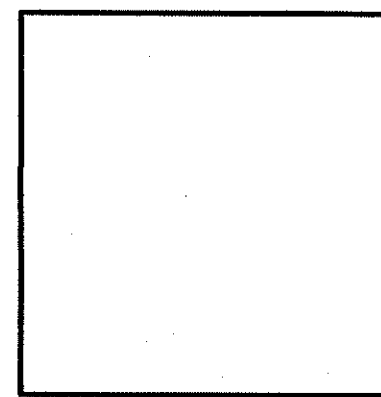
**EXISTING LEFT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"



**EXISTING FRONT ELEVATION**  
SCALE 1/4" = 1'-0"



**EXISTING REAR ELEVATION**  
SCALE 1/4" = 1'-0"



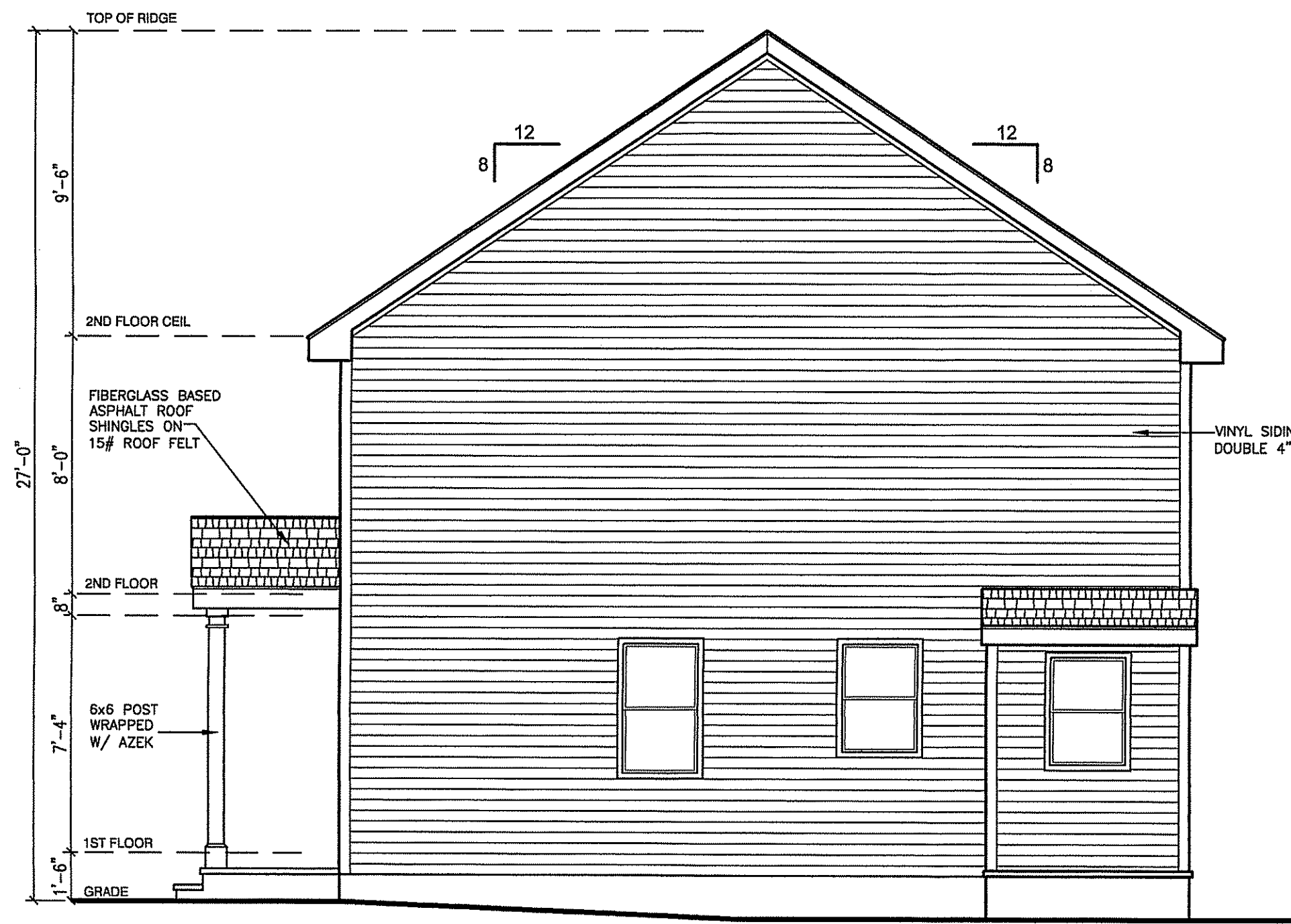
REVISIONS					
1	2	3	4	5	6

**PROPOSED ADDITION TO SINGLE FAMILY HOME**  
 PREPARED FOR PROPERTY LOCATED AT  
 149 CARNEGIE AVE., BRIDGEPORT, CT

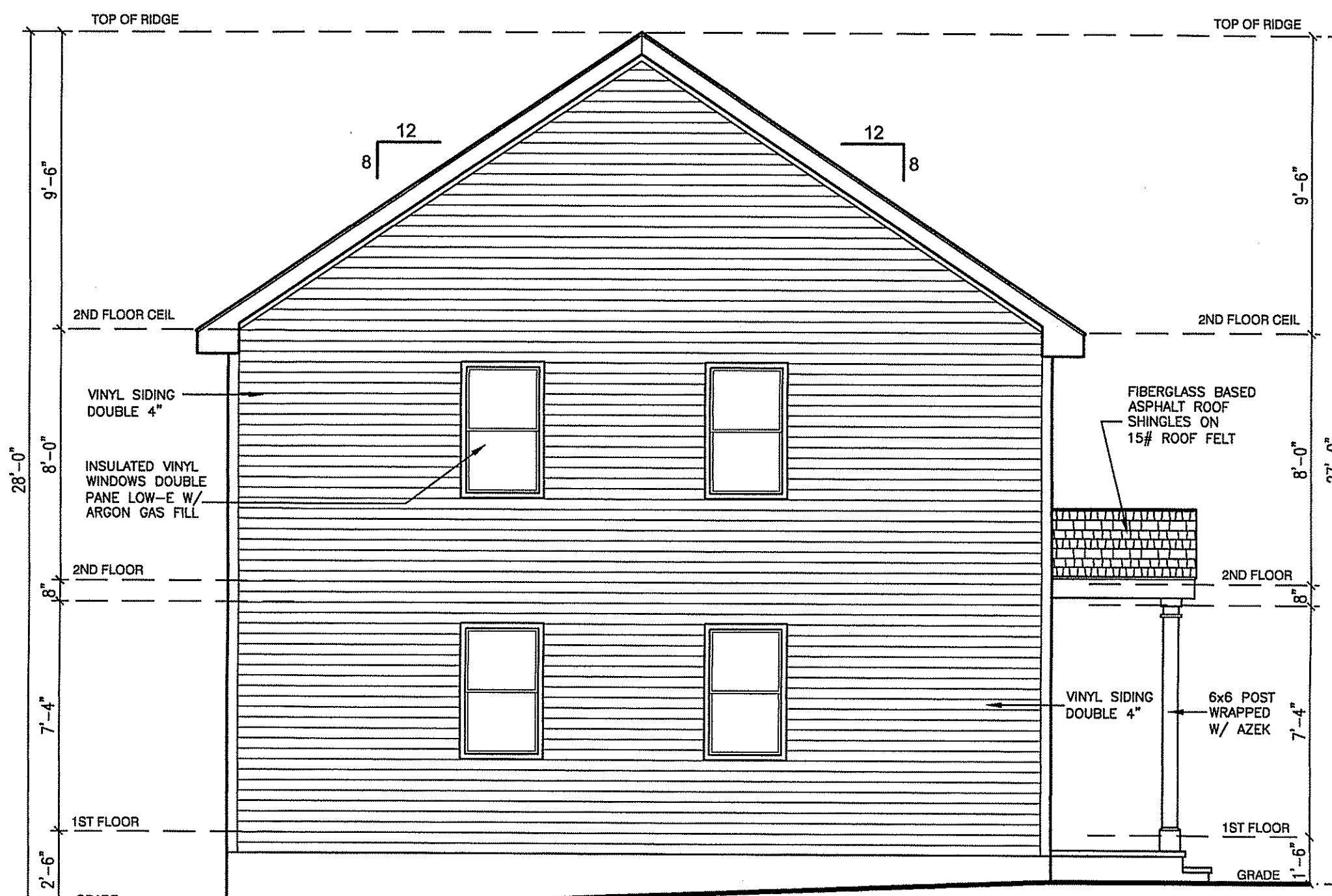
EXISTING 1ST & 2ND FLOOR PLAN & EXISTING ELEVATIONS	
date: 02-04-2021	scale: AS NOTED
drawn by: M. REINHHEIMER 203-449-6137	project #: MCR-2021-109
E-Mail: marcosprimrose@yahoo.com	

This drawing is the property of the designer. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

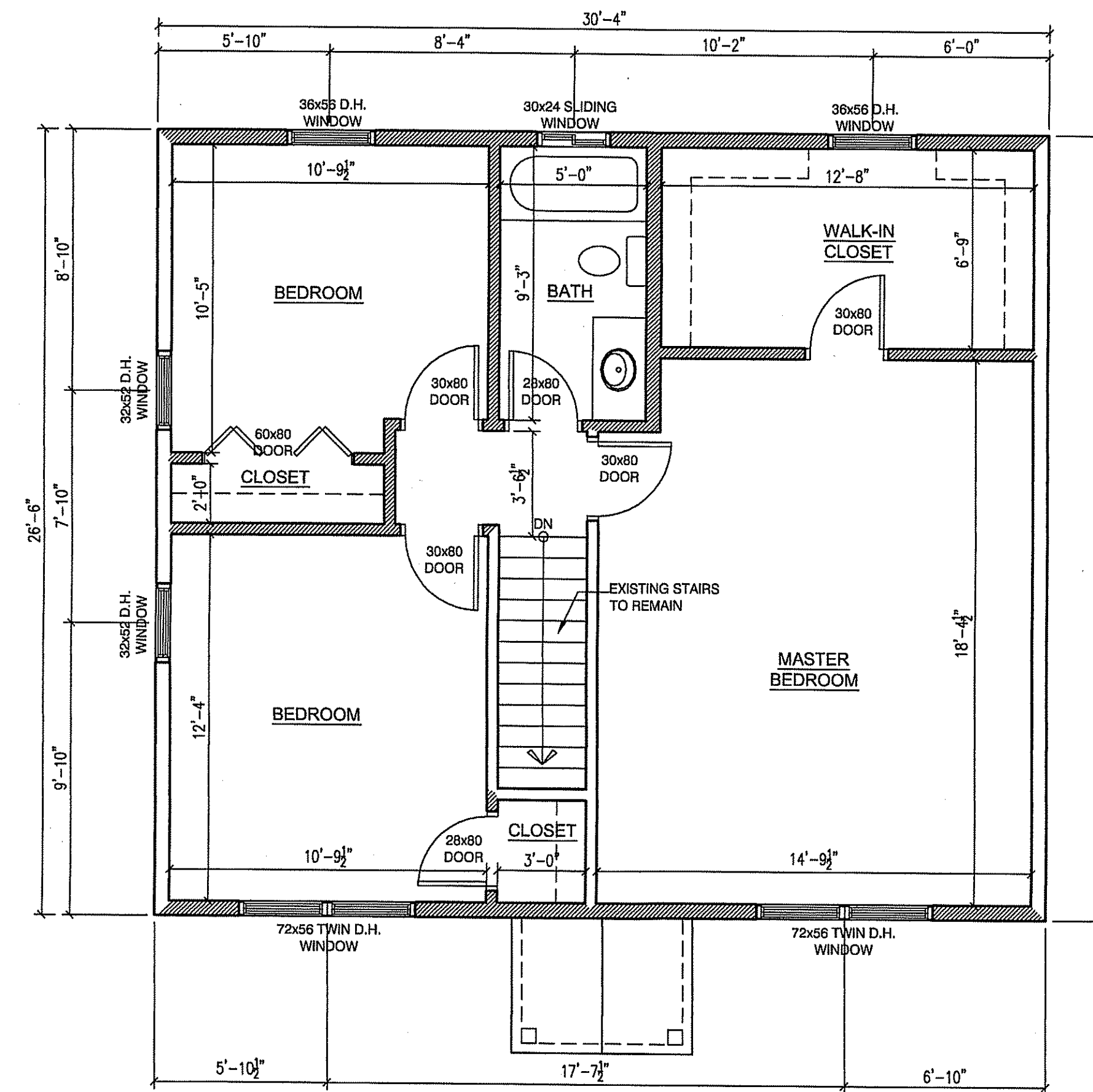
**EX-1**



**PROPOSED RIGHT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

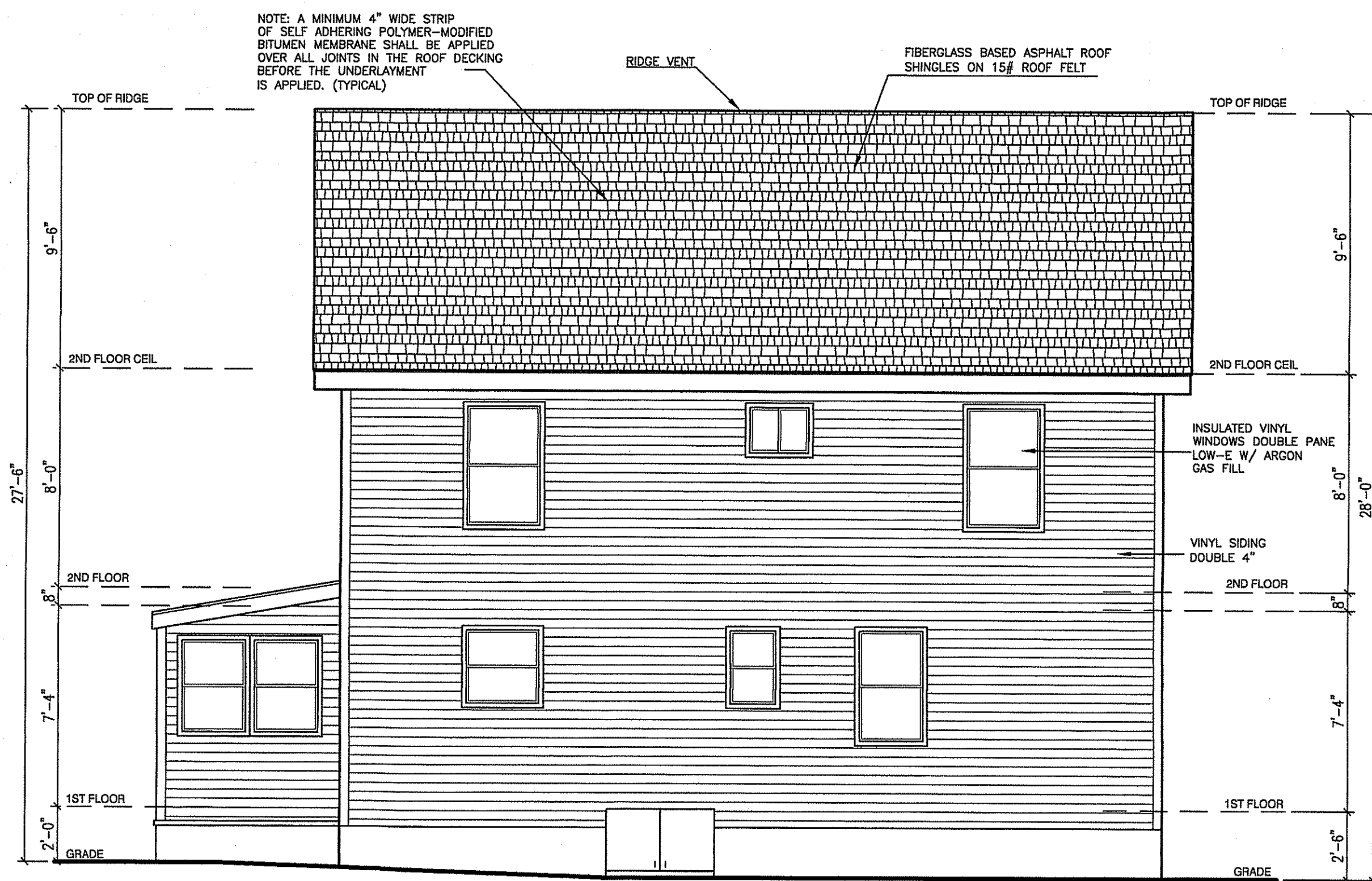


**PROPOSED LEFT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

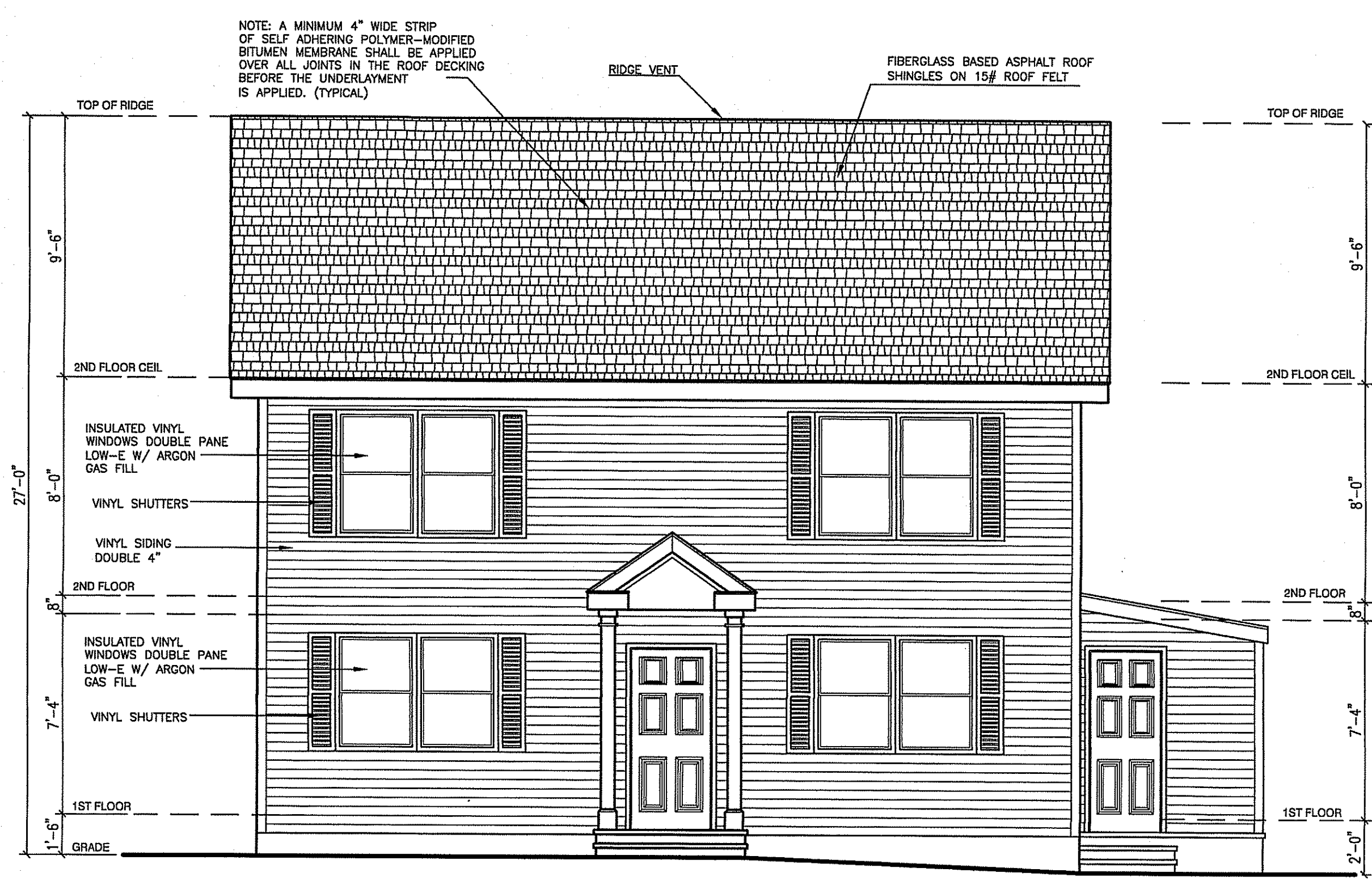


**PROPOSED 2ND FLOOR PLAN**  
SCALE 1/4" = 1'-0"

— EXISTING PARTITIONS TO REMAIN  
 ▨ NEW PARTITIONS



**PROPOSED REAR ELEVATION**  
SCALE 1/4" = 1'-0"



**PROPOSED FRONT ELEVATION**  
SCALE 1/4" = 1'-0"


1	2	3	4	5	6

**PROPOSED ADDITION TO SINGLE FAMILY HOME**  
 PREPARED FOR PROPERTY LOCATED AT  
 149 CARNEGIE AVE., BRIDGEPORT, CT

PROPOSED 2ND FLOOR PLAN & PROPOSED ELEVATIONS
date: 02-04-2021
drawn: M. REINHIMER 203-449-6137
scale: AS NOTED
project #: MCR-2021-109
E-Mail: marcosprimrose@yahoo.com

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

**A-1**

**PETITION TO THE BOARD OF APPEALS**  
**City of Bridgeport, Connecticut**

The undersigned presents the following petition for:

*(Check all that Apply)*

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

150 Anton Street Zone R-C  
(Number) (Street) (Zone Classification)  
On the North side of the street about 110 feet East from  
(North, South, East, West) (North, South, East, West)  
Anton Drive Block : 81/2509 Lot: 56  
(Street)  
Dimension of Lot in Question See attached  
(Specify)

1. NAME OF PETITIONER / BUSINESS Anton NCN FP LLC  
(Print)
2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
3. HAS ANY PREVIOUS PETITION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT Interior conversion of existing multi-family residential dwellings to create an additional Thirty (30) residential dwelling units with associated off-street parking and site improvements.

5. THIS PETITION RELATES TO: *Check all that Apply:*

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: Lot Area per Dwelling Unit

6. USE TO BE MADE OF PROPERTY Multi-family residential dwelling in the R-C Zone

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

PETITIONER  DATE 11/5/20  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc.) Chris@russorizio.com  
(Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION**

All questions must be answered in detail (use separate sheet if necessary).

The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for

The Zoning Board of Appeals to process this petition.

**NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.**

**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**

**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

\_\_\_\_\_ FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_

FOR OFFICE USE ONLY (Rev. 6/22/16)

November 6, 2020

Dennis Buckley  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Petition for Variances – 150 Anton Street**

Dear Mr. Buckley:

Please accept, on behalf of Anton NCN FP, LLC, (the “Petitioner”), the following narrative and enclosed application materials as part of an application for variances of the Bridgeport Zoning Regulations (the “Regulations”) for the property located at 150 Anton Street (the “Site”) to create an additional Thirty (30) studio residential dwelling units within an existing building and an additional Thirty (30) off-street parking spaces with associated Site improvements in the R-C Zone.

**Dimensions of Lot in Question**

204.34' x 174.73' x 69.16' x 199.10' x 7.97' x 20.47' x 13.10' x 18.74' x 22.72' x 437.54' x 56.17' x 39.85' x 34.03' x 27.89' x 74.05' x 34.26'

**Variances Requested**

1. Variance of Section 5-1 and Table 3 of the Regulations to reduce the minimum lot area per dwelling unit from Two thousand seven hundred square feet (2,700 SF) to One thousand one hundred and thirty-seven and 40/100 square feet (1,137.7 SF);
2. Variance of Section 11-1 and Table 8.A of the Regulations to reduce the minimum off-street parking area from Two hundred and thirty-one (231) to One hundred and thirty-one (131) off-street parking spaces.

**Narrative**

The Petitioner requests the above-stated variances from the Regulations. The Site is located on Anton Street just west of Main Street. The Site is in the R-C Zone. The Site is located to the rear of the Price Rite shopping center on Main Street and is mostly enveloped by the OR-R Zone. The R-A Zone is located to its West. The Site currently contains Five (5) multi-family residential dwellings containing One hundred and ten (110) dwelling units. The lot area of the Site is One hundred Fifty-nine thousand two hundred and eighty square feet (159,280 SF).

1 Post Road  
Fairfield, CT 06824

Tel 203-255-9928  
Fax 203-255-6618

The Petitioner proposes to create an additional Thirty (30) studio residential dwelling units within the existing buildings on the Site. The Petitioner does not propose to expand any building footprints as construction will occur entirely within the existing buildings. In addition, the Petitioner proposes to create an additional Thirty (30) off-street parking spaces, mostly in the northeast corner of the Site, which abuts the OR-R zone. In addition, the Petitioner is adding interior landscaping to the new parking area. In discussions with the Office of Planning and Economic Development, revisions were made to the site plan to preserve as much landscaping as possible and staying well within the standards under the Regulations. The multi-family residential dwelling use has been in operation for some time and the existing parking is more than sufficient for the use.

The proposed studio dwelling units will be located within the existing lower level of each building with Six (6) units within each building. Each unit will be approximately Four hundred and seventy square feet (470 SF) and contain a living/bedroom area, eat-in kitchen, dining alcove and full bath. A laundry room exists at the end of the hall in each building. The lower level features Three (3) stairwells to enter/exit. The Petition will offer a variety of housing options within this multi-family property.

### **Hardship**

Granting the Petitioner the above-stated variance will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as the Petition actually proposes to increase the off-street parking to the Site while only adding studio dwelling units, which have very low parking requirements. The Site is currently nonconforming as to parking and the proposed Thirty (30) spaces are more than enough to support the additional Thirty (30) studio dwelling units. The current parking area has never been close to capacity and amply serves the existing dwelling units. The Petition proposes only studio apartment units (less than the other unit offerings on the Site). The parking requirement of One and a half (1.5) spaces plus Ten percent (10%) exceeds the actual parking requirement for a studio apartment. The existing dwelling units on the Site will be able to utilize this extra parking. The proposed density is conforming with multi-family dwellings within the neighborhood and throughout the City and it does not require any increase in bulk, but merely the interior conversion of these buildings. It will have no impact on the neighborhood as the Petition provides more than sufficient parking for the proposed dwelling units. In fact, the extra off-street parking would help reduce the impact on the neighborhood.

For the reasons stated above, the Petitioner respectfully requests approval of the Petition for the above-stated variances.

Sincerely,

  
Raymond Rizio

**PROPERTY OWNERS WITHIN 100' OF 150 ANTON ST**

<b>PROPERTY ADDRESS</b>	<b>OWNER NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
4485 MAIN ST #4505	BROOKSIDE (E&A) LLC RYAN LLC	PO BOX 460369 DEPT 400	HOUSTON	TX	77056
150 ANTON ST	ANTON NCN FP LLC	1023 MAIN ST, 2ND FL	BRIDGEPORT	CT	06604
135 ANTON ST	MCPADDEN KATHLEEN	135 ANTON ST	BRIDGEPORT	CT	06606
100 ANTON DR	SENDAS SEBASTIAO A	100 ANTON DR	BRIDGEPORT	CT	06606
5 ANTON CR	FARIA SANDRA	5 ANTON CIR	BRIDGEPORT	CT	06606
	DONA S ANTONIO FERNANDO &				
211 ANTON ST	VALDECI LEMOS	211 ANTON ST	BRIDGEPORT	CT	06608
46 ANTON DR	HARTGRAVES JEFF	100 WILSON ST	BRIDGEPORT	CT	06605
82 ANTON DR	REID GARY	2209 MAIN ST	BRIDGEPORT	CT	06606
175 ANTON ST	MAI KATHY HO & THUAN T	175 ANTON ST	BRIDGEPORT	CT	06606
64 ANTON DR	SALOMON RAUL	64 ANTON DR	BRIDGEPORT	CT	06606
36 ANTON DR	GOLD HERMAN & MARY A	36 ANTON DR	BRIDGEPORT	CT	06606
21 ANTON CR	STANLEY ROBERT F & KATHLEEN	21 ANTON CIRCLE	BRIDGEPORT	CT	06606
11 ANTON CR	MEDEIROS DOMINGOS A & MARIA S	11 ANTON CIR	BRIDGEPORT	CT	06604
26 ANTON DR	PORTELA ALBERTO & MARIA T	26 ANTON DR	BRIDGEPORT	CT	06606
200 ANTON ST	SARAVIA JOSE ADRIAN	200 ANTON ST	BRIDGEPORT	CT	06606
155 ANTON ST	ESTEVES ALBINO & MARIA S	155 ANTON ST	BRIDGEPORT	CT	06606
161 ANTON ST	PADILLA IVETTE ET AL	161 ANTON ST	BRIDGEPORT	CT	06606
165 ANTON ST	PONTES ALICIA	23 FAWN CIR	TRUMBULL	CT	06611
4425 MAIN ST	4425 MAIN STREET LLC	426 KINGS HWY E, STE 2C	FAIRFIELD	CT	06825
80 VINCELLETTE ST	JEAN WREN WESCOTT TRUSTEE	80 VINCELLETTE ST	BRIDGEPORT	CT	06606









CITY OF BRIDGEPORT

**ZONING BOARD OF APPEALS APPLICATION**

The undersigned presents the following application for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

220 & 230 Fifth Street Zone R-C  
(Number) (Street) (Zone Classification)

On the East side of the street about 447.97 feet North from  
(North, South, East, West) (North, South, East, West)

Connecticut Avenue Block : \_\_\_\_\_ Lot: 16  
(Street)

Dimension of Lot in Question 160.00' x 101.89' x 180.00' x 99.92'  
(Specify)

1. NAME OF APPLICANT / BUSINESS JJK Construction, LLC  
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Construction of proposed addition to existing industrial building

5. THIS APPLICATION RELATES TO: Check all that Apply  
 Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY Warehousing and storage of material in connection with existing manufacturing and processing woodworking use

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See Attached

APPLICANT [Signature] / \_\_\_\_\_ DATE 2/5/21  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**

All questions must be answered in detail (use separate sheet if necessary).  
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this application.  
**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

\_\_\_\_\_ FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_



Colin B. Connor  
Elizabeth A. Falkoff\*  
Robert G. Golger  
Michael C. Jankovsky  
David K. Kurata  
Katherine M. Macol  
Leah M. Parisi  
William M. Petroccio\*  
Raymond Rizio\*  
Christopher B. Russo  
Robert D. Russo  
John J. Ryan  
Vanessa R. Wambolt  
(\*Also Admitted in NY)

April 30, 2020

Dennis Buckley  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Petition for Variances – 220 – 230 Fifth Street**

Dear Mr. Buckley:

Please accept, on behalf of JJK Construction, LLC, (the “Petitioner”), the following narrative and enclosed application materials as part of an application for Variances to the Bridgeport Zoning Regulations (the “Regulations”) for the properties located at 220-230 Fifth Street (the “Site”) to construct a 30' x 80' one-story addition to an existing commercial building for storage of equipment and building supplies in connection with the existing manufacturing and processing use with associated Site improvements in the R-C Zone.

### Variances

1. Variance of Art. 5-1-2 and Table 1 of the Regulations to permit the warehousing and storage of equipment and building supplies in connection with the existing manufacturing and processing use;
2. Variance of Art. 5-1-3 and Table 3 of the Regulations to reduce the sum of side yard setbacks to Fourteen and 10/00 feet (14.1');
3. Variance of Art. 5-1-3 and Table 3 of the Regulations to reduce the rear yard setback to Five and 70/00 feet (5.7');
4. Variance of Art. 5-1-3 and Table 3 of the Regulations to increase the maximum site coverage to Seventy-eight percent (78%);
5. Variance of Art. 5-1-3 and Table 3 of the Regulations to reduce the minimum landscaped area to Twenty-two percent (22%);

1 Post Road  
Fairfield, CT 06824

Tel 203-255-9928  
Fax 203-255-6618

## Narrative

The Site is located on Fifth Street in an industrial corridor. The Site is in the R-C Zone. It is located directly across the street from the XPO Logistics building and operations center across and directly abuts another commercial building on Fifth Street. The existing industrial/commercial building on the Site was constructed in 2009. The Petitioner operates their manufacturing and processing woodworking use in connection with the Petitioner's cabinet-making business. The lot area of the Site is Sixteen thousand nine hundred and eighty-six square feet (16,986 SF).

The Petitioner proposes to construct a 30'x80' one-story addition to the existing building for storage of equipment and building supplies in connection with existing manufacturing and processing woodworking use onto existing impervious surface. The Petitioner operates their cabinet-making business within the existing building. This addition will store materials in connection with that use. The addition will face Fifth Street and will contain Two (2) garage bay doors. The Petitioner proposes to create Seven (7) off-street parking spaces, which is more than sufficient to support the addition under the Regulations, and new landscaped area along the parking area and in the location of an existing storage trailer.

## Hardship

Granting the Petitioner the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as the Applicant is actually improving some existing nonconformities at the Site to support an already existing manufacturing and processing use. For instance, the Petitioner is actually decreasing the existing site coverage from Eighty-nine percent (89%) to Seventy-eight percent (78%) and increasing the landscaped coverage to Twenty-two percent (22%), which is double the existing conditions. It is also important to note that, in reality, the Site and its abutting neighbor are extensions of the industrial corridor that exists across Fifth Street where only Fifteen percent (15%) landscape coverage is required. The Petition proposes well in excess of that standard.

With regards to the variances as to setback, the sum of side yard setback variance is actually in relation to the existing building. The proposed addition will be

located over Ten feet (10') from the Site's side property line on the southern side, which is the requirement of the Regulations. The Petition requires a side yard setback variance because the existing building is only Two and 60/100 feet (2.6') from the other side property line on the northern side of the Site that abuts another commercial building. The rear yard setback variance is due to the fact the Petition proposes to maintain the rear of the addition along the same line as the rear of the existing building, so it is as a result of existing conditions. Please note that the properties on Sixth Street also sit considerably higher as there is a steep grade change at the rear of the Site.

Finally, the proposed use variance is merely to support the existing manufacturing and processing use for the Petitioner's cabinet-making business. The addition will only be for the indoor storage of equipment and building materials. The actual manufacturing will still be within the existing building.

For the reasons stated above, the Petitioner respectfully requests approval of Variances.

Sincerely,



Christopher Russo

## Business Inquiry

### Business Details

Business Name: **JJK CONSTRUCTION, LLC**      Citizenship/State Inc: **Domestic/CT**  
Business ID: **0938092**      Last Report Filed Year: **2020**  
Business Address: **230 FIFTH STREET, BRIDGEPORT, CT, 06607, USA**      Business Type: **Domestic Limited Liability Company**  
Mailing Address: **230 FIFTH STREET, BRIDGEPORT, CT, 06607, USA**      Business Status: **Active**  
Date Inc/Registration: **May 13, 2008**  
Annual Report Due Date: **03/31/2021**  
NAICS Code: **Construction (23 )**      NAICS Sub Code: **Finish Carpentry Contractors (238350 )**

### Principals Details

Name/Title	Business Address	Residence Address
JACEK SICIAK OWNER	230 FIFTH STREET, BRIDGEPORT, CT, 06607	230 FIFTH STREET, BRIDGEPORT, CT, 06607

### Agent Summary

Agent Name **JACEK SICIAK**  
Agent Business Address **NONE**  
Agent Residence Address **117 MERRIMAC DR, TRUMBULL, CT, 06611, USA**  
Agent Mailing Address **230 FIFTH ST, BRIDGEPORT, CT, 06607, USA**

**PROPERTIES WITHIN 100' OF 220-230 FIFTH ST**

<b>LOCATION</b>	<b>OWNER NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
233 SIXTH ST #235	WYNTER NORVAL	233 SIXTH ST #235	BRIDGEPORT	CT	06607
219 SIXTH ST	ANDRADE DONNA M	219 SIXTH ST	BRIDGEPORT	CT	06607
191 SIXTH ST	NEWTON TIMOTHY	175 SIXTH ST	BRIDGEPORT	CT	06607
205 SIXTH ST #207	JORDAN MICHAEL A	465 CONNECTICUT AVE 440 MAMARONECK AVE,	BRIDGEPORT	CT	06608
270 FIFTH ST	250 FIFTH STREET LLC	STE N-503	HARRISON	NY	10704
100 THIRD ST	UNITED PROPERTIES	929 KINGS HIGHWAY EAST	FAIRFIELD	CT	06824
208 FIFTH ST #210	ADEYEYE ADEDOJA	17 OVERLIN RD	PATTERSON	NY	12563
220 FIFTH ST	JIK CONSTRUCTION LLC	75 DIANE TERR	STRAITFORD	CT	06614
230 FIFTH ST	JIK CONSTRUCTION LLC	75 DIANE TERR	STRAITFORD	CT	06614
243 SIXTH ST	PARK CITY HOUSING & DEVEL	243 SIXTH ST	BRIDGEPORT	CT	06607
215 SIXTH ST	SMITH SHEILA A ET AL	215 SIXTH ST	BRIDGEPORT	CT	06607
175 SIXTH ST	NEWTON TIMOTHY	175 SIXTH STREET	BRIDGEPORT	CT	06607
199 FIFTH ST	199 FIFTH ST LLC	199 FIFTH ST	BRIDGEPORT	CT	06607
209 FIFTH ST	KOSTA GEORGE	28 CAROLINE RD	EAST HAVEN	CT	06512
202 FIFTH ST #204	JIMENEZ MARITZA	202 FIFTH ST	BRIDGEPORT	CT	06604
195 SIXTH ST #197	MSA INVESTMENTS 2 LLC	228 COLONY RD	NEW HAVEN	CT	06511
196 FIFTH ST #198	196 FIFTH ST LLC	13 PARAGON LN	STAMFORD	CT	06905
191 FIFTH ST	KEMP JOHNNY L & JACQUELINE	191 FIFTH ST	BRIDGEPORT	CT	06607
247 SIXTH ST #249	WALTON DERANE & DORIS ANN	249 SIXTH ST	BRIDGEPORT	CT	06607
259 SIXTH ST #261	CHAVANNES ANDRELE	805 WOODFIELD RD	WEST HEMPSTEAD	NY	11552





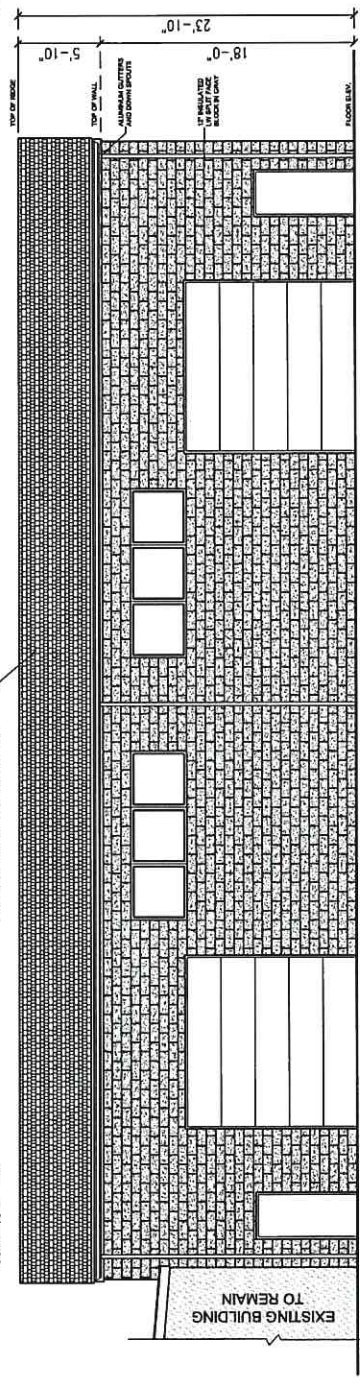
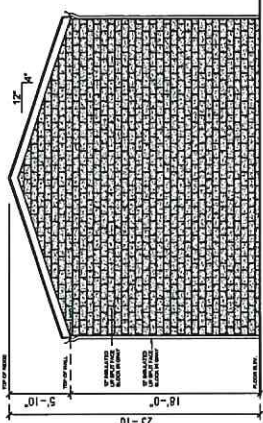
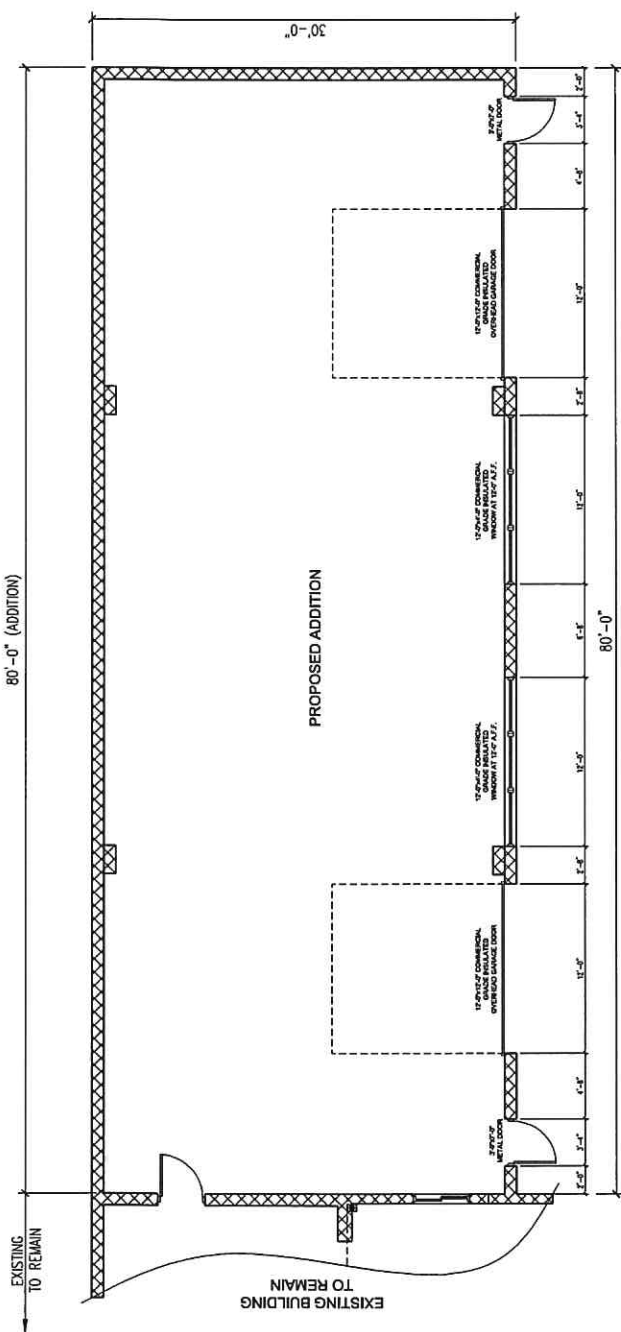
**PRIMROSE COMPANIES**

NEW COMMERCIAL BUILDING ADDITION  
FOR PROPERTY LOCATED AT  
230 FIFTH STREET, BRIDGEPORT, CT

DATE: 12-01-2020  
PROJECT # 2020-120  
SCALE: AS NOTED  
M.F. 2020-120

**GUEDES ASSOCIATES, INC.**  
Designers, Architects & Project Managers  
1425 Noble Avenue, Bpl., CT. 06610  
Tel. 203-967-5180 Fax 203-967-4961

NO.	DATE	DESCRIPTION





CITY OF BRIDGEPORT

**ZONING BOARD OF APPEALS APPLICATION**

The undersigned presents the following application for:

(Check all that Apply)

- Variance
- Appeal from Zoning Officer
- Extension of Time Permit / Modification of Plan of Development
- Request for Re-hearing
- Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

\_\_\_\_\_ Zone \_\_\_\_\_  
(Number) (Street) (Zone Classification)

On the \_\_\_\_\_ side of the street about \_\_\_\_\_ feet \_\_\_\_\_ from  
(North, South, East, West) (North, South, East, West)

\_\_\_\_\_ Block : \_\_\_\_\_ Lot: \_\_\_\_\_  
(Street)

Dimension of Lot in Question \_\_\_\_\_  
(Specify)

1. NAME OF APPLICANT / BUSINESS \_\_\_\_\_  
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) \_\_\_\_\_

3. HAS A PREVIOUS APPLICATION BEEN FILED? \_\_\_\_\_ IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT \_\_\_\_\_

5. THIS APPLICATION RELATES TO: Check all that Apply

- Setback
- Coverage
- Landscaping
- Lot Area and Width
- Floor Area
- Height
- Parking
- Extension or Enlargement of Non-Conforming Use and/or Building
- Coastal Area Management Approval
- Liquor Use
- Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY \_\_\_\_\_

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? \_\_\_\_\_

APPLICANT \_\_\_\_\_ / \_\_\_\_\_ DATE \_\_\_\_\_  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address \_\_\_\_\_  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**

All questions must be answered in detail (use separate sheet if necessary).

The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.

NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.  
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

\_\_\_\_\_ FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_

2/2/21

To whom it may concern;

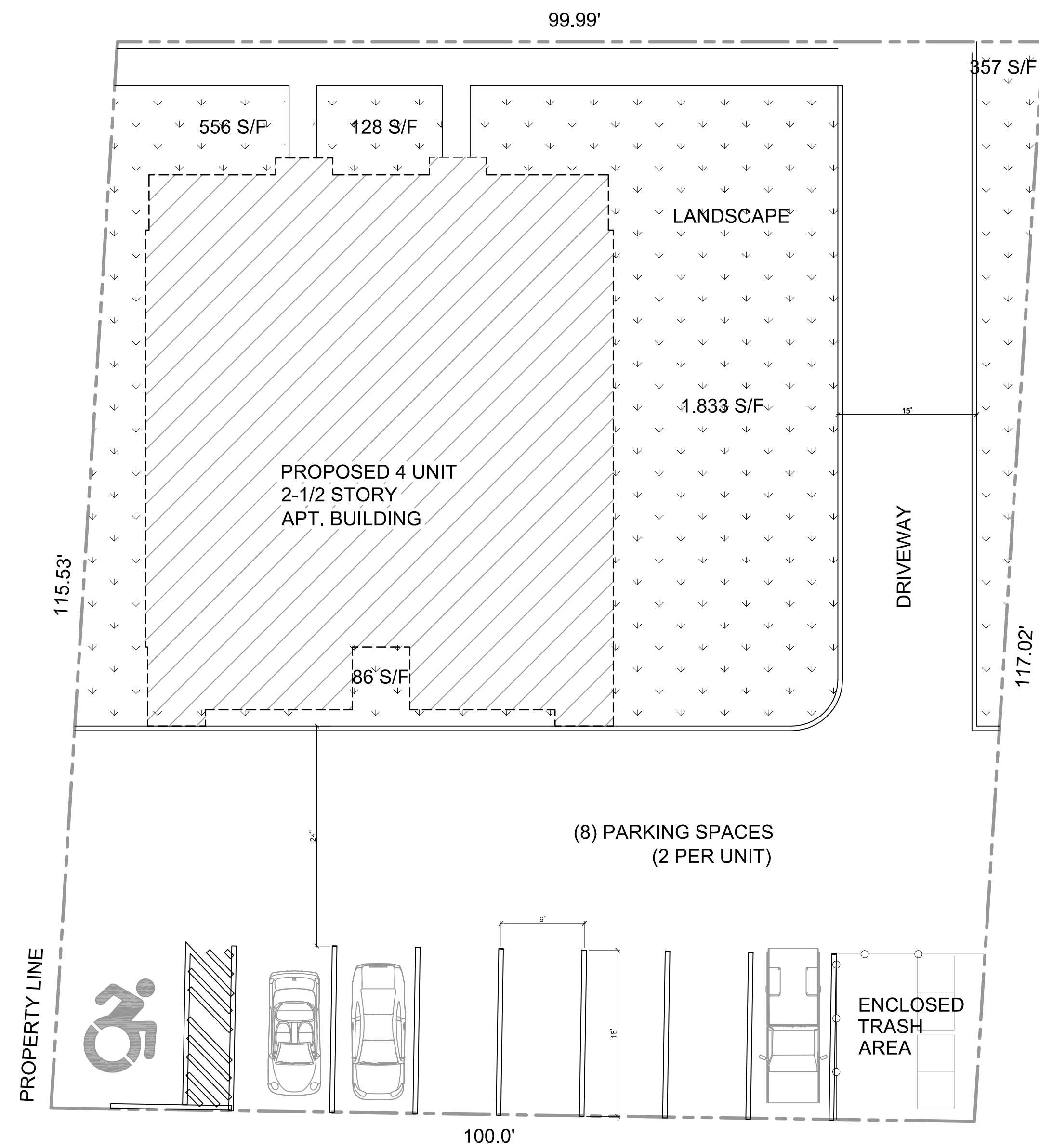
I give permission to Tom Probert of North Arrow Design & Contracting LLC to act as my agent for the purpose of applying for permits concerning 223-241 Laurel Ave. Bridgeport, CT

Kindest regards,

Remberto Amaya  
203-496-6326  
amay1630@att.net

A handwritten signature in black ink, appearing to read 'REMBERTO AMAYA', is written over the email address 'amay1630@att.net'.





1st FLOOR	2,918 s/f
2nd FLOOR	2,598 s/f
<b>TOTAL</b>	<b>5,516 s/f</b>

PROPERTY	11,630 s/f
BLDG. FOOT PRINT	2,918 s/f
BLDG. COVERAGE	25%

IMPERVIOUS COVERAGE	5,752 S/F OR 49%
LANDSCAPE COVERAGE	2,962 S/F OR 25%

**PROPOSED SITE & LANDSCAPE PLAN**  
SCALE: 1"=10'-0"

Number	Date	Revised By	Description

**PROPOSED SITE &  
LANDSCAPE PLAN**

**4 FAMILY APARTMENT BLDG.  
223-241 LAUREL AVE.  
BRIDGEPORT, CT**

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ARCHITECTURAL & MECHANICAL  
DESIGNS • PLANS • BUILDING • CONST. MANAGEMENT  
www.northarrowag.com

DATE:  
6/1/20

SCALE:  
1"=10'-0"

SHEET:  
**SP-1**

# 223-241 LAUREL AVE

DEVELOPMENT STANDARDS	OR-G		OR-G Existing/Proposed
	Minimum	Maximum	
<b>LOT</b>			
Lot width	60 feet	None	
Lot depth	None	None	
Lot area	10,000 sf	None	
Lot coverage	75%	None	11,630
<b>STREET WALL</b>			
As a percent of frontage (Primary)	75%	100%	75%
As a percent of frontage (Secondary)	30%	100%	
As a percent of frontage (Tertiary)	N/A	N/A	
Note 8			
<b>BUILDING SETBACK FROM STREET LOT LINE</b>			
Primary frontage	0'	10'	10'
Secondary frontage	0'	10'	
tertiary frontage	N/A	N/A	
Note 10			
<b>YARDS</b>			
Side yard (see Note 2)	0 feet or 5 feet if side yard is utilized	1 foot for each floor of building height not to exceed 14 feet	4'
Rear yard	0 feet or 20 feet if floor contains habitable space	None	20'
<b>OTHER STANDARDS</b>			
Landscaped area as a percent of lot	15%	25%	25%
Floor to ceiling height of first story	12 feet	None	9'
Public Access Easement	Note 3	Note 3	
Note 11			

- NOTES:**
- Alleys between buildings created by contiguous side yard setbacks shall be covered at the street frontage by a gate or matching façade so as to maintain street line continuity.
  - A Public Access Easement may be required on any non-residential properties abutting a waterway. From the top of the embankment and for twenty (20) feet inland, a dedicated open space area shall be established.
  - Large parcels with multiple buildings shall maintain street wall along at least 60% of primary street frontage.
  - Can be increased an additional 5' to accommodate outdoor seating for food establishments.
  - Landscaped area requirement may be met with one or more of the following: traditional landscaping (see Section 11-3), green façade, green roof and/or green wall.

# 4 FAMILY APARTMENT

## 223-241 LAUREL AVE. BRIDGEPORT, CT

Designed & Prepared by: NORTH ARROW DESIGN & CONTRACTING™



### SCOPE OF WORK:

NEW CONSTRUCTION OF TWO STORY, 4 FAMILY DWELLING  
 ADDRESS ON STREET AS 223-A & 223-B AND 241-A & 241-B  
 TO BE KNOWN AS "LAUREL AVENUE ASSOCIATION"

1st FLOOR	2,918 s/f
2nd FLOOR	2,598 s/f
<b>TOTAL</b>	<b>5,516 s/f</b>

### CODES:

THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATIONS REFERENCED WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THIS PROJECT. USE THE LATEST EDITIONS UNLESS OTHERWISE NOTED.

- 2018 - BUILDING CODE OF THE STATE OF CONNECTICUT.
- 2015 - IBC, BUILDING OFFICIALS AND CODE ADMINISTRATORS.
- 2015 - IRC

### DRAWING LEGEND:

- A-0 COVER SHEET
- A-1 BASEMENT FLOOR PLAN
- A-2 1st FLOOR PLAN
- A-3 2nd FLOOR PLAN
- A-4 ATTIC FLOOR PLAN
- A-5 SECTION DETAILS
- A-6 ELEVATIONS
  
- F-1 FOUNDATION PLAN
  
- S-1 1st FLOOR FRAMING PLAN
- S-2 2nd FLOOR FRAMING PLAN
- S-3 ATTIC FLOOR FRAMING PLAN
- S-4 ROOF FRAMING PLAN
- S-5 CONSTRUCTION NOTES

Number	Date	Revised By	Description

COVER SHEET

4 FAMILY DWELLING  
 223-241 LAUREL AVE.  
 BRIDGEPORT, CT

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DATE:

6/5/20

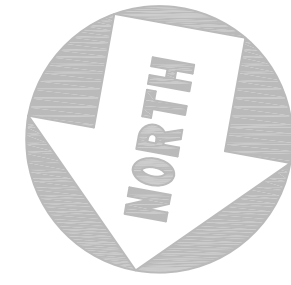
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1/4"=1'-0"

SHEET:

**A-0**





**LEGEND:**

NEW 2X4 & 2X6 WOOD FRAMED WALLS

SYM		DOOR SCHED.	
I.D.	SIZE		QTY.
1	3068	STEEL INS. EXTERIOR	4
2	2668	STEEL INS. EXTERIOR	4
3	2668	STEEL INS. 1 HR. FIRE RATED	8
4	2668	WOOD - INTERIOR	10
5	4068	WOOD BI-FOLD	4
6	5068	WOOD BI-FOLD	4
7	1668	WOOD - INTERIOR	4
8	3068	STEEL INS. 1 HR. FIRE RATED	2

SYM		WINDOW SCHED.	
I.D.	SIZE	TYPE	QTY.
1	32"x16"	AWNING WITH WINDOW WELL	8
2	2030	DBL HUNG	4
3	6046	DBL HUNG - DBL UNIT	4
4	3046	DBL HUNG	14
5	3030	DBL HUNG - TEMPERED	4
6	2020	OCTOGONAL VENT	4

ALL WINDOWS TO BE LOW "E" ARGON GAS FILLED WITH A "U" FACTOR OF NOT LESS THAN 0.29, INSULATED WITH THERMAL-BREAK FRAMES.

ALL WINDOWS SHALL BE EXTERIOR CLAD. SUPPLY SCREENS AS REQUIRED. PROVIDE TEMPERED GLASS WINDOWS AT ALL DOORS, STAIRS, AND TUB/SHOWER LOCATIONS. PROVIDE EGRESS WINDOWS AT ALL BEDROOM LOCATIONS.

THIS IS A PRELIMINARY WINDOW SCHEDULE. ATLANTIC CONSULTING & ENGINEERING DOES NOT TAKE ANY RESPONSIBILITY FOR SIZES, LOCATIONS, FRAMES, ETC. UNTIL ACCURATE DETAILS HAVE BEEN SUBMITTED FOR REVIEW. VERIFICATION OF EXACT WINDOW SIZES, ROUGH OPENINGS, ETC. RESTS SOLELY WITH THE GENERAL CONTRACTOR AND/OR SKY VIEW BUILDERS.

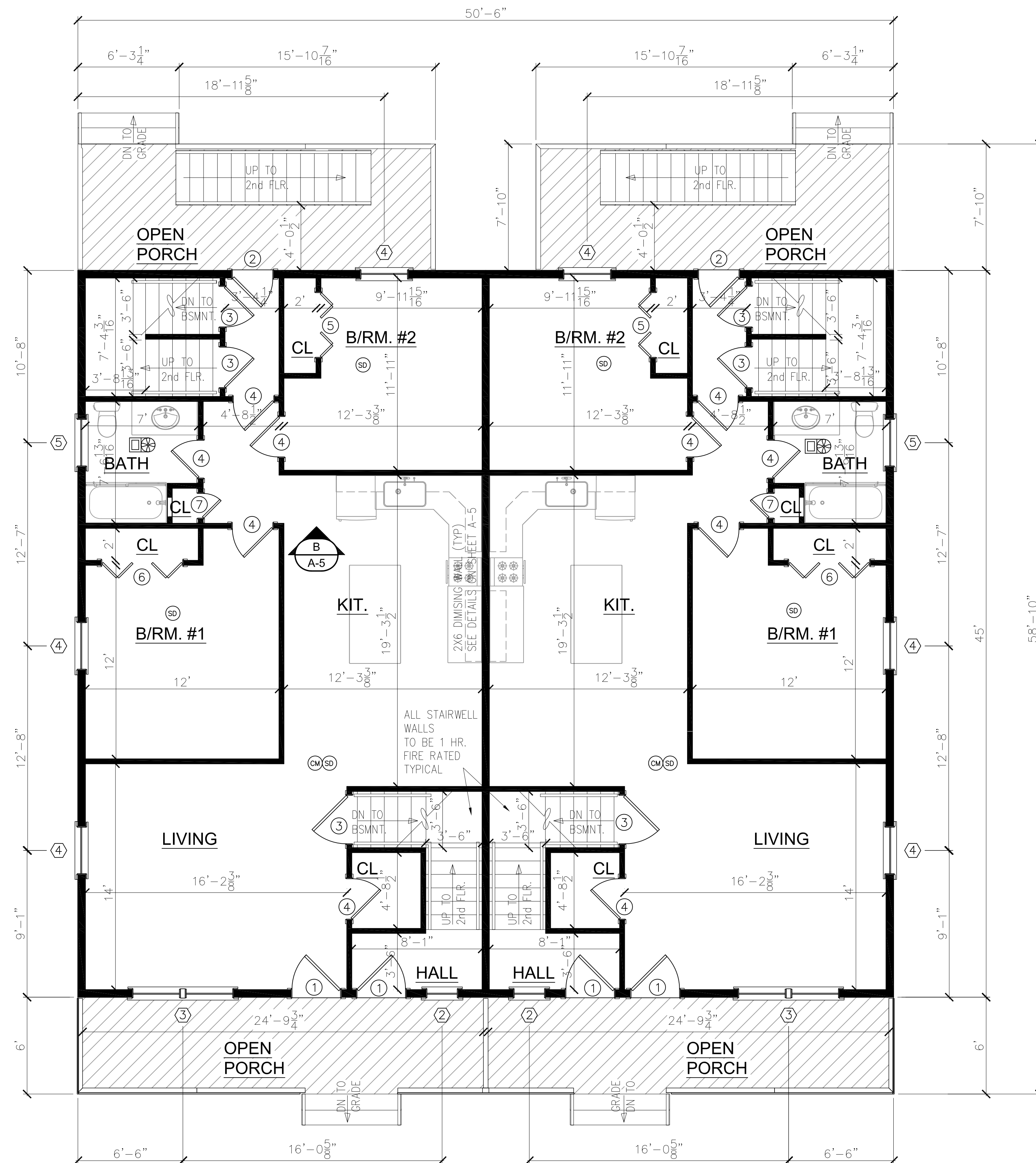
ALL WINDOWS FACING THE WATER TO HAVE HURRICANE SHUTTERS FOR PROTECTION FROM FROM WINDBOURNE DEBRI.

BED ROOMS TO BE EQUIPED WITH ARC-FAULT CIRCUIT INTERRUPT (AFCI) RECEPTACLES

BATH ROOMS TO BE EQUIPED WITH GROUND-FAULT CIRCUIT INTERRUPT (GFCI) RECEPTACLES

AREAS WITHIN 36" OF AN OPEN WATER SOURCE TO BE EQUIPED WITH GROUND-FAULT CIRCUIT INTERRUPT (GFCI) RECEPTACLES

- LIGHT AND EXHAUST FAN (2 SWITCH)
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR



**1st FLOOR PLAN**  
SCALE: 1/4"=1'-0"

Number	Date	Revised By	Description

1st FLOOR PLAN

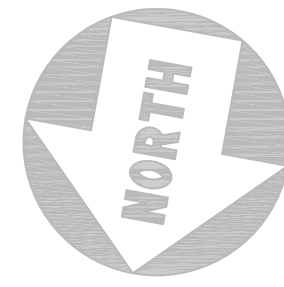
4 FAMILY APARTMENT BLDG.  
223-241 LAUREL AVE.  
BRIDGEPORT, CT

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DATE:  
6/5/20

SCALE:  
1/4"=1'-0"

SHEET:  
A-2



**LEGEND:**

NEW 2X4 & 2X6 WOOD FRAMED WALLS

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I.D.	SIZE		QTY.
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I.D.	SIZE	TYPE	QTY.
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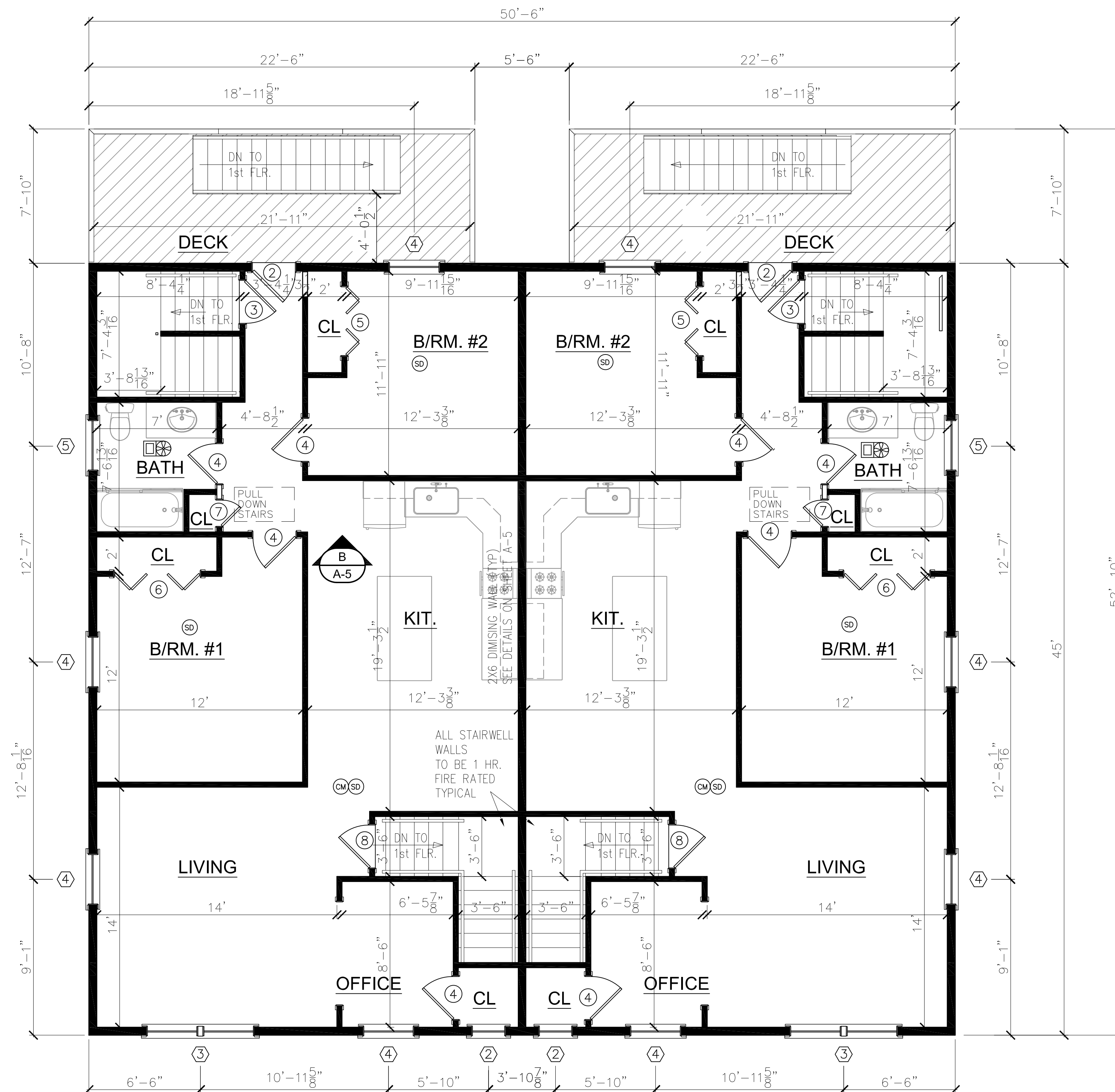
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BATH ROOMS TO BE EQUIPED WITH GROUND-FAULT CIRCUIT INTERRUPT (GDCI) RECEPTACLES

AREAS WITHIN 36" OF AN OPEN WATER SOURCE TO BE EQUIPED WITH GROUND-FAULT CIRCUIT INTERRUPT (GDCI) RECEPTACLES

- LIGHT AND EXHAUST FAN (2 SWITCH)
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR



**2nd FLOOR PLAN**  
SCALE: 1/4"=1'-0"

Number	Date	Revised By	Description

**2nd FLOOR PLAN**

**4 FAMILY APARTMENT BLDG.**  
**223-241 LAUREL AVE.**  
**BRIDGEPORT, CT**

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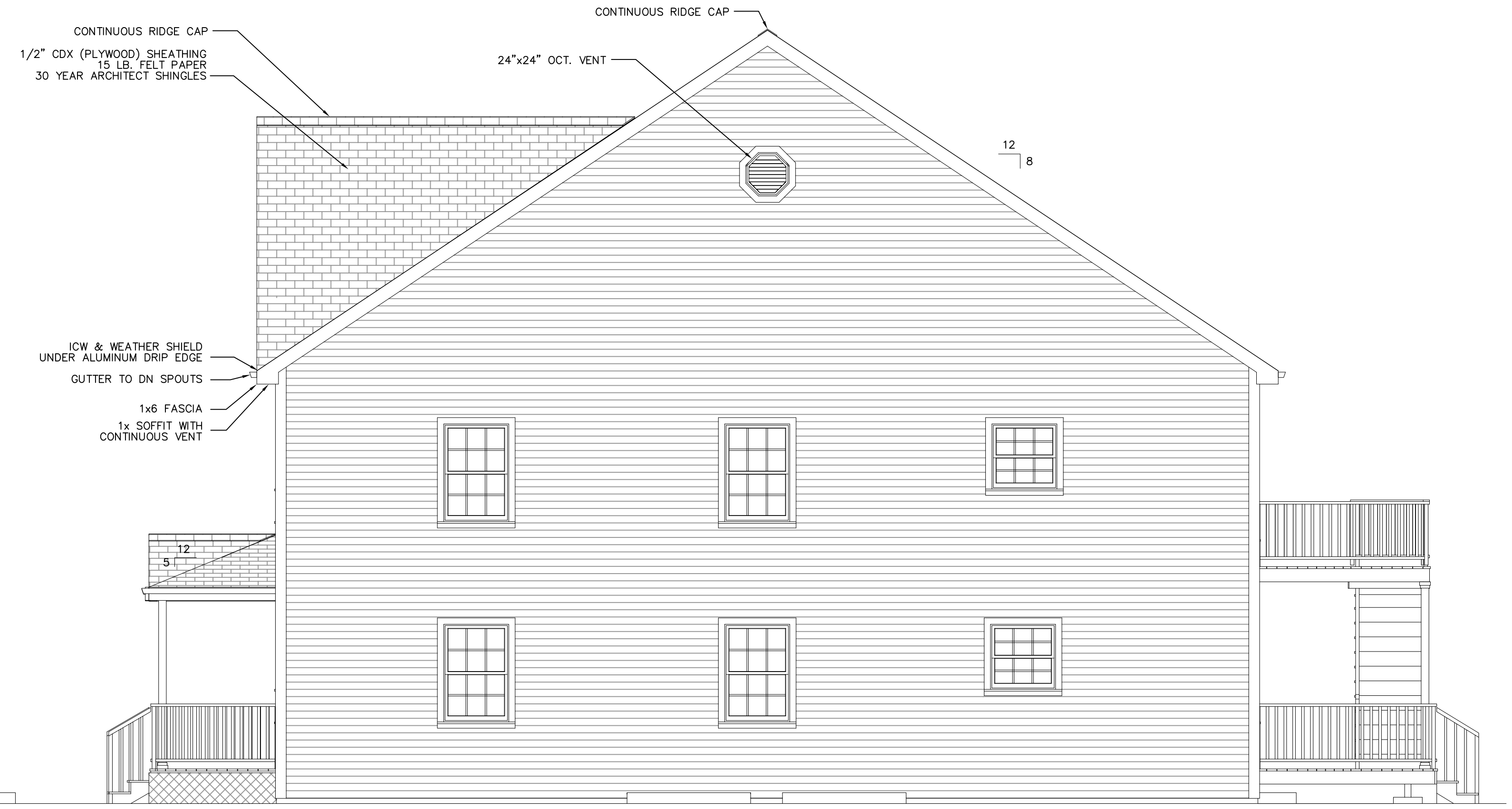
DATE:  
6/5/20

SCALE:  
1/4"=1'-0"

SHEET:  
**A-3**



**FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4"=1'-0"



**REAR ELEVATION**  
SCALE: 1/4"=1'-0"



**LEFT ELEVATION**  
SCALE: 1/4"=1'-0"

Number	Date	Revised By	Description

**ELEVATIONS**

4 FAMILY APARTMENT BLDG.  
223-241 LAUREL AVE.  
BRIDGEPORT, CT

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DATE:  
6/5/20

SCALE:  
1/4"=1'-0"

SHEET:  
**A-6**



### ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

- Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

355 Warren Zone Commercial Retail  
(Number) (Street) (Zone Classification)  
 On the West side of the street about 0 feet south from  
(North, South, East, West) (North, South, East, West)

South Frontage (corner of Warren and South Frontage) Block : 503 Lot: 9A, 10A, 11A  
(Street)  
 Dimension of Lot in Question S. Frontage Road: 150 ft, Warren Street: 212ft, RT25 loop: 114ft + 83ft + 158ft.  
(Specify)

1. NAME OF APPLICANT / BUSINESS Myung Jin Inc & Brewport Brewing Company  
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner/Lessee
3. HAS A PREVIOUS APPLICATION BEEN FILED yes IF SO, GIVE DATE OF HEARING June 9th, 2015  
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT Revised layout with expanded outdoor dining.

5. THIS APPLICATION RELATES TO: Check all that Apply
- Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking
  - Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: Allow outdoor dining using 7 parking spaces.

6. USE TO BE MADE OF PROPERTY Continue use as a Brewpub and restuarant

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)?  
See enclosed approval for variances granted June 9th, 2015 with stated harship


APPLICANT [Signature] Bruce A. Parrott DATE 11-23-20  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / \_\_\_\_\_

Mailing Address 381 Highland Street, West Haven CT 06516  
(Zip Code)

(Email)  
**DEBORAH G. VARGOVCHIK**

(Phone #) NOTARY PUBLIC  
State of Connecticut  
My Comm. Expires February 28, 2025



PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this 23<sup>rd</sup> day of November 20 20  
[Signature] Notary Public in & for the County of Fairfield, State of Connecticut.

#### Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).  
 The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
**The Zoning Board of Appeals** to process this application.  
**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20 \_\_\_\_\_ Clerk \_\_\_\_\_

Brewport Brewing Company  
List of Properties within 100 feet  
of  
355 Warren Street, Bridgeport CT  
Zoning Board of Appeals

State of Connecticut  
Department of Rights of Way  
District 3  
140 Pond Lily Avenue  
New Haven CT 06515  
ATTN: Paul Mozzicato  
Property Maintenance

State of Connecticut  
Department of Rights of Way  
District 3  
140 Pond Lily Avenue  
New Haven CT 06515  
ATTN: Tracy May  
Property Maintenance

Brewport LLC and Myung Jin Inc.  
Request for Site Plan Modification for Expanded Outdoor Dining  
To the Bridgeport zoning board of appeals

Brewport requests approval of a modified site plan for expanded seasonal outdoor dining at our Brewpub. The expansion will use the equivalent of seven parking spaces.

The 16,324 SF Brewpub sits on 1.92 acres of land in the center of the RT25/I95 loop and has functioned as a Brewpub for five years. Brewport was granted variances from the Board of Zoning Appeals on June 9<sup>th</sup>, of 2015 for operation as a Brewpub, with lot Coverage, and Landscaping variances, that included outdoor patio seasonal dining. Brewport was granted a special permit from the Zoning Board on July 27<sup>th</sup> of 2015. This application seeks to expand the existing outdoor seasonal dining area.

Our land sits at the gateway to the New Outdoor Amphitheater and Arena at the bottom I95 exit 27 North, one block from RT25 exit 1 and two blocks from I-95 exit 27 south. Our brew pub serves craft beer brewed on premises and operates as a full-service restaurant specializing in brick over pizza. The expanded outdoor seating will sit directly below the approved outdoor patio dining area under a tent as shown in the enclosed plans and photo.

Brewport holds a 50-year land lease, with 35 years remaining, for the 1.1 acres of state land encircling our parcel. The combined 1.92 acres functions as one parcel with parking for all. Off street parking is also available on Warren street and Myrtle Street.

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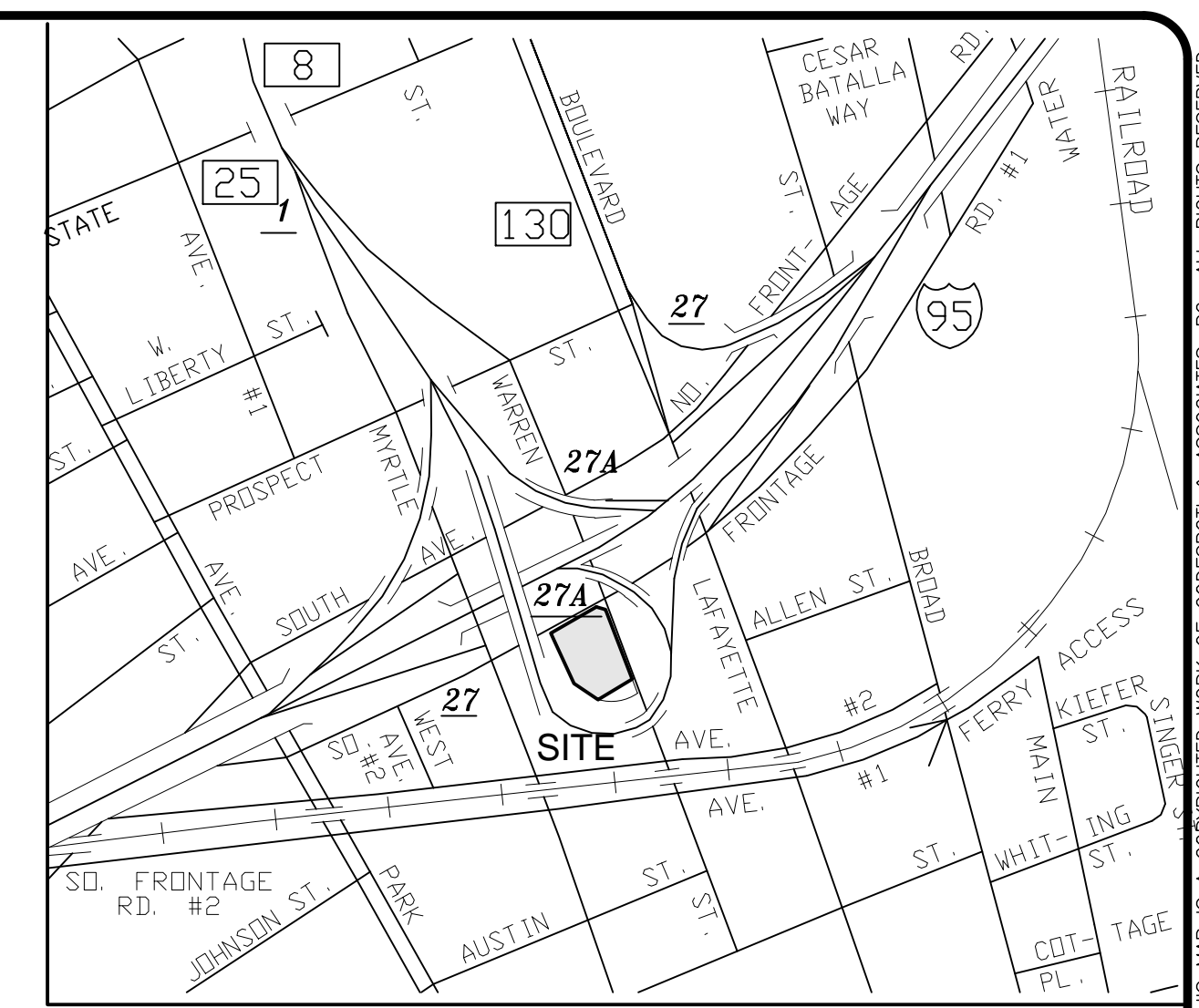
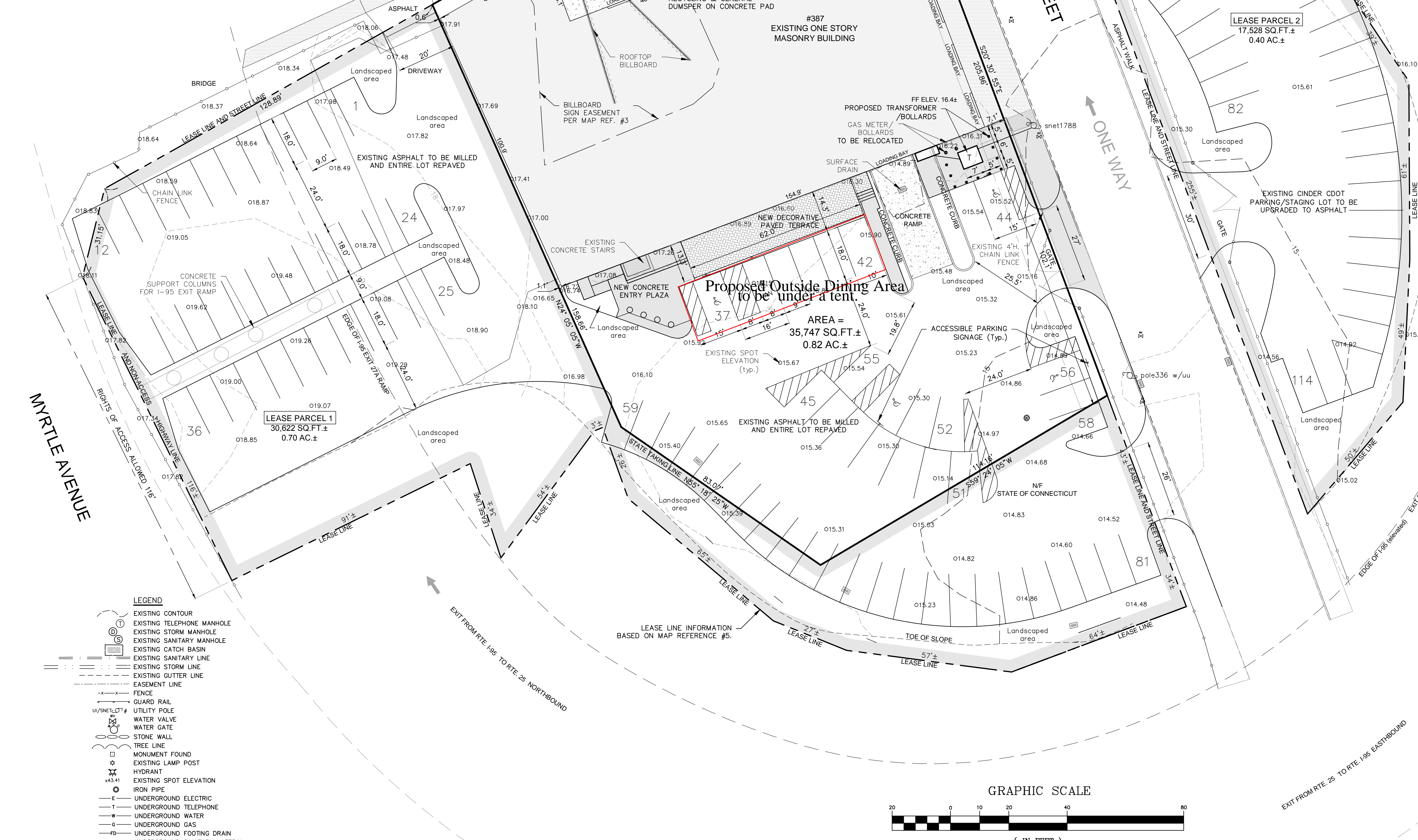
Sincerely,  
Bruce A. Barrett  
President  
Brewport LLC. and Myung Jin Inc

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- THE SUBJECT PARCEL APPEARS TO LIE WITHIN FLOOD ZONE "X" AS DEPICTED ON FEMA'S FLOOD INSURANCE RATE MAP (FIRM), ENTITLED FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS); PANEL NO. 437 OF 635. MAP NO. 08000004370 EFFECTIVE JULY 8, 2013 1"=500'. ANY FLOODPLAIN AND/OR FLOODWAY INFORMATION BY CODESPOTI & ASSOCIATES P.C. DOES NOT WARRANT THE ACCURACY OF THIS INFORMATION, AND MAKES NO REPRESENTATIONS UPON WHICH THE CLIENT SHOULD RELY IN CONNECTION WITH THE FLOOD ZONE OF THE SUBJECT PARCEL OR ANY FEMA FLOODPLAIN AND/OR FLOODWAY INFORMATION DEPICTED HEREON.
- PARCEL ISI SUBJECT TO EASEMENTS/RIGHTS AS FOUND IN VOLUME 3658, PAGE 169 BLR.
- ELEVATIONS ARE BASED ON NAVD 1988 DATUM, GPS DERIVED.
- LEASE AGREEMENT BETWEEN STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION AND MYUNG JIN INC. DECEMBER 5, 2003 RECORDED IN VOLUME 5853, PAGE 178 ON THE BRIDGEPORT LAND RECORDS. STATE LEASE FILE # 015-046-010A



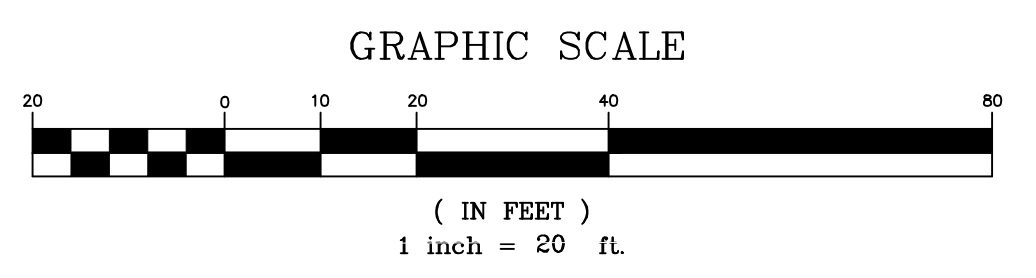
ZONING DATA		ZONE DEVELOPMENT STANDARDS		
	REQ'D/ALLOWED	EXISTING	PROPOSED	
TOTAL SITE AREA	10,000 Sf.	35,747 Sf.	83,897 Sf.*	
MINIMUM FRONTAGE	60 ft.	205.86 ft.	205.86 ft.	
FRONT YARD SETBACK-Min.	10 ft.	7.1/0 ft.	7.1/0 ft.	
	-Max.	30 ft.	n/a	
SIDE YARD/OTHER	n/a	0.6/102.1ft.	0.6/102.1 ft.	
REAR YARD	n/a	n/a	n/a	
PARKING: (See Requirements Below)	113 Spaces	14+	114***	
ACCESSIBLE PARKING (1/25 Spaces)	5	n/a	5	
BLDG. COVERAGE (as a % of lot)*	50%	16,324 sf (45.7%)	45.7%	
SITE COVERAGE (as a % of lot)*	85%	34,913 sf (97.7%)	34,787 sf (97.3%)	
LANDSCAPE AREA (as a % of lot)*	15%	834 sf (2.3%)	960 sf (2.7%)	
BUILDING HEIGHT	35 ft.	16 ft. ±	16 ft. ±	
FLOOR AREA RATIO	1.0	0.46	0.46	
BLDG. COVERAGE (as a % of lot)**	50%	16,324 sf (19.5%)	19.5%	
SITE COVERAGE (as a % of lot)**	85%	37,062 sf (44.2%)	67,027 sf (79.9%)	
LANDSCAPE AREA (as a % of lot)**	15%	n/a	16,870 sf (20.1%)	
BUILDING HEIGHT	35 ft.	16 ft. ±	16 ft. ±	
FLOOR AREA RATIO	1.0	0.195	0.195	

LANDSCAPE AREAS TO BE PLANTED WITH LAWN, SHRUBS AND TREES AS APPROPRIATE AND REQUIRED IN SITE PLAN APPLICATION.  
 \*BASED ON TAX PARCEL 9A, 10A, 11A (PARCELS UNDER OWNERSHIP)  
 \*\*BASED ON TAX PARCEL 9A, 10A, 11A & LEASE PARCELS 1 & 2 (PARCELS UNDER CONTROL)  
 \*\*\* PARKING DISTRIBUTION PER PARCEL: LOTS 9A, 10A & 11A - 45 SPACES (5 HANDICAP ACCESSIBLE)  
 LEASE PARCEL 1 - 36 SPACES  
 LEASE PARCEL 2 - 33 SPACES

**TOTAL PROPOSED:** 114 Spaces  
 REQUIREMENTS: WAREHOUSE USE 3,363 sf (1/2 Space/1000 sf = 0.5 x 3.36 = 5.68 Spaces  
 + 5 Space/employee) = 0.5 x 8 = 4 Spaces  
 RESTAURANT USE 6,468 sf (10 Spaces/1000 sf) = 10 x 6.47 = 64.7 Spaces  
 (INCLUDES SEASONAL PATIO AREA 875 sf)  
 BREWERY (Manufacturer) 3,508 sf (1 Space/1200 sf) = 1 x 3508/1200 = 2.92 Spaces  
 ENTERTAINMENT (Flex. Music) 3,878 sf (10 Spaces/1000 sf) = 10 x 3.88 = 38.9 Spaces

**TOTAL REQUIRED:** 112.2 Spaces

**OWNER OF RECORD: MYUNG JIN LLC**  
 355, 363 & 387 WARREN STREET  
 BRIDGEPORT, CT.  
 (VOL. 4565, PAGE 179 BLR)  
**TOTAL PARCEL AREA: 35,747 SQ.FT. ±**  
 0.82 AC. ±  
 ASSESSORS MAP 28, BLOCK 503, LOTS 9A, 10 A & 11A.  
 PARCEL IS IN ZONE: ORG



BY

REVISIONS

APRIL 29, 2015

THIS MAP IS A COPYRIGHTED WORK OF CODESPOTI & ASSOCIATES, P.C. ALL RIGHTS RESERVED

CODESPOTI & ASSOCIATES P.C.

263 BOSTON POST ROAD, SUITE 5  
 BRIDGEPORT, CONNECTICUT 06617  
 BRIDGEPORT, CONNECTICUT  
 203-799-0011

**SITE DEVELOPMENT PLAN**  
**355, 363 & 387 WARREN STREET**  
**PLUS LEASE LOTS 1 & 2**

PREPARED FOR  
**MYUNG JIN LLC**  
 BRIDGEPORT, CONNECTICUT

**SITE PLAN**  
**BARNUM**  
**BREW PUB**

DWG # 04147  
 CAD FILE 4195  
 CHECKED  
 CAD VER C3D2012  
 DATE 3/12/14  
 SCALE 1" = 20'  
 JOB NO. 4195  
 SHEET

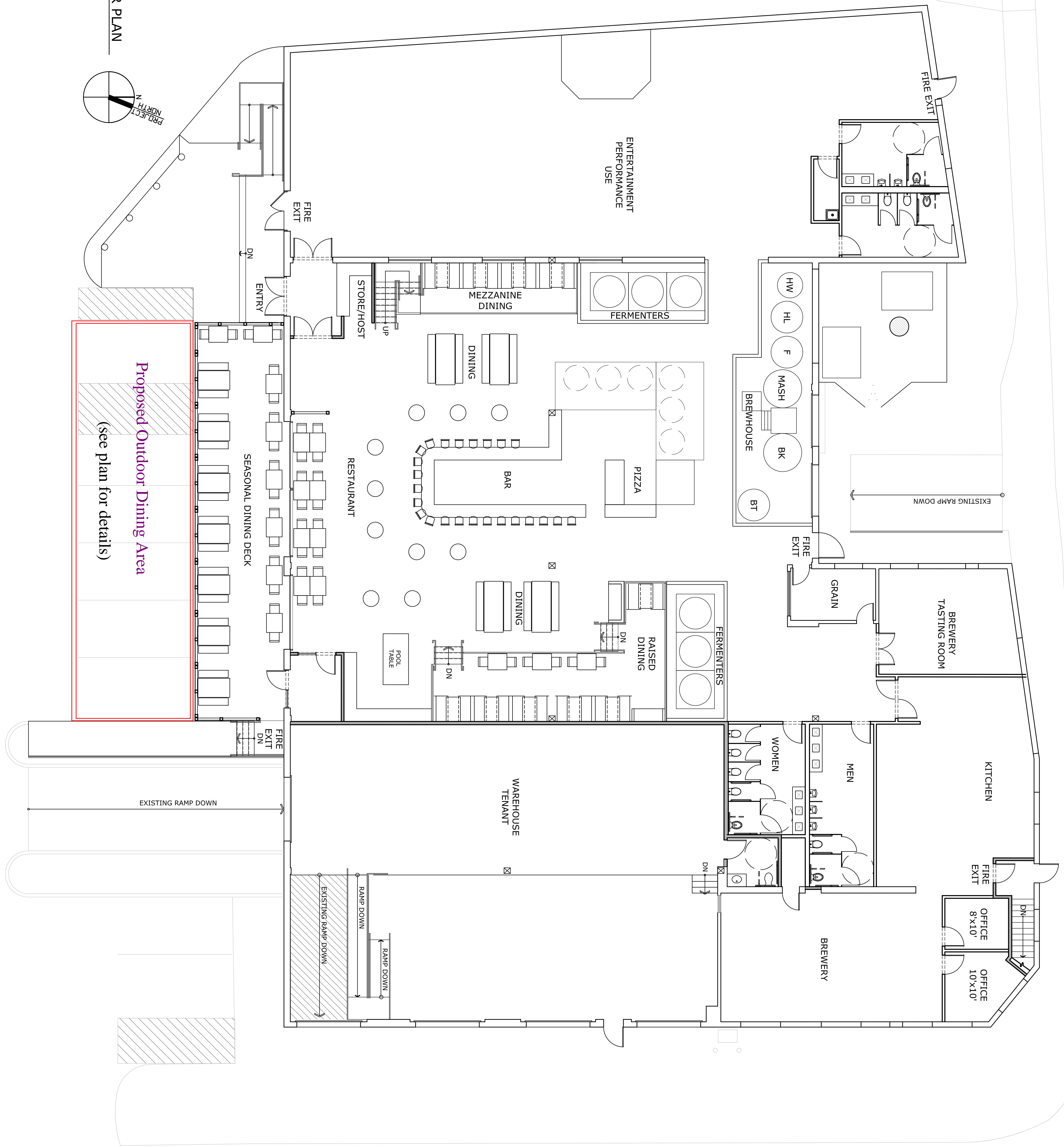
**SP2**

SOUTH FRONTAGE ROAD

WARREN STREET

1 PROPOSED FLOOR PLAN  
A-2.0 1/8" = 1'-0"

Proposed Outdoor Dining Area  
(see plan for details)



**BARNUM  
BREW PUB**  
387 WARREN STREET  
BRIDGEPORT, CT

**GREGG WIES &  
GARDNER  
ARCHITECTS, LLC**  
151 Oak Street | Northford, CT 06457 | 203.465.8971 | 730.448.8802  
www.gwgarchitects.com

CONSULTANTS



JOB NUMBER: 1418.00  
DRAWN BY: APC/CB  
CHECKED BY: SEG  
ISSUE DATE: JUNE 24, 2015  
REVISED:

P&Z SUBMISSION

**A-2.0**

PROPOSED  
PLAN



**BREWPORT  
BREWPUB  
TEMPORARY TENT**

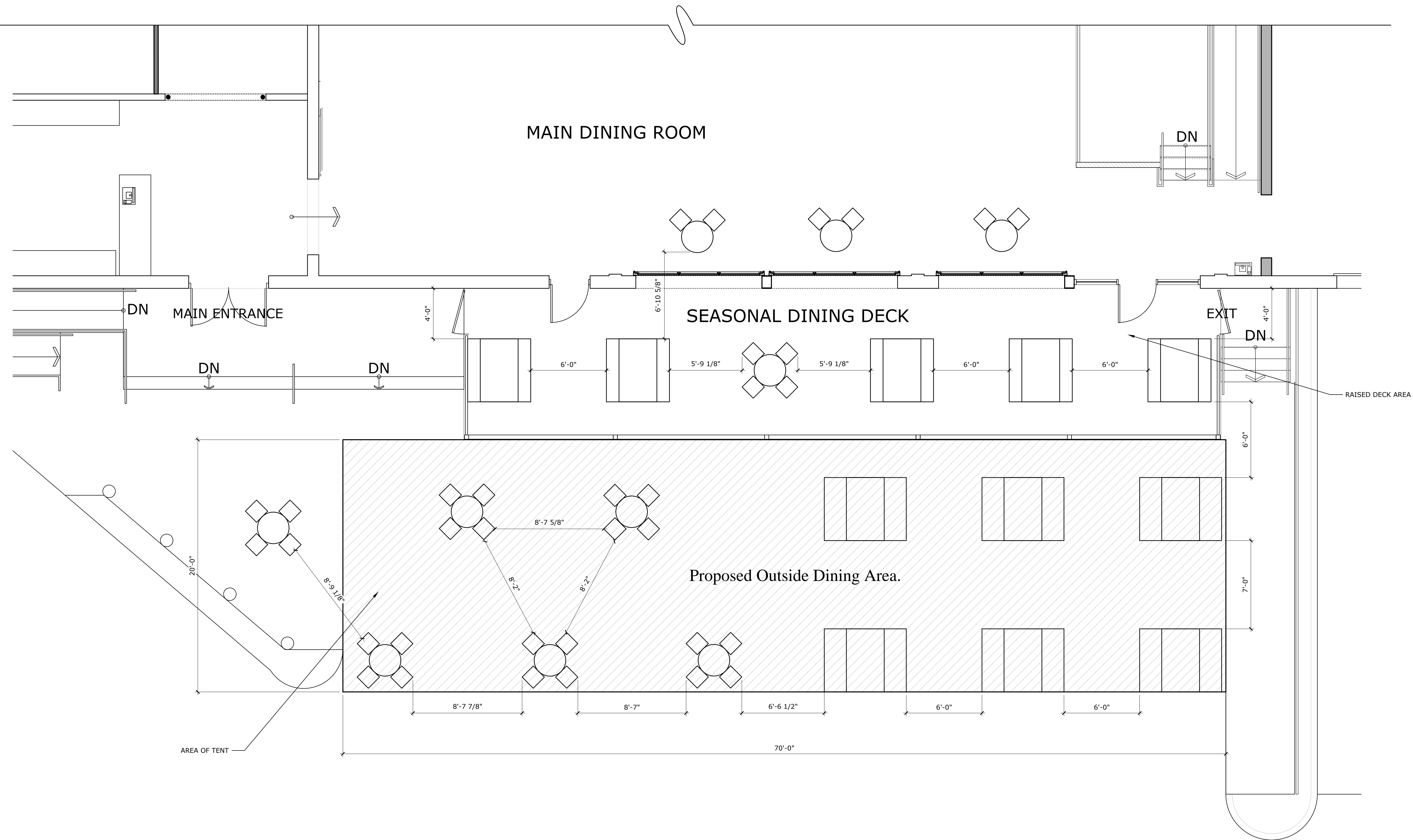
355 WARREN ST,  
BRIDGEPORT, CT

**GREGG WIES &  
GARDNER  
ARCHITECTS, LLC**

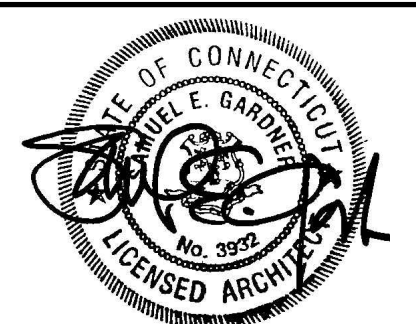
151 East Street | New Haven, CT 06511 | 1.203.468.1967 | 1.203.468.8842  
www.greggarch.com

These drawings and specifications are instruments of professional service and shall remain the property of the architect. These documents cannot be used in whole or in part for any purpose other than as expressly authorized by contract without the specific authorization of the architect.  
© 2019 Gregg Wies & Gardner Architects, LLC

CONSULTANTS



**1** PROPOSED SEATING PLAN @ TEMPORARY OUTDOOR TENT  
ASK-01 1/4" = 1'-0"



JOB NUMBER: 2001.10  
DRAWN BY: MF  
CHECKED BY: SEG  
ISSUE DATE: 05.13.20  
REVISED:

PROPOSED  
SEATING PLAN

**ASK-01**

## **Variations and Hardship Stated and Approved by ZBA June 9th, 2015**

355 Warren Street Bridgeport

(As presented to ZBA on July 27<sup>th</sup>, 2015)

### 1. Brew Pub Use Variance and Hardship

The Bridgeport zoning regulations do not define a "Brew Pub" but list brewing under manufacturing. A brew pub is less intense than a brewery, and we request a use variance of section 6.2.4 and 12-10b to permit in an ORG Zone, the operation of a Brew Pub as defined by Connecticut General Statutes Section 30-16(g). (Enclosed with this application) This definition will allow the applicant to obtain the needed state and federal permits for a brew pub. Without this variance, the Bridgeport zoning regulations cannot be applied in a thoughtful manner.

### 2. Lot Coverage Variance and Hardship

We request a variance of the zoning developmental standards to allow 97.3% site coverage on our parcel where an 85% maximum is allowed. The regulations cannot be strictly applied to a lot encircled by another lot. To make sense, the combined parcels must be considered. When viewed in this way, as a single development, it is clear that the coverage requirements are met.

### 3. Landscaping Variance and Hardship

We request a variance to allow landscaping covering only 2.7% where 15% is required. Again, the existing regulations cannot be strictly applied to a lot encircled by another lot. To make sense, the combined parcels must be considered. When viewed in the way, it is clear the landscaping requirements are met.

VARIANCE

Pursuant to Chapter 124 (PA-75-317) of the General Statutes of the State of Connecticut, notice is hereby given that on 6/9/15 the Zoning Board of Appeals of the City of Bridgeport, CT

granted  granted conditionally a variance for property located at \_\_\_\_\_  
387, 355 (aka 335), 363 Warren Street

DESCRIPTION OF PROPERTY (lot size) \_\_\_\_\_  
South Frontage Road: 150ft, Warren Street: 212ft, RT25: 114ft +83ft  
+ 158ft

Property owned by Myung Jin, Inc. Bruce A. Barrett, President

NATURE OF VARIANCE: Variances of Sec 6.2.4 and 12-10b to permit in an ORG Zone, the operation of a Brew Pub as defined by CTGS Sec 30-16(g), a liquor permit within 1500' of other liquor outlets, a patio liquor permit for seasonal dining, 97.3% site coverage where 85% is allowed, and 2.7% landscaping when 15% is required. ZONING REGULATIONS - CITY OF BRIDGEPORT, CONNECTICUT

Section 6-1-2 Section \_\_\_\_\_  
Section 6-1-3 Section \_\_\_\_\_  
Section \_\_\_\_\_ Section \_\_\_\_\_

USE PERMITTED Re-use of existing 16,324 sf light industrial building for mixed uses including: restaurant/bar; brewpub; entertainment venue; newspaper distributor tenant; and existing billboard

Dated and Certified in Bridgeport, Connecticut this 20th day of June, 2015  
By [Signature]  
RECEIVED FOR RECORD  
Jun 29 2015 02:19:29P  
ALMA L. MAYA  
TOWN CLERK  
BRIDGEPORT, CT  
Chairman \_\_\_\_\_ Clerk [Signature] Zoning Enforcement Officer \_\_\_\_\_



*City of Bridgeport*  
**Zoning Department**  
**PLANNING AND ECONOMIC DEVELOPMENT**

45 Lyon Terrace • Bridgeport, Connecticut 06604  
Telephone (203) 576-7217  
Fax (203) 576-7213

July 28, 2015

**MYUNG JIN, INC**  
C/O BRUCE A. BARRETT, PRESIDENT  
381 HIGHLAND STREET  
WEST HAVEN, CT 06516  
OUR FILE (15-46)

**RE: 355, 363 & 387 WARREN STREET** – Seeking a special permit and a site plan review to permit the establishment of a restaurant and brew pub with a full-service liquor permit, live music entertainment and a dining patio in a portion of the existing industrial building containing a newspaper distribution service in an OR-G zone.

Dear Mr. Barrett:

At a public hearing held on Monday, July 27, 2015 the Planning and Zoning Commission decided the following regarding the above referenced matter:

**DECISION:** Approved with Conditions

**CONDITIONS:**

1. The development is to be in compliance with the Engineering, Fire Marshall and WPCA recommendations.
2. The site lighting scheme should be adequate for patron safety.
3. The perimeter and site landscaping is to be compatible with the proposed "Industrial Steam" Brew Pub theme.

**REASONS:**

1. The project is compatible with the Master Plan of Conservation & Development.
2. The project is a good reuse of an existing industrial building.
3. There is no adverse impact.

**The expiration date of the Special Permit approval as required under Sec. 14-4-5 of the Zoning Regulations of the City of Bridgeport, CT has been established as August 3, 2016.**

If you have any questions regarding the above matter, please call the Zoning Office at 203-576-7217.



### ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

- Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

355 Warren Zone Commercial Retail  
(Number) (Street) (Zone Classification)  
 On the West side of the street about 0 feet south from  
(North, South, East, West) (North, South, East, West)

South Frontage (corner of Warren and South Frontage) Block : 503 Lot: 9A, 10A, 11A  
(Street)  
 Dimension of Lot in Question S. Frontage Road: 150 ft, Warren Street: 212ft, RT25 loop: 114ft + 83ft + 158ft.  
(Specify)

1. NAME OF APPLICANT / BUSINESS Myung Jin Inc & Brewport Brewing Company  
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner/Lessee
3. HAS A PREVIOUS APPLICATION BEEN FILED? yes IF SO, GIVE DATE OF HEARING June 9th, 2015  
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT Revised layout with expanded outdoor dining.

5. THIS APPLICATION RELATES TO: Check all that Apply
- Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking
  - Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: Allow outdoor dining using 7 parking spaces.

6. USE TO BE MADE OF PROPERTY Continue use as a Brewpub and restuarant

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)?  
See enclosed approval for variances granted June 9th, 2015 with stated harship

APPLICANT [Signature] Bruce A. Parrott DATE 11-23-20  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / \_\_\_\_\_

Mailing Address 381 Highland Street, West Haven CT 06516  
(Zip Code)

(Email)  
**DEBORAH G. VARGOVCHIK**  
(Phone #) NOTARY PUBLIC  
 State of Connecticut  
 My Comm. Expires February 28, 2025

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_  
(If other than owner) (Signature) (Print)

Subscribe & Sworn to before me this 23<sup>rd</sup> day of November 20 20  
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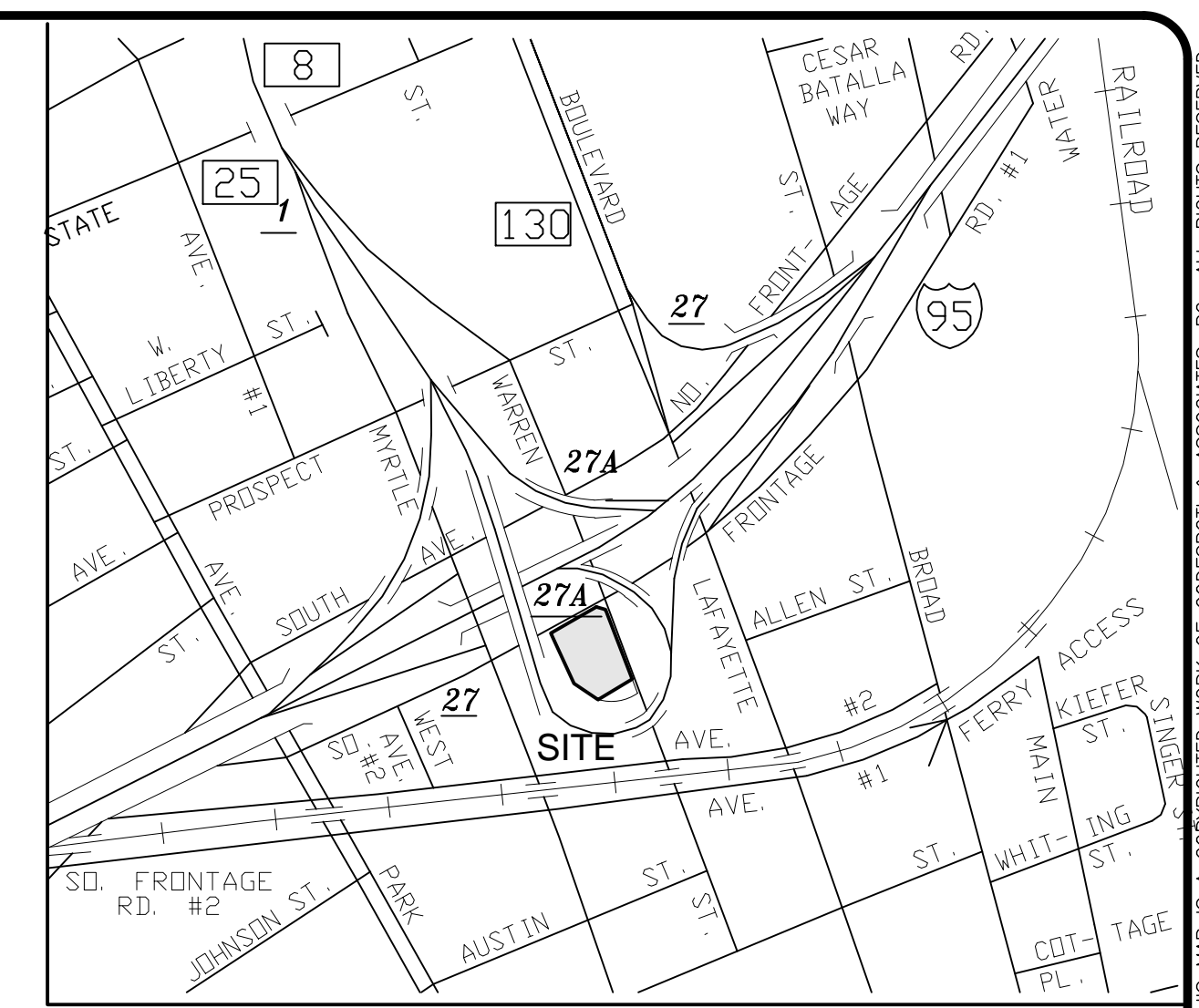
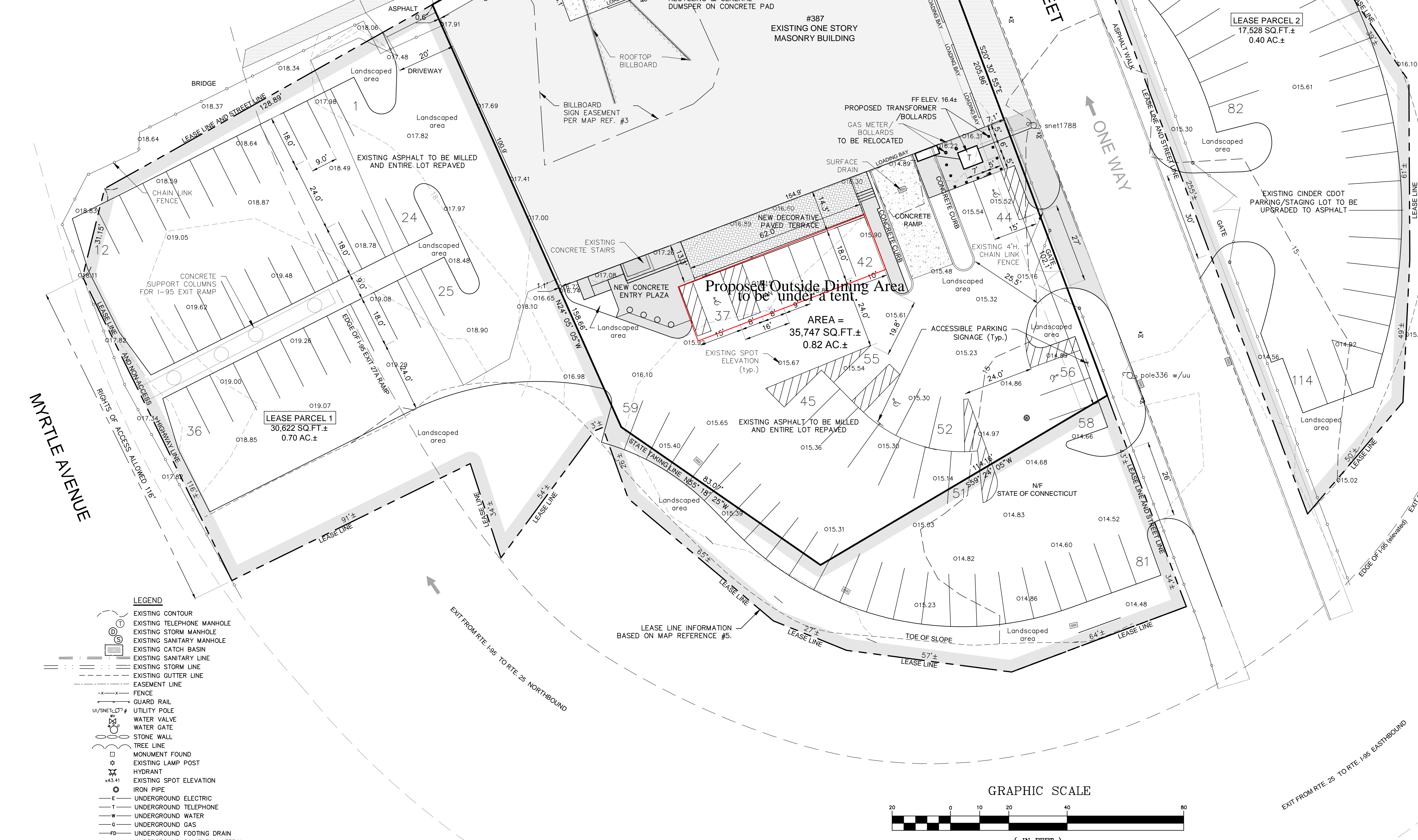
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- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO US. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
- THIS SURVEY SHALL NOT BE USED WITH AN AFFIDAVIT OR LETTER OF ANY KIND FOR REUSE INCLUDING, BUT NOT LIMITED TO, FUTURE CLOSINGS, PLOT PLANS, CONSTRUCTION, LANDSCAPING, PERMITTING, ETC.. IT IS A VIOLATION OF THE FEDERAL COPYRIGHT ACT TO COPY OR MODIFY AND REUSE THIS SURVEY BEYOND THE DATE AND SCOPE NOTED HEREIN. CODESPOTI & ASSOCIATES, P.C., AND/OR ITS AGENTS SHALL NOT BE LIABLE FOR USE OF THIS SURVEY BY ANY OTHER ENTITIES OR PERSONS FOR ANY PURPOSE BEYOND THE DATE & SCOPE.
- THE SUBJECT PARCEL APPEARS TO LIE WITHIN FLOOD ZONE "X" AS DEPICTED ON FEMA'S FLOOD INSURANCE RATE MAP (FIRM), ENTITLED FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS); PANEL NO. 437 OF 635. MAP NO. 0800040370 EFFECTIVE JULY 8, 2013 1"=500'. ANY FLOOD PLAIN AND/OR FLOODWAY INFORMATION BY CODESPOTI & ASSOCIATES P.C. DOES NOT WARRANT THE ACCURACY OF THIS INFORMATION, AND MAKES NO REPRESENTATIONS UPON WHICH THE CLIENT SHOULD RELY IN CONNECTION WITH THE FLOOD ZONE OF THE SUBJECT PARCEL OR ANY FEMA FLOODPLAIN AND/OR FLOODWAY INFORMATION DEPICTED HEREON.
- PARCEL ISI SUBJECT TO EASEMENTS/RIGHTS AS FOUND IN VOLUME 3658, PAGE 169 BLR.
- ELEVATIONS ARE BASED ON NAVD 1988 DATUM, GPS DERIVED.
- LEASE AGREEMENT BETWEEN STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION AND MYUNG JIN INC. DECEMBER 5, 2003 RECORDED IN VOLUME 5853, PAGE 178 ON THE BRIDGEPORT LAND RECORDS. STATE LEASE FILE # 015-046-010A



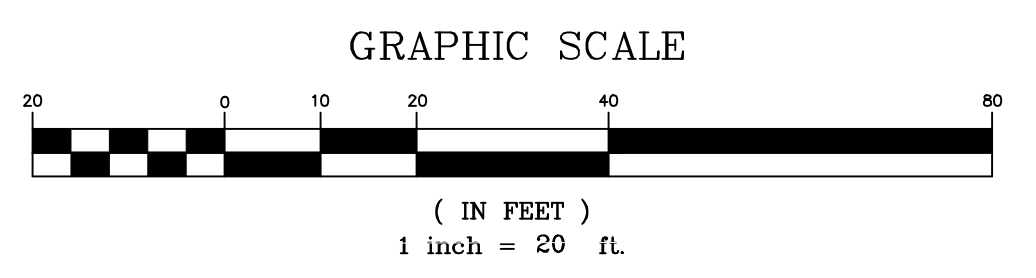
ZONING DATA		ZONE DEVELOPMENT STANDARDS		
	REQ'D/ALLOWED	EXISTING	PROPOSED	
TOTAL SITE AREA	10,000 Sf.	35,747 Sf.	83,897 Sf.*	
MINIMUM FRONTAGE	60 ft.	205.86 ft.	205.86 ft.	
FRONT YARD SETBACK-Min.	10 ft.	7.1/0 ft.	7.1/0 ft.	
	-Max.	30 ft.	n/a	
SIDE YARD/OTHER	n/a	0.6/102.1ft.	0.6/102.1 ft.	
REAR YARD	n/a	n/a	n/a	
PARKING: (See Requirements Below)	113 Spaces	14+	114***	
ACCESSIBLE PARKING (1/25 Spaces)	5	n/a	5	
BLDG. COVERAGE (as a % of lot)*	50%	16,324 sf (45.7%)	45.7%	
SITE COVERAGE (as a % of lot)*	85%	34,913 sf (97.7%)	34,787 sf (97.3%)	
LANDSCAPE AREA (as a % of lot)*	15%	834 sf (2.3%)	960 sf (2.7%)	
BUILDING HEIGHT	35 ft.	16 ft. ±	16 ft. ±	
FLOOR AREA RATIO	1.0	0.46	0.46	
BLDG. COVERAGE (as a % of lot)**	50%	16,324 sf (19.5%)	19.5%	
SITE COVERAGE (as a % of lot)**	85%	37,062 sf (44.2%)	67,027 sf (79.9%)	
LANDSCAPE AREA (as a % of lot)**	15%	n/a	16,870 sf (20.1%)	
BUILDING HEIGHT	35 ft.	16 ft. ±	16 ft. ±	
FLOOR AREA RATIO	1.0	0.195	0.195	

LANDSCAPE AREAS TO BE PLANTED WITH LAWN, SHRUBS AND TREES AS APPROPRIATE AND REQUIRED IN SITE PLAN APPLICATION.  
 \*BASED ON TAX PARCEL 9A, 10A, 11A (PARCELS UNDER OWNERSHIP)  
 \*\*BASED ON TAX PARCEL 9A, 10A, 11A & LEASE PARCELS 1 & 2 (PARCELS UNDER CONTROL)  
 \*\*\* PARKING DISTRIBUTION PER PARCEL: LOTS 9A, 10A & 11A - 45 SPACES (5 HANDICAP ACCESSIBLE)  
 LEASE PARCEL 1 - 36 SPACES  
 LEASE PARCEL 2 - 33 SPACES

**TOTAL PROPOSED:** 114 Spaces  
 REQUIREMENTS: WAREHOUSE USE 3,363 sf (1/2 Space/1000 sf = 0.5 x 3.36 = 5.68 Spaces  
 + 5 Space/employee) = 0.5 x 8 = 4 Spaces  
 RESTAURANT USE 4,668 sf (10 Spaces/1000 sf) = 10 x 6.47 = 64.7 Spaces  
 (INCLUDES SEASONAL PATIO AREA 875 sf)  
 BREWERY (Manufacturer) 3,508 sf (1 Space/1200 sf) = 1 x 3508/1200 = 2.92 Spaces  
 ENTERTAINMENT (Flex. Music) 3,878 sf (10 Spaces/1000 sf) = 10 x 3.88 = 38.9 Spaces

**TOTAL REQUIRED:** 112.2 Spaces

**OWNER OF RECORD: MYUNG JIN LLC**  
 355, 363 & 387 WARREN STREET  
 BRIDGEPORT, CT.  
 (VOL. 4565, PAGE 179 BLR)  
**TOTAL PARCEL AREA: 35,747 SQ.FT. ±**  
 0.82 AC. ±  
 ASSESSORS MAP 28, BLOCK 503, LOTS 9A, 10 A & 11A.  
 PARCEL IS IN ZONE: ORG



BY \_\_\_\_\_  
 APRIL 29, 2015  
**REVISIONS**  
 THIS MAP IS A COPYRIGHTED WORK OF CODESPOTI & ASSOCIATES, P.C. ALL RIGHTS RESERVED.

**CODESPOTI & ASSOCIATES P.C.**  
 263 BOSTON POST ROAD, SUITE 5  
 BRIDGEPORT, CONNECTICUT 06617  
 BRIDGEPORT, CONNECTICUT  
 203-799-0011  
 203-799-0011

**SITE DEVELOPMENT PLAN**  
**355, 363 & 387 WARREN STREET**  
**PLUS LEASE LOTS 1 & 2**  
 PREPARED FOR  
**MYUNG JIN LLC**  
 BRIDGEPORT, CONNECTICUT

**SITE PLAN**  
**BARNUM**  
**BREW PUB**

DWG # 04147  
 CAD FILE 4195  
 CHECKED CAD VER C3D2012  
 DATE 3/12/14  
 SCALE 1" = 20'  
 JOB NO. 4195  
 SHEET  
**SP2**

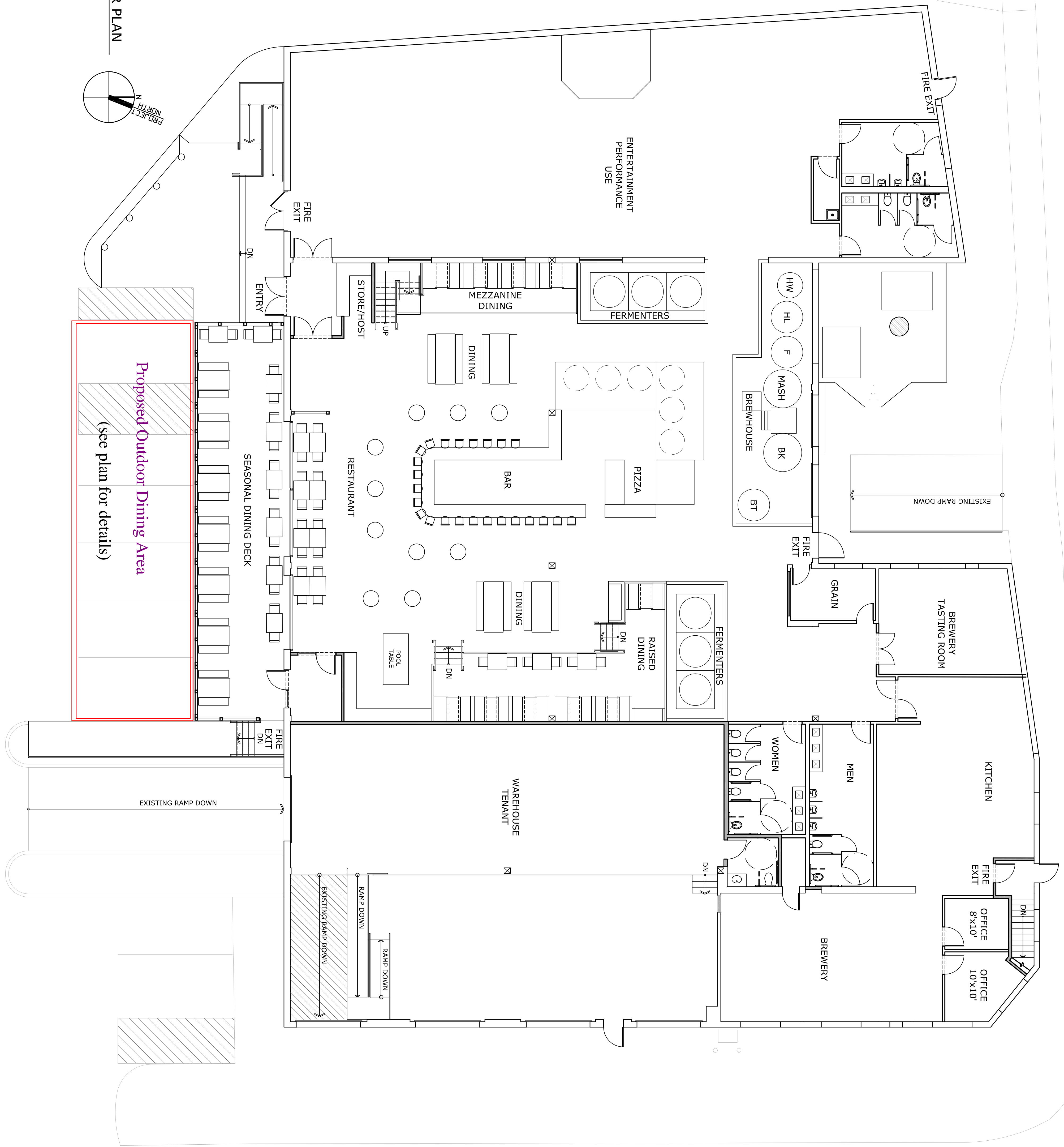


SOUTH FRONTAGE ROAD

WARREN STREET

1 PROPOSED FLOOR PLAN  
A-2.0 1/8" = 1'-0"

Proposed Outdoor Dining Area  
(see plan for details)



**BARNUM  
BREW PUB**  
387 WARREN STREET  
BRIDGEPORT, CT

**GREGG WIES &  
GARDNER  
ARCHITECTS, LLC**  
151 Oak Street | Northford, CT 06457 | 203.463.8971 | 730.448.8802  
www.gwgarchitects.com

CONSULTANTS



JOB NUMBER: 1418.00  
DRAWN BY: APC/CB  
CHECKED BY: SEG  
ISSUE DATE: JUNE 24, 2015  
REVISED:

P&Z SUBMISSION

**A-2.0**

PROPOSED  
PLAN

**BREWPORT  
BREW PUB  
TEMPORARY TENT**

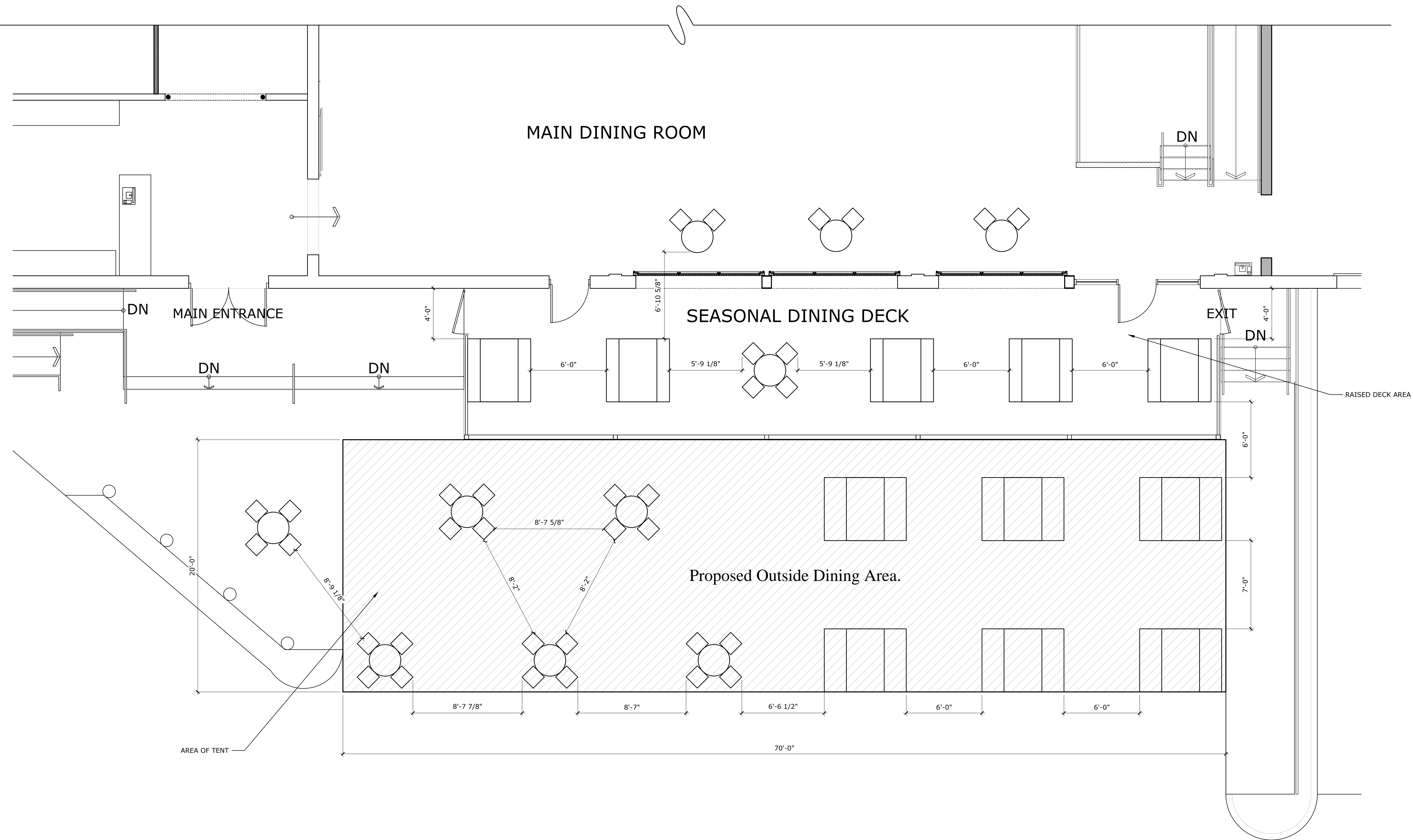
355 WARREN ST,  
BRIDGEPORT, CT

**GREGG WIES &  
GARDNER  
ARCHITECTS, LLC**

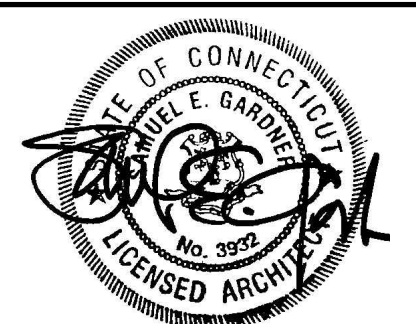
151 East Street | New Haven, CT 06511 | 1.203.468.1967 | 1.203.468.8842  
www.greggarch.com

These drawings and specifications are instruments of professional service and shall remain the property of the architect. These documents cannot be used in whole or in part for any purpose other than as expressly authorized by contract without the specific authorization of the architect.  
© 2019 Gregg Wies & Gardner Architects, LLC

CONSULTANTS



1 PROPOSED SEATING PLAN @ TEMPORARY OUTDOOR TENT  
ASK-01 1/4" = 1'-0"



JOB NUMBER: 2001.10  
DRAWN BY: MF  
CHECKED BY: SEG  
ISSUE DATE: 05.13.20  
REVISED:

PROPOSED  
SEATING PLAN

**ASK-01**

## **Variations and Hardship Stated and Approved by ZBA June 9th, 2015**

355 Warren Street Bridgeport

(As presented to ZBA on July 27<sup>th</sup>, 2015)

### 1. Brew Pub Use Variance and Hardship

The Bridgeport zoning regulations do not define a "Brew Pub" but list brewing under manufacturing. A brew pub is less intense than a brewery, and we request a use variance of section 6.2.4 and 12-10b to permit in an ORG Zone, the operation of a Brew Pub as defined by Connecticut General Statutes Section 30-16(g). (Enclosed with this application) This definition will allow the applicant to obtain the needed state and federal permits for a brew pub. Without this variance, the Bridgeport zoning regulations cannot be applied in a thoughtful manner.

### 2. Lot Coverage Variance and Hardship

We request a variance of the zoning developmental standards to allow 97.3% site coverage on our parcel where an 85% maximum is allowed. The regulations cannot be strictly applied to a lot encircled by another lot. To make sense, the combined parcels must be considered. When viewed in this way, as a single development, it is clear that the coverage requirements are met.

### 3. Landscaping Variance and Hardship

We request a variance to allow landscaping covering only 2.7% where 15% is required. Again, the existing regulations cannot be strictly applied to a lot encircled by another lot. To make sense, the combined parcels must be considered. When viewed in the way, it is clear the landscaping requirements are met.

VARIANCE

Pursuant to Chapter 124 (PA-75-317) of the General Statutes of the State of Connecticut, notice is hereby given that on 6/9/15 the Zoning Board of Appeals of the City of Bridgeport, CT

granted  granted conditionally a variance for property located at \_\_\_\_\_  
387, 355 (aka 335), 363 Warren Street

DESCRIPTION OF PROPERTY (lot size) \_\_\_\_\_  
South Frontage Road: 150ft, Warren Street: 212ft, RT25: 114ft +83ft  
+ 158ft

Property owned by Myung Jin, Inc. Bruce A. Barrett, President

NATURE OF VARIANCE: Variances of Sec 6.2.4 and 12-10b to permit in an ORG Zone, the operation of a Brew Pub as defined by CTGS Sec 30-16(g), a liquor permit within 1500' of other liquor outlets, a patio liquor permit for seasonal dining, 97.3% site coverage where 85% is allowed, and 2.7% landscaping when 15% is required.

ZONING REGULATIONS - CITY OF BRIDGEPORT, CONNECTICUT

Section 6-1-2 Section \_\_\_\_\_  
Section 6-1-3 Section \_\_\_\_\_  
Section \_\_\_\_\_ Section \_\_\_\_\_

USE PERMITTED Re-use of existing 16,324 sf light industrial building for mixed uses including: restaurant/bar; brewpub; entertainment venue; newspaper distributor tenant; and existing billboard

Dated and Certified in Bridgeport, Connecticut this 20th day of June, 2015  
By [Signature]  
RECEIVED FOR RECORD  
Jun 29 2015 02:19:29P  
ALMA L. MAYA  
TOWN CLERK  
BRIDGEPORT, CT  
Chairman \_\_\_\_\_ Clerk [Signature] Zoning Enforcement Officer \_\_\_\_\_

NOTE: This Variance needs to be filed in the Town Clerk's Office with proof shown to the Zoning Department via copy of your receipt. This is not a Building Permit. Other approvals or permits should be sought from the proper authorities/departments.



*City of Bridgeport*  
**Zoning Department**  
**PLANNING AND ECONOMIC DEVELOPMENT**

45 Lyon Terrace • Bridgeport, Connecticut 06604  
Telephone (203) 576-7217  
Fax (203) 576-7213

July 28, 2015

**MYUNG JIN, INC**  
C/O BRUCE A. BARRETT, PRESIDENT  
381 HIGHLAND STREET  
WEST HAVEN, CT 06516  
OUR FILE (15-46)

**RE: 355, 363 & 387 WARREN STREET** – Seeking a special permit and a site plan review to permit the establishment of a restaurant and brew pub with a full-service liquor permit, live music entertainment and a dining patio in a portion of the existing industrial building containing a newspaper distribution service in an OR-G zone.

Dear Mr. Barrett:

At a public hearing held on Monday, July 27, 2015 the Planning and Zoning Commission decided the following regarding the above referenced matter:

**DECISION:** Approved with Conditions

**CONDITIONS:**

1. The development is to be in compliance with the Engineering, Fire Marshall and WPCA recommendations.
2. The site lighting scheme should be adequate for patron safety.
3. The perimeter and site landscaping is to be compatible with the proposed "Industrial Steam" Brew Pub theme.

**REASONS:**

1. The project is compatible with the Master Plan of Conservation & Development.
2. The project is a good reuse of an existing industrial building.
3. There is no adverse impact.

**The expiration date of the Special Permit approval as required under Sec. 14-4-5 of the Zoning Regulations of the City of Bridgeport, CT has been established as August 3, 2016.**

If you have any questions regarding the above matter, please call the Zoning Office at 203-576-7217.



**ZONING BOARD OF APPEALS APPLICATION**

JAN 13 '21 AM 11:00

The undersigned presents the following application for:  
(Check all that Apply)

- Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development
- Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

710 CINDLEY ST  
(Number) (Street) Zone 1L1  
(Zone Classification)  
 On the NORTH side of the street about 1156 feet NORTH from  
(North, South, East, West) (North, South, East, West)  
CAPITOL AVE  
(Street) Block: 2129 Lot: 11A  
 Dimension of Lot in Question 170' x 134' x 60'  
(Specify)

1. NAME OF APPLICANT / BUSINESS KJJ CARS & SERVICE, LLC  
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) OWNER  
(Print)
3. HAS A PREVIOUS APPLICATION BEEN FILED? YES IF SO, GIVE DATE OF HEARING 2012  
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT NO CHANGES

5. THIS APPLICATION RELATES TO: Check all that Apply
- Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking
  - Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management
  - Approval  Liquor  Use  Other: OBTAINING A USED CAR DEALER LICENSE
6. USE TO BE MADE OF PROPERTY AUTO SALES AND REPAIR GARAGE

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? LOCATION WAS PREVIOUSLY APPROVED FOR A USED CAR DEALER LICENSE.

APPLICANT [Signature] Kensy Jean Jules DATE 12/21/2020  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) 1

Mailing Address 64 Livingston Place, Bridgeport, CT 06610 (Email) (903) 339-5616  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_  
(If other than owner) (Signature) (Print)

Subscribe & Sworn to before me this 21st day of December 2020  
 Notary Public in & for the County of Fairfield, State of Connecticut



**DAN VENTURA**  
 NOTARY PUBLIC  
 State of Connecticut  
 My Commission Expires  
 June 30, 2024

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**  
 All questions must be answered in detail (use separate sheet if necessary). The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.  
 NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.  
 PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
 (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: 305 DATE: 1/13 2021 Clerk [Signature]

KENSY JEAN JULES

2017 -2020 OWNER OF GUARANTEE AUTO GROUP, LLC , 60 ASBURY RD SUITE 385, HACKETTSTOWN,NJ.

INVOLVED IN PURCHASING USED AUTOS AT CONNECTICUT AUCTIONS AND SHIPPING TO NEW JERSEY FOR EVENTUAL SALE.

THE DESIRE TO OPEN THE USED CAR DEALERSHIP ON 710 LINDLEY ST IN BRIDGEPORT IS TO CONSOLIDATE AND GROW MY USED CAR BUSINESS AT THIS LOCATION.

I HAVE DEEP ROOTS IN THE CITY OF BRIDGEPORT WHERE I HAVE LIVED FOR 15 YEARS WITH MY WIFE AND THREE CHILDREN. MY CHILDREN ARE STUDENTS AT LOCAL PUBLIC SCHOOLS IN BRIDGEPORT.

I PURCHASED MY CURRENT HOME AT 64 LIVINGSTON PL , BRIDGEPORT IN 2014. IN 2016, I PURCHASED AN INVESTMENT PROPERTY LOCATED AT 1891 EAST MAIN ST, BRIDGEPORT. AND IN 2019, I PURCHASED THE PROPERTY AT 710 LINDLEY ST , BRIDGEPORT UNDER THE NAME , KJJ CARS & SERVICE, LLC FOR THE PURPOSE OF EVENTUALLY OPENING MY OWN USED CAR SALES AND REPAIR CENTER UNDER THE SAME NAME KJJ CARS AND SERVICE, LLC.

PLEASE GIVE FAVORABLE CONSIDERATION TO MY APPLICATION FOR A USED CAR DEALER LICENSE. THIS IS A REQUEST BY A LONG TIME BRIDGEPORT RESIDENT WHO WANTS TO INVEST IN A NEW BUSINESS IN BRIDGEPORT TO PROVIDE OPPORTUNITIES FOR MYSELF AND ADDITIONAL LOCAL EMPLOYEES IN THE FUTURE.

JANUARY 7, 2021



*City of Bridgeport*  
**Zoning Department**  
**PLANNING AND ECONOMIC DEVELOPMENT**

45 Lyon Terrace • Bridgeport, Connecticut 06604  
Telephone (203) 576-7217  
Fax (203) 576-7213

April 17, 2014

1 AUTOMOTIVE SOLUTIONS, LLC  
C/O ATTORNEY RAYMOND RIZIO  
ONE POST ROAD  
FAIRFIELD, CT 06824  
OUR FILE (14-19)

**RE: 710 LINDLEY STREET** – Seeking under CT General Statutes 14-54 an amended certificate of approval of location for a used car dealership license to continue the display, sale, and repair of used motor vehicles in the existing 1-story commercial building in an OR-G zone.

Dear Attorney Rizio:

At a public hearing held on Monday, April 14, 2014 (reconvened from March 31, 2014) the Planning and Zoning Commission decided the following regarding the above referenced matter:

**DECISION:** Approved with Conditions

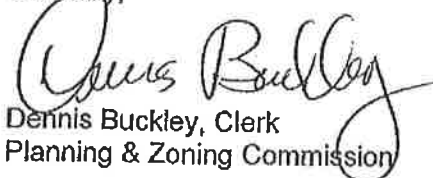
**CONDITIONS:**

1. The lot shall be striped in accordance with Sec. 11-1-12 of the Zoning Regulations.
2. DMV conditions "D" (**enclosed**) also apply.

**REASONS:** This facility was established 20 years ago as a used car dealership and this petition is simply a change of ownership.

If you have any questions regarding the above matter, please call the Zoning Office at 203-576-7217.

Cordially,

  
Dennis Buckley, Clerk  
Planning & Zoning Commission

DB/gb

enclosure



**INSTRUCTIONS:**

- SECTION 1&2 Must be completed by the APPLICANT
- SECTION 3 Must be completed and signed by the local authorities of the city or town in which the location is proposed
- Submit the completed application with required attachments to the above e mail or by mail to: DEPARTMENT OF MOTOR VEHICLES, DEALERS AND REPAIRERS UNIT Room 102, 60 STATE ST. WETHERSFIELD, CT 06161-2011

**SECTION 1 BUSINESS INFORMATION**

**TYPE OF LICENSE:**  NEW CAR DEALER  USED CAR DEALER  GENERAL REPAIRER  LIMITED REPAIRER  LEASING  MANUFACTURER

**TRANSACTION TYPE:**  NEW LICENSE  CHANGE MEMBER  ADD PROPERTY  CHANGE LOCATION  CHANGE OF BUSINESS NAME (DBA, LLC, ETC.)

Name Under which Business is to be Conducted:

KJJ CARS AND SERVICES, LLC

Existing License number (if applicable):

Full Address of Location for Which License is Requested:

710 LINDLEY STREET, BRIDGEPORT, CT 06606

Business License # from Secretary of State:

1327458

Mailing Address, if Different From Above:

If Incorporated or LLC, Under the Laws of which State:

CT

E Mail Address

kensyjeanjules@gmail.com

The Business Holds a Factory Franchise to Sell the Following Make(s) of Vehicle(s) at The Above Location for (New, Used, Car Dealers Only):

List all Makes of Vehicles Manufactured by the Applicant which are offered in the State of Connecticut. (Manufacturers Only)

If applicant firm is owned by individual or partnership, enter data below for all owners. If owned by a corporation, enter data for officers. If LLC, Enter data for members..

NAME	TITLE	HOME ADDRESS	PHONE #	SOCIAL SECURITY #	DATE OF BIRTH
KENSY J JULES	MEMBER	64 LIVINGSTON PL BRIDGEPORT, CT 06610	203-339-5616	043 15 4614	12/10/1980

**New/Used Car Dealers and Manufacturers only (MUST CHECK ONE)**

I am applying for a Dealer's license and do not hold, or intend to apply for a Manufacturer's license   
I am applying for a Manufacturer's license and do not hold, or intend to apply for a Dealer's license

**SECTION 2 TO BE COMPLETED BY LEASING COMPANIES ONLY**

Do you lease vehicles for periods of 30 days or more?  YES  NO

Leasing company's normal business hours

**CONTACT PERSON FOR REGISTRATION RENEWAL ISSUES**

Name \_\_\_\_\_ Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ Email \_\_\_\_\_

**CERTIFICATION (To be signed by Owner, Partner, Managing Member or Authorized Officer in presence of notary)**

Pursuant to CGS 53a-157b, I declare that the statements made by me in this application or in any documents attached hereto are true and complete to the best of my knowledge and belief.

Signed (Owner, Partner, Managing Member or Officer)

X [Signature]

Title

Member

Date

JAN 5 2021  
GARY P. BERUBE  
Date Commission Expires  
**NOTARY PUBLIC**

Subscribed and sworn to before me:

ERIK HARTFORD CT

Signed: (Notary Public, Justice of the Peace, or Commissioner of Superior Court)

X [Signature]

**SECTION 3 CERTIFICATION OF LOCAL APPROVAL FOR PROPOSED LOCATION - NOT APPLICABLE FOR LEASING OR MANUFACTURERS**

Pursuant to CGS 14-54, local approval is hereby granted for the above named firm or individuals to conduct a business of the type checked above at the location specified in this application. Are there any restrictions placed on the licensee's use of property?  YES  NO (If "YES," a copy of the restrictions MUST be attached to this application.)

Signature of Authorized Official

X [Signature]

Printed Name of Authorized Official

Title

Date

Signatures of Building Officials and Fire Marshal indicate compliance with applicable laws and regulations ( Required for New and Used Dealers, General and Limited Repairer ONLY)

Signature of Building Official

X [Signature]

Printed Name of Building Official

Date

Signature of Local Fire Marshall

X [Signature]

Printed Name of Local Fire Marshall

Date

**ATTACH ADDITIONAL PAGES IF NECESSARY**

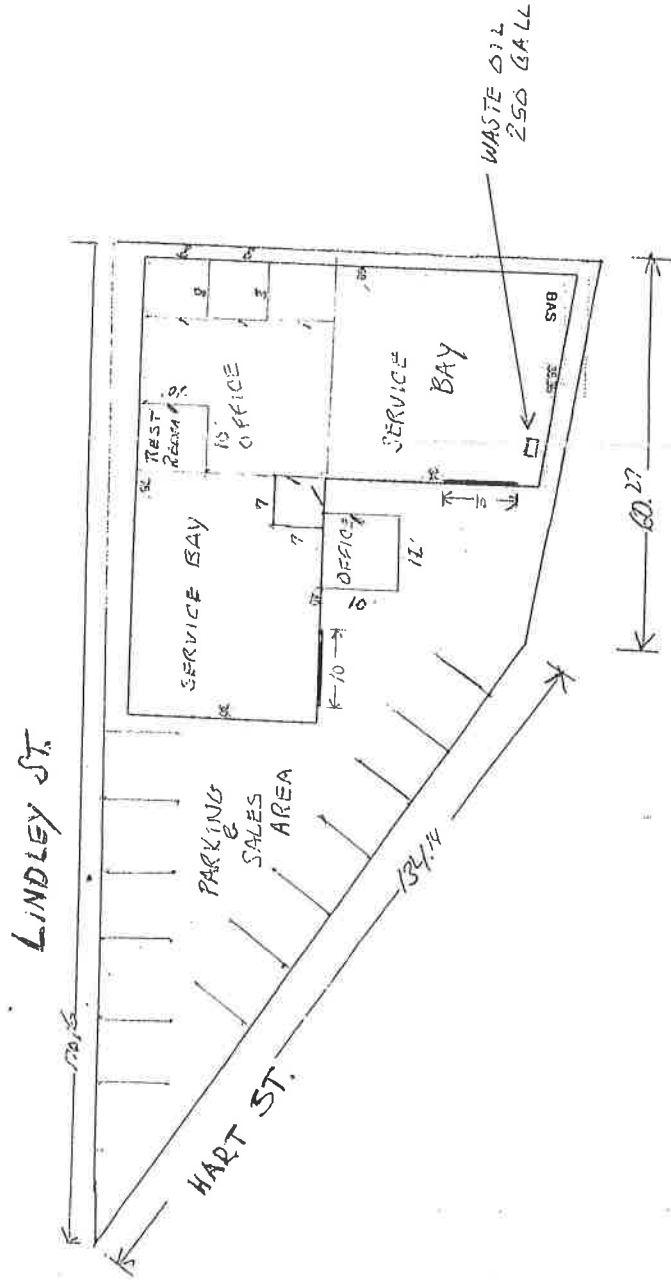
NEIGHBORS within 100' of  
710 Lindley Street, Bridgeport

SLH_OWN_NAME	LOCATION
YONEY REALTY CORPORATION	661 LINDLEY ST
YONEY REALTY CORPORATION	679 LINDLEY ST
KHANTIKONE VONE	699 LINDLEY ST
YONEY REALTY CORPORATION	687 LINDLEY ST #689
HOUSING AUTHORITY OF THE	715 LINDLEY ST
HOUSING AUTHORITY OF THE	717 LINDLEY ST
CASARES JOSE M & FATIMA	729 LINDLEY ST #731
YONEY REALTY CORPORATION	710 LINDLEY ST
ROY REALTY L L C	760 LINDLEY ST
SULLIVAN MICHAEL D 1/2 &	698 LINDLEY ST #700
LOPEZ CANDIDO & ALICIA	696 LINDLEY ST
YONEY REALTY CORPORATION	660 LINDLEY ST

This sketch is an accurate representation of the proposed licensed area.


11-03-2020

The site plan of this location has been reviewed and generally represents the approved location.



REVISIONS

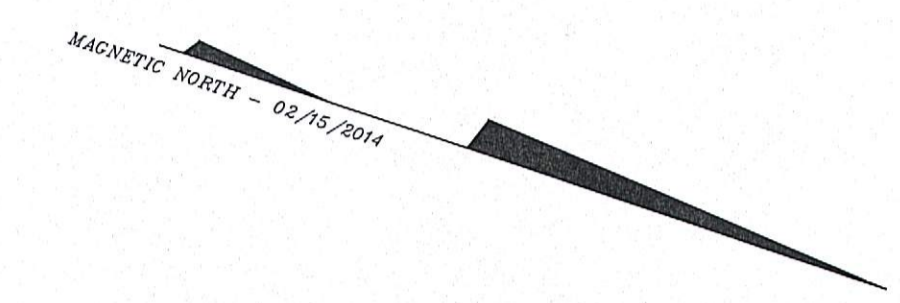
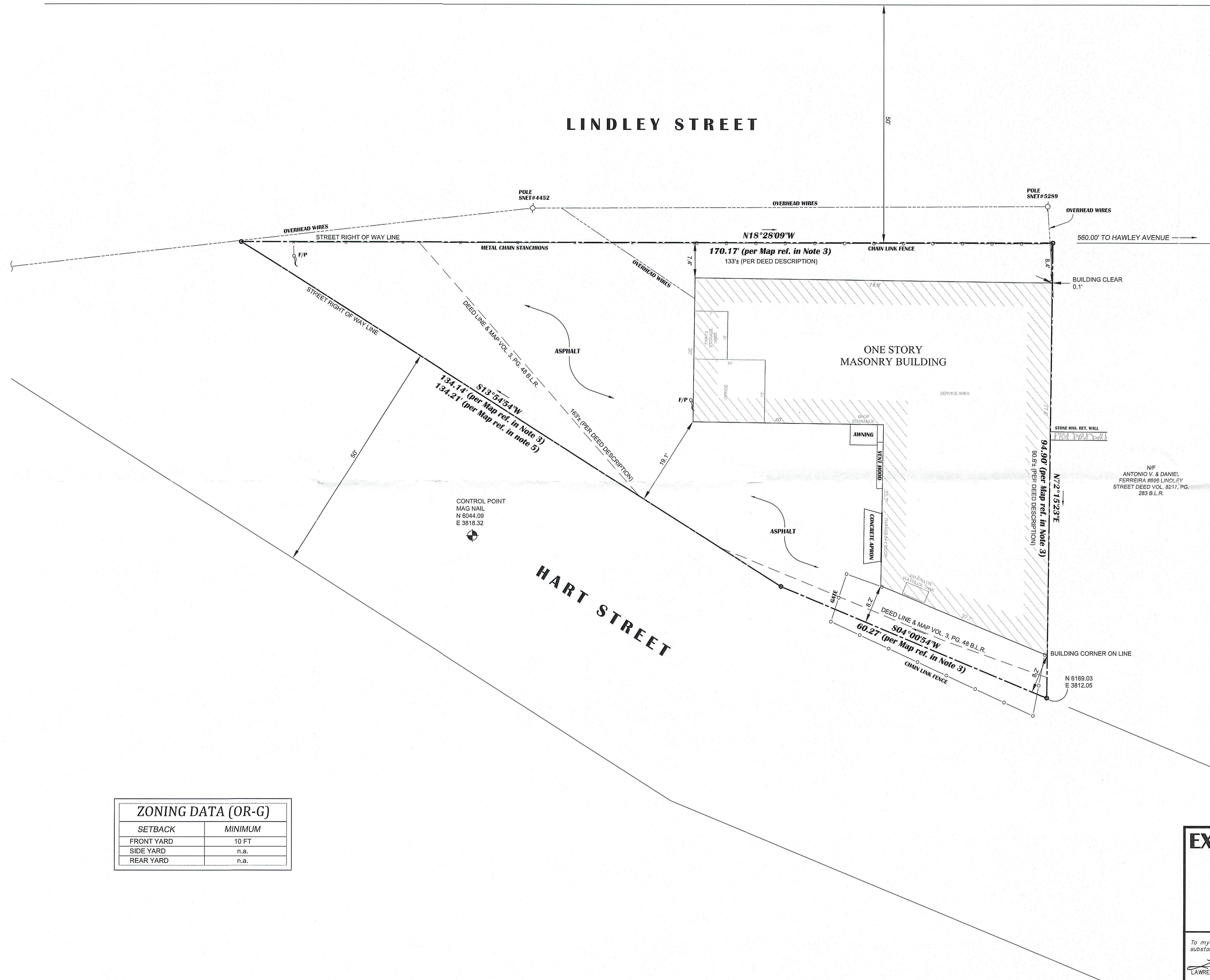
No	Revisions

 **GARY BERUBE**  
 219 SILVER LANE  
 EAST HARTFORD, CT  
 06618

SCALE: 1" = 20' DATE: NOV. 2, 2020

**KJJ CARS AND SERVICES, LLC**  
 710 LINDLEY STREET  
 BRIDGEPORT, CT  
 06606

**TAX MAP SECTION: 53**  
**BLOCK: 2129**  
**LOT: 11A**  
**ZONE: OR-G**



**NOTES:**

1. This survey has been prepared in accordance with Sections 20-300 b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. as an Existing Building Location Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and intended to depict physical features and to be used in conjunction with the City of Bridgeport Planning and Zoning checklist for the application of a Connecticut motor vehicle dealer or repairer license.
2. Reference is made to deed of record found in Volume 3253 at Page 338 on file with Bridgeport Land Records (B.L.R.).
3. Reference is made to Map titled "Plot Plan, Lindley Street Bridgeport, Connecticut, Scale: 1" = 20', November 3, 1977, Prepared for Paul S. Yoney, Inc.", Dated March 3, 1995, Prepared by J. D. Kasper & Assoc.
4. Reference is made to Map found in Vol. 3, Pg. 48 B.L.R.
5. Reference is made to City of Bridgeport Engineering Dept. "Pin" Map No. 2129.
6. Lot Area = 8,768 Sq. Ft. or 0.2013 Acres (to street Right of Way)
7. There was heavy snow cover at time of field survey, as a result, sidewalks, curbs and surface utilities that were not visible are not depicted hereon.
8. Reference is made to instruments of record as labeled hereon.
9. Owner of record is Yoney Realty Corporation.
10. Waste oil tank capacity per owners records.

ZONING DATA (OR-G)	
SETBACK	MINIMUM
FRONT YARD	10 FT
SIDE YARD	n.a.
REAR YARD	n.a.

**EXISTING BUILDING LOCATION SURVEY**  
 DEPICTING  
**#710 LINDLEY STREET**  
 BRIDGEPORT, CONNECTICUT  
 PREPARED FOR  
**MARCO TORRI**

To my knowledge and belief this map is substantially correct as noted hereon	JOB NO.: 7847-1	DATE: 02/24/2014
<i>Lawrence W. Poisson</i>	DRAWN BY: CJV	CHECKED BY:
LAWRENCE W. POISSON JR., CT LIC. NO. 18130	SCALE: 0 10 20	1" = 10'
02/24/2014	DATE	7847_PS.dwg

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any declaration hereon null & void.

**Redniss & Mead**  
 ENGINEERS SURVEYORS PLANNERS WWW.REDNISSMEAD.COM  
 ESTABLISHED 1937 22 FIRST STREET STAMFORD, CONNECTICUT 06905 • 203-327-0500

**PETITION TO THE BOARD OF APPEALS**  
**City of Bridgeport, Connecticut**

The undersigned presents the following petition for:

*(Check all that Apply)*

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

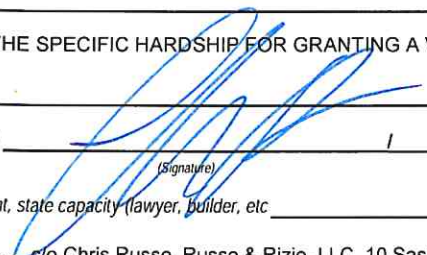
1905 Barnum Avenue Zone O-R  
(Number) (Street) (Zone Classification)  
On the North side of the street about 0 feet West from  
(North, South, East, West) (North, South, East, West)  
Sage Avenue Block : 1841 Lot: 21  
(Street)  
Dimension of Lot in Question 106.83' x 73.26' x 13.98' x 24.75' x 14.37' x 80.32' x 93.81'  
(Specify)

1. NAME OF PETITIONER / BUSINESS Muhammad Ali Zulekfal  
(Print)
2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
3. HAS ANY PREVIOUS PETITION BEEN FILED? Yes IF SO, GIVE DATE OF HEARING 7/14/2020  
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT Approval of Certificate of Location for a vehicle repair facility

5. THIS PETITION RELATES TO: *Check all that Apply*  
 Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY Vehicle repair facility

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? N/A

PETITIONER  / DATE 2/5/21  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc.) \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address C/O Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION**  
All questions must be answered in detail (use separate sheet if necessary).  
The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for  
**The Zoning Board of Appeals** to process this petition.  
**NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_



Colin B. Connor  
Elizabeth A. Falkoff\*  
Robert G. Golger  
Michael C. Jankovsky  
David K. Kurata  
Katherine M. Macol  
Leah M. Parisi  
William M. Petroccio\*  
Raymond Rizio\*  
Christopher B. Russo  
Robert D. Russo  
John J. Ryan  
Vanessa R. Wambolt  
(\*Also Admitted in NY)

September 30, 2020

Dennis Buckley  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Petition for Rehearing – 1905 Barnum Avenue**

Dear Mr. Buckley:

Please accept the following narrative and enclosed application materials as part of the Variance application requesting a rehearing to the Bridgeport Zoning Board of Appeals (“ZBA”) for the property located at 1905 Barnum Avenue (the “Site”):

**Narrative**

The Petitioner requests an approval for a Certificate of Location for a vehicle repair facility with general repairer’s license at the Site. The Applicant had previously submitted to ZBA for a general repairer’s license in addition to the existing vehicle repair facility at the Site as well as approval as a used vehicle sales dealership. The Applicant was denied by the ZBA in this request. Subsequently, the Applicant has taken a number of steps to address the comments made by the ZBA at the previous hearing. First, the Applicant, whom purchased the property in August of 2019, has obtained a judgment to evict the existing tenant at the facility, so the existing tenant will no longer occupy the property by the time of hearing. Therefore, this application will be to replace the existing vehicle repair facility, not as an addition to the existing facility. Second, the ZBA had expressed concern with the current condition of the Site. The Applicant has considerably cleaned the Site and removed some damaged vehicles. Once the existing tenant is fully evicted, the Applicant will be able to complete the cleanup of the Site and ensure the Site is in accordance with the submitted site plans. Finally, the Applicant has removed the request for a used car dealership from this Application. This Application is for a single vehicle repair facility with general repairer’s license on the Site that will be owner-operated. It is significantly different from the prior application.

As the ZBA may recall, the Site is located at the corner of Barnum Avenue and Sage Avenue and contains Nine thousand three hundred and sixty-two square feet (9,362 SF). The Site is located both in the City of Bridgeport and Town of Stratford. It is within the OR Zone and has been traditionally used as a vehicle repair facility. The Applicant proposes no alterations to the existing building. Nine (9) off-street parking spaces will be provided and no vehicles will be in any other location outside once the Applicant has full control of the Site. The Site will be accessed from its

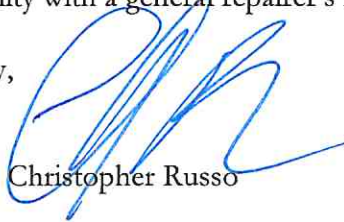
10 Sasco Hill Road  
Fairfield, CT 06824

Tel 203-255-9928  
Fax 203-255-6618

curb cut on Sage Avenue and then it will be exited from its curb cut onto Barnum Avenue. Obviously, this Site has already been approved as a location for a vehicle repair facility. The Applicant merely requests that that they obtain a Certificate of Location themselves to be the sole operator out of the Site.

For the reasons stated above, the Petitioner respectfully requests approval of a Certificate of Location as a vehicle repair facility with a general repairer's license.

Sincerely,



Christopher Russo

**PROPERTY OWNERS WITHIN 100' OF 1905 BARNUM AVENUE**

<b>LOCATION</b>	<b>OWNER NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
30 KENT AV	TAYLOR MELODY	30 KENT AVE	BRIDGEPORT	CT	06610
1854 BARNUM AV	ROBERIC PROPERTIES LLC	134-21 CHERRY AVE #3C	FLUSHING	NY	11355
1880 BARNUM AV	CALVERY NEW TESTAMENT CHURCH OF GOD INC	207 ASYLUM ST	BRIDGEPORT	CT	06610
41 SAGE AV	2440 BARNUM AVENUE LLC	31 SAGE AVE	BRIDGEPORT	CT	06610
43 SAGE AV	43 SAGE LLC	51 PINEBROOK RD	NEW ROCHELLE	NY	10801
42 KENT AV	BALDWIN HOLDINGS INC	150 HIGHLAND AVE	BRIDGEPORT	CT	06604
1905 BARNUM AV	HOSSAIN AHAMED & MUHAMMAD ALI ZULEKFAL	48 STEVENS ST, 1ST FL	NORWALK	CT	06850
40 KENT AV	RICKETTS LATOYA	40 KENT AVE	BRIDGEPORT	CT	06610
32 KENT AV	GEORGE LESTER S	325 PLATT ST	BRIDGEPORT	CT	06610
1869 BARNUM AV	1869 BARNUM AVE LLC	109 SEQUOIA RD	BRIDGEPORT	CT	06606
1859 BARNUM AV #1865	JGV BARNUM LLC	PO BOX 110384	TRUMBULL	CT	06611
52 KENT AV	COLON IVELLIS	52 KENT AVE	BRIDGEPORT	CT	06610
50 KENT AV	MASTRONI ANTHONY L	50 KENT AVE	BRIDGEPORT	CT	06610
50 SAGE AVE	J & B PROPERTY LLC	31 SAGE AVE	BRIDGEPORT	CT	06610
2450 BARNUM AVE	ASHLEY KOST IRREV TRUST, SCHIRALDI BENEDICT A TRUSTEE	741 BOSTON POST RD, STE 304	GUILFORD	CT	06437





# PETITION TO THE BOARD OF APPEALS City of Bridgeport, Connecticut

The undersigned presents the following petition for:  
(Check all that Apply)

- Variance
- Appeal from Zoning Officer
- Extension of Time Permit / Modification of Plan of Development
- Request for Re-hearing
- Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

2750 North Ave Zone OR-G  
(Number) (Street) (Zone Classification)

On the North side of the street about 200 feet East from  
(North, South, East, West) (North, South, East, West)

Fairfield Town Line Block: 1301 Lot: 37  
(Street)

Dimension of Lot in Question 130' x 85'  
(Specify)

1. NAME OF PETITIONER / BUSINESS Carramo Auto Repair LLC  
(Print)
2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) \_\_\_\_\_
3. HAS ANY PREVIOUS PETITION BEEN FILED? \_\_\_\_\_ IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT No Change in Use. Motor Vehicle Service Station

5. THIS PETITION RELATES TO:  
(Check all that Apply)
- Setback
  - Coverage
  - Landscaping
  - Lot Area and Width
  - Floor Area
  - Height
  - Parking
  - Extension or Enlargement of Non-Conforming Use and/or Building
  - Coastal Area Management Approval
  - Liquor
  - Use
  - Other: Consent Agenda for Motor Vehicle Use
6. USE TO BE MADE OF PROPERTY Continue Use as MV Service Station

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? NA  
Historic Use as Service Station

PETITIONER Jose Carramo Jose Carramo DATE 1/15/2021  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ jcarramorepair@gmail.com  
(Email)

Mailing Address 2750 North Ave Bridgeport CT 06604 203-517-536  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT Jose S Carramo Print Jose S Carramo  
(If other than owner) (Signature)

Subscribe & Sworn to before me this 14 day of January 2021  
(Signature) Notary Public In & for the County of Fairfield, State of Connecticut.

### Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All questions must be answered in detail (use separate sheet if necessary).  
 The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this petition.  
**NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

FEE RECEIVED: \$ 205 DATE: 1/14, 2021 Clerk [Signature]

FOR OFFICE USE ONLY (Rev. 9/18/12)

[Signature]  
**ANTONIA AGUILAR**  
 NOTARY PUBLIC OF CONNECTICUT  
 My Commission Expires 1/31/2024

Jose Carcamo

2750 North Ave Bridgeport CT 06605

203 807 6200

[Carcamorepair@GMAIL.COM](mailto:Carcamorepair@GMAIL.COM)

January 15, 2021

Dear Board Members,

I would like to petition a Consent Agenda for Motor Vehicle use (General Repair/Limited Repair) on the property located at 2750 North Ave, which is in a OR-G zone classification block 1301 lot 37.

The location is been use as a Motor Vehicle Service station and I would like to continue its use for the same purpose.

No construction upgrade or any other changes will be done at the location.

Thank you in advance.

*Jose's Carcamo*  
Jose Carcamo

**INSTRUCTIONS:**

- SECTION 1&2 Must be completed by the APPLICANT
- SECTION 3 Must be completed and signed by the local authorities of the city or town in which the location is proposed
- Submit the completed application with required attachments to the above e mail or by mail to: DEPARTMENT OF MOTOR VEHICLES, DEALERS AND REPAIRERS UNIT Room 102, 60 STATE ST, WETHERSFIELD, CT 06161-2011

**SECTION 1 BUSINESS INFORMATION**

**TYPE OF LICENSE:**  NEW CAR DEALER  USED CAR DEALER  GENERAL REPAIRER  LIMITED REPAIRER  LEASING  MANUFACTURER

**TRANSACTION TYPE:**  NEW LICENSE  CHANGE MEMBER  ADD PROPERTY  CHANGE LOCATION  CHANGE OF BUSINESS NAME (DBA, LLC, ETC.)

Name Under which Business is to be Conducted: **CARCANO AUTO REPAIR LLC** Existing License number (if applicable):

Full Address of Location for Which License is Requested: **2750 NORTH AVE BRIDGEPORT CT 06604** Business License # from Secretary of State:

Mailing Address, If Different From Above:

If Incorporated or LLC, Under the Laws of which State: **CONNECTICUT** E Mail Address: **CARCAMOREPAIR@GMAIL.COM**

The Business Holds a Factory Franchise to Sell the Following Make(s) of Vehicle(s) at The Above Location for (New, Used, Car Dealers Only):

List all Makes of Vehicles Manufactured by the Applicant which are offered in the State of Connecticut. (Manufacturers Only)

If applicant firm is owned by individual or partnership, enter data below for all owners. If owned by a corporation, enter data for officers. If LLC, Enter data for members..

NAME	TITLE	HOME ADDRESS	PHONE #	SOCIAL SECURITY #	DATE OF BIRTH
JOSE CARCAMO	OWNER	9 Grove st Norwalk ct 06854	203 517 5304	124 90 7436	10/09/1977

**New/Used Car Dealers and Manufacturers only (MUST CHECK ONE)**

I am applying for a Dealer's license and do not hold, or intend to apply for a Manufacturer's license

I am applying for a Manufacturer's license and do not hold, or intend to apply for a Dealer's license

**SECTION 2 TO BE COMPLETED BY LEASING COMPANIES ONLY**


Do you lease vehicles for periods of 30 days or more?  YES  NO Leasing company's normal business hours

**CONTACT PERSON FOR REGISTRATION RENEWAL ISSUES**

Name **JOSE CARCAMO** Phone # **203 517 5304** Fax # Email **carcamorepair@gmail.c**

**CERTIFICATION (To be signed by Owner, Partner, Managing Member or Authorized Officer in presence of notary)**

Pursuant to CGS 53a-157b, I declare that the statements made by me in this application or in any documents attached hereto are true and correct to the best of my knowledge and belief.

Signed (Owner, Partner, Managing Member or Officer) <b>X</b> <i>Jose S Carcamo</i>	Title <b>owner</b>		Date <b>01/15/2021</b>
Subscribed and sworn to before me:	Place Sworn (Town/City and State of)	Signed: (Notary Public, Justice of the Peace, or Commissioner of Superior Court) <b>X</b> <i>Sherlene Gourdet</i>	Date Commission Expires <b>11/30/2021</b>

**SECTION 3 CERTIFICATION OF LOCAL APPROVAL FOR PROPOSED LOCATION - NOT APPLICABLE FOR LEASING OR MANUFACTURERS**

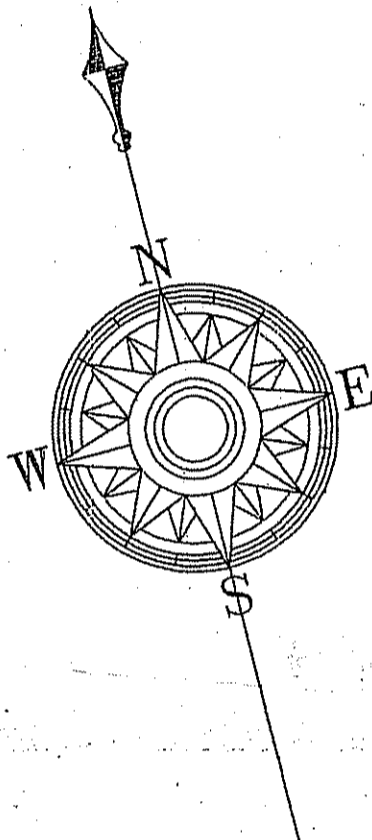
Pursuant to CGS 14-54, local approval is hereby granted for the above named firm or individuals to conduct a business of the type checked above at the location specified in this application.

Are there any restrictions placed on the licensee's use of property?  YES  NO (If "YES," a copy of the restrictions MUST be attached to this application.)

Signature of Authorized Official <b>X</b>	Printed Name of Authorized Officer	Title	Date
Signatures of Building Officials and Fire Marshal indicate compliance with applicable laws and regulations ( Required for New and Used Dealers, General and Limited Repairer ONLY)			
Signature of Building Official <b>X</b>	Printed Name of Building Official	Date	
Signature of Local Fire Marshal <b>X</b>	Printed Name of Local Fire Marshal	Date	

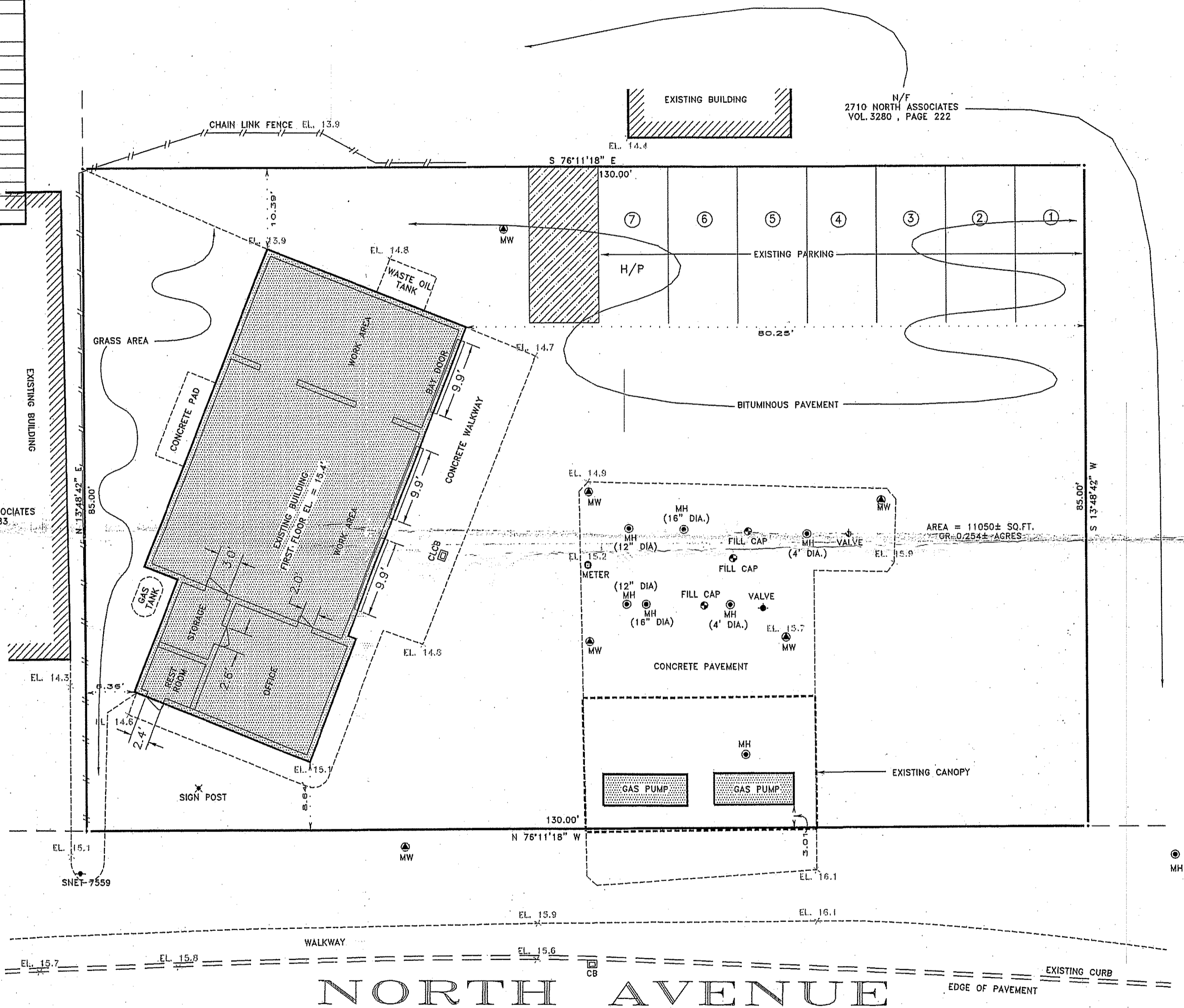
**ATTACH ADDITIONAL PAGES IF NECESSARY**

STANDARD	OR-G ZONE	EXISTING
MAXIMUM FAR	1 TO 1	0.15
MINIMUM LOT COVERAGE	10,000 SQ.FT.	11050
MINIMUM FRONTAGE	60 FT	130'
<b>MINIMUM BUILDING SETBACKS:</b>		
STREET LOT LINE	0 FT	8.64'
LOT LINE ABUTTING AN MU, OR, I, ZONED LOT	0 FT	N/A
LOT LINE ABUTTING AN R ZONED LOT	10 FT.	N/A
STREET LOT LINE (MAXIMUM BUILDING SETBACKS)	30 FT.	8.64'
LANDSCAPING IN SETBACK ABUTTING AN R ZONED LOT	5 FT @ L3 (SEE SEC. 11-4)	N/A
MAXIMUM BUILDING COVERAGE	50%	19.1%
MINIMUM LANDSCAPED AREA	15%	8.4%
MAXIMUM HEIGHT	35 FT.	24'
PARKING ALLOWED BETWEEN BUILDING AND STREETS	YES	YES
DRIVE-THROUGH FACILITIES PERMITTED	SEE SECTION 12-5	---
OUTDOOR DISPLAY PERMITTED	YES	YES
	(SEE SECTION 11-6)	---
OUTDOOR STORAGE PERMITTED	YES (SEE SEC. 11-6)	YES
TRUCKS AND EQUIPMENT PERMITTED	LIGHT AND MEDIUM ONLY	---



N/F  
2766 NORTH AVENUE ASSOCIATES  
VOL. 5051, PAGE 283

N/F  
2710 NORTH ASSOCIATES  
VOL. 3280, PAGE 222



NORTH AVENUE

**GENERAL NOTES:**

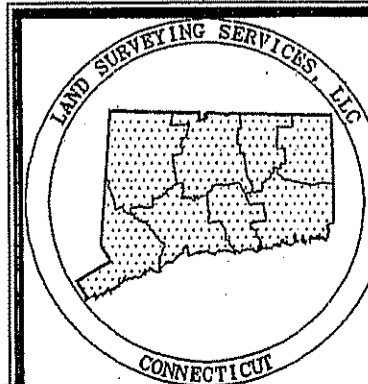
- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- Lot served by town sewer system and public water supply.
- Subject Property Under Zone: A9 EL. 17. Per Flood Insurance Rate Map, Community-Panel Number 090002 0003 C Panel 3 of 7, Rev. September 6, 1989.

**MAP REFERENCES:**

- ASSESSORS MAP # 13-17.
- PIN SHEET # 1301.

To the best of my knowledge and belief this map is substantially correct as noted hereon

NEAL K. JAIN  
L.S. # 18139



**LAND SURVEYING SERVICES, LLC**  
5 SOUTHFIELD ROAD  
EASTON, CONNECTICUT 06612  
TEL. (203) 372-4811  
FAX. (203) 372-1354  
EMAIL: landss@optonline.net

DWG: 2005309.

PLOT PLAN  
PREPARED FOR  
**GETTY SIGMA SERVICE CENTER**

2750 NORTH AVENUE, BRIDGEPORT, CONNECTICUT

10 0 10 20

SCALE: 1" = 10'

DATE: AUG. 22, 2005.



# ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

- Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

3389 Fairfield Avenue

On the South side of the street about 500 feet West from  
(Number) (Street) (Zone OR) (Zone Classification)  
(North, South, East, West) (North, South, East, West)

Beachview Avenue Block: 7 Lot: 105/9  
(Street)

Dimension of Lot in Question 123' x 174' x 100' x 181'  
(Specify)

1. NAME OF APPLICANT / BUSINESS ASH CREEK AUTO BODY AND REPAIR LLC  
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Lessee
3. HAS A PREVIOUS APPLICATION BEEN FILED? Yes IF SO, GIVE DATE OF HEARING Unknown  
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT Applicant intends to use a portion of the building, which is currently licensed as a Used-car dealer, as a general automotive repair shop.
5. THIS APPLICATION RELATES TO: Check all that Apply  
 Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_
6. USE TO BE MADE OF PROPERTY General automotive repair shop.

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? \_\_\_\_\_

APPLICANT [Signature] I. STANTON H. LESSEE DATE January 26, 2021  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc.) ATTORNEY ISHLFLY@AOL.COM  
(Email)

Mailing Address 1 Elliot Place, Fairfield, CT 06824 (203) 336-1811  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT [Signature] 3389 Fairfield Avenue Associates LLC  
(If other than owner) (Signature) (Print)

Subscribe & Sworn to before me this 27 day of January 21  
[Signature] Notary Public in & for the County of Fairfield, State of Connecticut.  
BY STEVEN CROWLEY, MEMBER

### Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).  
 The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
 The Zoning Board of Appeals to process this application.

**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.  
 PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
 (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

**DIANE OUELLETTE**  
 Notary Public, State of Connecticut  
 My Commission Expires Nov. 30, 2021

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_

**3389 FAIRFIELD AVENUE  
APPLICATION OF ASH CREEK AUTO BODY AND REPAIR LLC  
STATEMENT OF USE**

In connection with the above-referenced application, Applicant hereby submits a floor plan entitled "Existing Second Floor Plan (Field Measured), and a color aerial photograph showing the subject building.

The building containing the Applicant's proposed shop is shown on the color photograph, and is labeled with a Blue Arrow.

The subject premises, to be occupied by Applicant, is shown as "Creek Classic Automotive" on the floor plan submitted herewith.

The subject premises are currently approved and Licensed as a Used Car Dealer.

It is the intention of the Applicant to obtain a license from the Connecticut Department of Motor Vehicles to use the subject premises as a General Automotive Repair Shop

ITEM	REQUIRED	EXISTING	PROPOSED
ZONE	"DR-S"	"DR-S"	NC
MINIMUM LOT AREA	5,000 S.F.	15,468 S.F.	NC
STREET LOT LINE	0'	9.7'	NC
LOT LINE ABUTTING AN OR ZONED LOT	0'	14.4'/50.2'	NC
LOT LINE ABUTTING AN R ZONE LOT	10'	56.9'	NC
FRONTAGE	60'	123.96'	NC
BUILDING COVERAGE	65%	26.34%	NC
LANDSCAPED AREA	15%	2.50%	8.95%
MAXIMUM HEIGHT	35'		

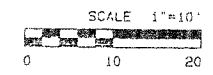
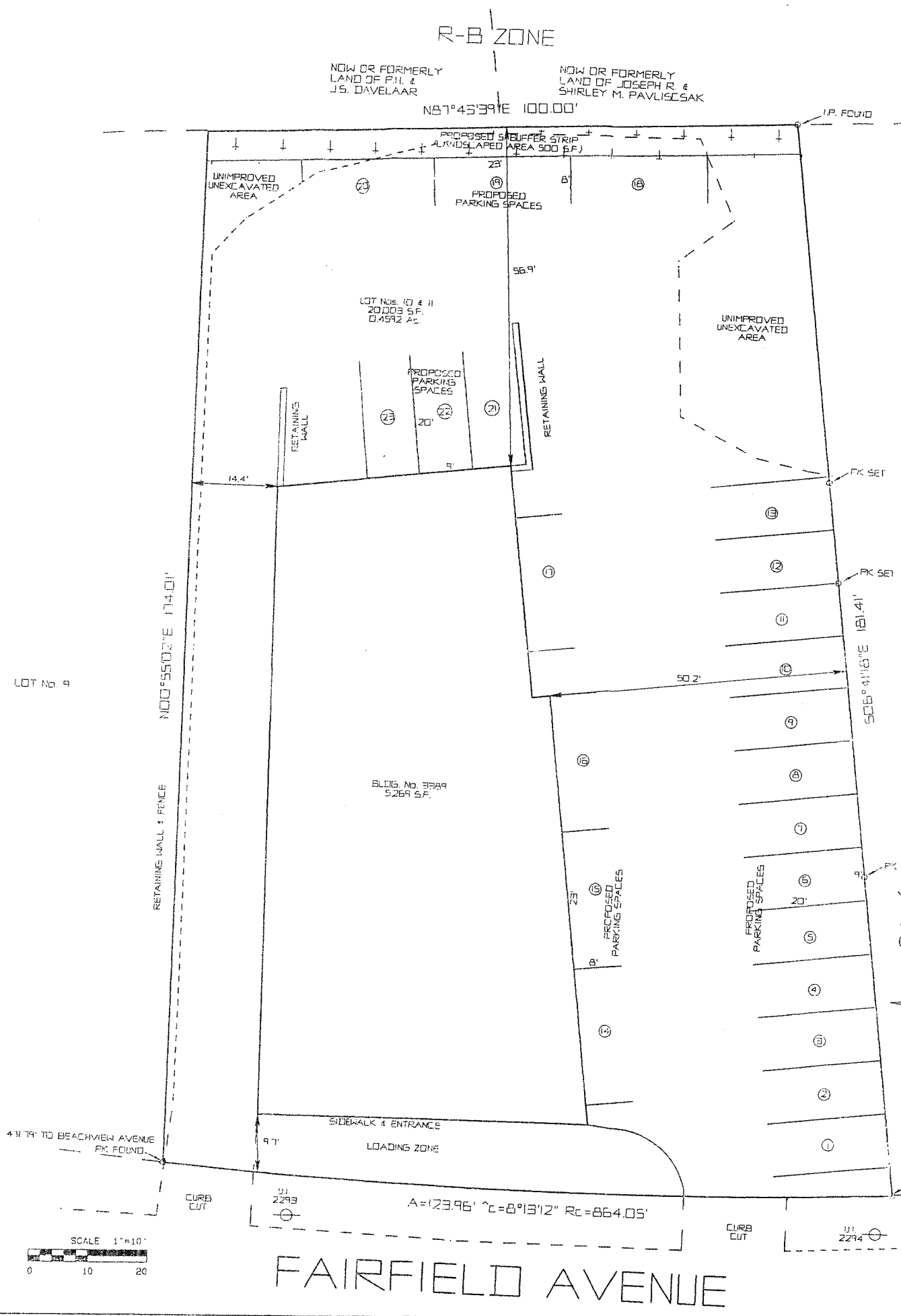
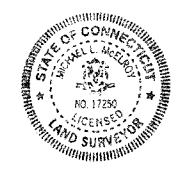
NO PARKING BETWEEN BUILDINGS AND STREET  
35 PARKING SPACES REQUIRED

REFER TO LOT Nos. 10 & 11 ON MAP VOL. 10, PG. 13 ON MAP ENTITLED "MAP OF SURVEY LOTS Nos. 10 & 11 MAP OF 'BEACH VIEW', PREPARED FOR GEORGE E. PAPAGEORGE DATED JUNE 16, 1983 BY FULLER & CO., INC.

**DEPENDENT RESURVEY**  
THIS SURVEY WAS PREPARED FOR A SPECIFIC PURPOSE. ANY USE OTHER THAN THAT WHICH WAS ORIGINALLY INTENDED IS A MISUSE OF THIS INFORMATION AND RENDERS THE PREPARER'S DECLARATION NULL & VOID.  
UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY ARE NOT SHOWN.  
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY, WHICH BEARS THE SURVEYORS STAMP OR SEAL, RENDERS ANY DECLARATION SHOWN HEREON NULL AND VOID.  
THE SURVEY AND DECLARATION SHOWN HEREON IS NULL AND VOID WITHOUT THE LICENSED SURVEYORS ORIGINAL STAMP OR EMBOSSED SEAL.  
THIS MAP DOES NOT CONSTITUTE EITHER A SUBDIVISION OR A RESUBDIVISION UNDER THE TERMS OF SECTION 3-18 OF THE CONNECTICUT GENERAL STATUTES, AS AMENDED.

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS SURVEY AND MAP WERE PREPARED IN ACCORDANCE WITH THE STANDARDS OF ACCURACY OF A CLASS A-2 SURVEY AS DEFINED IN THE CODE OF PRACTICE FOR STANDARDS OF ACCURACY OF SURVEYS AND MAPS ADOPTED JUNE 21, 1996 AS AMENDED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INCORPORATED.

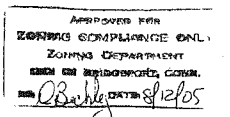
*Michael L. McElroy*  
MICHAEL L. MCELROY, L.S. No. 17250



FAIRFIELD AVENUE

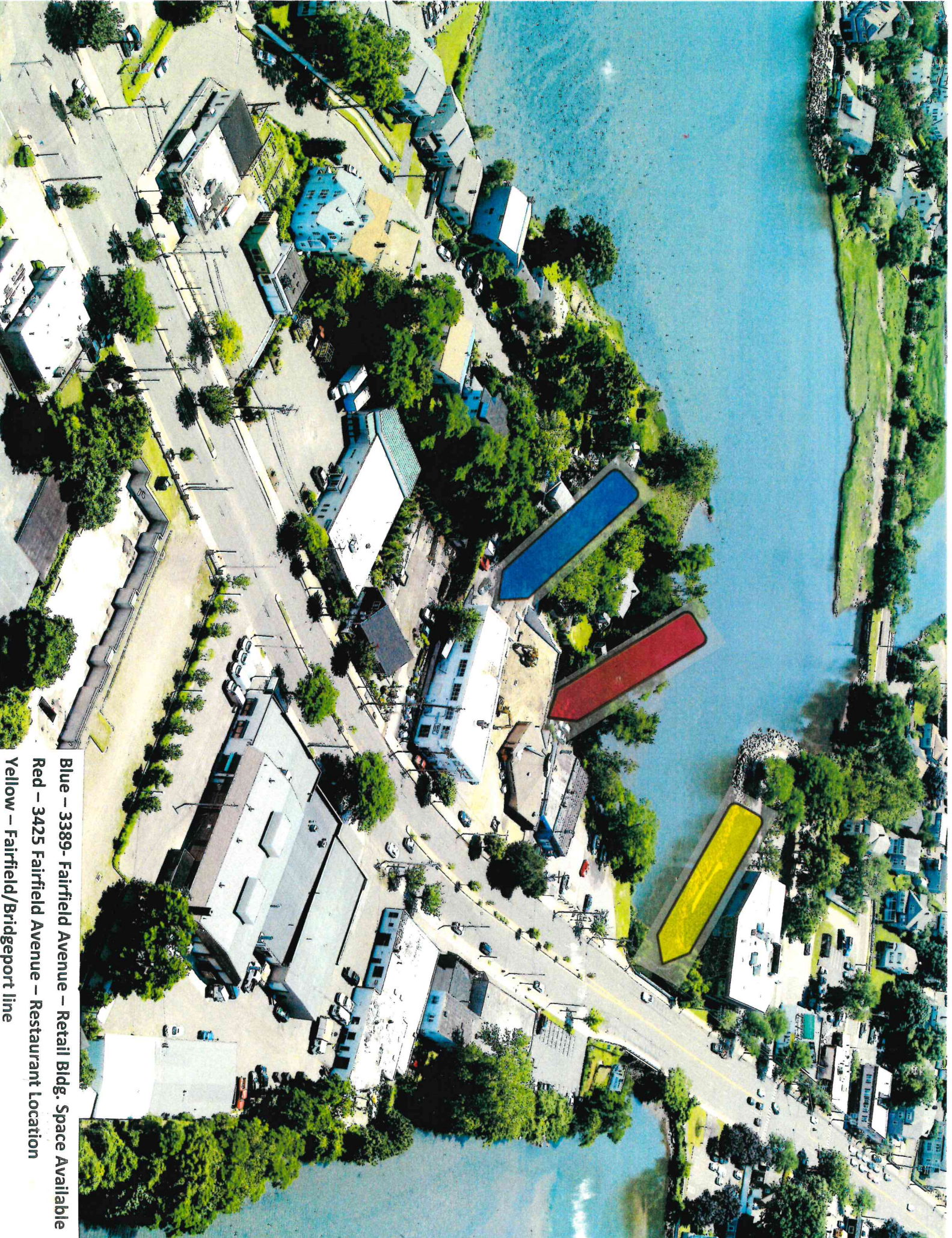
This drawing represents the proposed plan with all accurate information.  
*Steve Cowley* 8/12/05  
Application approved by  
Rozzy Roman of Appeals on  
12/14/04 with conditions  
(attached).

**SITE PLAN**  
OF  
3387 FAIRFIELD AVENUE  
PREPARED FOR  
3369 FAIRFIELD AVENUE  
ASSOCIATES  
AUGUST 26, 2004 SCALE: 1" = 10'  
BRIDGEPORT, CONNECTICUT  
BLACK ROCK SURVEYORS  
1089 CHURCH HILL ROAD  
FAIRFIELD, CONNECTICUT  
E000-11E (203)









Blue – 3389- Fairfield Avenue – Retail Bldg. Space Available  
Red – 3425 Fairfield Avenue – Restaurant Location  
Yellow – Fairfield/Bridgeport line