



CITY OF BRIDGEPORT

**ZONING BOARD OF APPEALS APPLICATION**

The undersigned presents the following application for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

9, 25 & 35 Island Brook Avenue Zone I-L  
(Number) (Street) (Zone Classification)

On the South side of the street about 550 feet East from  
(North, South, East, West) (North, South, East, West)

Twitchell Street Block: 1538 Lot: 11,12, & 13A  
(Street)

Dimension of Lot in Question 150.00' x 200.00' x 73.00' x 351.46' x 105.00' x 1.65' x 38.81' x 0.80' x 197.80'  
(Specify)

1. NAME OF APPLICANT / BUSINESS Architectural Stone Group, LLC  
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Lessee

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Proposed outdoor storage in coastal area zone

5. THIS APPLICATION RELATES TO: Check all that Apply

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: Outdoor storage in coastal area zone

6. USE TO BE MADE OF PROPERTY Outdoor storage of stone and gravel in coastal zone

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT [Signature] DATE 11/20/2020  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**

All questions must be answered in detail (use separate sheet if necessary).  
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this application.  
**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_



Colin B. Connor  
Elizabeth A. Falkoff\*  
Robert G. Golger  
David K. Kurata  
Katherine M. Macol  
Leah M. Parisi  
William M. Petroccio\*  
Raymond Rizio\*  
Christopher B. Russo  
Robert D. Russo  
John J. Ryan  
Vanessa R. Wambolt  
(\*Also Admitted in NY)

November 20, 2020

Dennis Buckley  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace, Room 210  
Bridgeport, CT 06604

**Re: Application for variance – 9, 25 & 35 Island Brook Avenue (the “Site”)**

Dear Mr. Buckley:

Please accept this letter on behalf of our client for an application for variances to permit the outdoor storage of stone and gravel materials in connection with an existing stone and masonry supply use at the Site.

**Variations Requested**

Variance of Section 14-3-3i of the Regulations to permit the outdoor storage and wholesale trade of stone and gravel materials in connection with a stone and masonry supply business.

**Narrative**

The Site has frontage on along Island Brook Avenue in the I-L Zone and it is located within the coastal area zone. It is located in a very industrial area of the street with industrial uses surrounding the entire Site and on the other side of Island Brook. For decades, The Site has contained industrial uses and outdoor storage yards. As early as 1954, the Site was approved as a location for a used car dealer and vehicle repair with the outdoor storage of junk vehicles. In 1991, the Site was approved as a school bus maintenance and repair facility, and in 1999, it was further approved for Bud’s Truck and Diesel Service for the display, sale and repair of used motor vehicles. The Site contains a pre-existing 1,607 SF one-story concrete masonry building.

The Petitioner proposes to transition the Site away from its history as a vehicle repair facility and junk yard to a stone and masonry supply building with the outdoor storage of stone and gravel materials with defined jersey barrier bays located behind the existing building and chainlink fence, which is located along the street property line. No barrier has previously existed

10 Sasco Hill Road  
Fairfield, CT 06824  
Tel 203-255-9928  
Fax 203-255-6618

between the outdoor storage on the Site and neighboring properties or Island Brook except for certain areas of chainlink fence. The Petitioner will locate the jersey barriers in accordance with setback standards in the I-L Zone and in accordance with Section 11-6 of the Regulations and better protect the coastal zone. The Site directly abuts Island Brook, but it does not directly abut the Pequonnock River.

### **Hardship**

Granting the Petitioner the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as they propose to improve the protections of the coastal area by no longer utilizing the property as a motor vehicles sales and repair facility and junk yard, which has been the use of the Site for decades. In addition, the Petitioner will locate stone and gravel supplies with bays made of jersey barriers to contain the products offered by the Petitioner. The Petition will not have a negative impact on the neighborhood, which has been industrial for decades, or the coastal zone, which has not had any type of screening or protection from prior uses on the Site.

For the above-stated reasons, the Petitioner respectfully requests approval of this petition for a variance.

Thank you for your assistance in this matter.

Sincerely,

A handwritten signature in black ink that reads "Christopher Russo". The signature is written in a cursive style with a long, sweeping underline that extends to the right.

Christopher Russo

**PROPERTY OWNERS WITHIN 100' OF 9, 25 AND 35 ISLAND BROOK AVENUE**

<b>PROPERTY ADDRESS</b>	<b>OWNER'S NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
3 ISLAND BROOK AV #7	3-7 ISLAND BROOK LLC	136 MEADOWVIEW DR	TRUMBULL	CT	06611
10 ISLAND BROOK AV	10 ISLAND BROOK LLC	89-50 127TH ST	RICHMOND HILLS	NY	11418
34 ISLAND BROOK AV	30 MLW LLC	30 ISLAND BROOK AVE	BRIDGEPORT	CT	06605
30 ISLAND BROOK AV	30 MLW LLC	30 ISLAND BROOK AVE	BRIDGEPORT	CT	06605
18 ISLAND BROOK AV	MLW INC	18 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
35 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
25 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
9 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
35 ISLAND BROOK AV #REAR	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
52 ISLAND BROOK AV #54	MLW INC	52 ISLAND BROOK AVE	BRIDGEPORT	CT	06604
44 ISLAND BROOK AV	MLW INC	25 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
45 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
236 EVERGREEN ST	CITY OF BRIDGEPORT	45 LYON TERRACE	BRIDGEPORT	CT	06604
101 ISLAND BROOK REAR AV	MOTA JOSEPH	100 WALNUT AVE	SHELTON	CT	06484
89 ISLAND BROOK AV	LCJA LLC	100 WALNUT AVE	SHELTON	CT	06484
61 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606

## Business Inquiry

### Business Details

Business Name: ARCHITECTURAL STONE GROUP, LLC      Citizenship/State Inc: Domestic/CT  
Business ID: 1222575      Last Report Filed Year: NONE  
Business Address: 9 ISLANDBROOK AVENUE, BRIDGEPORT, CT, 06606      Business Type: Domestic Limited Liability Company  
Mailing Address: 9 ISLANDBROOK AVENUE, BRIDGEPORT, CT, 06606      Business Status: Active  
Date Inc/Registration: Nov 18, 2016  
Annual Report Due Date: 11/18/2017  
NAICS Code: NONE      NAICS Sub Code: NONE

### Principals Details

Name/Title	Business Address	Residence Address
ARCHITECTURAL STONE WHOLESALERS LLC MANAGER	18 GLEN STREET, MILFORD, CT, 06460	NONE

### Agent Summary

Agent Name ARCHITECTURAL STONE WHOLESALERS LLC  
Agent Business Address 18 GLEN STREET, MILFORD, CT, 06460  
Agent Residence Address NONE  
Agent Mailing Address NONE

# I-L Zone Development Standards

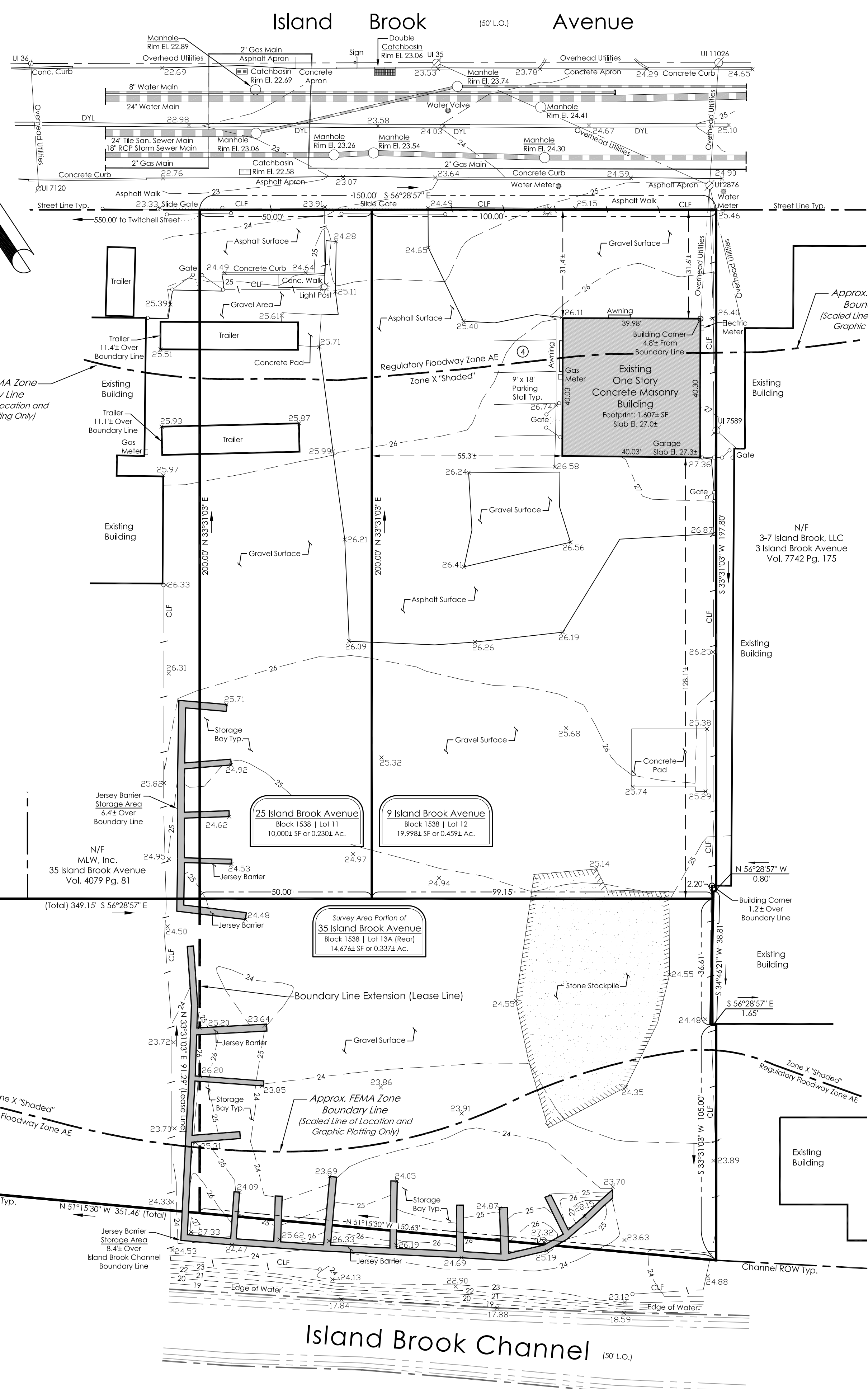
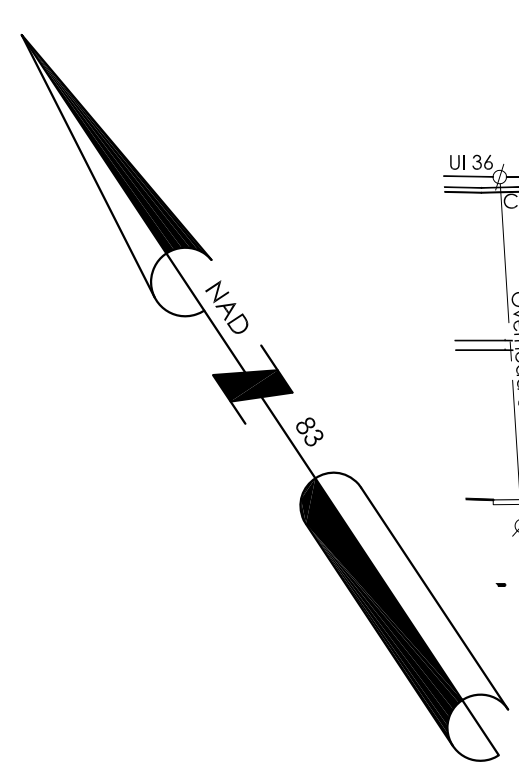
	REQUIRED	EXISTING	PROPOSED
<b>LOT</b>			
LOT AREA, MINIMUM	N/A	44,674± SF	44,674± SF
FRONTAGE, MINIMUM	25 FT	150.00 FT	150.00 FT
FLOOR AREA RATIO, MAXIMUM	N/A	N/A	N/A
PRINCIPLE BUILDING SIZE, MAXIMUM	N/A	N/A	N/A
<b>PRINCIPLE BUILDING SETBACK</b>			
FRONT LOT LINE, MINIMUM FROM	N/A	N/A	N/A
STREET LOT LINE, MINIMUM FROM	15 FT	31.4± FT	± FT
MAXIMUM SETBACK	N/A	N/A	N/A
SIDE LOT LINE, MINIMUM FROM	N/A	N/A	N/A
REAR LOT LINE, MINIMUM FROM	N/A	N/A	N/A
NOT TO EXCEED	N/A	N/A	N/A
<b>MINIMUM SETBACK FROM:</b>			
OTHER HEAVY INDUSTRIAL USE	10 FT	4.8± FT	± FT
OTHER USE	0	4.8± FT	± FT
LOT LINE ABUTTING AN 'R' ZONE	15 FT	N/A	N/A
SIDE	N/A	N/A	N/A
REAR	N/A	N/A	N/A
LOT LINE ABUTTING AN 'M' OR 'I' ZONE	0	4.8± FT	± FT
CORNER LOT YARDS	NOTE 2	N/A	NOTE 2
MEAN HIGH WATER, MINIMUM FROM	N/A	N/A	N/A
<b>ACCESSORY STRUCTURE</b>			
SETBACKS	NOTE 9	N/A	NOTE 9
<b>COVERAGE</b>			
BUILDING COVERAGE, MAXIMUM	85%	5%	± %
SITE COVERAGE, MAXIMUM	85%	100%	± %
<b>LANDSCAPED AREA</b>			
MINIMUM	15%	0%	± %
IN SETBACK ABUTTING AN 'R' ZONE, MIN.	10 FT DEEP @ L4	N/A	±
<b>HEIGHT</b>			
<b>PRINCIPAL BUILDING</b>			
MAXIMUM FOR PRINCIPAL BUILDING	75 FT	14± FT	± FT
PROJECTIONS AND FEATURES	NOTE 5	NONE	NOTE 5
<b>ACCESSORY STRUCTURE, MAXIMUM</b>			
HEIGHT, MAXIMUM	NOTE 7	9± FT	NOTE 7
FLOOR AREA, GROSS MAXIMUM	NOTE 8	40± SF	NOTE 8
<b>PUBLIC ACCESS EASEMENT</b>			
	NOTE 10	NONE	NOTE 10

- NOTES:
- NO MAXIMUM BUILDING SETBACK FROM A STREET LOT LINE SHALL BE REQUIRED FOR ANY PARCEL OF LAND BOUNDED ON THREE OR MORE SIDES BY CITY STREETS AND OWNED BY A CITY GOVERNMENT AGENCY.
  - ON A CORNER LOT IN ANY ZONE, THERE SHALL BE TWO FRONT YARDS AND TWO SIDE YARDS.
  - THE MINIMUM SETBACK FROM MEAN HIGH WATER SHALL BE THIRTY (30) FEET EXCEPT FOR BUILDINGS SUPPORTING WATER-DEPENDENT USES THAT MAY REQUIRE LOCATION IMMEDIATELY ADJACENT TO THE WATER.
  - SEE SECTION 11-3, LANDSCAPING AND SCREENING - THE MINIMUM AREAS REQUIRED TO BE LANDSCAPED ARE LISTED IN TABLE 3, ZONE DEVELOPMENT STANDARDS FOR RESIDENTIAL ZONES AND TABLE 4.A AND 4.B, ZONE DEVELOPMENT STANDARDS FOR NON-RESIDENTIAL ZONES. ANY REQUIRED LANDSCAPING AS FOR REQUIRED SETBACKS OR PARKING LOTS, MAY BE APPLIED TOWARD THE MINIMUM LANDSCAPED AREA PERCENTAGE REQUIREMENT. REQUIRED LANDSCAPING AND SCREENING MUST MEET THE LEVELS REFERENCED IN EACH APPLICABLE ZONE DEVELOPMENT STANDARDS TABLE AND APPLICABLE STANDARDS SET FORTH ELSEWHERE IN THESE REGULATIONS. LANDSCAPING AND SCREENING STANDARDS LEVELS ARE SET FORTH IN SECTION 11-3-1.
  - SEE SECTION 4-4, HEIGHT - MAXIMUM HEIGHTS FOR STRUCTURES ARE LISTED IN THE ZONE DEVELOPMENT STANDARDS TABLES. EXCEPTIONS TO THE MAXIMUM HEIGHTS ARE SET FORTH IN SECTION 4-4-1 (PROJECTIONS ALLOWED) AND 4-4-2 (ARCHITECTURAL FEATURES).
  - BUILDINGS PROPOSED FOR MORE THAN THREE (3) STORES SHALL REQUIRE A SPECIAL PERMIT.
  - ANY ACCESSORY STRUCTURE WITH A FLAT OR ROUNDED ROOF SHALL BE NO HIGHER AT ITS HIGHEST POINT THAN TWELVE (12) FEET AND ANY ACCESSORY STRUCTURE WITH A PITCHED ROOF SHALL BE NO HIGHER THAN FIFTEEN (15) FEET, MEASURED FROM THE AVERAGE LEVEL OF THE GROUND ALONG ALL WALLS OF THE STRUCTURE. IN 'M' AND 'I' ZONES, THE MAXIMUM HEIGHT FOR ANY ACCESSORY STRUCTURE SHALL NOT EXCEED (5) OF THE MAXIMUM HEIGHT FOR PRINCIPAL STRUCTURES IN THAT ZONE.
  - SEE SECTION 4-9, ACCESSORY STRUCTURES - CUSTOMARY ACCESSORY STRUCTURES ARE ALLOWED IN ALL ZONES, AS SPECIFICALLY REGULATED IN THAT ZONE UNDER THE PROVISIONS OF A. LOCATION; B. COMPLIANCE; C. SITE; AND D. PROHIBITED USE.
  - SETBACKS FOR ACCESSORY STRUCTURES SHALL BE THE SAME AS SETBACKS FOR PRINCIPAL STRUCTURES.
  - A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON ANY NON-RESIDENTIAL PROPERTY ABUTTING A WATERWAY, IN SUCH A CASE, A DEDICATED OPEN SPACE AREA SHALL BE ESTABLISHED FROM THE TOP OF THE EMBANKMENT AND FOR TWENTY (20) FEET INLAND.
  - PARKING GARAGES SHALL BE EXEMPT FROM THE FLOOR AREA RATIO (FAR) REQUIREMENT AND SHALL NOT BE INCLUDED IN THE CALCULATION OF THE GROSS FLOOR AREA IN AN 'M' OR 'I' ZONE.
  - MAXIMUM HEIGHT FOR A PASSENGER TERMINAL SHALL BE 60 FT.
  - N/A - NOT APPLICABLE  
N/C - NO CHANGE

## LEGEND

NF	NOW OR FORMERLY	CB	CATCH BASIN
MON	MONUMENT	WM	WATER METER
IP	IRON PIPE	WV	WATER VALVE
FND	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
UG	UNDER GROUND	INT	INTERSECTION
MH	MANHOLE	INV	INVERT
ELEC.	ELECTRIC	C.I.	CAST IRON
UP	UTILITY POLE	V.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EOP	EDGE OF PAVEMENT	± 8.65	EXISTING SPOT GRADE
RET.	RETAINING	± 10	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
FFE	FINISHED FLOOR ELEVATION	②	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
ET	EXISTING CONIFER TREE	ET	EXISTING DECIDUOUS TREE

GROSS LAND AREA TABLE		
	SQ. FT.	ACRES
9 Island Brook Avenue (Lot 12)	19,998±	0.459±
25 Island Brook Avenue (Lot 11)	10,000±	0.230±
35 Island Brook Avenue Rear (Lot 13A) Portion Of	14,674±	0.337±
COMBINED AREA	44,674±	1.026±



LOCATION MAP  
SCALE: 1" = 800'

### NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1994. IT IS AN **IMPROVEMENT LOCATION SURVEY AND TOPOGRAPHIC SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS **A-2** AND TOPOGRAPHIC ACCURACY CLASS **1-2** AND IS INTENDED FOR **MUNICIPAL COMPLIANCE** PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED USING GEOID03 AND CONVERTED TO THE CITY OF BRIDGEPORT DATUM (+14.60). LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (CORS94). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON **APRIL 4, 2012** IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA: **STATION: ORANGE, NORTHING 453555.9292, EASTING 927267.5499, LATITUDE 41°15'15.89404", LONGITUDE 73°00'52.60263", ELLIPSOID -4.143**
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
  - MAP ENTITLED "SITE PLAN SHOWING SUBDIVISION OF PROPERTY OF HELEN MINUTOLA, ISLAND BROOK AVENUE, BRIDGEPORT," DATED JULY 21, 1977; REVISED SEPTEMBER 21, 1977; PREPARED BY J&D KASPER & ASSOC. AND FOUND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - MAP ENTITLED "SUBDIVISION FOR THE SCHWARTZ BROTHERS COMPANY," DATED APRIL 8, 1954; REVISED JULY 16, 1954; PREPARED BY FULLER & CO. AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 18 PG. 68**.
  - MAP ENTITLED "MAP OF PROPERTY OF NICHOLAS DeNAPOLI," DATED JANUARY 3, 1955; PREPARED BY FRANK C. PENNY AND FOUND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 1538**.
- PARCEL INFORMATION:
  - 9 ISLAND BROOK AVENUE  
A. ASSESSOR'S REFERENCE: BLOCK 1538 | LOT 12  
B. TOTAL PARCEL AREA = 20,000± SQ. FT., 0.459± AC.  
C. RECORD OWNER: MLW, INC.; VOL. 4079 PG. 81
  - 25 ISLAND BROOK AVENUE  
A. ASSESSOR'S REFERENCE: BLOCK 1538 | LOT 11  
B. TOTAL PARCEL AREA = 10,000± SQ. FT., 0.230± AC.  
C. RECORD OWNER: MLW, INC.; VOL. 4079 PG. 81
  - 35 ISLAND BROOK AVENUE  
A. ASSESSOR'S REFERENCE: BLOCK 1538 | LOT 13A  
B. TOTAL PARCEL AREA = 31,104± SQ. FT., 0.714± AC.  
C. RECORD OWNER: MLW, INC.; VOL. 4079 PG. 81
- PARCELS ARE LOCATED WITHIN THE 'L' ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 429 OF 426, COMMUNITY BRIDGEPORT, CITY OF, NUMBER 090002 PANEL 0429 SUFFIX G, MAP REVISED JULY 8, 2013. THE PARCELS LOCATED IN AREAS DESIGNATED AS **ZONE X (SHADED)** ARE A **REGULATORY FLOODWAY IN ZONE AE BETWEEN CROSS SECTION 'J' ELEVATION 12.1 AND CROSS SECTION 'K' ELEVATION 13.7 (DATUM NAVD 88)**.
- THE SUBJECT PARCEL IS LOCATED WITHIN THE PEQUONNOCK RIVER COASTAL BOUNDARY - NON-RESIDENTIAL ZONE. SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT **SHEET 4 OF 4**, SCALE: 1"=500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.
- BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).

## IMPROVEMENT LOCATION SURVEY - AND - TOPOGRAPHIC SURVEY

PREPARED FOR  
**ARCHITECTURAL STONE GROUP, LLC**

9, 25 AND A PORTION OF 35  
ISLAND BROOK AVENUE  
BRIDGEPORT, CONNECTICUT  
ASSESSOR'S REFERENCE: MAP 53 | BLOCK 1538 | LOT 12, 11, 13A

SHEET 1 OF 1  
MAY 18, 2020 WASHINGTON CABEZAS, JR., P.E. LS SCALE: 1" = 20'

**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604  
P:203 330 8700 • F:203 330 8701

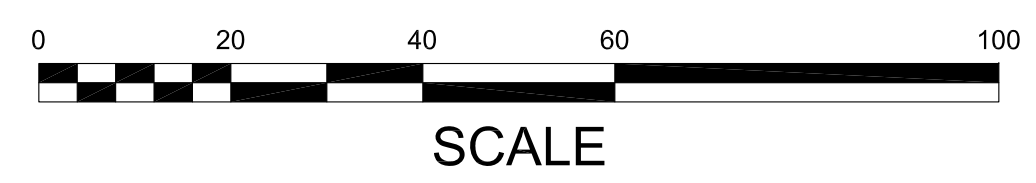
SCALE: 1"=20'  
FIELD FILE: 9-25-35 Island Brook Ave.nw5  
PROJECT NO. CD1382  
DATE: May 18, 2020  
FILE: 9, 25, 35 Island Brook Av., ILS.dwg  
SHEET 1 OF 1  
REV: 1

STATE OF CONNECTICUT  
No. 70210  
LICENSED PROFESSIONAL SURVEYOR

STATE OF CONNECTICUT  
No. 70210  
LICENSED PROFESSIONAL ENGINEER

TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

WASHINGTON CABEZAS, JR. PEL 70210



**PROGRESS PRINT**  
**5-18-2020**



# ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

\_\_\_\_\_ Zone \_\_\_\_\_  
(Number) (Street) (Zone Classification)

On the \_\_\_\_\_ side of the street about \_\_\_\_\_ feet \_\_\_\_\_ from  
(North, South, East, West) (North, South, East, West)

\_\_\_\_\_ Block : \_\_\_\_\_ Lot: \_\_\_\_\_  
(Street)

Dimension of Lot in Question \_\_\_\_\_  
(Specify)

1. NAME OF APPLICANT / BUSINESS \_\_\_\_\_  
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) \_\_\_\_\_

3. HAS A PREVIOUS APPLICATION BEEN FILED? \_\_\_\_\_ IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT \_\_\_\_\_

5. THIS APPLICATION RELATES TO: Check all that Apply

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management  
Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY \_\_\_\_\_

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? \_\_\_\_\_

APPLICANT \_\_\_\_\_ / \_\_\_\_\_ DATE \_\_\_\_\_  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address \_\_\_\_\_  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

## Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).

The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.

NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.  
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

\_\_\_\_\_ FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_

**Statement:**

The specific regulation that we are requesting a variance for is the minimum cumulative setback, which in this case is 20' due to the lot being in a RA zone. If we were to adhere to the 20' minimum setback we would have to build a house that would not be functional because it would be too narrow and it would also not conform to the neighborhood.

When this lot was originally established this regulation was not in place and we would have been able to build a functional home. This regulation was only recently put in place. When we purchased the lot from the City of Bridgeport it was our understanding that it would be a buildable lot. We are requesting a variance on this regulation to be able to build a conforming home.

Thank you,

Luis Vaz  
Owner



## **Owners within 100' of property:**

Fernando Ferrari  
540 Birmingham Street, Bridgeport, CT 06606

Nancy Omonte  
445 Burnsford Avenue, Bridgeport, CT 06606

Sadiki Thames  
425 Burnsford Avenue, Bridgeport, CT 06606  
Mailing address: 36 Pocono Ridge Road, Brookfield, CT 06790

Andrew and Camealle Chambers  
415 Burnsford Avenue, Bridgeport, CT 06606

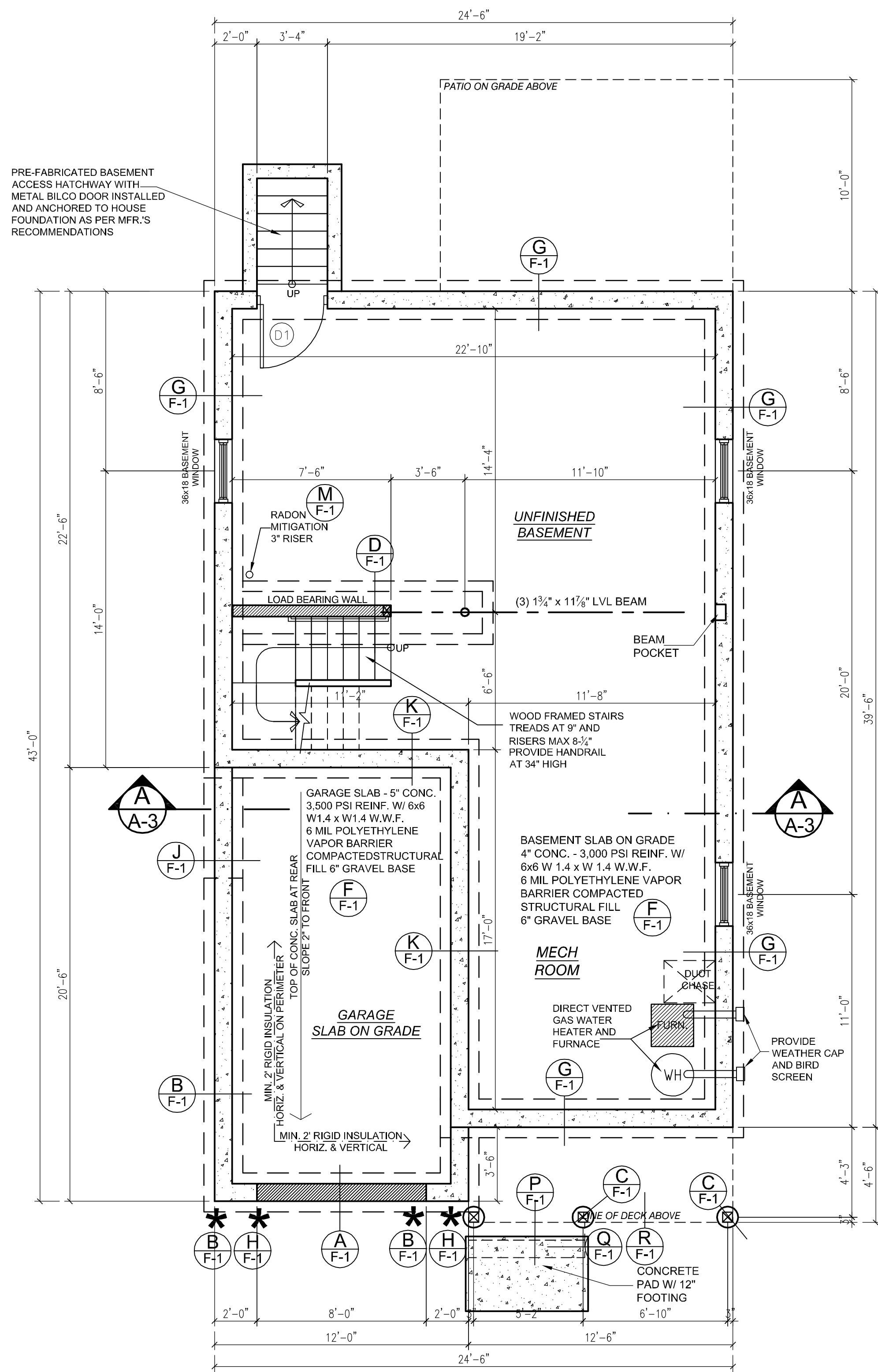
Louise G. Wrynn  
405 Burnsford Avenue, Bridgeport, CT 06606

Rowynna Dail  
395 Burnsford Avenue, Bridgeport, CT 06606

Jenna Venditto  
492 Birmingham Street, Bridgeport, CT 06606

Adrian D. Dantley  
502 Birmingham Street, Bridgeport, CT 06606

Carmen Freitas Neto  
510 Birmingham Street, Bridgeport, CT 06606



**BASEMENT & FOUNDATION PLAN**  
SCALE 1/4" = 1'-0"

**Simpson Strong-Tie STHD14**  
Min. 3500 lb. embedded  
tie-down each end of panel

**FOUNDATION NOTES -**

ALL FOOTINGS SHALL BE ON UNDISTURBED SOIL OF NOT LESS THAN 3,000 LBS PER SQUARE FOOT BEARING CAPACITY. FOOTING SHALL BE BELOW FROST LINE A MINIMUM OF 3'-6" FROM GRADE TO THE BOTTOM OF THE FOOTING. EXCEPT THAT THE BOTTOM OF THE FOOTING SHALL BE ADJUSTED TO THE ACTUAL LEVEL OF APPROVED BEARING STRATE FOUND ON EXCAVATING.

CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,000 POUND PER SQUARE INCH 28 DAYS.

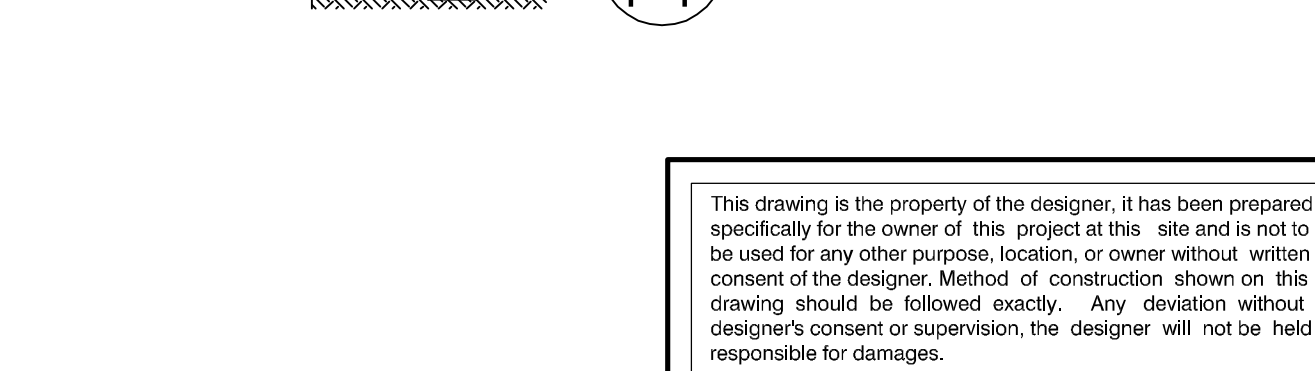
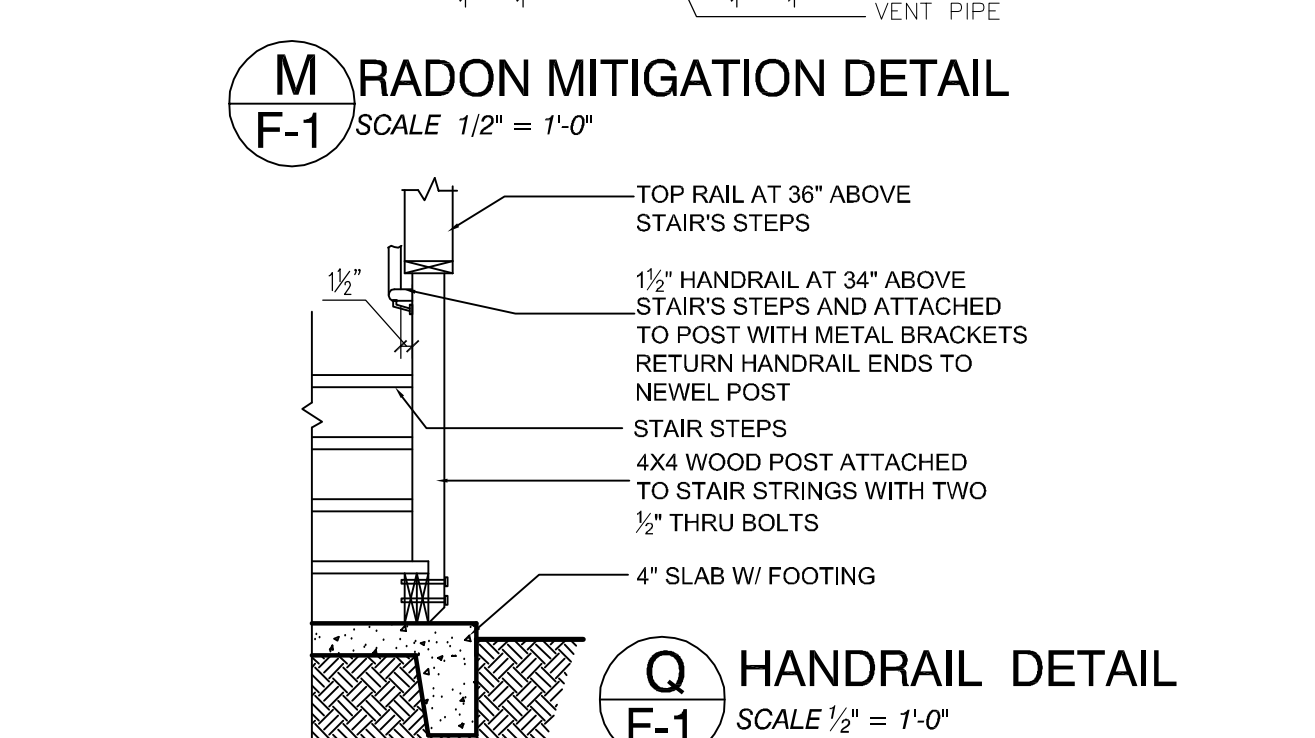
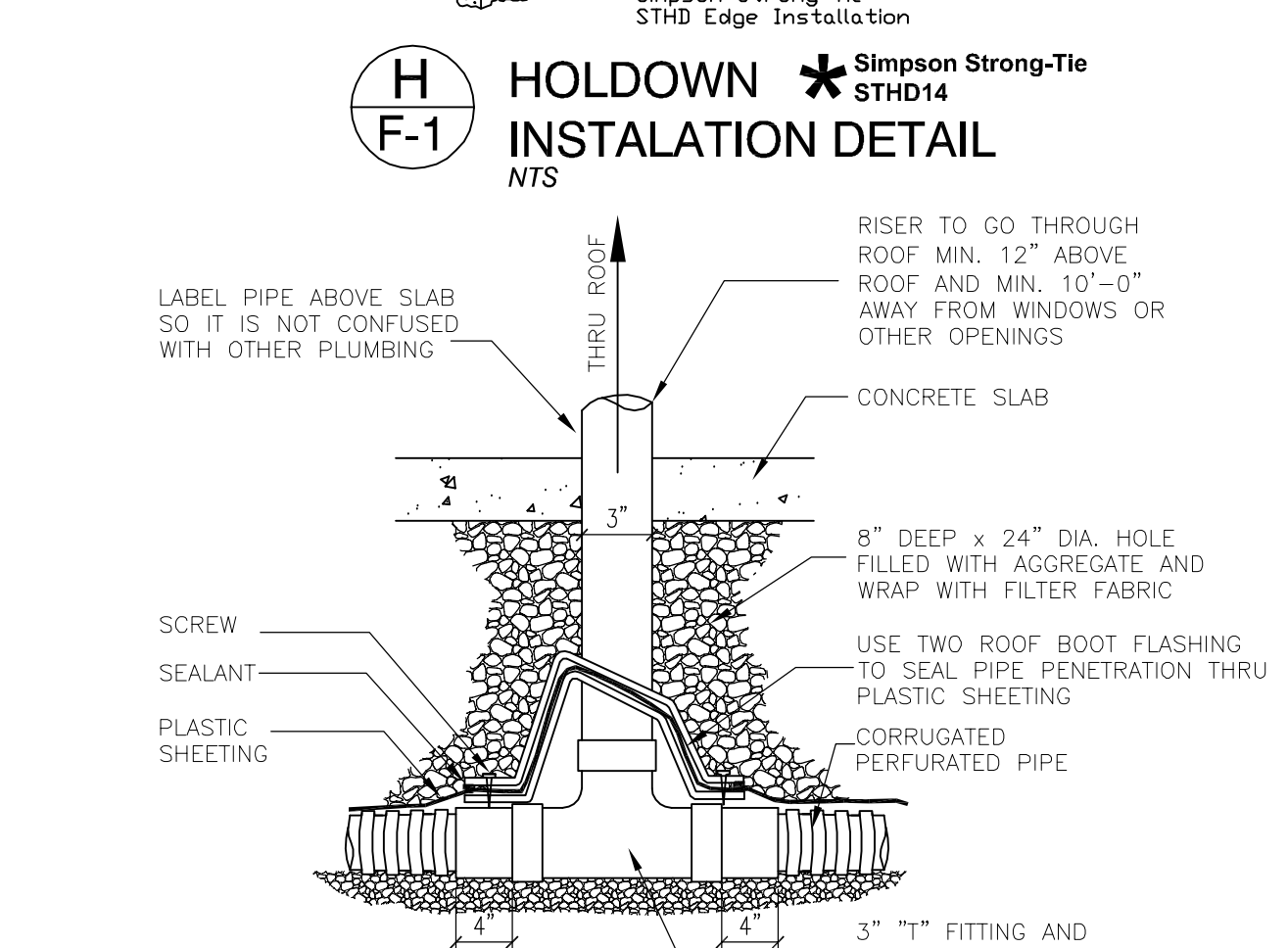
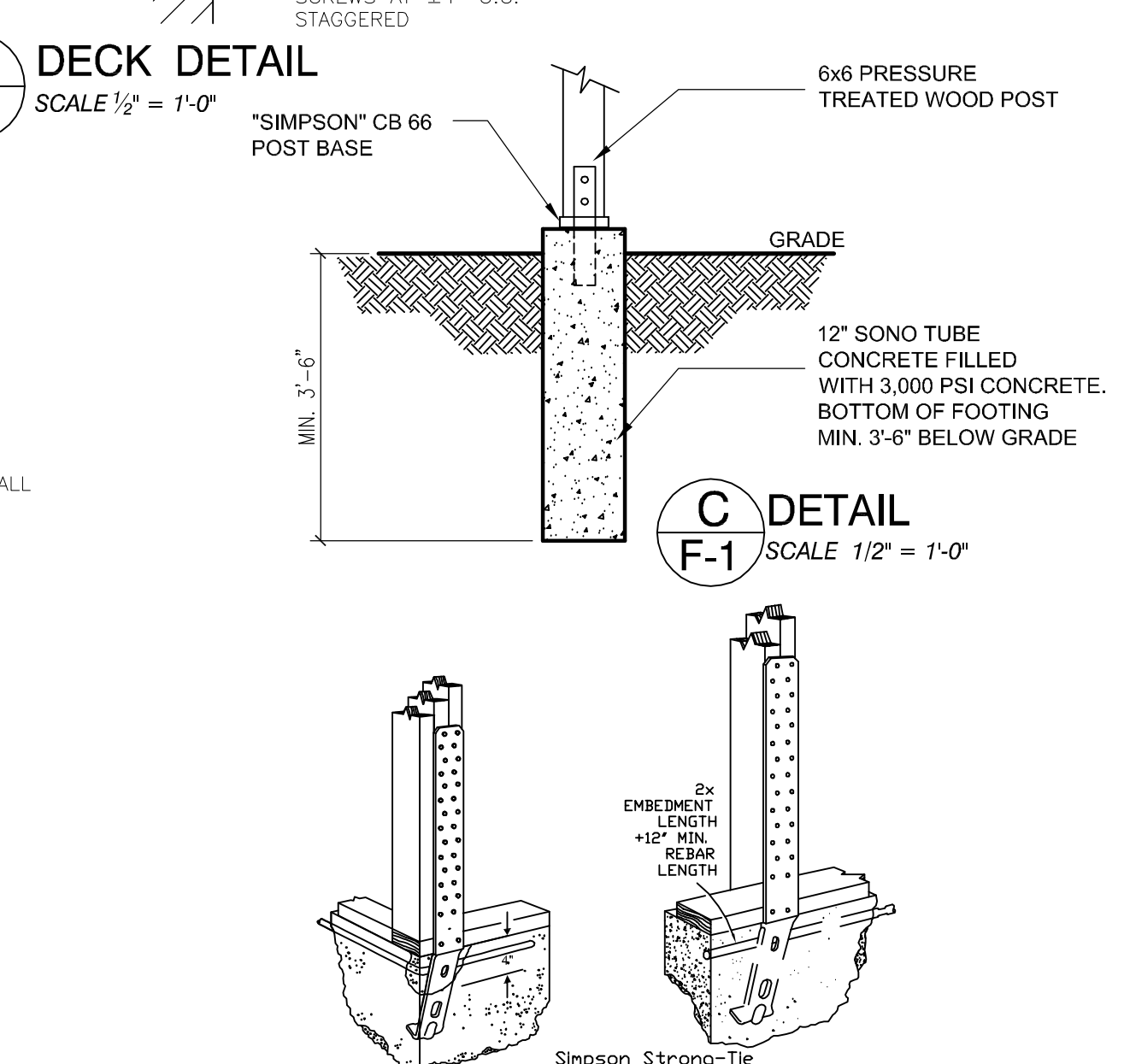
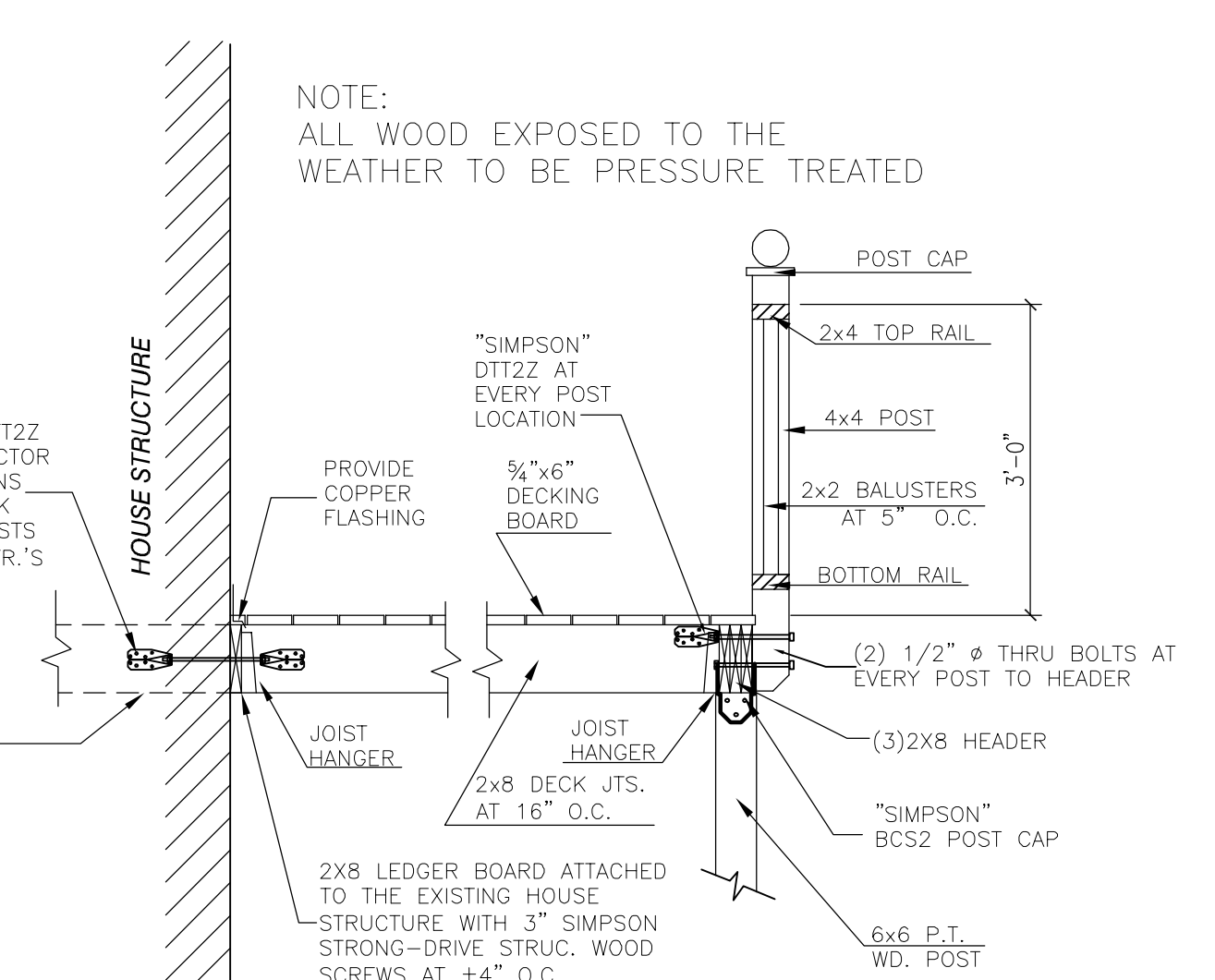
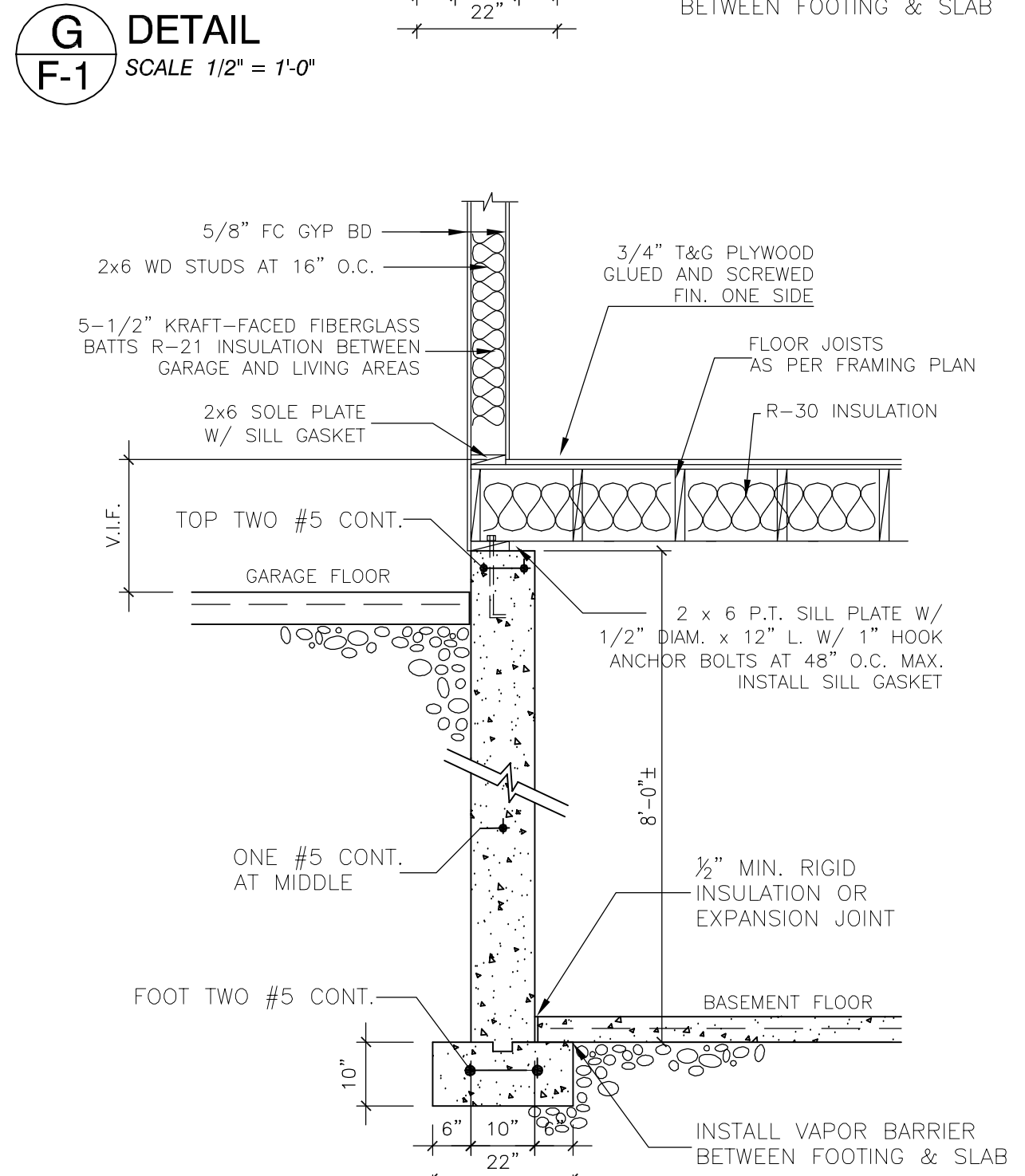
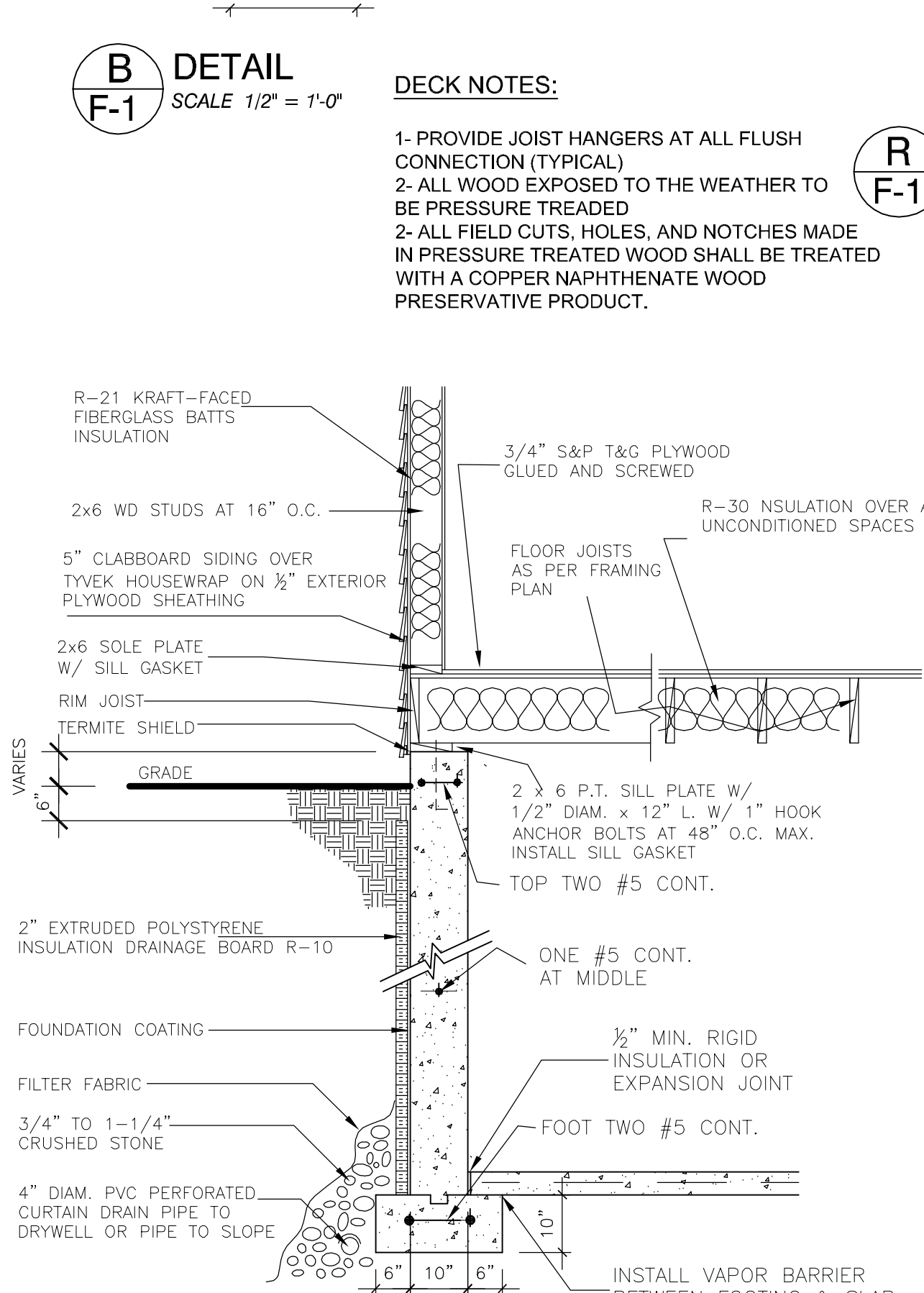
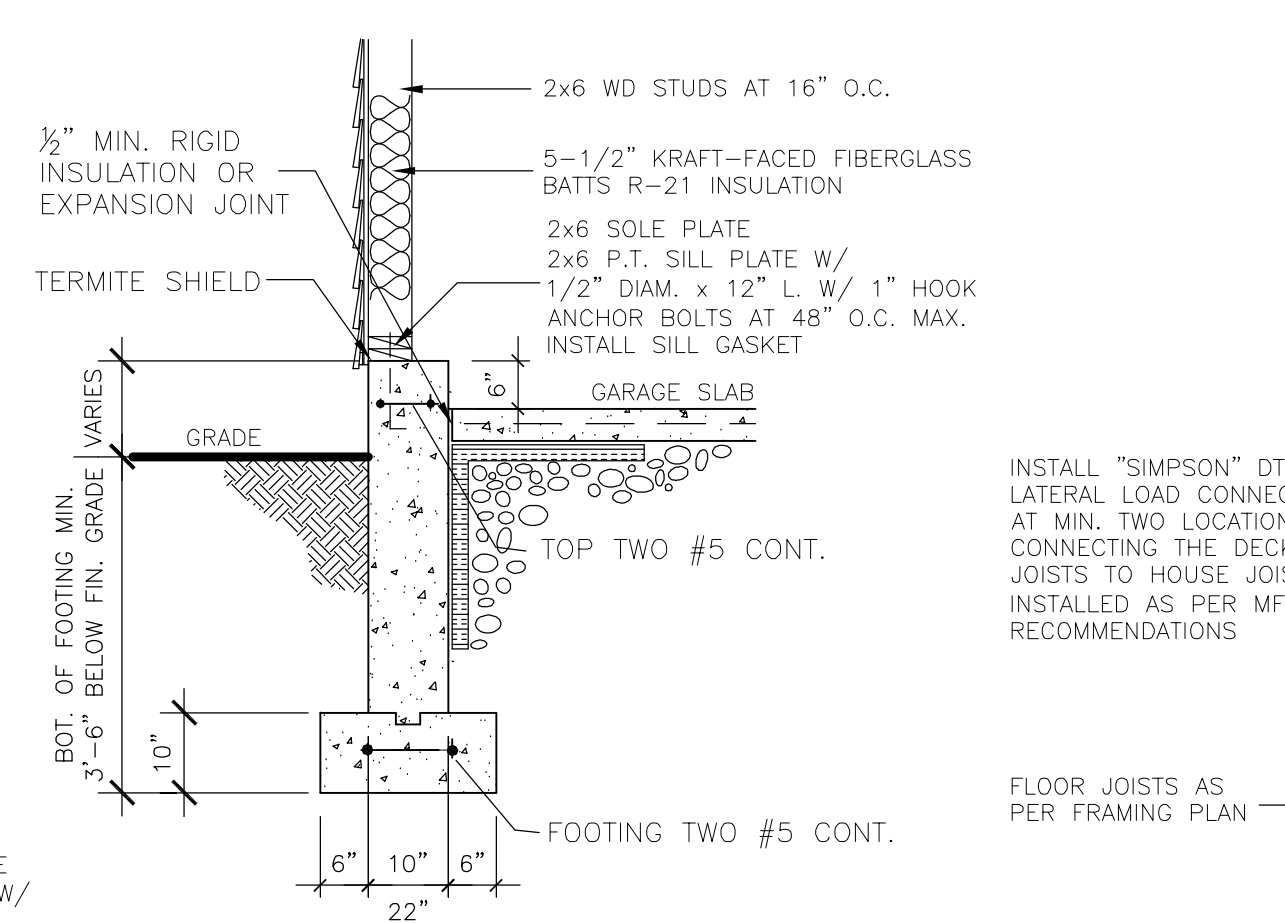
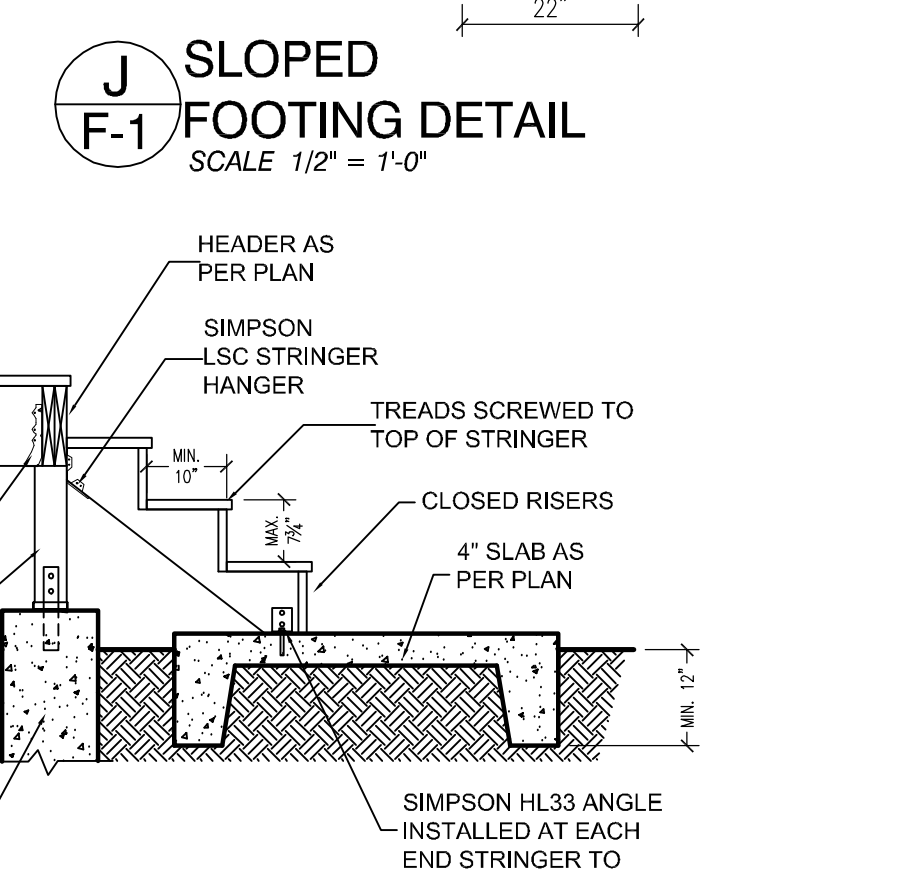
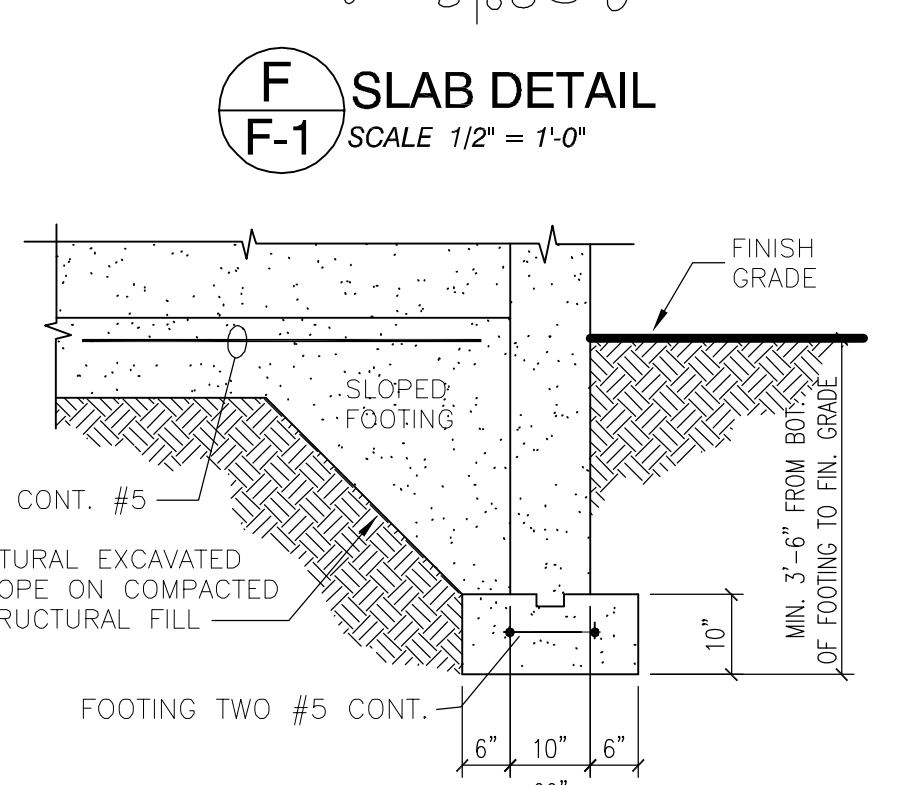
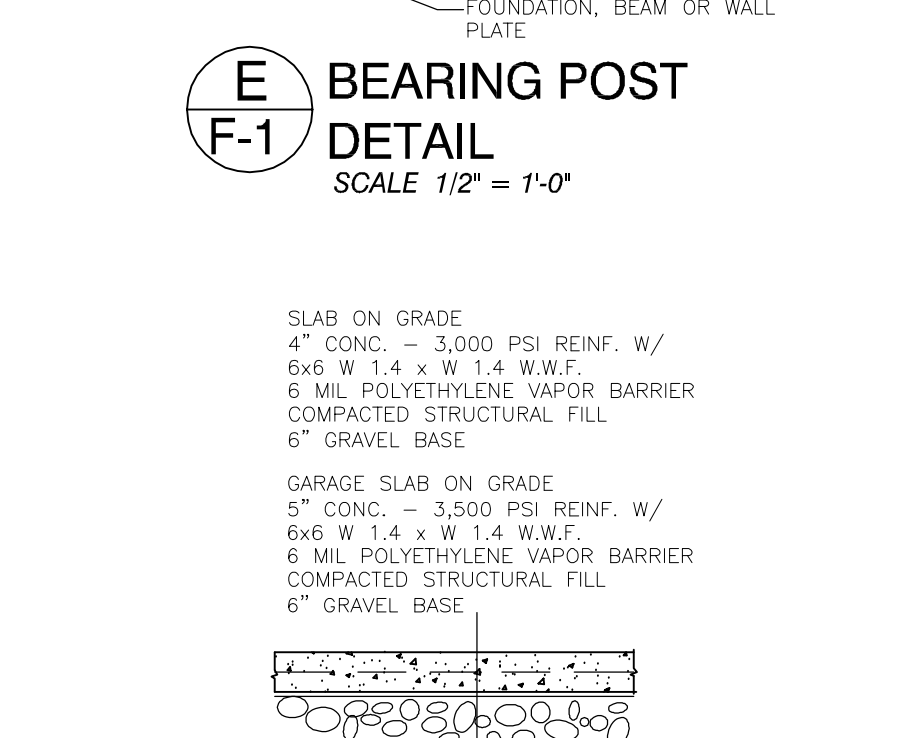
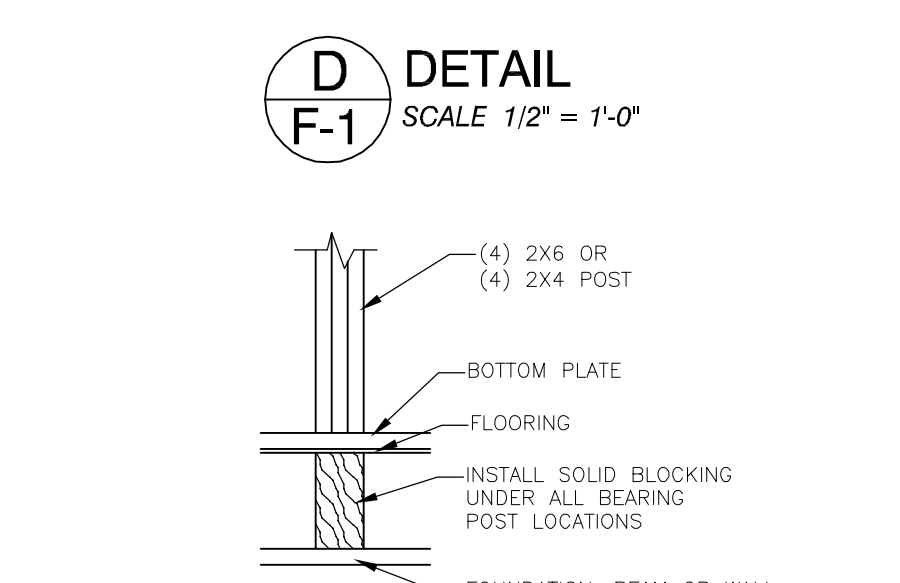
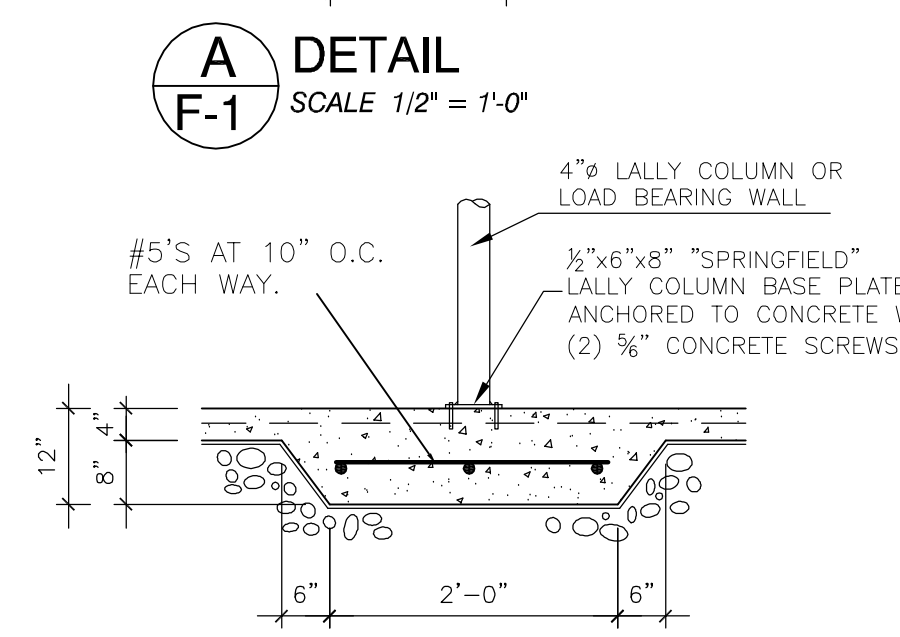
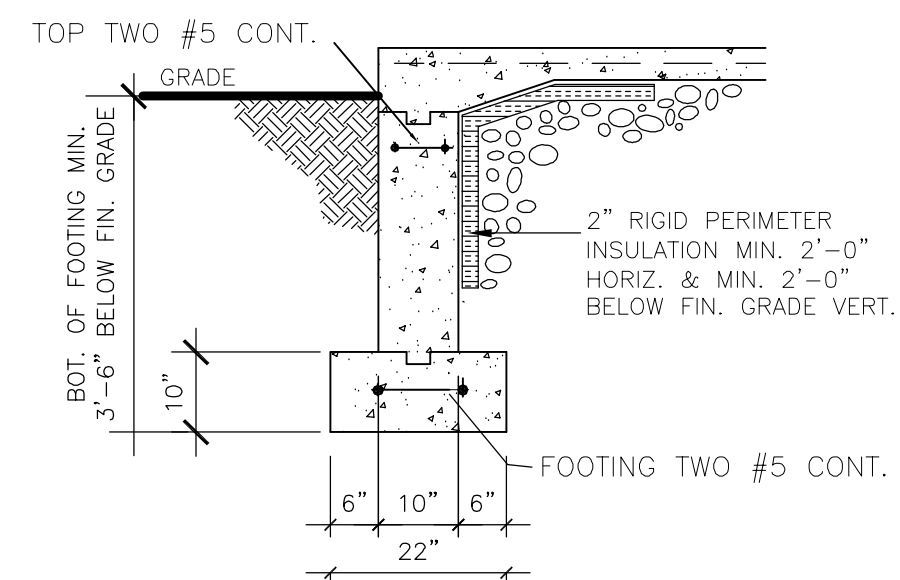
VAPOR BARRIER SHALL BE POLYETHYLENE SHEETS HAVING A THICKNESS OF 6 MILS MINIMUM.

CONTRACTOR SHALL PROVIDE THE NAME & ADDRESS OF THE CONCRETE SUPPLIER AND CONCRETE INSTALLER PRIOR TO INSTALLATION.

**UTILITY ROOM NOTES -**

ALL INTERIOR OF EXTERIOR WALLS EXCEPT CONC. WALLS TO BE FIN. W/ 5/8" FIRE CODE TYPE "X" GYPSUM BOARD. CEILING TO BE 5/8" TYPE "X" GYPSUM BOARD AND TO BE PROVIDED 1-HR RATED PARTITIONS AROUND UTILITY ROOM.

WHERE UTILITY ROOM IS NOT ENCLOSED CEILING SHALL HAVE A 100 S.F. AREA PROVIDED WITH 5/8" TYPE "C" GYPSUM BOARD



- DECK NOTES:**
- 1- PROVIDE JOIST HANGERS AT ALL FLUSH CONNECTION (TYPICAL)
  - 2- ALL WOOD EXPOSED TO THE WEATHER TO BE PRESSURE TREATED
  - 2- ALL FIELD CUTS, HOLES, AND NOTCHES MADE IN PRESSURE TREATED WOOD SHALL BE TREATED WITH A COPPER NAPHTHENE WOOD PRESERVATIVE PRODUCT.

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

**NEW SINGLE FAMILY HOME PLANS**  
PREPARED FOR PROPERTY LOCATED AT  
116 PEET STREET, BRIDGEPORT, CT

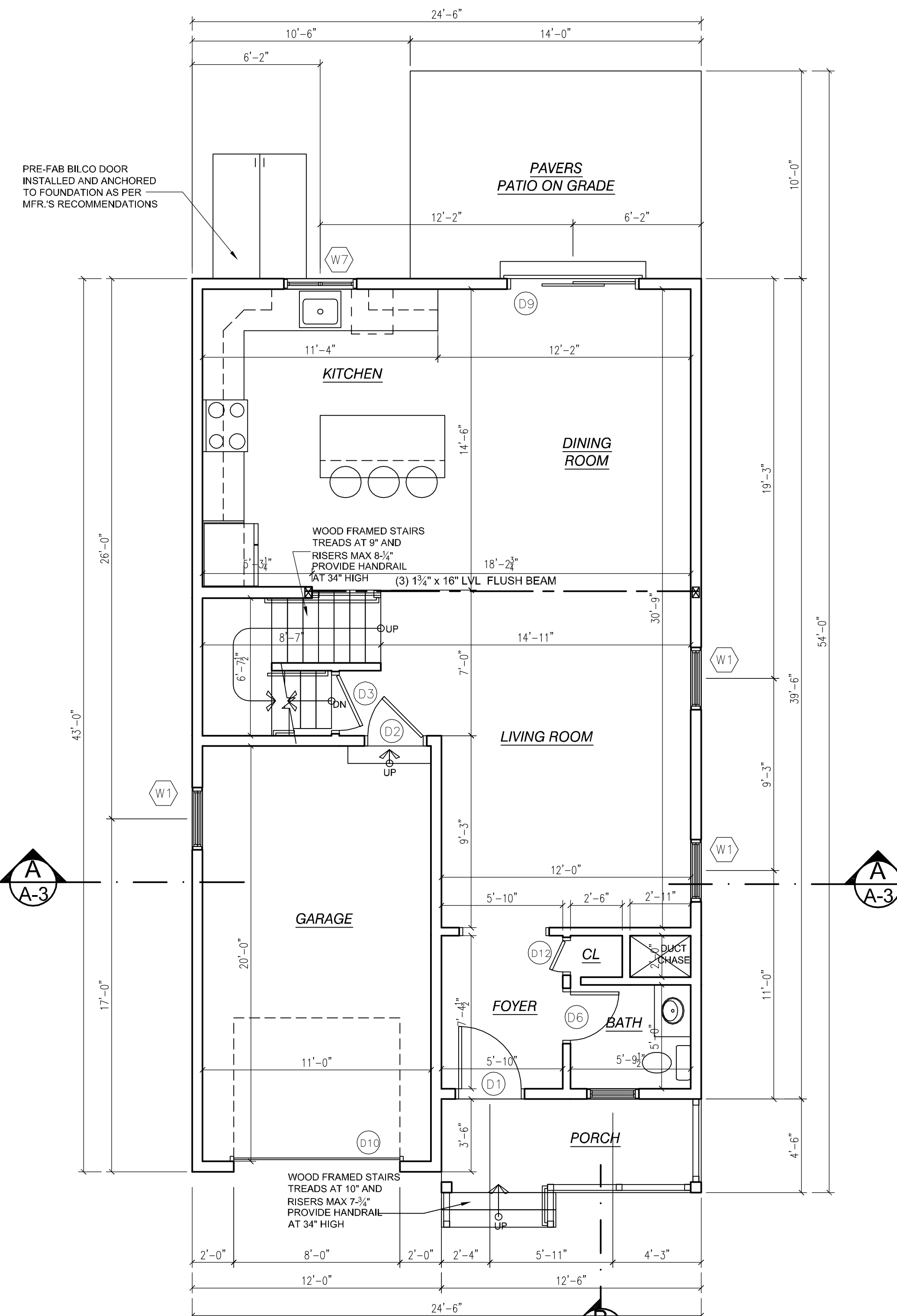
FOUNDATION PLAN & DETAILS

date: 02-02-2021  
drawn: M. REINHHEIMER 203-449-6137  
E-Mail: marcosprimrose@yahoo.com

scale: AS NOTED  
project #: MCR-2021-101

1 2 3 4 5 6  
SUOISIAEJ

**F-1**



**FIRST FLOOR PLAN**  
 SCALE 1/4" = 1'-0"  
 1ST FLOOR LIVING SPACE = 710 SF  
 2ND FLOOR LIVING SPACE = 845 SF  
 GARAGE = 250 SF

**MECHANICAL NOTES**

- #1 - NEW FURNACE TO BE HIGH EFFICIENCY GAS DIRECTED VENTED UNIT, AND SHALL BE INSTALLED AS PER MFR.'S RECOMMENDATIONS
- #2 - GAS DIRECTED VENTED WATER HEATER TO BE INSTALLED AS PER MFR.'S RECOMMENDATIONS

**BATHROOM NOTES**

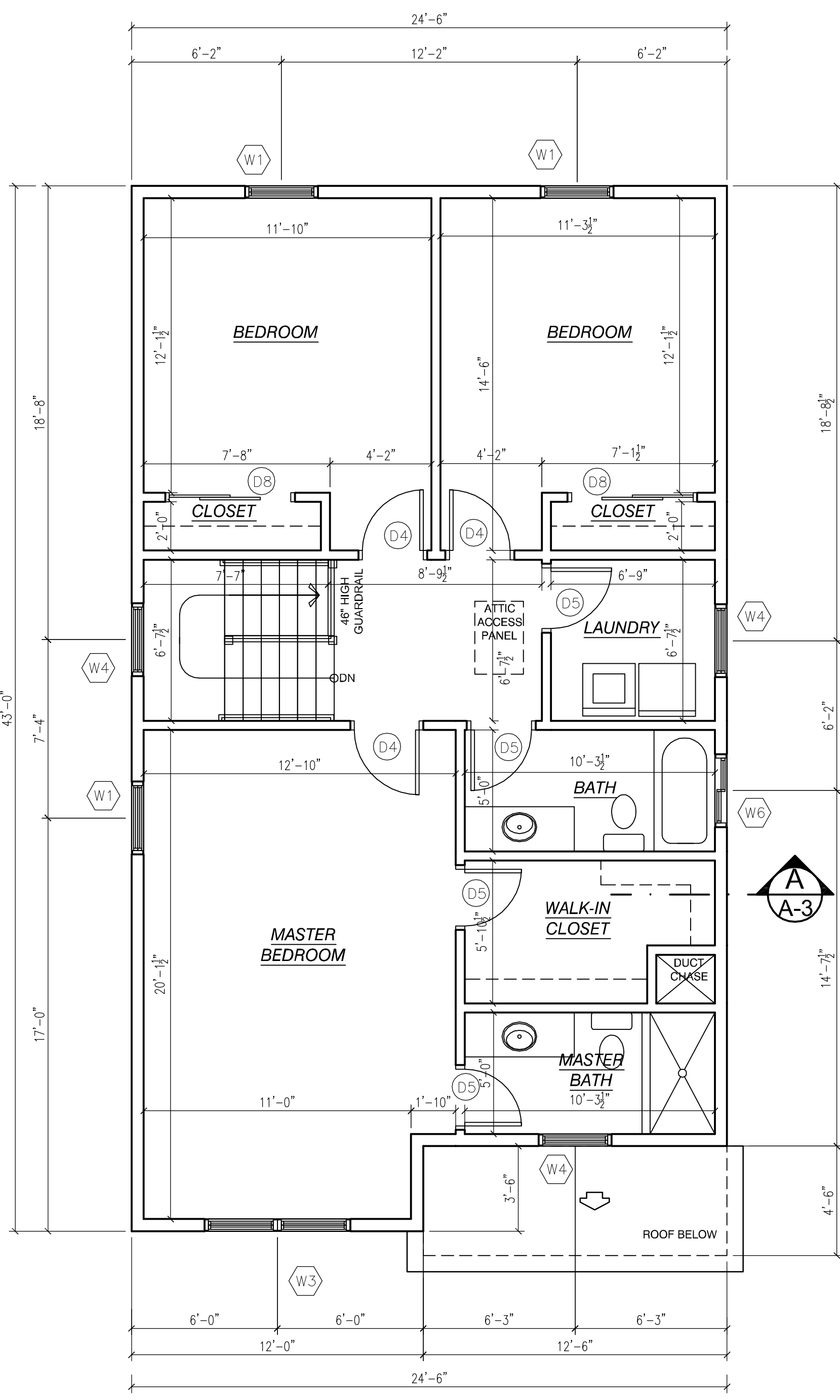
- #1 - INTERIOR WALLS FOR CERAMIC TILE INSTALLATION, PROVIDE MULTI + WONDERBOARD, SUCH AS SHOWER TUB SURROUNDS IN DRY AREAS USE 1/2" W/R GYPSUM BOARD.
- #2 - FLOOR FOR CERAMIC TILE INSTALLATION - FLOOR + WONDERBOARD OVER PLYWOOD SUB-FLOOR.
- #3 - BATHROOM EXHAUST FAN DUCTED TO OUTSIDE PROVIDE WEATHER CAP.
- #4 - SHOWER LIGHT AND LIGHTING ABOVE WHIRLPOOL SHALL BE VAPOR PROOF.(IF APPLICABLE)
- #5 - PROVIDE WHIRLPOOL MOTOR SERVICE PANEL. (IF APPLICABLE)

**GARAGE NOTES -**

- ALL INTERIOR WALLS OF EXTERIOR WALLS TO BE FIN. W/ 5/8" FIRECODE TYPE "X" GYPSUM BOARD
- PROVIDE 1-HR. RATED PARTITIONS BETWEEN GARAGE AND DWELLING WITH 5/8" FIRECODE TYPE "X" GYPSUM BOARD APPLIED TO EACH SIDE OF 2X4 WOOD STUDS AT 16" O.C.
- ALL GARAGE CEILINGS TO BE INSTALLED W/ 5/8" FIRECODE TYPE "X" GYPSUM BOARD

**PLUMBING GENERAL NOTES -**

- PROVIDE VACUUM BREAKER VALVE STOP VALVE HB - HOSE BIB FROST-FREE, LOOSE KEY DISHWASHER - PROVIDE EMERGENCY BALL STOP VALVE IN CABINET
- WASHING MACHINE - PROVIDE "DUO-CLOZ" SHUT-OFF VALVE AT INTERIOR WALL OF LAUNDRY CLOSET NEAR TO THE DOOR.



**SECOND FLOOR PLAN**  
 SCALE 1/4" = 1'-0"

**GENERAL NOTES**

- #1 - AS PER 2015 IRC SECTION R302.7 - UNDER STAIR PROTECTION: ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- #2 - ALL WINDOWS AND EXTERIOR DOORS INCLUDING GARAGE OVERHEAD DOOR TO BE CERTIFIED AND LABELED BY MANUFACTURE WITH DESIGN PRESSURE RATING TO WITHSTAND 125 MPH WINDS.
- #3 - AS PER "2015 IRC" SECTION R319 - PREMISES IDENTIFICATION: APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- #4 - PRE-ENGINEERED LUMBER COMPANY SHALL PROVIDE SHOP DRAWINGS WITH ALL LOAD CALCULATIONS FOR PERMIT PRIOR TO INSTALLATION. (IF APPLICABLE)
- #5 - PROVIDE METAL JOIST HANGER AT ALL FLUSH CONNECTIONS
- #6 - ANY SPACE BETWEEN WINDOW & DOOR JAMBS AND FRAMING, AT EXTERIOR WALLS, ARE REQUIRED TO BE SEALED BY EITHER CAULK OR BACKER ROD.
- #7 - SHOWER/TUB ON EXTERIOR WALL - EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWER AND TUBS. INSTALL DRAFT STOP SHEATHING BEHIND SHOWER AND TUBS ON EXTERIOR WALLS.
- #8 - CHEMICAL TERMITICIDE TREATMENT SHALL BE PROVIDED AND SHALL INCLUDE SOIL AND OR FIELD APPLIED WOOD TREATMENT. APPLICATION AND METHOD OF TREATMENT OF THE CHEMICAL TERMITICIDE SHALL BE IN STRICT ACCORDANCE WITH THE TERMITICIDE MFR.'S LABEL.

DOOR SCHEDULE		
	SIZE	REMARKS
D1	3'-0" x 6'-8" x 1-3/4" FULLY WEATHER-STRIPPED, ALUM. SILL	INSULATED
D2	2'-8" x 6'-8" x 1-3/4"	20-MIN. FIRE RATED INSULATED
D3	2'-8" x 6'-8" x 1-3/4"	INSULATED
D4	2'-8" x 6'-8" x 1-3/8"	
D5	2'-6" x 6'-8" x 1-3/8"	
D6	2'-4" x 6'-8" x 1-3/8"	POCKET OPTIONAL
D7	4'-0" x 6'-8"	SLIDING CLOSET DOOR
D8	5'-0" x 6'-8"	SLIDING CLOSET DOOR
D9	6'-0" x 6'-8"	EXTERIOR SLIDING PATIO DOOR
D10	8'-0" x 8'-0" INSULATED OVERHEAD GARAGE DOOR	
D11	5'-0" x 6'-8"	BI-FOLD LAUNDRY DOOR
D12	1'-6" x 6'-8" x 1-3/8"	
D13	5'-0" x 6'-8"	EXTERIOR SLIDING PATIO DOOR

WINDOW SCHEDULE			
	ROUGH OPENING	NOMINAL SIZE	REMARKS
W1	SEE MFR.'S SPECIFICATIONS	3'-0" x 5'-0"	D.H. (EGRESS)
W2	SEE MFR.'S SPECIFICATIONS	2'-6" x 4'-0"	D.H.
W3	SEE MFR.'S SPECIFICATIONS	6'-0" x 5'-0"	DOUBLE D.H. (EGRESS)
W4	SEE MFR.'S SPECIFICATIONS	3'-0" x 4'-0"	D.H.
W5	SEE MFR.'S SPECIFICATIONS	5'-0" x 5'-0"	DOUBLE D.H.
W6	SEE MFR.'S SPECIFICATIONS	3'-0" x 1'-6"	SLIDING - SILL 60" A.F.F.
W7	SEE MFR.'S SPECIFICATIONS	3'-6" x 3'-4"	DOUBLE CASEMENT
W8	SEE MFR.'S SPECIFICATIONS	2'-0" x 3'-6"	D.H.

**WINDOW NOTES**

- 1 - AS PER 2015 IRC- SECTION R310.1.1: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING WITH A MINIMUM NET CLEAR OPENING OF 5.7 SF. EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SF. WITH A MINIMUM NET REQUIRED CLEARANCE OF 20" WIDTH AND 24" HEIGHT. IN EXISTING BUILDINGS UNDERGOING ALTERATION OR INSTALLATION OF REPLACEMENT WINDOWS IT SHALL BE PERMITTED TO UTILIZE REMOVABLE SASH WINDOWS TO ACHIEVE THE REQUIRED MIN. CLEAR OPENINGS FOR EGRESS.
- 2 - EMERGENCY ESCAPES AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE
- 3 - WINDOWS PERFORMANCE DATA:  
 U-FACTOR: LoE = 0.32 W/ ARGON GAS FILL SHGC: LoE = 0.32  
 DP-RATING = DP-50
- 4 - AS PER 2015 IRC SECTION R312.2 - WINDOW SILL SHALL NOT BE LESS THAN 24" ABOVE FIN. FLOOR IF WINDOW SILL IS MORE THAN 72" ABOVE EXTERIOR FINISH GRADE.  
 EXCEPTIONS:  
 A) THE OPERABLE SECTION OF THE WINDOW SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE.  
 B) OPENING IS PROVIDED WITH FALL PREVENTION DEVICE THAT COMPLIES WITH ASTM F 2090  
 C) WINDOW IS PROVIDED WITH OPENING CONTROL DEVICE THAT COMPLIES WITH 2015 IRC R312.2.2
- 5 - WINDOWS AND EXTERIOR DOORS SHALL BE TESTED AND LABELED TO WITHSTAND A MIN. OF 130 MPH WIND LOAD.
- 6 - SPACE BETWEEN WINDOW & DOOR JAMBS AND FRAMING SHALL BE SEALED WITH NON-EXPANDING INSULATION AND CAULK OR BACKER ROD AND CAULK.

1	2	3	4	5	6
---	---	---	---	---	---

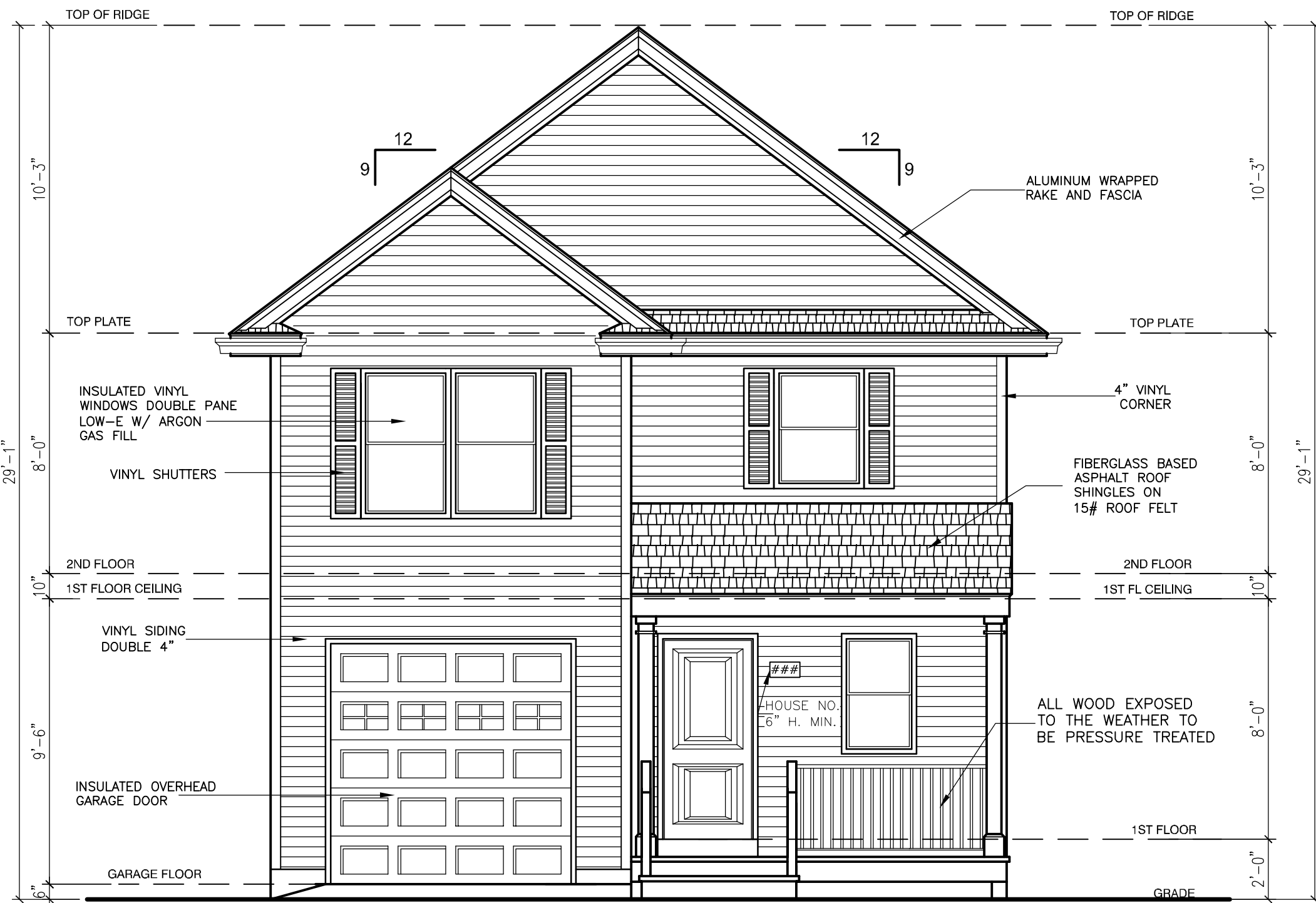
REVISIONS
-----------

**NEW SINGLE FAMILY HOME PLANS**  
 PREPARED FOR PROPERTY LOCATED AT  
 116 PEET STREET, BRIDGEPORT, CT

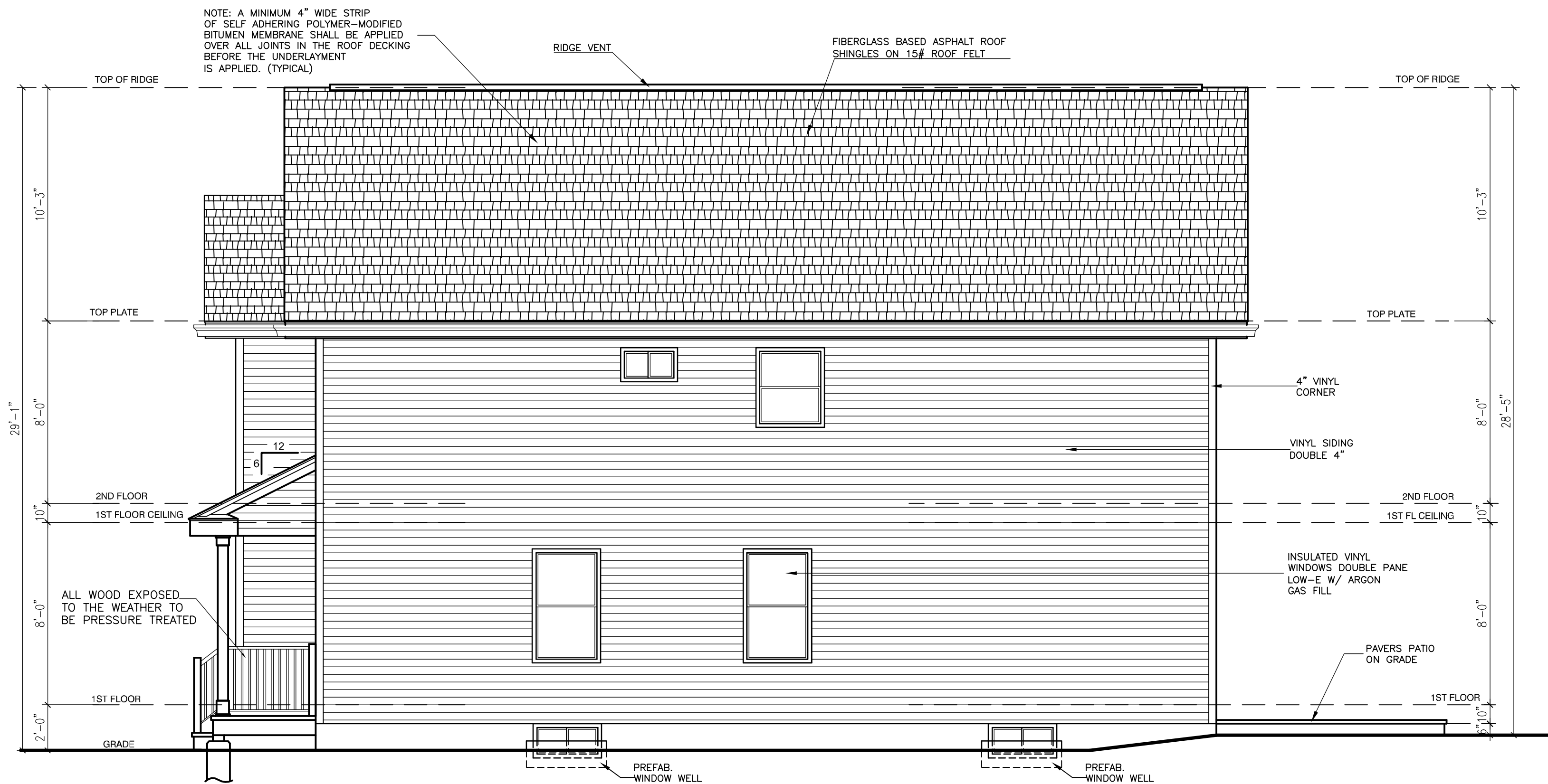
1ST & 2ND FLOOR PLANS SCHEDULES & NOTES	date: 02-02-2021	scale: AS NOTED
	drawn: M. REINHEIMER 203-449-6137	project #: MCR-2021-101
	E-Mail: marcosprimrose@yahoo.com	

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

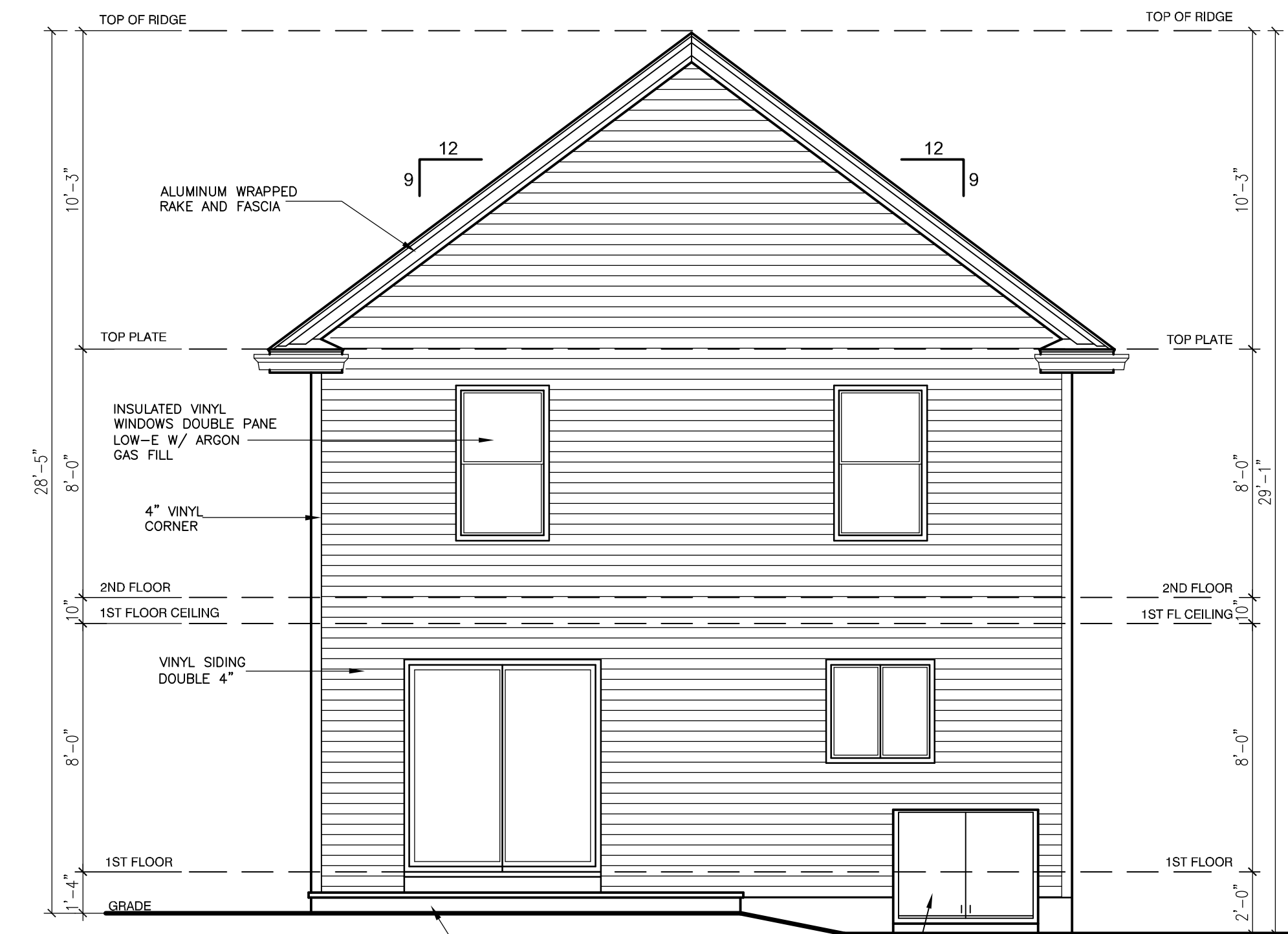
A-1



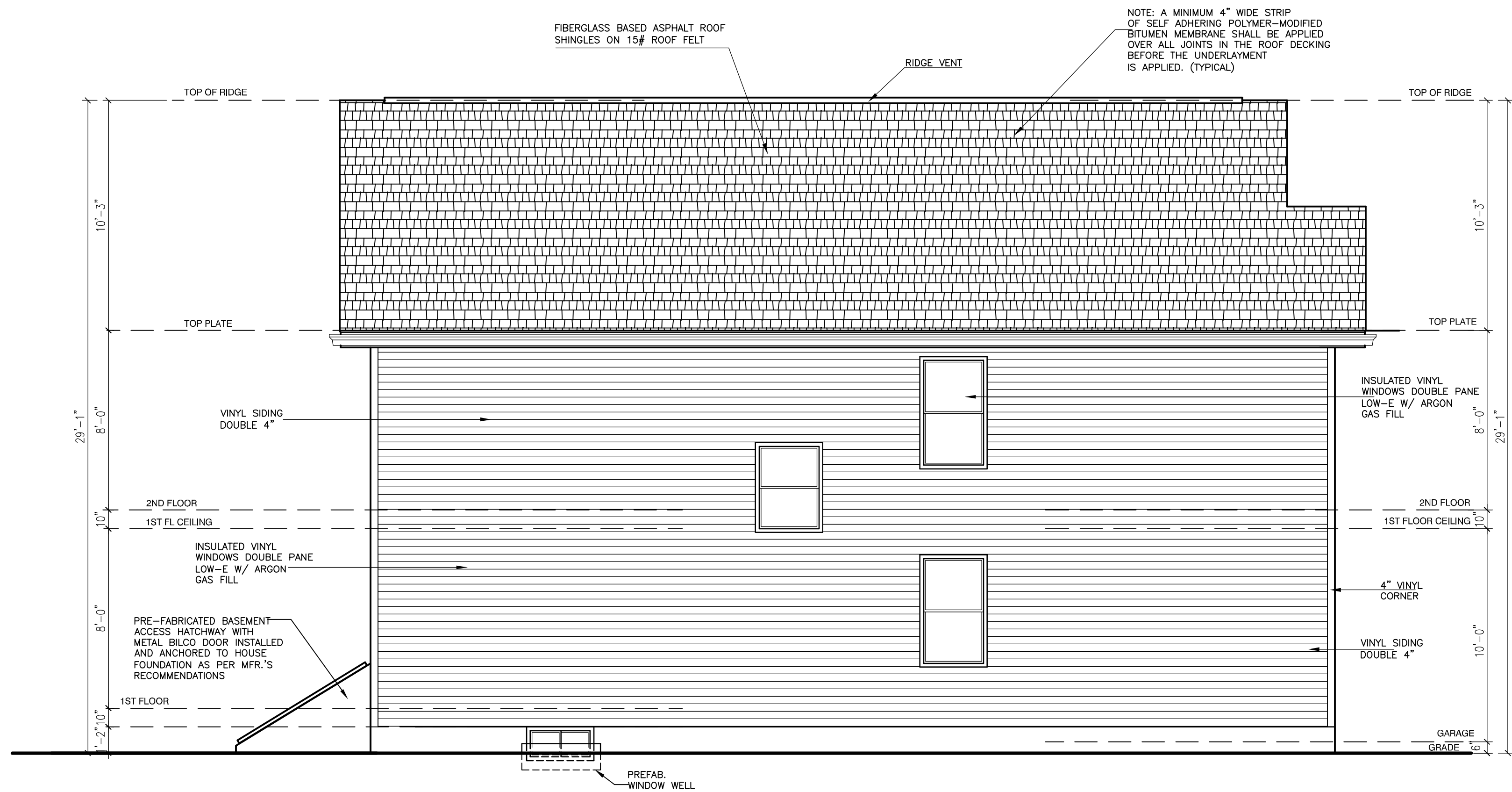
**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

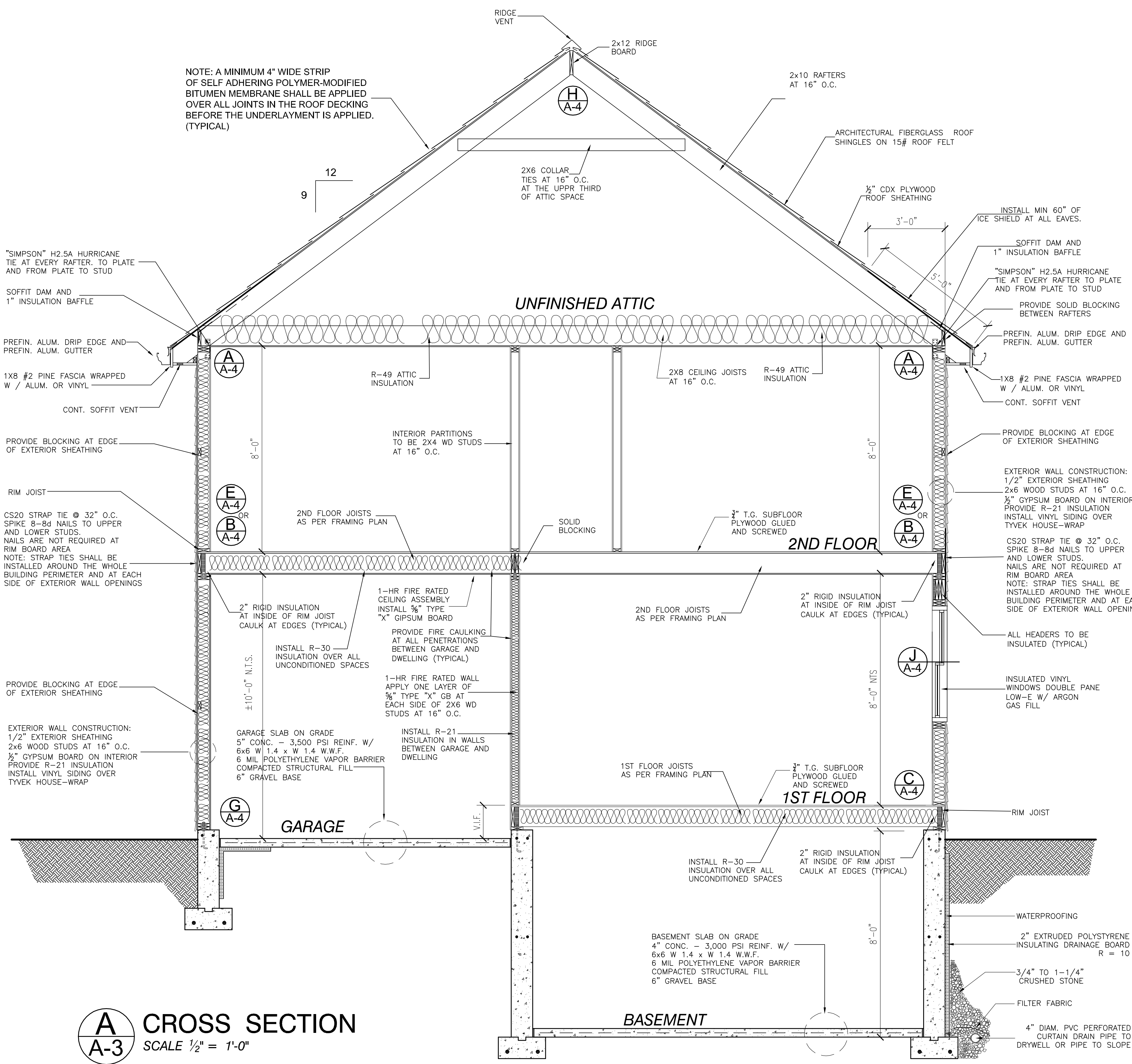
1	2	3	4	5	6
---	---	---	---	---	---

REVISIONS					

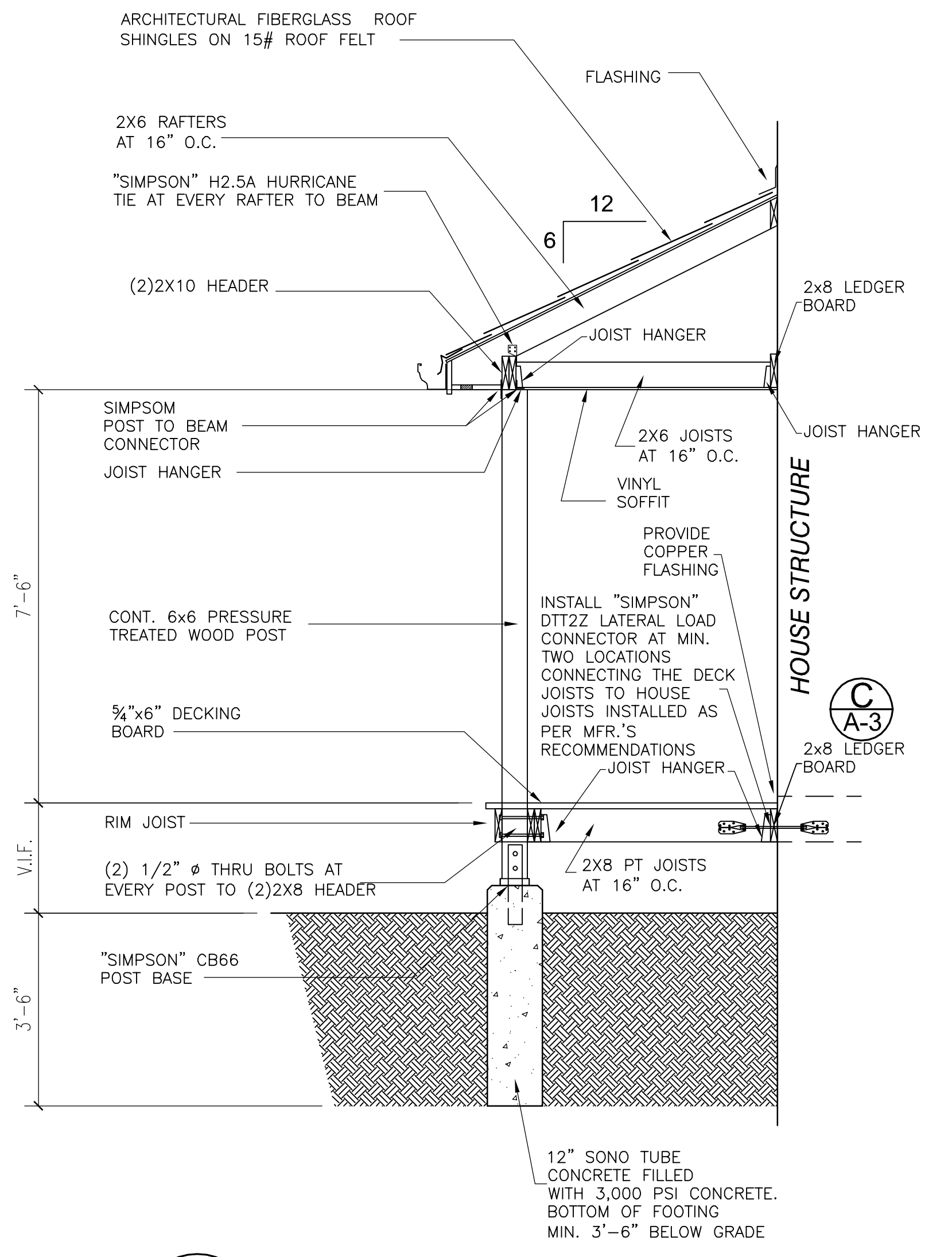
**NEW SINGLE FAMILY HOME PLANS**  
 PREPARED FOR PROPERTY LOCATED AT  
 116 PEET STREET, BRIDGEPORT, CT

ELEVATIONS	date: 02-02-2021	scale: AS NOTED
	drawn: M. REINHEIMER 203-449-6137	project #: MCR-2021-101
E-Mail: marcosprimrose@yahoo.com		

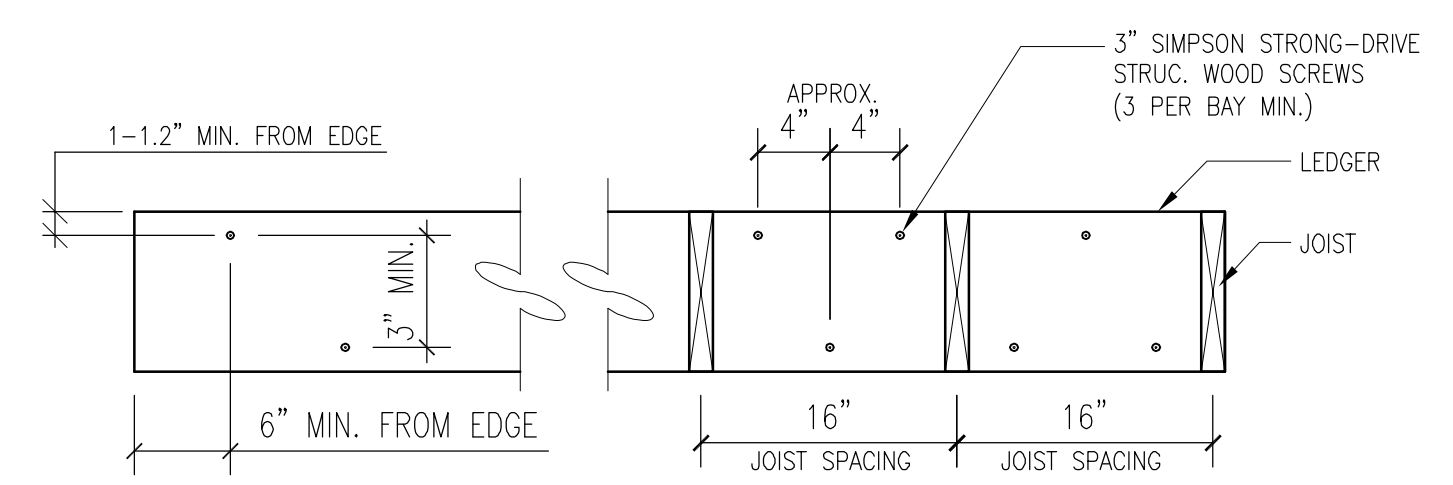
This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.



**A**  
A-3  
**CROSS SECTION**  
SCALE 1/2" = 1'-0"



**B**  
A-3  
**DETAIL**  
SCALE 1/2" = 1'-0"



**C**  
A-3  
**LEDGER ATTACHMENT DETAIL**  
SCALE 1" = 1'-0"

--	--	--	--	--	--

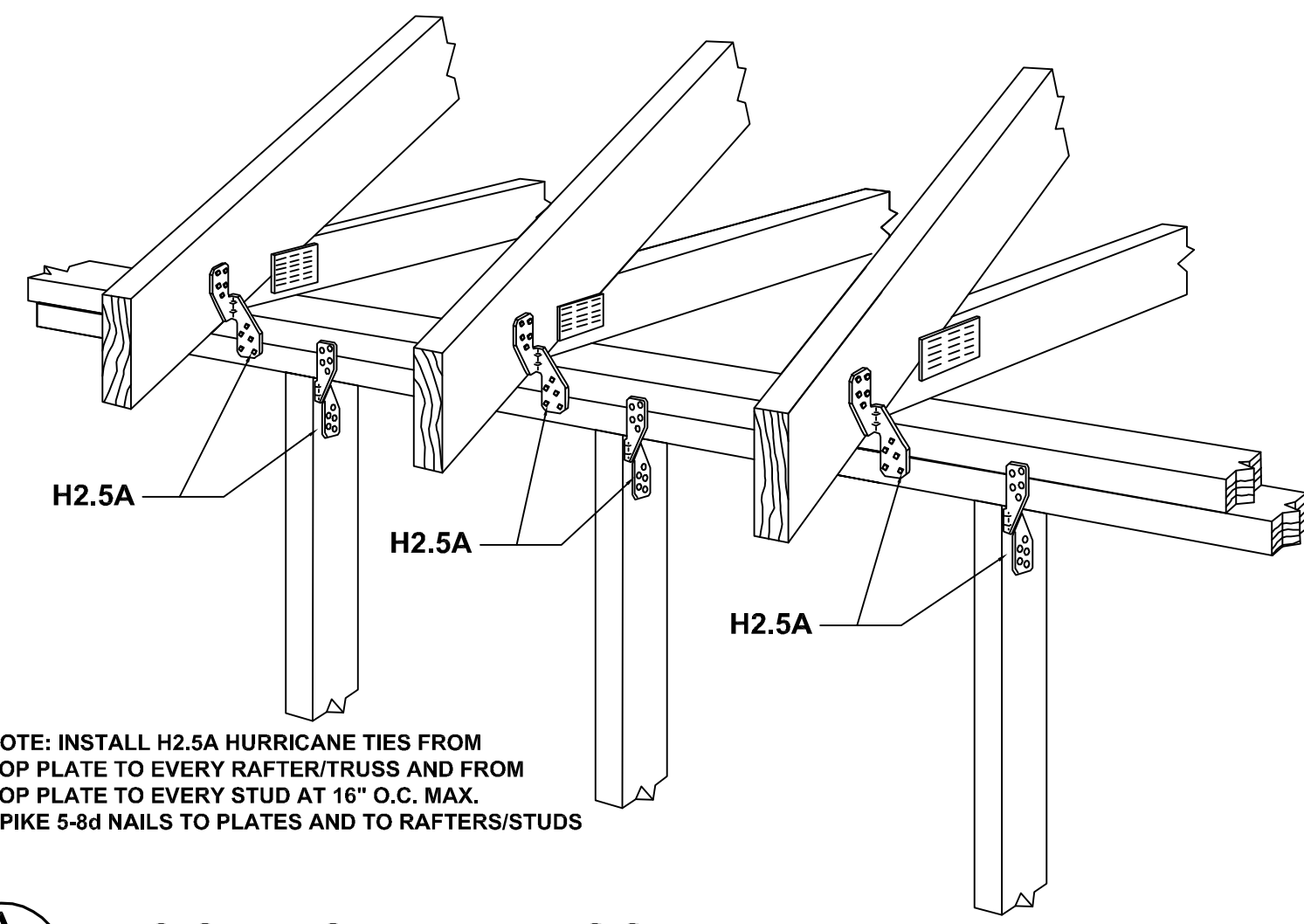
1	2	3	4	5	6

**NEW SINGLE FAMILY HOME PLANS**  
PREPARED FOR PROPERTY LOCATED AT  
116 PEET STREET, BRIDGEPORT, CT

CROSS SECTION & DETAILS
date: 02-02-2021
drawn: M. REINHEIMER 203-449-6137
scale: AS NOTED
project #: MCR-2021-101
E-Mail: macosprimrose@yahoo.com

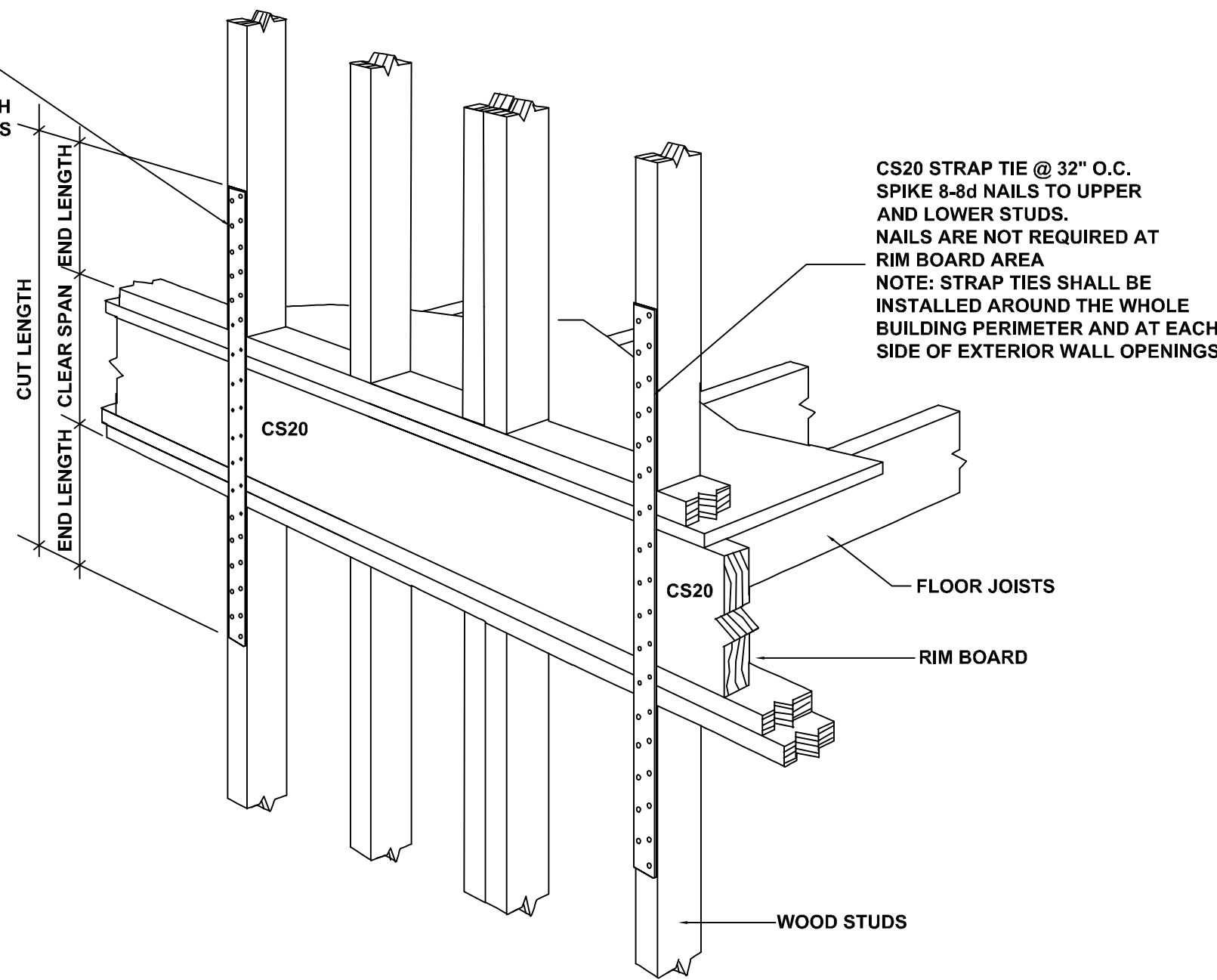
This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

**A-3**



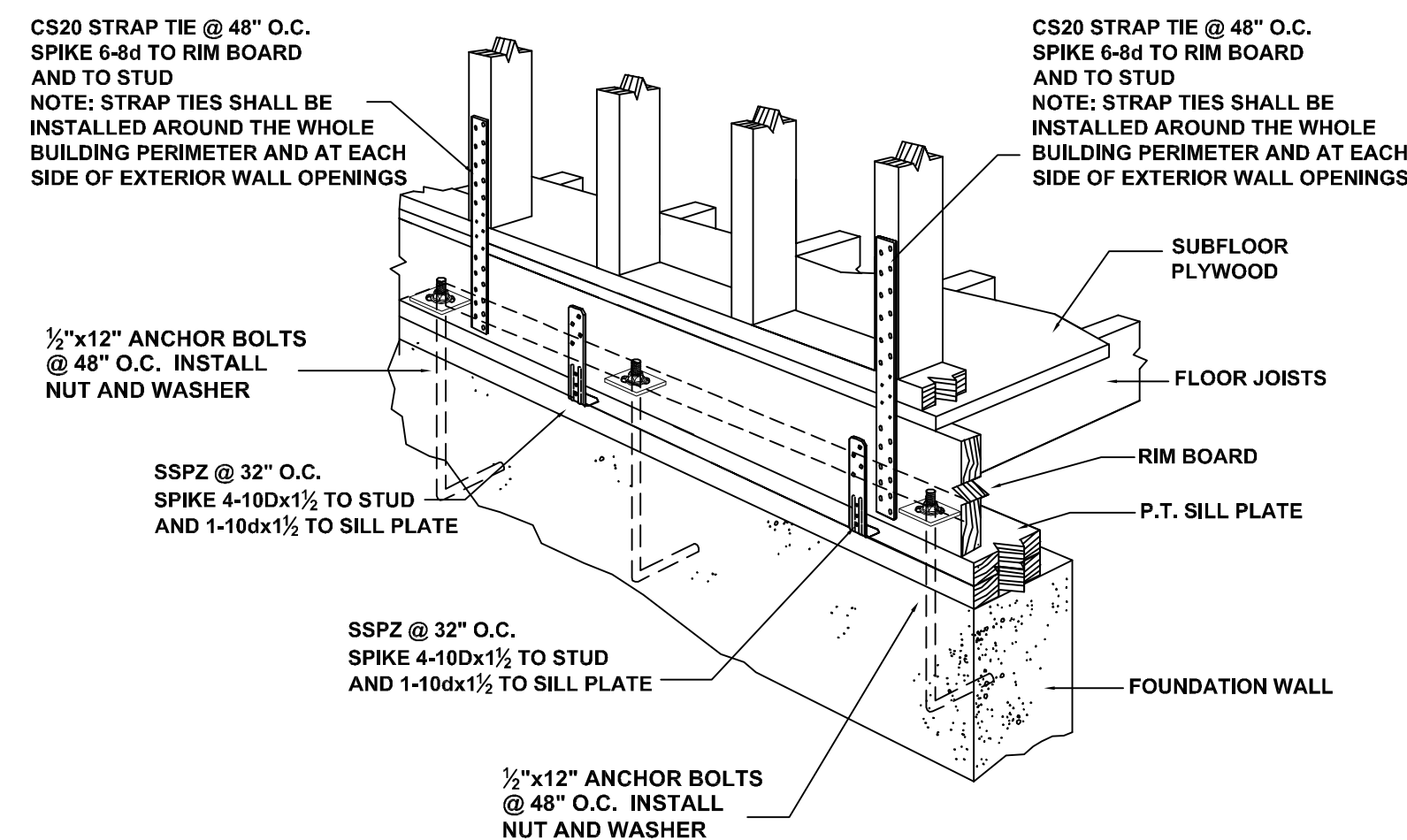
**A**  
A-4 ROOF TO WALL ASSEMBLY  
SCALE = NTS

CS20 STRAP TIE @ 32" O.C.  
SPIKE 8-8d NAILS TO UPPER  
AND LOWER STUDS.  
NAILS ARE NOT REQUIRED AT  
RIM BOARD AREA  
NOTE: STRAP TIES SHALL BE  
INSTALLED AROUND THE WHOLE  
BUILDING PERIMETER AND AT EACH  
SIDE OF EXTERIOR WALL OPENINGS

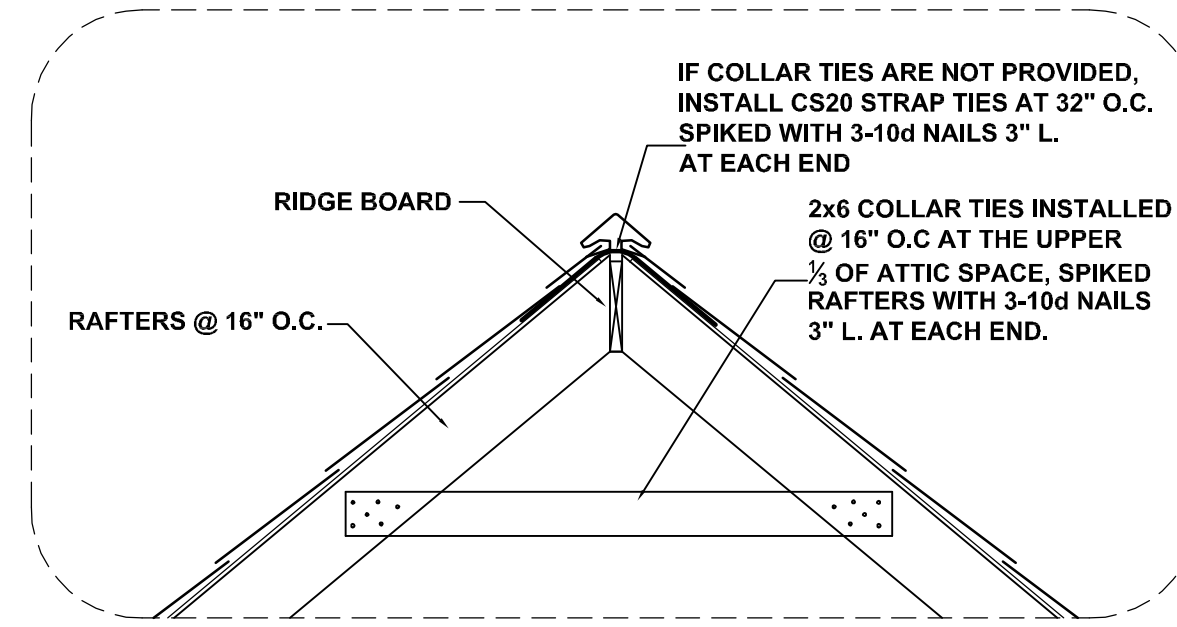


**B**  
A-4 WALL TO WALL ASSEMBLY  
SCALE = NTS

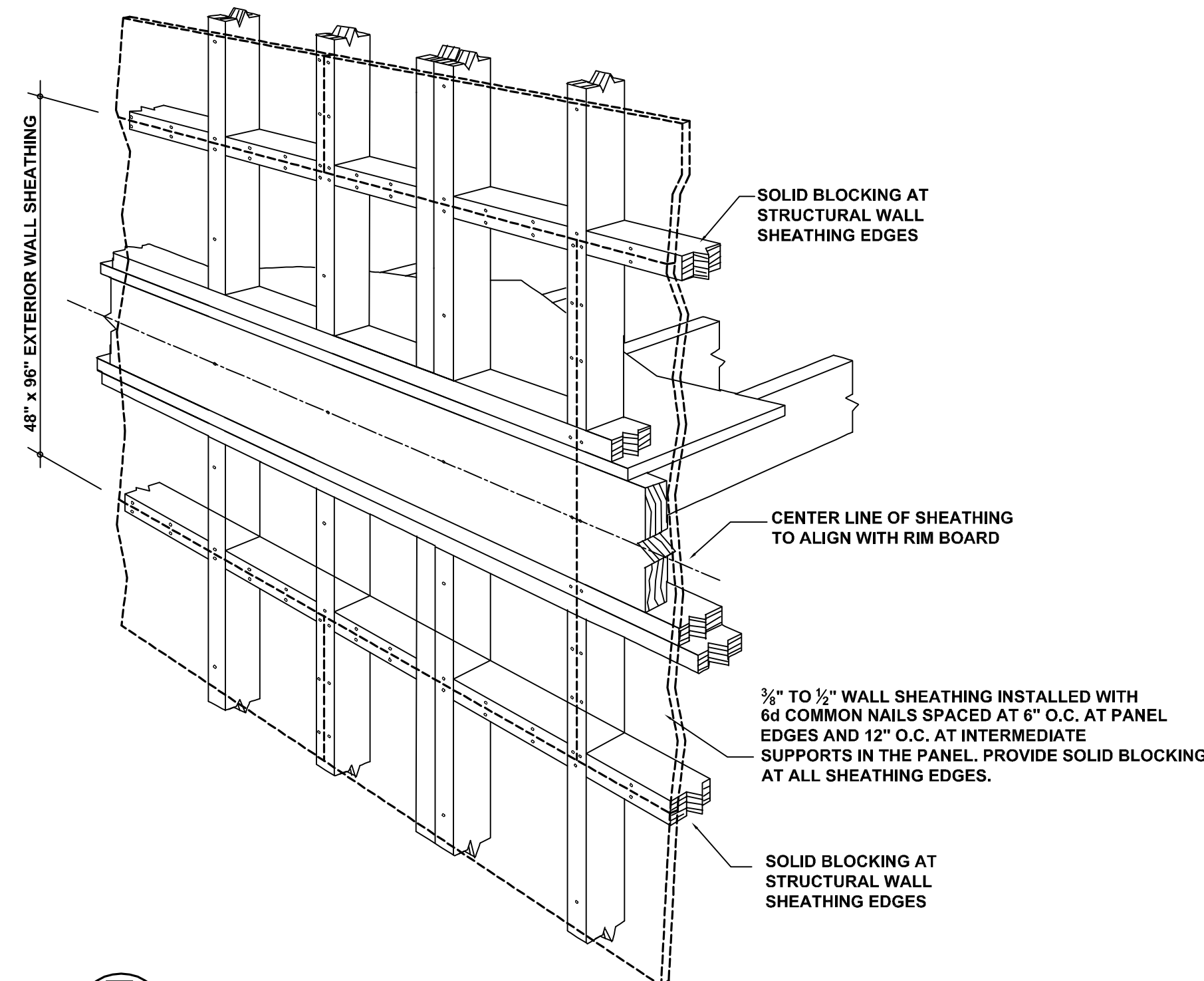
CS20 STRAP TIE @ 48" O.C.  
SPIKE 6-8d TO RIM BOARD  
AND TO STUD  
NOTE: STRAP TIES SHALL BE  
INSTALLED AROUND THE WHOLE  
BUILDING PERIMETER AND AT EACH  
SIDE OF EXTERIOR WALL OPENINGS



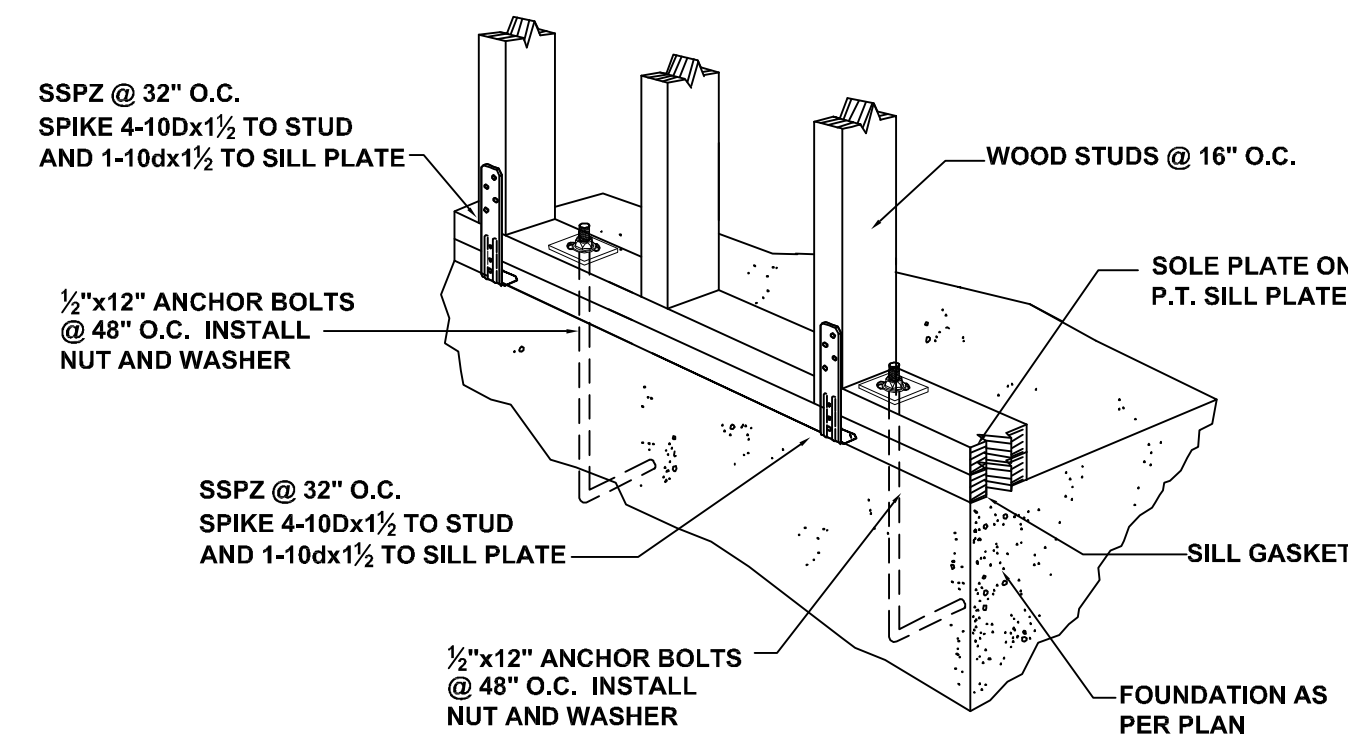
**C**  
A-4 WALL TO FOUNDATION WALL  
SCALE = NTS



**H**  
A-4 TYPICAL STRAP TIE CONN.  
ALONG RIDGE  
SCALE 1/2" = 1'-0"



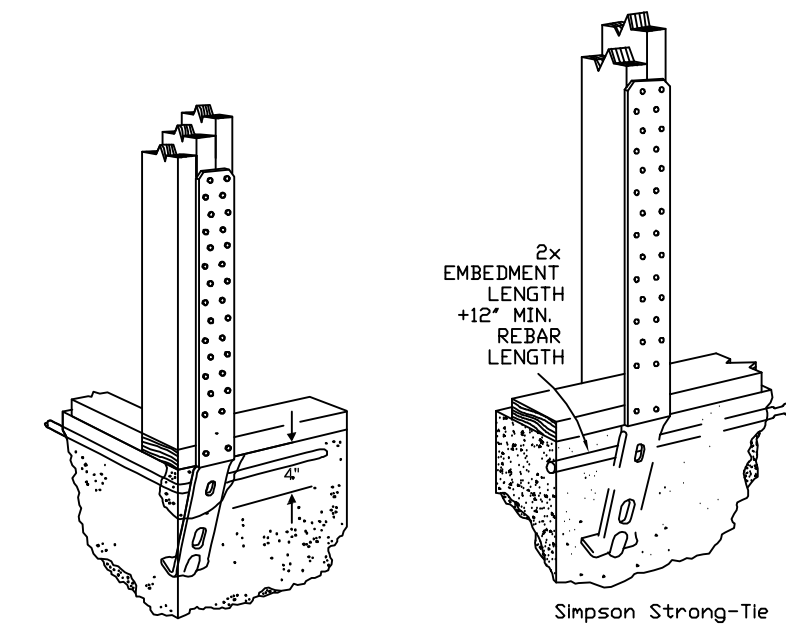
**E**  
A-4 WALL TO WALL ASSEMBLY W/  
EXTERIOR SHEATHING (ALTERNATE)  
SCALE = NTS



**G**  
A-4 WALL TO SLAB ON GRADE  
SCALE = NTS

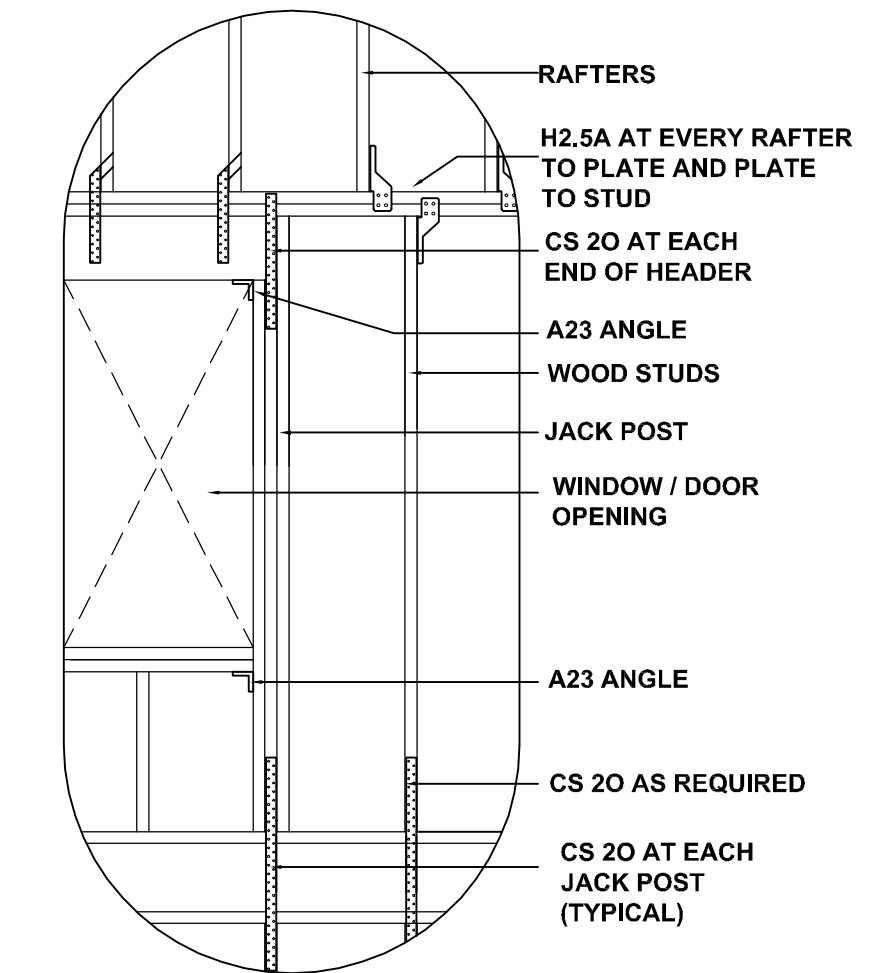
**WOOD FRAME CONNECTOR DESIGN FOR MAX. 130 MPH WINDS:**

1. ALL CONNECTORS TO BE "SIMPSON" STRONG TIE
2. ALL DESIGNS ARE IN ACCORDANCE WITH THE LOAD REQUIREMENTS FOR WOOD CONSTRUCTION OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND THE WFCM 2001 EDITION AND SPECIFIED AS PER "SIMPSON" 2017-2018 CATALOG AND TECHNICAL BULLETIN.
3. ALL UPLIFT AND SHARE LOADS ON THIS DESIGN ARE TO ALLOW FOR A MAXIMUM MEMBER SPACING OF 24" O.C. AND A ROOF SPAN OF MAX. 36FT AT ROOF PITCH FROM 4:12 TO 12:12, AND WALL HEIGHT OF MAX. 10FT PER FLOOR, AT MAX. 130 MPH WINDS, EXPOSURE "B"

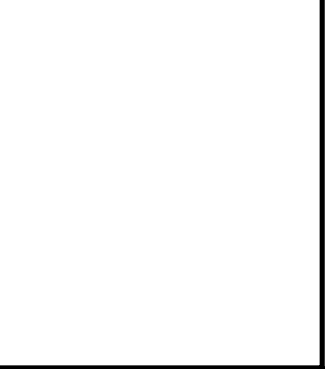


**F**  
A-4 HOLDDOWN TO FOUNDATION  
SCALE = NTS

Simpson Strong-Tie  
STHD14



**J**  
A-4 EXTERIOR OPENING FRAME CONN. DETAIL  
SCALE = NTS



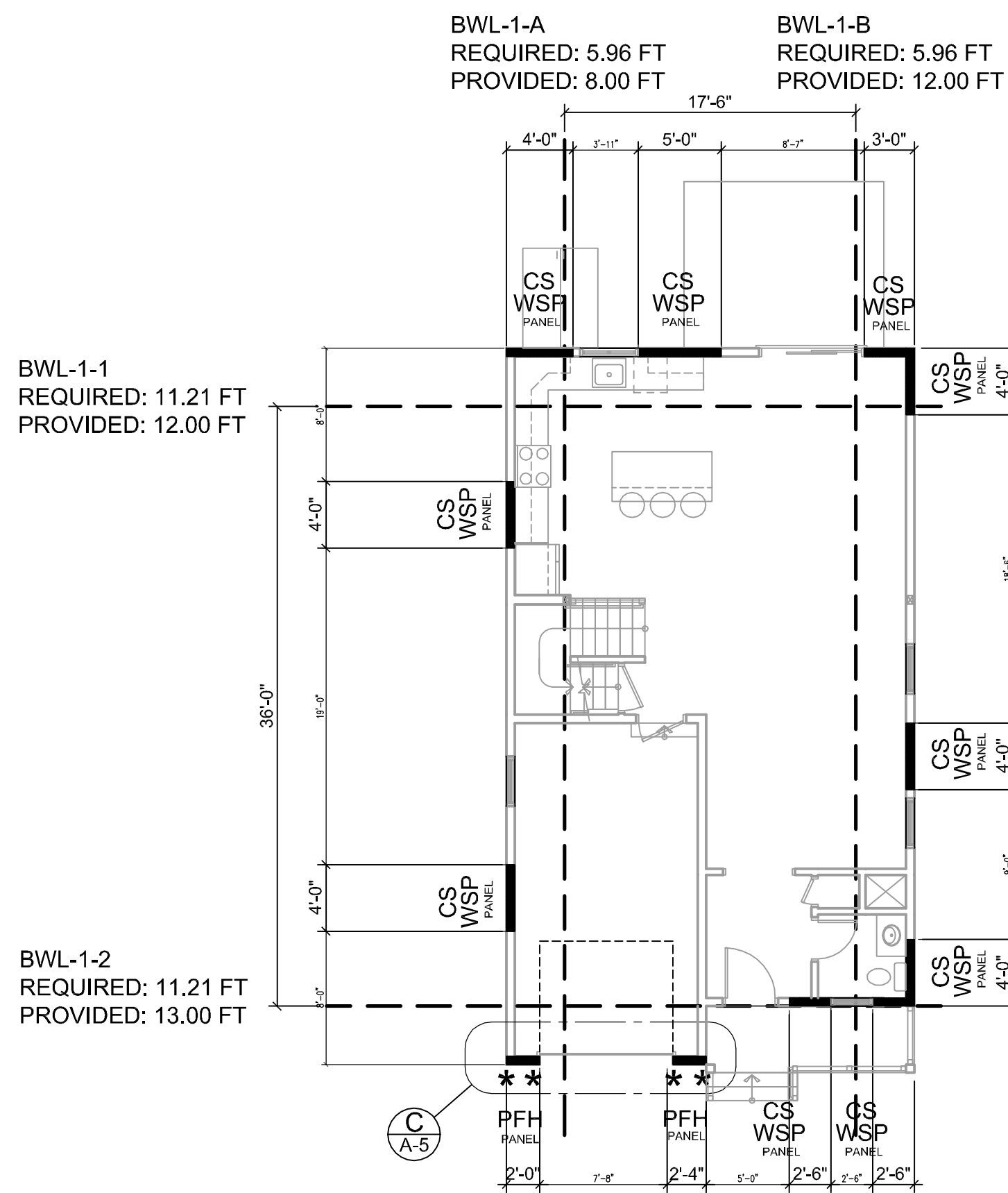
1	2	3	4	5	6

NEW SINGLE FAMILY HOME PLANS  
PREPARED FOR PROPERTY LOCATED AT  
116 PEET STREET, BRIDGEPORT, CT

WOOD FRAME CONNECTOR DETAILS	scale: AS NOTED	project #: MCR-2021-101
date: 02-02-2021	drawn: M. REINHEIMER 203-449-6137	E-Mail: marcosprimrose@yahoo.com

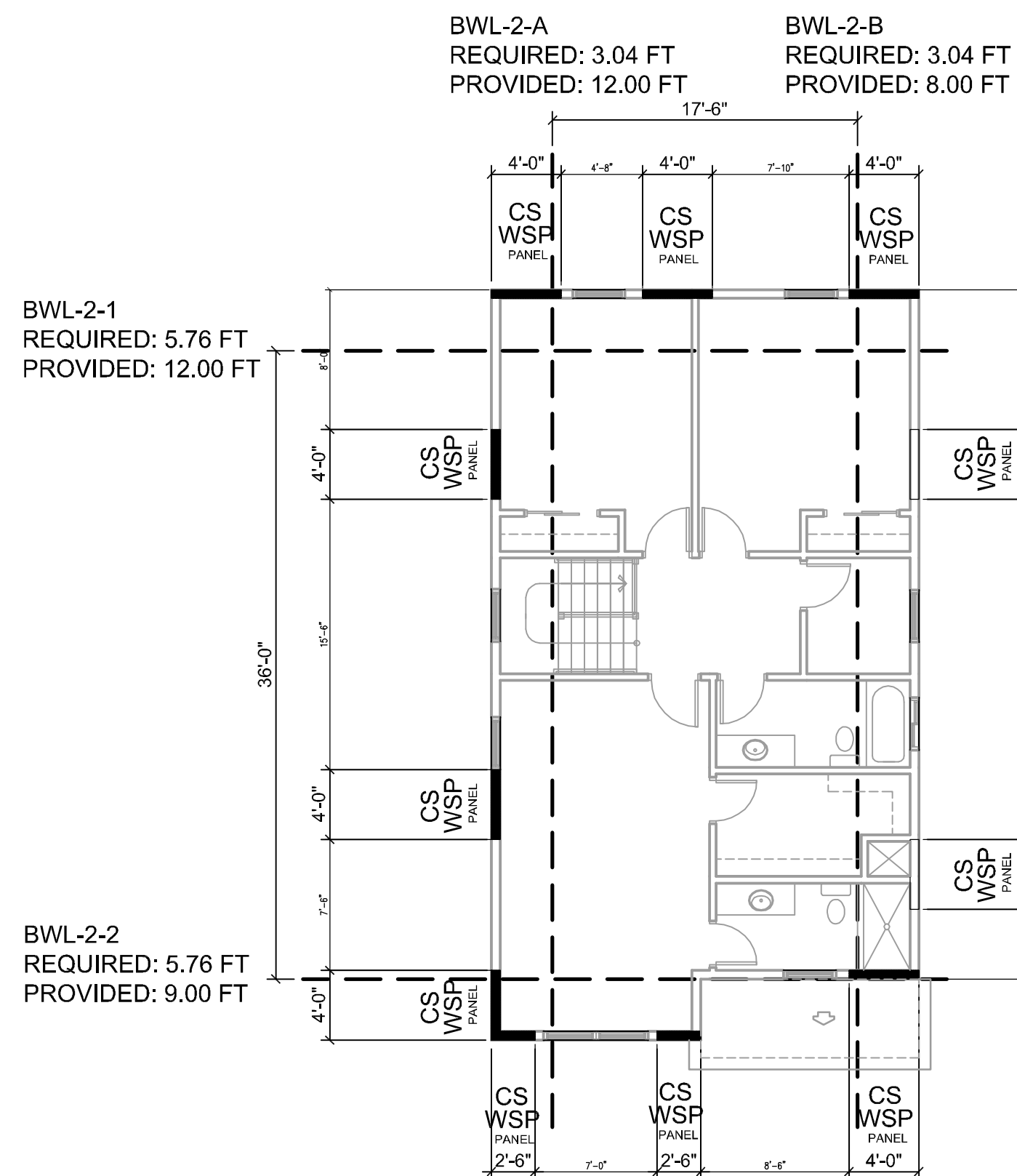
This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

**A-4**



**1ST FLOOR PLAN**

SCALE 1/8" = 1'-0"



**2ND FLOOR PLAN**

SCALE 1/8" = 1'-0"

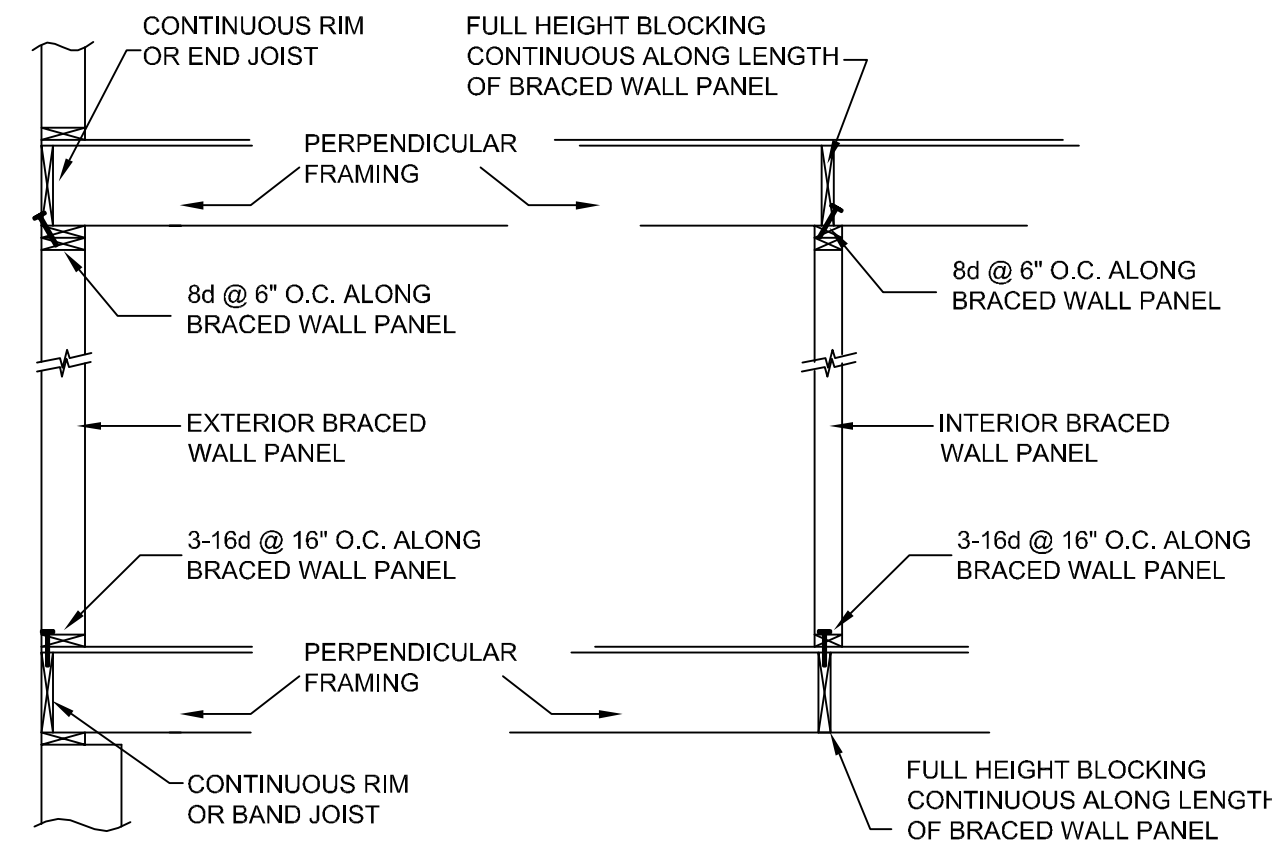
- BRACED WALL LINE
- BRACED WALL PANEL LOCATION
- \* HOLDOWN DEVICE LOCATION
- CS-WSP CONTINUOUS SHEATHING WALL PANEL
- GB GYPSUM BOARD BRACE WALL PANEL
- PFH PORTAL FRAME WITH HOLDDOWN

**FIGURE R602.10.8.2(1)**  
A-5 Braced Wall Panel Connection to Perpendicular Rafters

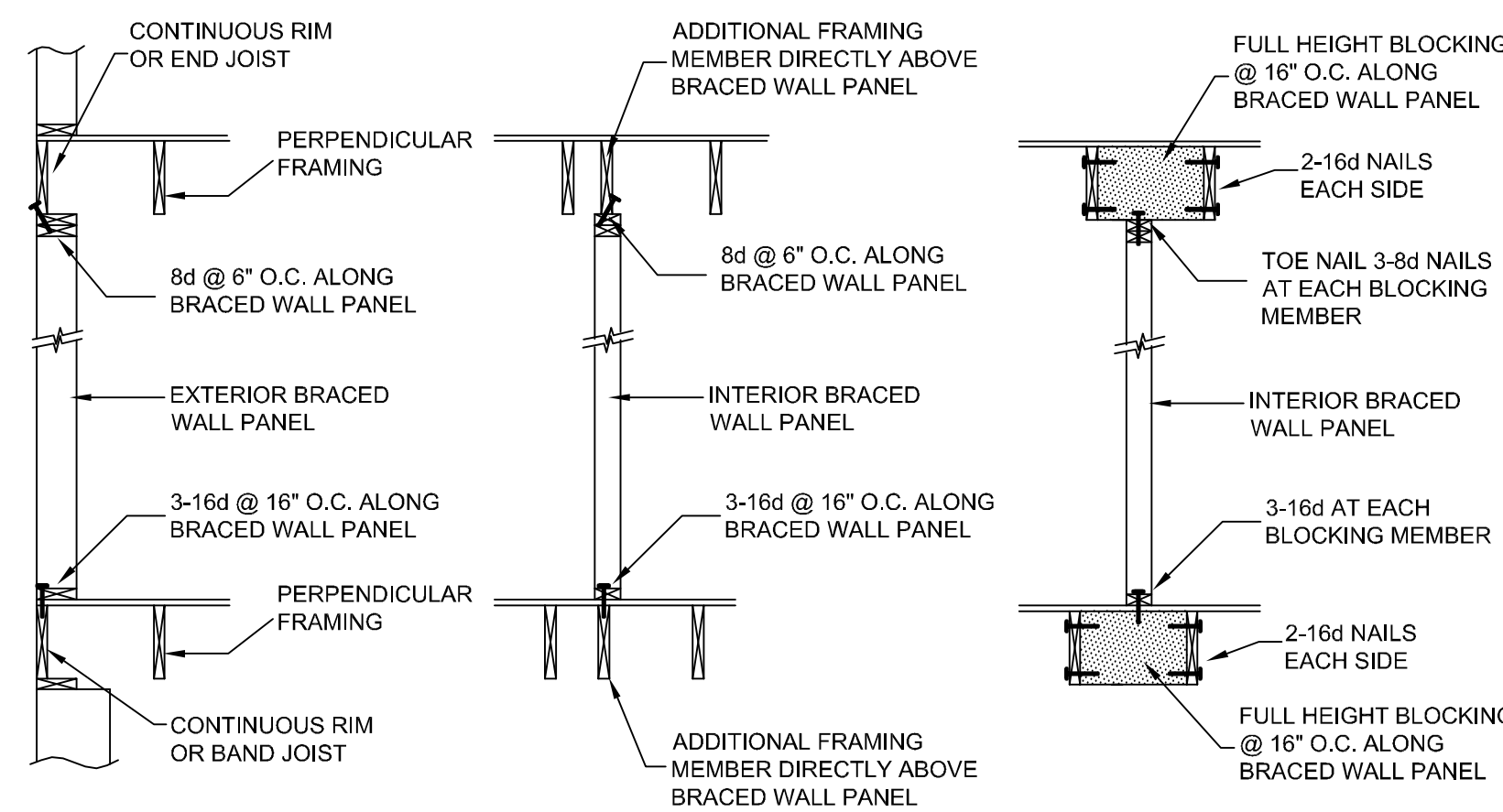
**WALL BRACING CONSTRUCTION METHODS:**

**CS-WSP (CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL)**  
MINIMUM SHEATHING THICKNESS = 3/8" (AT ONE SIDE)  
CONNECTION CRITERIA = 6d COMMON (2X0.113") NAILS AT 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16GAx1 1/2" STAPLES AT 3" SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS)

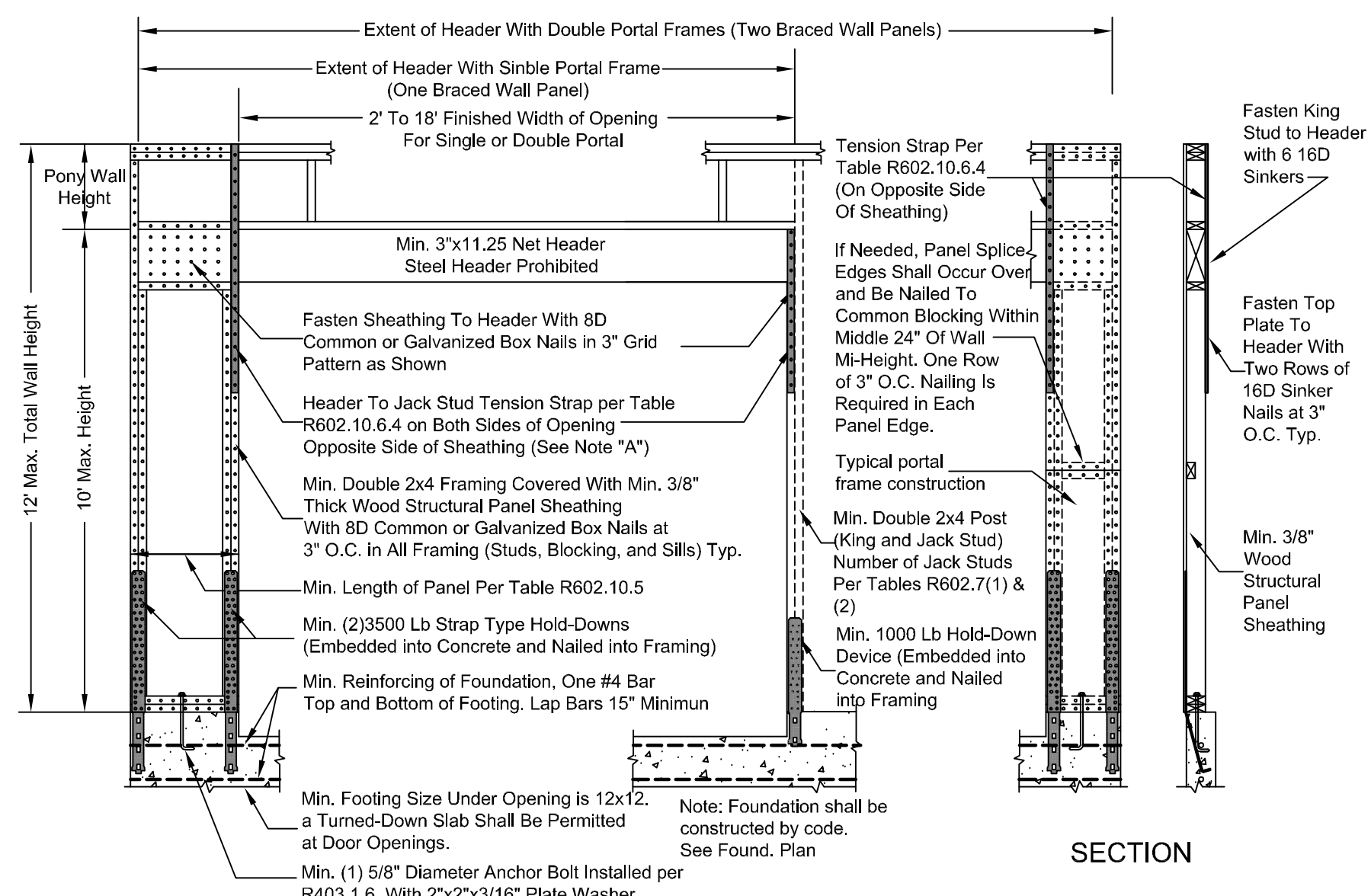
**GB (GYPSUM BOARD)**  
MINIMUM THICKNESS = 1/2" (PANEL LENGTH MIN. 96" IF INSTALLED AT ONE SIDE OR 48" IF BOTH SIDES)  
CONNECTION CRITERIA = NAILS OR SCREWS AT 7" SPACING AT PANEL EDGES INCLUDING TOP AND BOTTOM PLATES; FOR ALL BRACED WALL PANEL LOCATIONS FOR EXTERIOR SHEATHING NAIL OR SCREW SIZE, SEE TABLE R602.3(1); FOR INTERIOR GYPSUM BOARD NAIL OR SCREW SIZE, SEE TABLE R702.3.5



**FIGURE R602.10.8 (1)**  
A-5 Braced Wall Panel Connection When Perpendicular to Floor/Ceiling Framing



**FIGURE R602.10.8 (2)**  
A-5 Braced Wall Panel Connection When Parallel to Floor/Ceiling Framing



**SECTION**  
**FRONT ELEVATION**  
METHOD PFH: PORTAL FRAME WITH HOLD-DOWNS - 2015 IRC SECTION R602.10.6.2  
PORTAL FRAMING WITH HOLD-DOWNS DETAIL

Tension Strap Note "A": Openings up to 9ft in Width use ONE Simpson MSTA18 Strap Tie with (10) 16d Nails on each side of opening. Openings from 9 to 18ft in Width use TWO Simpson MSTA30 with 44 10d Nails on each side of opening. Header to Jack Stud Strap shall be installed at the opposite side of Sheathing

WALL BRACING SCHEDULE													
Wind Speed MPH	Braced Wall Line #	Braced Wall Line Spacing	Method	Minimum Length Req'd. Table R602.10.3(1)	Adjustment Factors Table R602.10.3(2)					Adjusted Minimum Length Required	Bracing Length Provided >= Minimum		
					Exposure Category	Eave to Ridge Height	Wall Height	Number of BWL's	Additional 800# Hold-Down Y/N			Interior G.B. Fin. or Equivalent Y/N	G.B. Fastening Y/N
125	1st Floor BWL-1-1	36.00 Ft	CS-WSP	12.45 Ft	(B) 1	(10 Ft) 1.00	(8 Ft) 0.90	(2) 1.00	N 1.00	Y 1.00	N 1.00	11.21 Ft	12.00 Ft
	1st Floor BWL-1-2	36.00 Ft	PFH CS-WSP	12.45 Ft	(B) 1	(10 Ft) 1.00	(8 Ft) 0.90	(2) 1.00	N 1.00	Y 1.00	N 1.00	11.21 Ft	13.00 Ft
	1st Floor BWL-1-A	15.67 Ft	CS-WSP	6.62 Ft	(B) 1	(10 Ft) 1.00	(8 Ft) 0.90	(2) 1.00	N 1.00	Y 1.00	N 1.00	5.96 Ft	8.00 Ft
	1st Floor BWL-1-B	15.67 Ft	CS-WSP	6.62 Ft	(B) 1	(10 Ft) 1.00	(8 Ft) 0.90	(2) 1.00	N 1.00	Y 1.00	N 1.00	5.96 Ft	12.00 Ft
	2nd Floor BWL-2-1	36.00 Ft	CS-WSP	6.40 Ft	(B) 1	(10 Ft) 1.00	(8 Ft) 0.90	(2) 1.00	N 1.00	Y 1.00	N 1.00	5.76 Ft	12.00 Ft
	2nd Floor BWL-2-2	36.00 Ft	CS-WSP	6.40 Ft	(B) 1	(10 Ft) 1.00	(8 Ft) 0.90	(2) 1.00	N 1.00	Y 1.00	N 1.00	5.76 Ft	9.00 Ft
	2nd Floor BWL-2-A	15.67 Ft	CS-WSP	3.37 Ft	(B) 1	(10 Ft) 1.00	(8 Ft) 0.90	(2) 1.00	N 1.00	Y 1.00	N 1.00	3.04 Ft	12.00 Ft
	2nd Floor BWL-2-B	15.67 Ft	CS-WSP	3.37 Ft	(B) 1	(10 Ft) 1.00	(8 Ft) 0.90	(2) 1.00	N 1.00	Y 1.00	N 1.00	3.04 Ft	8.00 Ft

**NOTES:**

- THIS WALL-BRACING EVALUATION IS BASED ON THE 2015 INTERNATIONAL RESIDENTIAL CODE IN COMPLIANCE WITH THE WALL-BRACING REQUIREMENTS OF SECTIONS R602.10, R602.11 AND R602.12 OF THE 2015 IRC.
- ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES IN SEISMIC DESIGN CATEGORIES A AND B AND ONE- AND TWO-FAMILY DWELLINGS IN SEISMIC DESIGN CATEGORY C ARE EXEMPT FROM THE SEISMIC REQUIREMENTS OF THE IRC. THE LENGTH OF WALL BRACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF TABLE R602.10.1.2(1) BASED ON WIND SPEED, INCLUDING ALL APPLICABLE ADJUSTMENT FACTORS. (WIND SPEED USED BASED ON 125 MPH)
- MIXING OF WALL BRACING METHODS SHALL BE PERMITTED WHEN IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R602.10.4.1 AS APPLICABLE.
- BRACED-WALL PANELS SHALL BEGIN WITHIN 10 FEET FROM EACH END OF A BRACED WALL LINE AND THE DISTANCE BETWEEN THE EDGES OF ADJACENT WALL PANELS ALONG A BRACED WALL LINE SHALL NOT BE GREATER THAN 20 FEET.
- BRACED-WALL-LINE SPACING SHALL NOT EXCEED 60 FEET ON CENTER.
- INTERIOR BRACED-WALL-LINE SPACING IS THE GREATER OF THE DISTANCE BETWEEN TWO ADJACENT BRACED-WALL LINES IN ACCORDANCE WITH FIGURE R602.10.1.1 OF THE 2015 IRC.
- BRACED WALL PANELS SHALL BE CONNECTED TO FRAME AS PER FIGURES R602.10.8.(1) AND R602.10.8.(2) OF THE 2015 IRC

**TABLE R602.11**

**RAFTER OR TRUSS UPLIFT CONNECTION FORCES FROM WIND (Pounds per Connection)<sup>a, b, c, e, f, g, h</sup>**

RAFTER OR TRUSS SPACING	ROOF SPAN (feet)	EXPOSURE "B"									
		Ultimate Design Wind Speed Vult (mph)									
		110		115		120		130		140	
		Roof Pitch		Roof Pitch		Roof Pitch		Roof Pitch		Roof Pitch	
		<5:12	≥5:12	<5:12	≥5:12	<5:12	≥5:12	<5:12	≥5:12	<5:12	≥5:12
16" O.C.	12	64	57	78	70	93	85	126	117	162	150
	18	78	69	98	88	118	108	162	149	209	194
	24	94	82	118	105	144	130	198	182	255	237
	28	105	92	132	117	161	145	222	203	287	266
	32	114	100	145	129	178	160	246	226	319	295
	36	125	109	160	141	194	176	270	247	351	325
	42	141	122	180	160	221	198	306	281	399	370
	48	157	136	201	178	246	221	343	314	447	414

- For SI: 1 inch = 25.4mm, 1 foot = 304.8mm, 1 mph = 0.447 m/s, 1 Pound = 0.454Kg, 1 pound per linear foot = 14.5 Nm.
- The uplift connection forces are based on a maximum 33 foot mean roof height and wind Exposure Category B or C. For Exposure D the uplift connection force shall be selected from the Exposure C portion of the table using the next highest tabulated basic wind speed. The adjustment Coefficient in Table R301.2(3) shall not be used to multiply the tabulated forces for Exposure C and D or for other mean roof heights.
  - The uplift connection forces include an allowance for roof and ceiling assembly dead load of 15 psf.
  - The tabulated uplift connection forces are limited to a maximum roof overhang of 24 inches.
  - The tabulated uplift connection forces shall be permitted to be multiplied by 0.75 for connections not located within 8 feet of building corners.
  - For buildings with hip roofs with 5:12 and greater pitch, the tabulated uplift connection forces shall be permitted to be multiplied by 0.70. This reduction shall not be combined with any other reduction in tabulated forces.
  - For wall-to-wall and wall-to-foundation connections, the uplift connection force shall be permitted to be reduced by 60 pfl for each full wall above.
  - Linear interpolation between tabulated roof spans and wind speeds shall be permitted.
  - The tabulated forces for 12-inch on-center spacing shall be permitted to be used to determine the uplift load in pounds per linear foot.

**UPLIFT LOADS AND CONNECTORS:**

- MAX ROOF SPAN = 32'-0" WITH ROOF PITCH ≥5:12**
    - LOAD AT RAFTER TO TOP PLATE = WIND LOAD OF 130 MPH AND FRAME AT 16" O.C. = **-226 PLF**  
A.1. CONNECTOR = "SIMPSON" H2.5A FROM EVERY RAFTER TO PLATE AND PLATE TO STUD BELOW CAN USE "SIMPSON" H2A) (AS AN ALTERNATE - WHERE RAFTERS ALIGN WITH STUD BELOW CAN USE "SIMPSON" H2A)
  - LOAD BETWEEN 1ST AND 2ND FLOOR (OR 1ST FLOOR TO FOUNDATION AT ONE STORY) = 226 PLF - 60 (ONE FLOOR) = TOTAL LOAD = -166 PLF**  
B.1. CONNECTOR = "SIMPSON" CS20 INSTALLED @ 32" O.C. WITH 16-8d Nails (8 AT EACH END TO STUDS)
  - LOAD BETWEEN 1ST FLOOR TO FOUNDATION (AT TWO STORY) = 226 PLF - 120 (TWO FLOORS) = TOTAL LOAD = -196 PLF**
    - a. BASEMENT - "SIMPSON" CS20 INSTALLED AT 48" O.C. WITH 12-8d NAILS (6 AT EACH END) NAILED FROM STUD TO RIM BOARD AND INSTALL "SIMPSON" SSP @32" O.C. FROM RIM BOARD TO PLATE
    - b. SLAB ON GRADE - "SIMPSON" SSP @32" O.C. FROM RIM BOARD TO PLATE
    - c. PLATE TO FOUNDATION - INSTALL 1/2" x 12" ANCHOR BOLTS @ 48" O.C. MIN. 7" EMBEDDED TO CONCRETE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES OR LESS THAN 4 INCHES FROM EACH END OF THE PLATE SECTION.
- C.1.d. MIN. 1x4 INCH COLLAR TIES OR 20 GAUGE RIDGE STRAPS TO RESIST UPLIFT SHALL CONNECT THE ROOF RAFTERS IN THE UPPER THIRD OF ATTIC SPACE NOT MORE THAN 48" O.C.

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

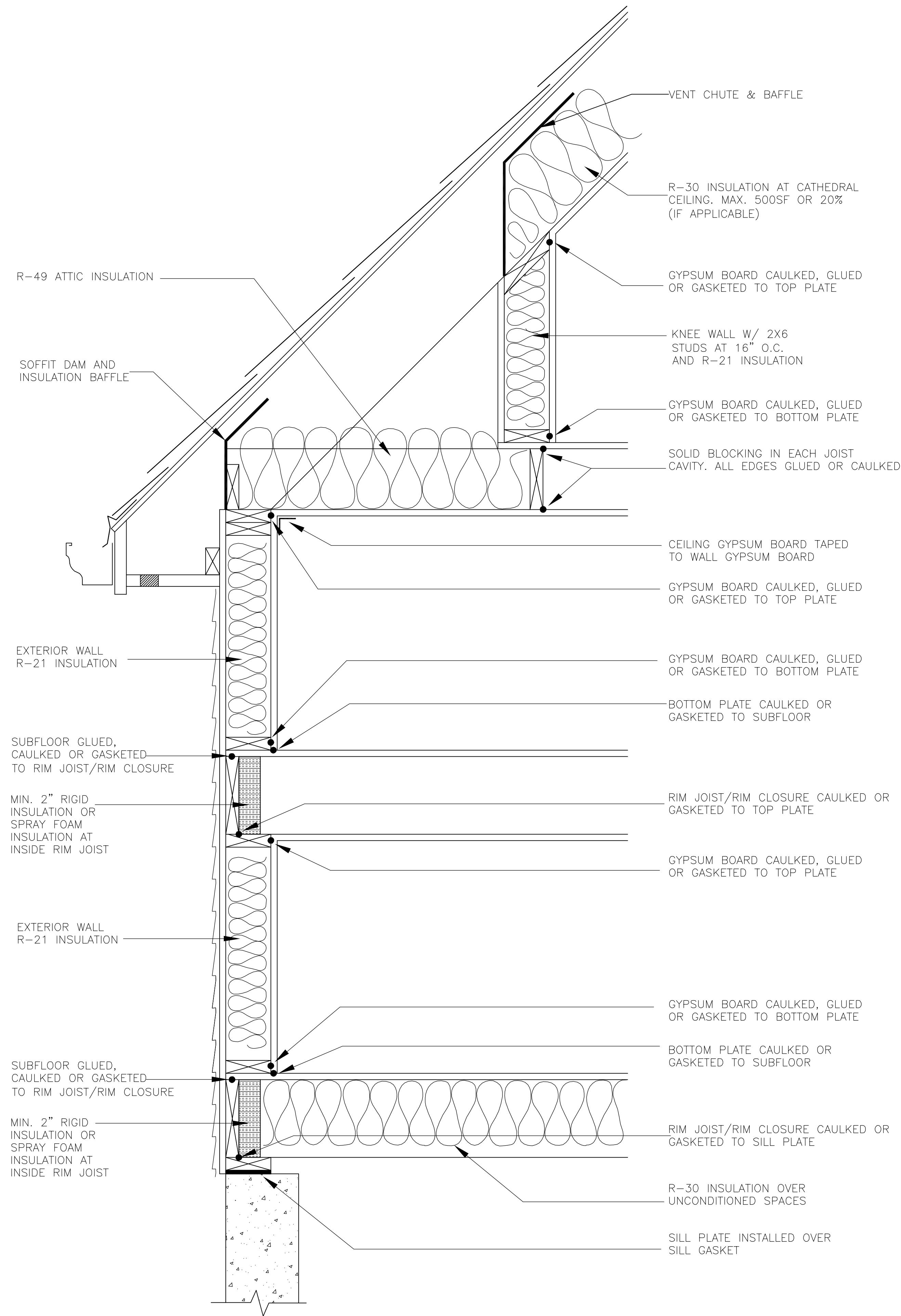


1	2	3	4	5	6

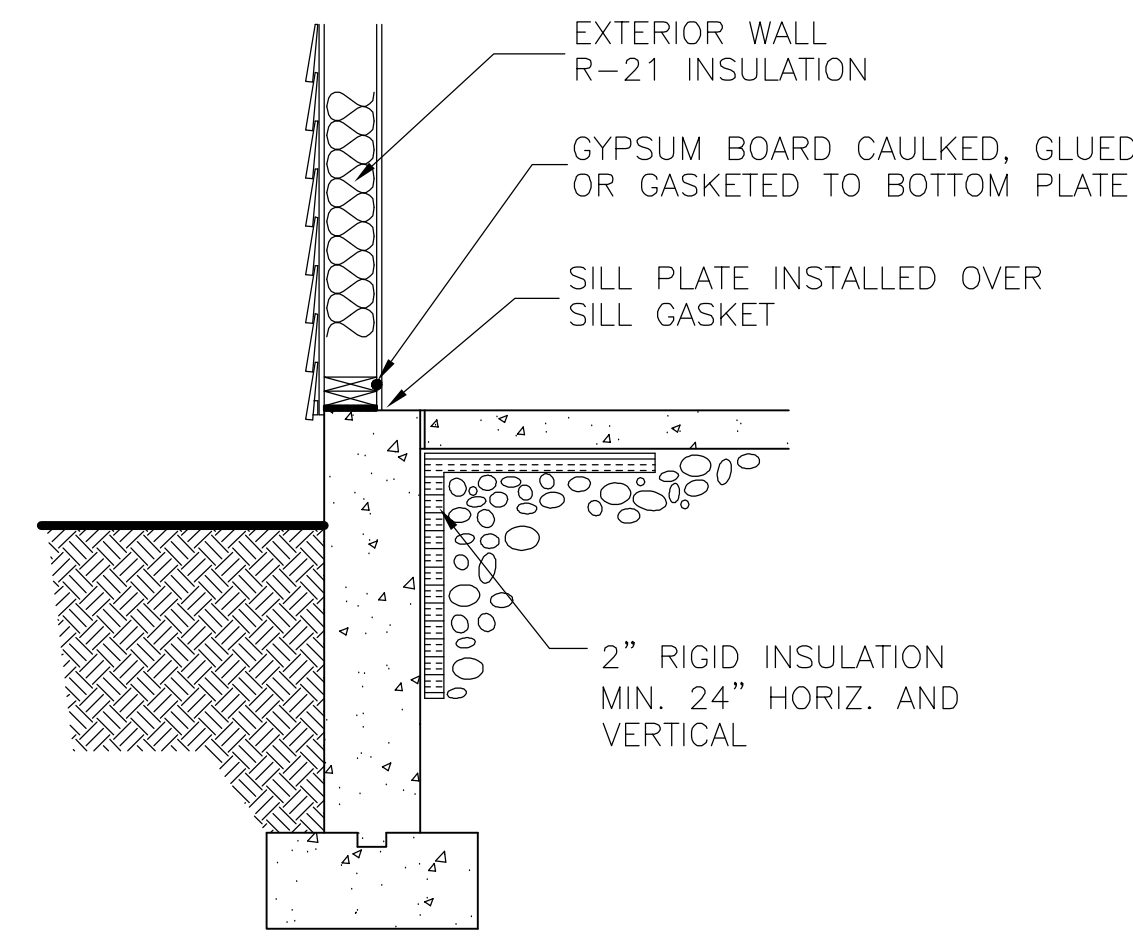
**NEW SINGLE FAMILY HOME PLANS**  
 PREPARED FOR PROPERTY LOCATED AT  
 116 PEET STREET, BRIDGEPORT, CT

WALL BRACING COMPLIANCE PLAN  
 scale: AS NOTED  
 project #: MCR-2021-101  
 date: 02-02-2021  
 draw: M. REINHEIMER 203-449-6137  
 E-Mail: marcosprimrose@yahoo.com

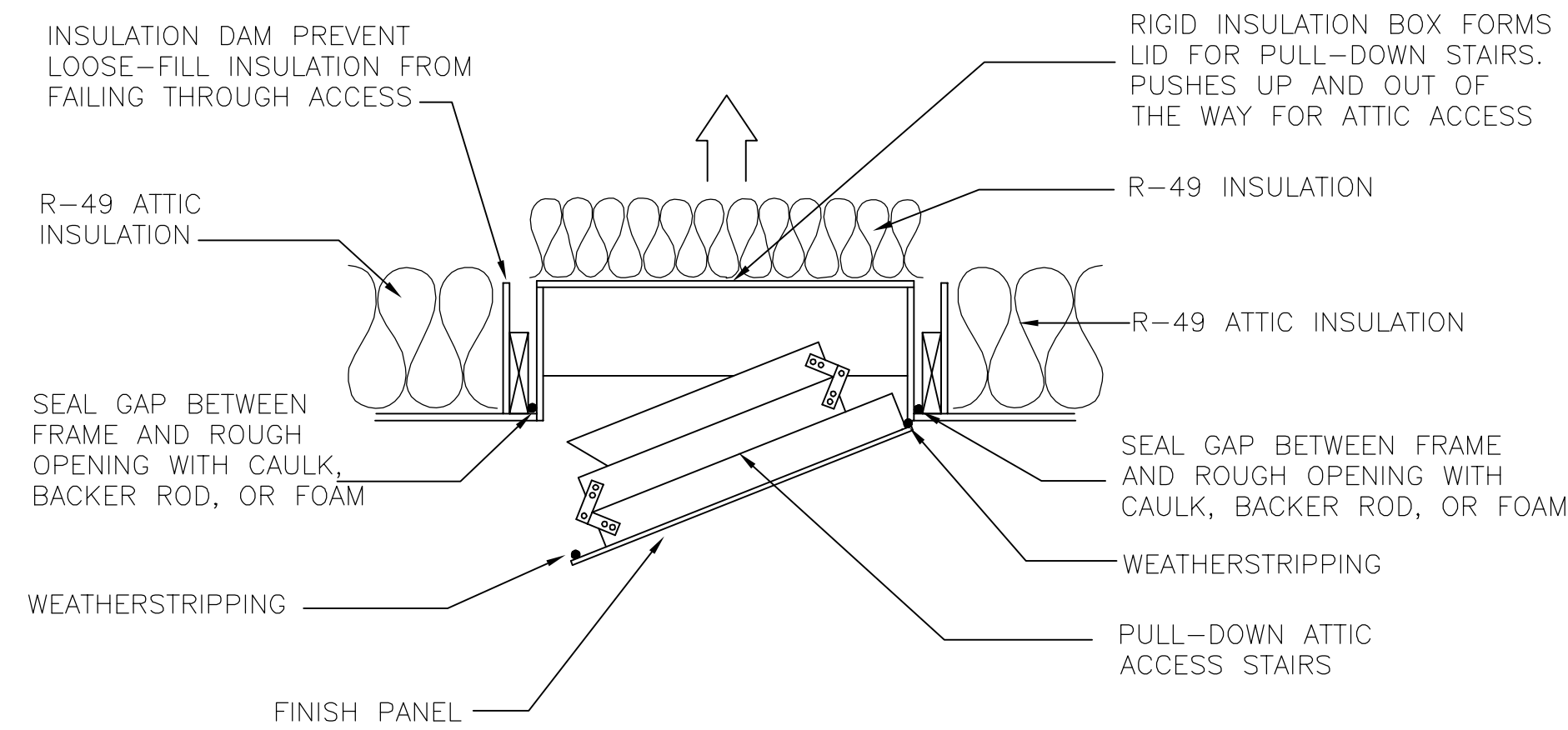
**A-5**



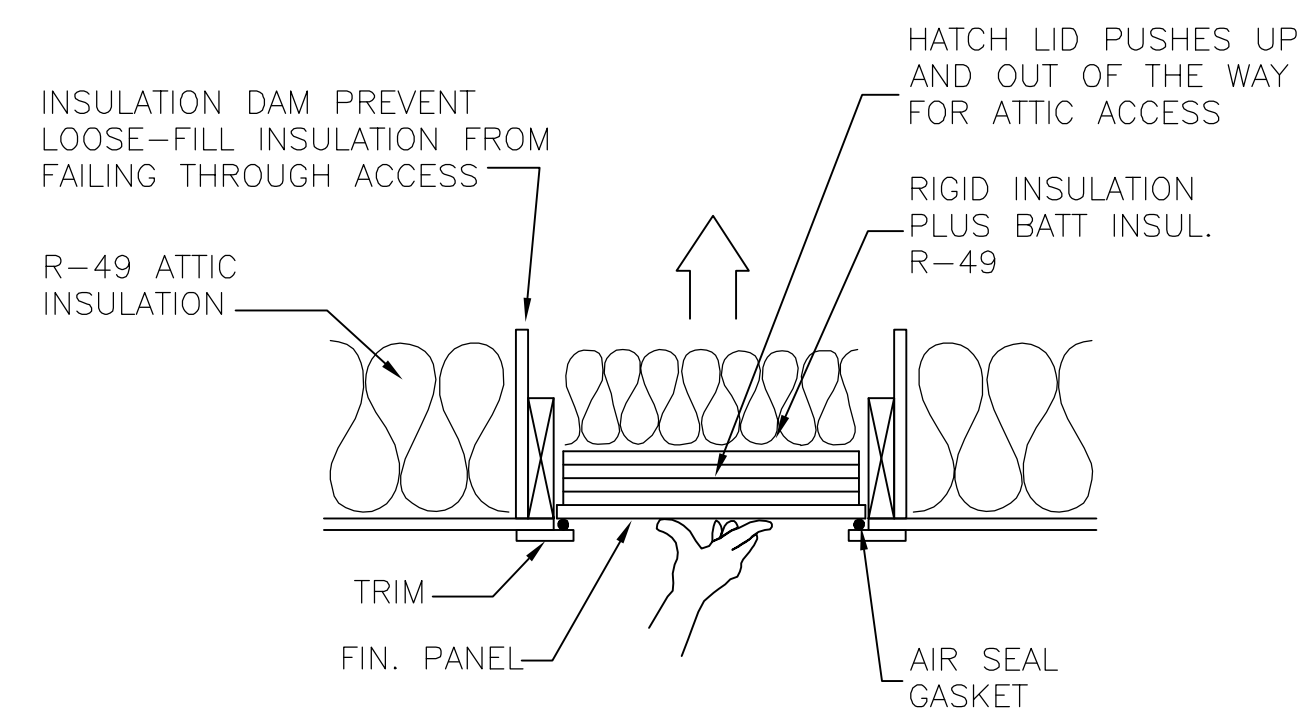
**A**  
A-6 THERMAL ENVELOPE AIR BARRIER COMPLIANCE DETAIL  
N.T.S.



**B**  
A-6 SLAB ON GRADE AIR SEALING DETAIL  
N.T.S.



**C**  
A-6 ATTIC PULL-DOWN STAIRS AIR SEALING DETAIL  
N.T.S.



**D**  
A-6 ATTIC SCUTTLE AIR SEALING DETAIL (ALTERNATE TO ATTIC PULL-DOWN STAIRS)  
N.T.S.

**AIR BARRIER AND INSULATION NOTES**

**NOTE: BUILDING THERMAL ENVELOPE TO COMPLY WITH SECTION "N1102" OF THE 2015 INTERNATIONAL RESIDENTIAL CODE**

- 1 - INSULATION MINIMUM REQUIREMENTS:
  - WOOD FRAME EXTERIOR WALLS = R-20 INSULATION
  - CEILING/ATTIC = R-49 INSULATION
  - CEILING/CATHEDRAL = R-30 (MAX 500SF OR 20% ROOF AREA)
  - FLOOR OVER UNCONDITIONED SPACES = R-30 INSULATION.
  - SLAB ON GRADE = R-10 MIN. 2FT IN DEPTH.
- 2 - AIR BARRIER AND THERMAL BARRIER - A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN BUILDING ENVELOPE. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR PERMEABLE INSULATION SHALL NOT BE USED AS SEALING MATERIAL.
- 3 - CEILING / ATTIC - THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED AND INSULATED.
- 4 - EXTERIOR WALLS - CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER. KNEE WALLS SHALL BE SEALED.
- 5 - WINDOWS, SKYLIGHTS AND EXTERIOR DOORS - THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.
- 6 - RIM JOISTS - RIM JOISTS SHALL BE INSULATED AND SEALED AND INCLUDE THE AIR BARRIER.
- 7 - FLOORS OVER UNCONDITIONED SPACES - INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
- 8 - SHAFTS, PENETRATIONS - DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.
- 9 - GARAGE SEPARATION - AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.
- 10- RECESSED LIGHTING - RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, "IC" RATED, AND SEALED TO THE DRYWALL.
- 11- PLUMBING AND WIRING - BATT INSULATION SHALL CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
- 12- SHOWER/TUB ON EXTERIOR WALL - EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWER AND TUBS. INSTALL DRAFT STOP SHEATHING BEHIND SHOWER AND TUBS ON EXTERIOR WALLS.
- 13- ELECTRICAL/PHONE BOX ON EXTERIOR WALLS - THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMM. BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.
- 14 - HVAC REGISTER BOOTS - HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUB-FLOOR OR DRYWALL.
- 15- FIREPLACE - (IF APPLICABLE) AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS. FIREPLACE SHALL HAVE GASKETED DOORS.
- 16- FENESTRATION AIR LEAKAGE, WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT (1.5 L/S/M<sup>2</sup>), AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT (2.6 L/S/M<sup>2</sup>), WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA 101/1.S.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.

--	--	--	--	--	--

1	2	3	4	5	6

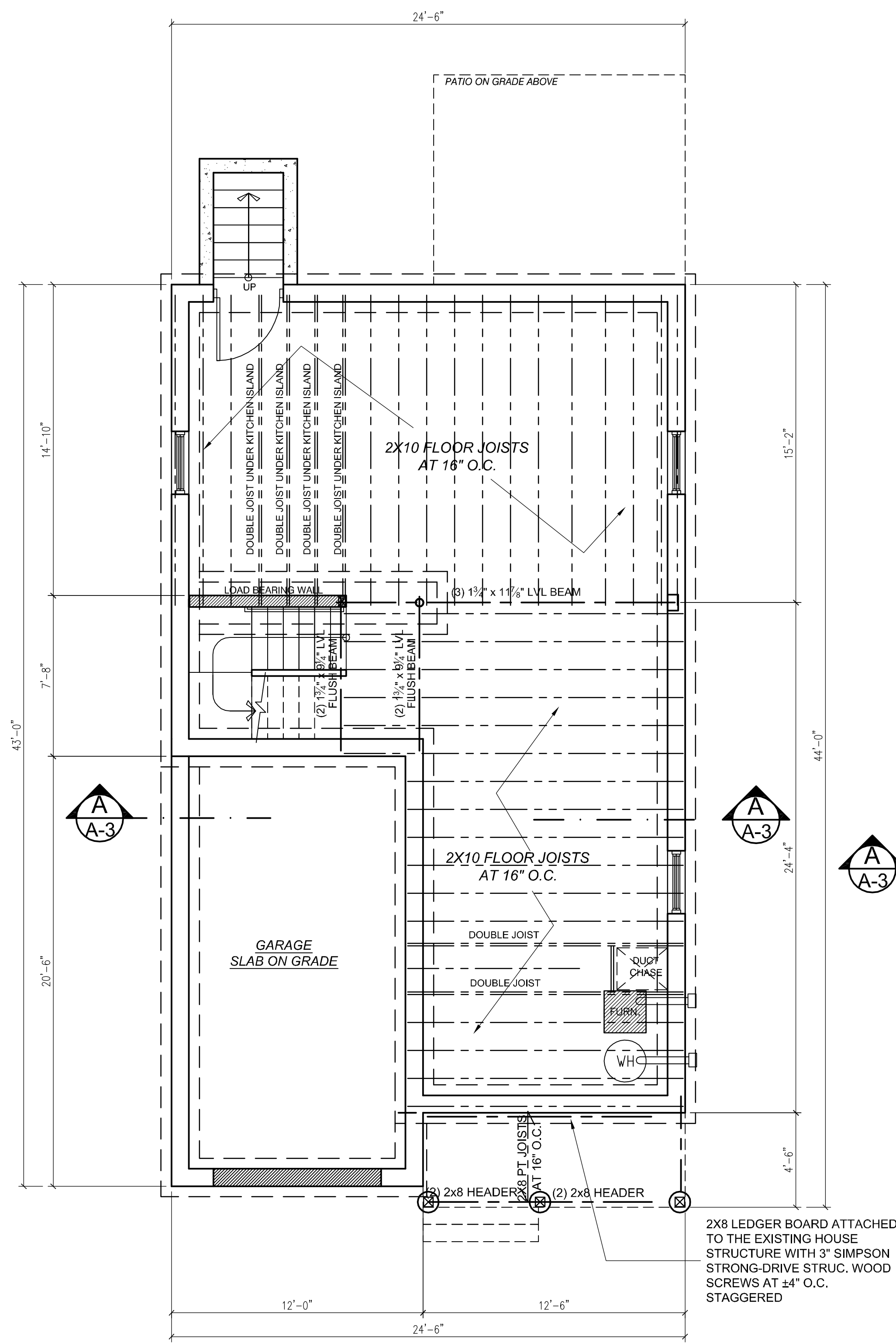
**NEW SINGLE FAMILY HOME PLANS**  
 PREPARED FOR PROPERTY LOCATED AT  
 116 PEET STREET, BRIDGEPORT, CT

THERMAL ENVELOPE AIR BARRIER COMPLIANCE PLAN	date: 02-02-2021	scale: AS NOTED
	drawn: M. REINHEIMER 203-449-6137	project #: MCR-2021-101

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

**A-6**





### 1ST FLOOR FRAMING PLAN

SCALE 1/4" = 1'-0"

#### ROOF CONSTRUCTION NOTES:

- #1 - ALL ROOF PLYWOOD SHEATHING PROVIDE PLYWOOD SHEATHING CLIPS - "SIMPSON" PSC
- #2 - INSTALL SEISMIC AND HURRICANE ANCHORS ON EVERY RAFTER OR EVERY ROOF WOOD TRUSS TO BEARING WALL OR ROOF BEAM
- #3 - ACCESSIBLE ATTIC ACCESS - A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING NOT LESS THAN 22 INCHES BY 30 INCHES SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30 INCHES. HATCH TO BE FULLY WEATHER-STRIPPED AND INSULATED ABOVE ACCESS PANEL OR PULLDOWN STAIRS

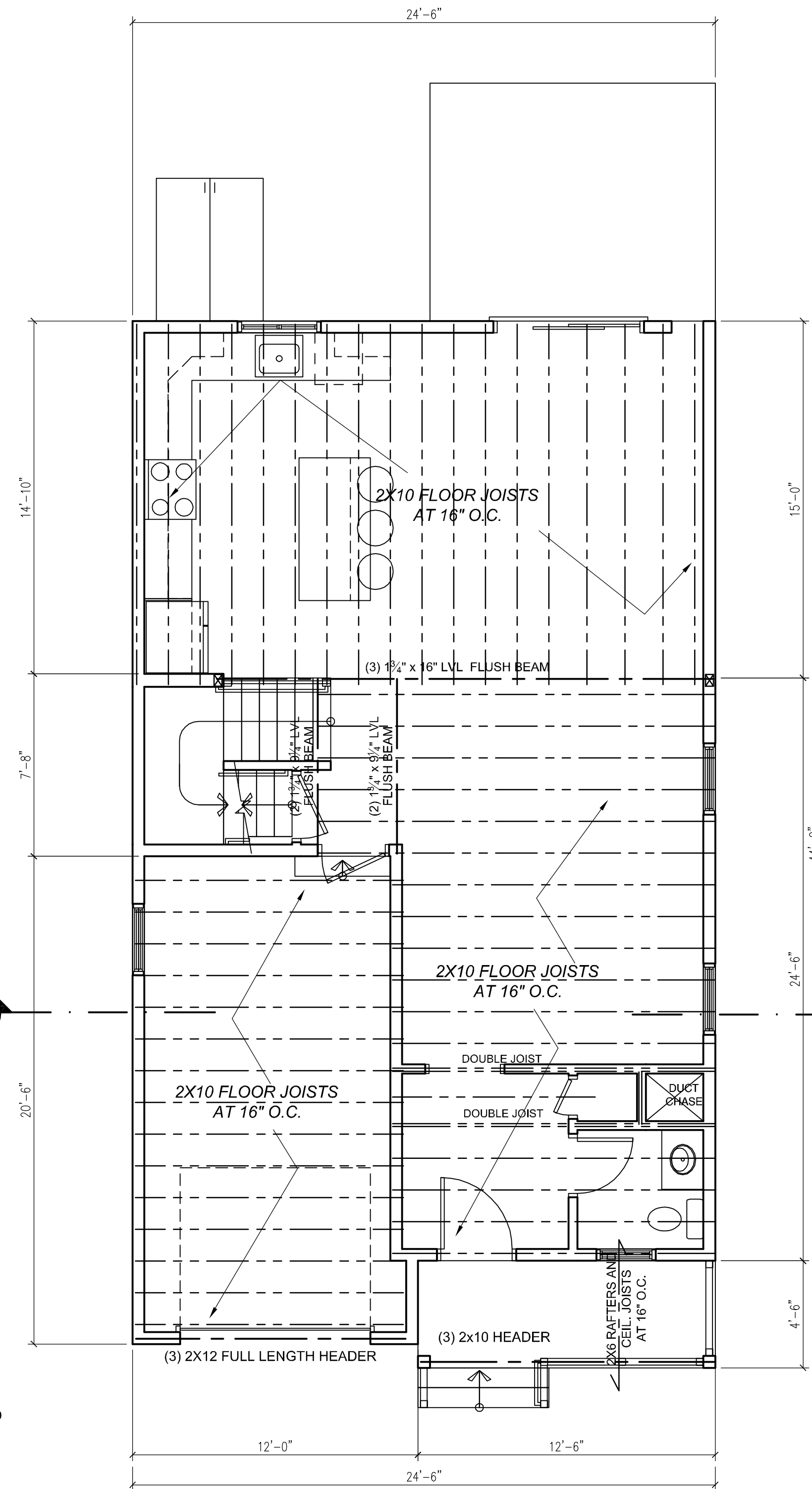
- #4 - PROVIDE WINTERGUARD ( ICE & WATER PROTECTION ) AT ALL EAVES , VALLEYS. ALL ROOF FLASHING FOR ASPHALT SHINGLES SHALL BE OF NON CORROSIVE MATERIAL.
- #5 - THE STRUCTURAL WOOD JOISTS, RAFTERS, AND STUDS, SHOWN ON THESE DRAWINGS WILL BE DOUGLAS FIR-LARCH NO. 2 OR BETTER WITH MINIMUM ALLOWABLE UNIT STRESSES OF FB= 1,350 PSI , FV= 95 PSI, AND E= 1,700,000 PSI.

### 2ND FLOOR FRAMING PLAN

SCALE 1/4" = 1'-0"

#### GENERAL NOTES:

1. PROVIDE STANDARD METAL HANGERS FOR ALL FLUSH CONNECTIONS
2. INSTALL DOUBLE JOISTS UNDER BATH TUB NAD KITCHEN ISLAND LOCATIONS
3. INSTALL RIM JOIST AROUND HOUSE PERIMETER
4. PRE-ENGINEERED LUMBER COMPANY SHALL PROVIDE SHOP DRAWINGS WITH ALL LOAD CALCULATIONS FOR PERMIT PRIOR TO INSTALLATION.
5. ALL HEADERS TO BE INSTALLED WITH KING & JACK STUDS AT EACH END
6. ALL HEADERS AT EXTERIOR WALLS SHALL BE INSULATED.
7. PROVIDE 3-2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED ON PLAN

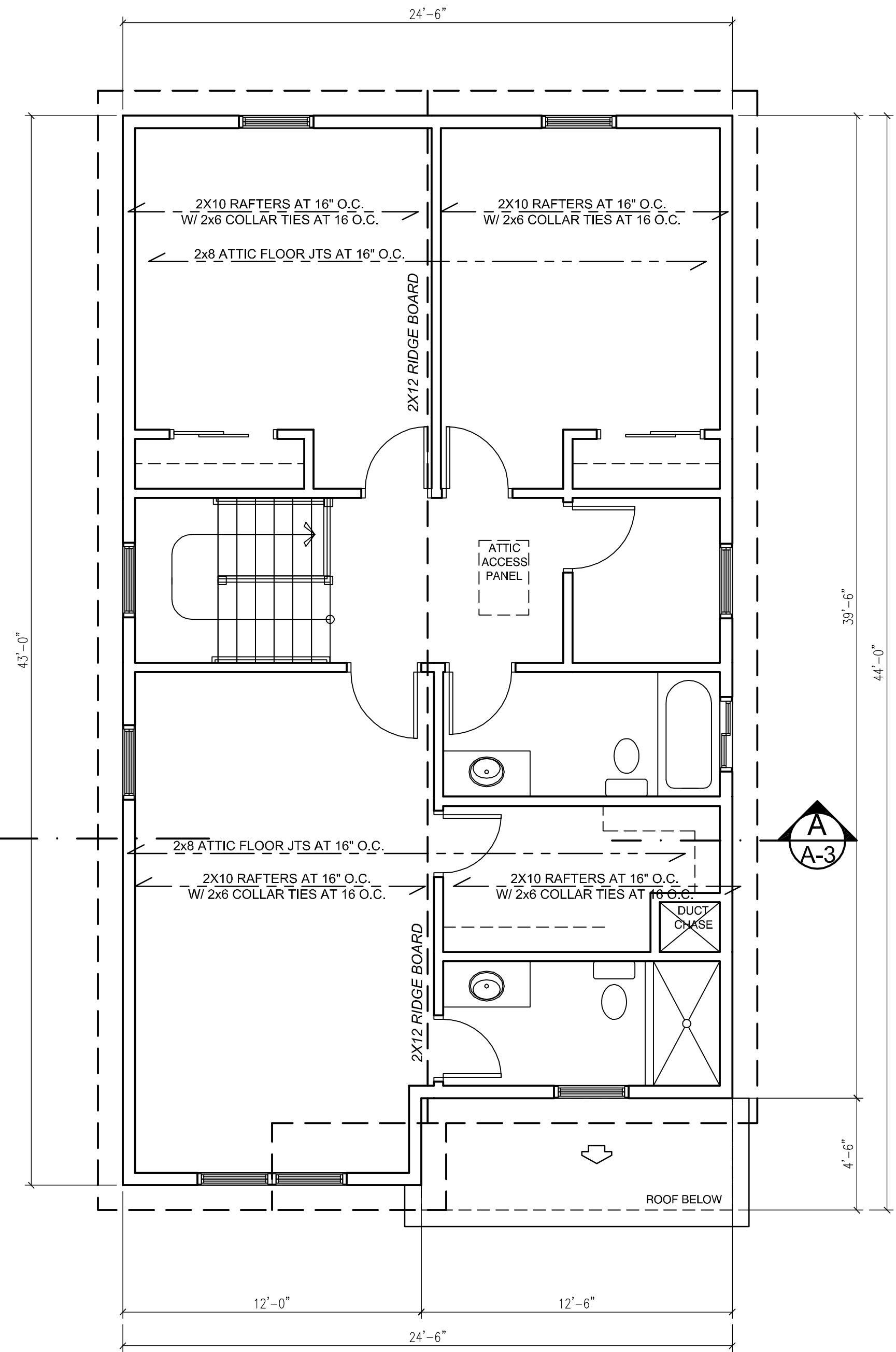


### ROOF FLOOR FRAMING PLAN

SCALE 1/4" = 1'-0"

#### BRIDGING NOTES

- A - SPANS UP TO 14'-0" USE ONE ROW AT CENTER OF SPAN
- B - SPANS FROM 14'-0" TO 21'-0" USE TWO ROWS AT 1/3 POINTS OF SPAN
- C - SPANS FROM 21'-0" TO 32'-0" USE THREE ROWS AT 1/4 POINTS OF SPAN
- D - PROVIDE SOLID BRIDGING UNDER ALL BEARING PARTITIONS PERPENDICULAR TO JOIST



FRAMING PLANS

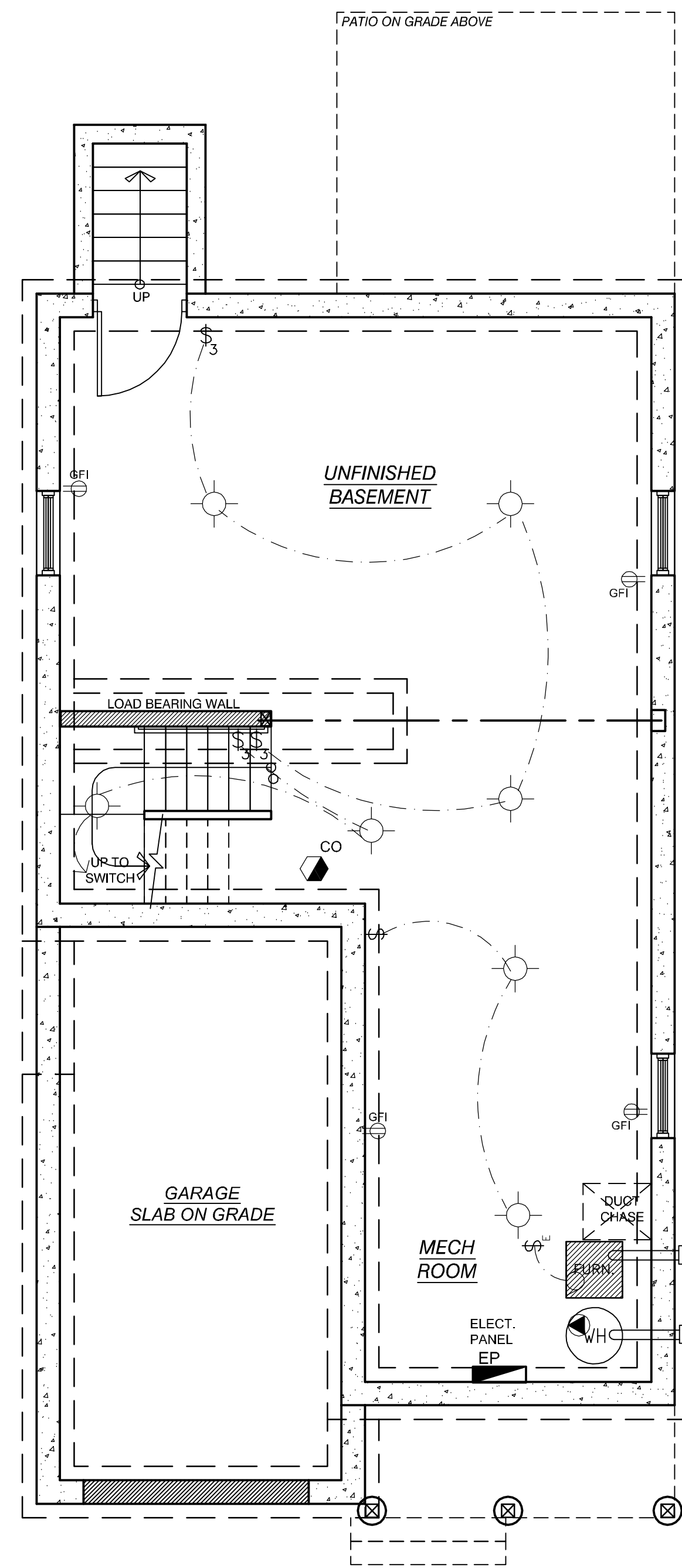
date: 02-02-2021  
 drawn: M. REINHEIMER 203-449-6137  
 scale: AS NOTED  
 project #: MCR-2021-101  
 E-Mail: marcosprimrose@yahoo.com

NEW SINGLE FAMILY HOME PLANS  
 PREPARED FOR PROPERTY LOCATED AT  
 116 PEET STREET, BRIDGEPORT, CT

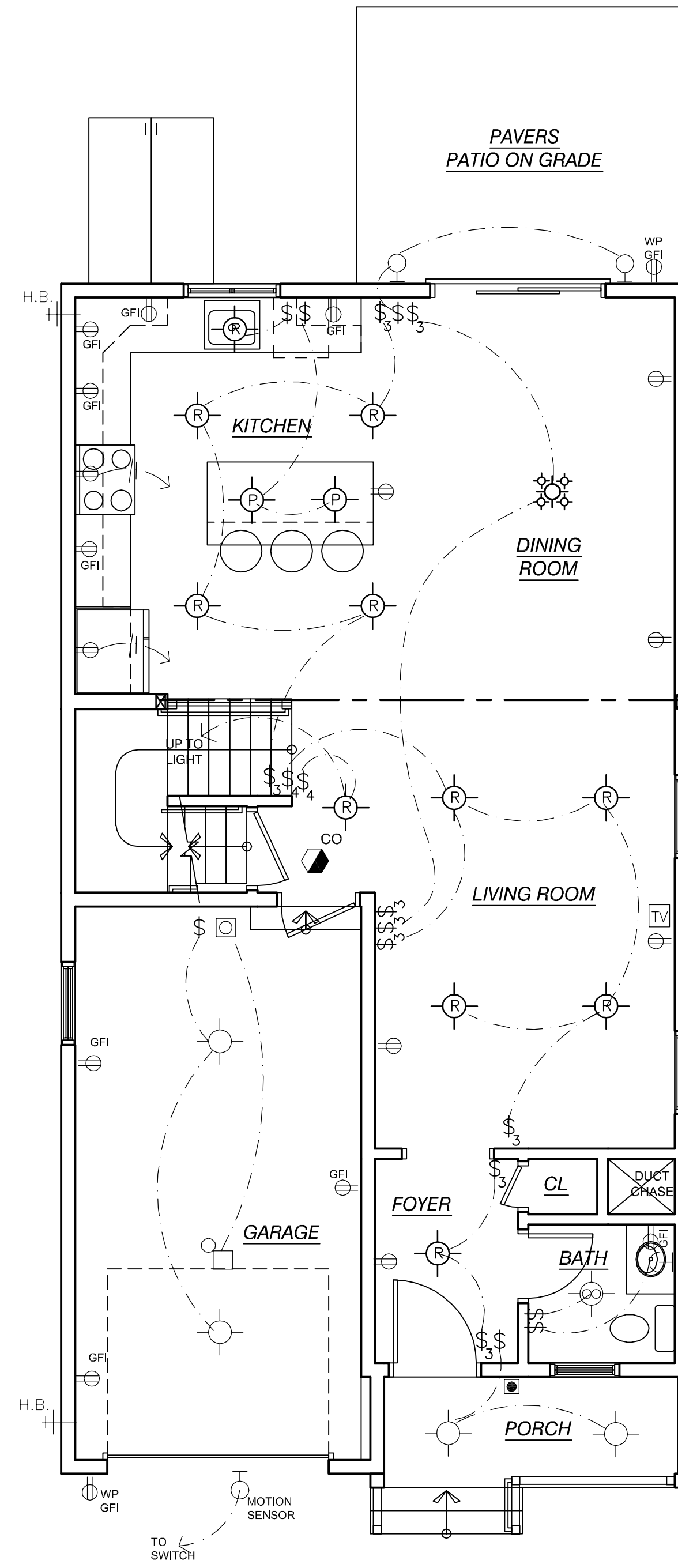
1 2 3 4 5 6  
 REVISIONS

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

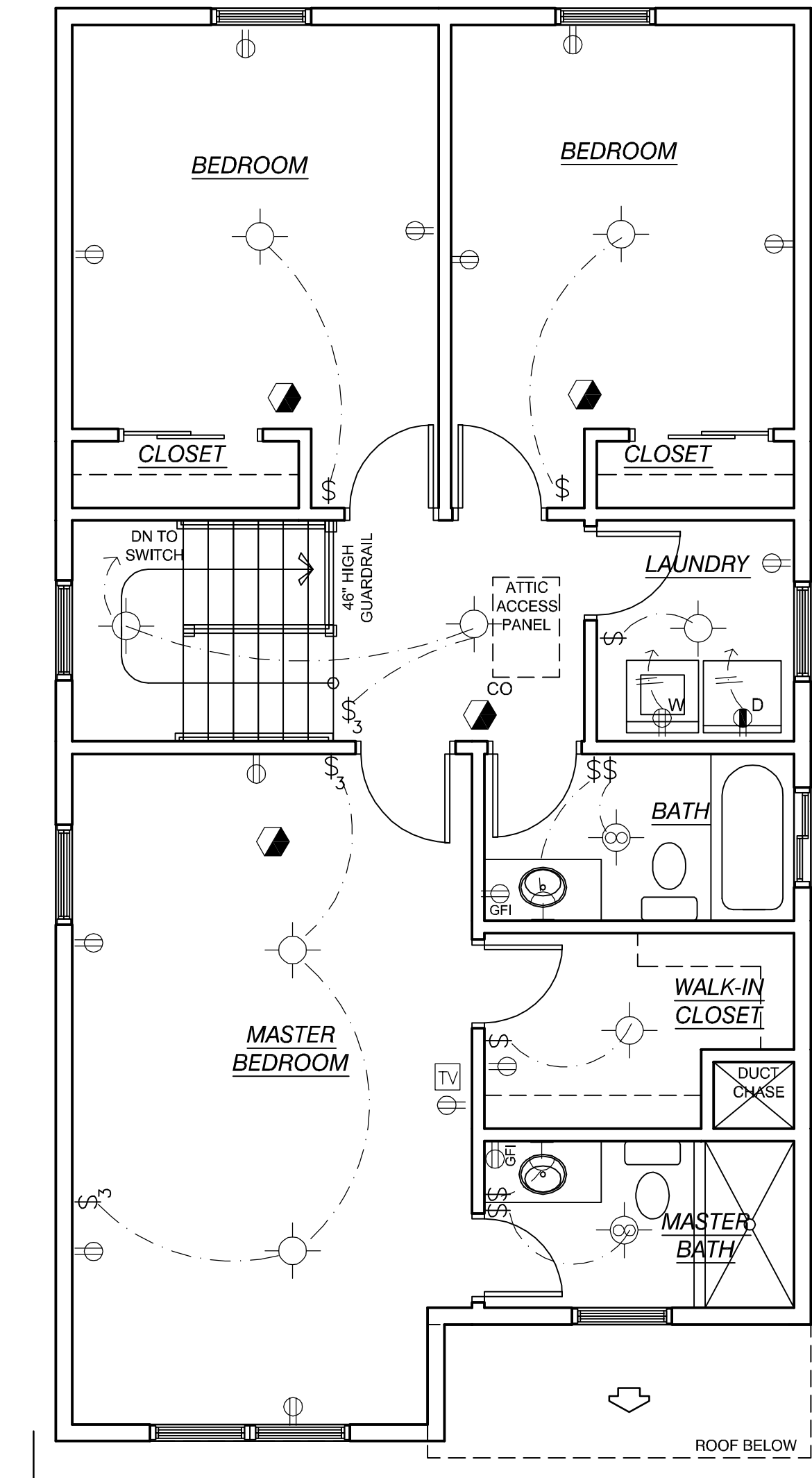
A-7



**BASEMENT ELECTRICAL PLAN**  
SCALE 1/4" = 1'-0"



**1ST FLOOR ELECTRICAL PLAN**  
SCALE 1/4" = 1'-0"



**2ND FLOOR ELECTRICAL PLAN**  
SCALE 1/4" = 1'-0"

**ELECTRICAL GENERAL NOTES -**

- #1 - DRYER - GROUNDED, 3-WIRE, 208 / 240 VOLT 60 HERTZ, AC 30 AMP. CIRCUIT SEPARATELY FUSED
- #2 - WASHER - GROUNDED, 3-WIRE, 120 / 240 VOLT 60 HERTZ AC 20 AMP. CIRCUIT SEPARATELY FUSED
- #3 - DISHWASHER - GROUNDED, 120 VOLT, 20 AMP. SEPARATELY FUSED
- #4 - DUCTED KITCHEN HOOD - 120 VOLT, 60 HERTZ PROVIDE OUTLET IN CABINET FOR KITCHEN HOOD PLUG-IN.
- #5 - MICROWAVE OVEN OUTLET - 120 VOLT, 20 AMP CIRCUIT
- #6 - WHIRLPOOL UNIT - SEE MFR.'S INFORMATION
- #7 - PROVIDE AT LEAST ONE POWER OUTLET ON ANY KITCHEN ISLAND WITH MIN. DIMENSIONS OF 24"x12" OR GREATER
- #8 - ALL BRANCH CIRCUIT BREAKERS FOR ALL BEDROOMS SHALL PROVIDE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION PER 2014 "IEC" AND "2015 IRC" SECTION E3902.12
- #9 - ALL 125V, 1 PHASE, 15&20 Amp RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, UNFINISHED BASEMENTS, OUTDOOR AREAS, KITCHENS AT ABOVE COUNTERTOP SURFACE, SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION EXCEPT FOR RECEPTACLE THAT ARE NOT READILY ACCESSIBLE. AS PER "2015 IRC" SECTION E3902.

- #10 - SMOKE DETECTORS SHALL BE INSTALLED IN EVERY SLEEPING ROOM AND ON THE IMMEDIATE VICINITY OF THE BEDROOMS AND EACH ADDITIONAL STORY OF A DWELLING UNIT AS PER 2015 "IRC", SECTION R314.3
- #11 - DWELLINGS WITHIN WHICH FUEL-FIRED APPLIANCES OR WITH ATTACHED GARAGES, CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AS PER 2015 "IRC", SECTION R315
- #12 - ALL BRANCH CIRCUITS THAT SUPPLY 120V SINGLE PHASE 15 & 20 AMP OUTLETS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS.
- #13 - LAMPS INSIDE CLOSET SPACE, NEAR SHOWER AND OR TUB AREAS TO BE SEALED AND VAPOR AND WEATHER PROOF.
- #14 - AS PER SECTION E3608 OF THE 2015 IRC A GROUNDING ELECTRODE SYSTEM SHALL BE PROVIDED AND INSTALLED AS PER CODE SPECIFICATIONS.

**SYMBOLS**

- ⚡ EMERGENCY SWITCH
- ⚡ SWITCH
- ⚡ 3-WAY SWITCH
- ⚡ 4-WAY SWITCH
- ⊖ DUPLEX RECEPTACLE OUTLET
- W OUTLET FOR WASHER
- D OUTLET FOR DRYER
- 220V OUTLET
- EXHAUST FAN/LIGHT
- TELEPHONE JACK
- FLOOR MOUNTED TELEPHONE JACK
- BATHROOM FAN ONLY
- DOOR CHIME
- DOOR CHIME BUTTON PILOT
- H.B. HOSE BIBB
- 4" OR 6" RECESSED LIGHT
- LIGHT FIXTURE
- P PENDANT LIGHTING FIXTURE
- JUNCTION BOX
- CONNECT TO ELECT. MOTOR
- WALL MOUNTED LIGHT
- TV TV OUTLET
- OVERHEAD DOOR OPERATOR
- OVERHEAD DOOR PUSH BUTTON PILOT LIGHT
- SMOKE DETECTOR AC/DC
- SMOKE & CARBON MONOXIDE DETECTOR AC/DC
- WALL SCONCE LIGHT
- WATER HEATER CONNECTION
- ARC ARC FAULT CIRCUIT
- GFI GROUND FAULT CIRCUIT
- CHANDELIER
- UNDERCABINET LIGHTING FIXTURE / LOW VOLT
- CLOSET LIGHT ON AUTO SWITCH
- WP WEATHERPROOF
- VP VAPOR-PROOF

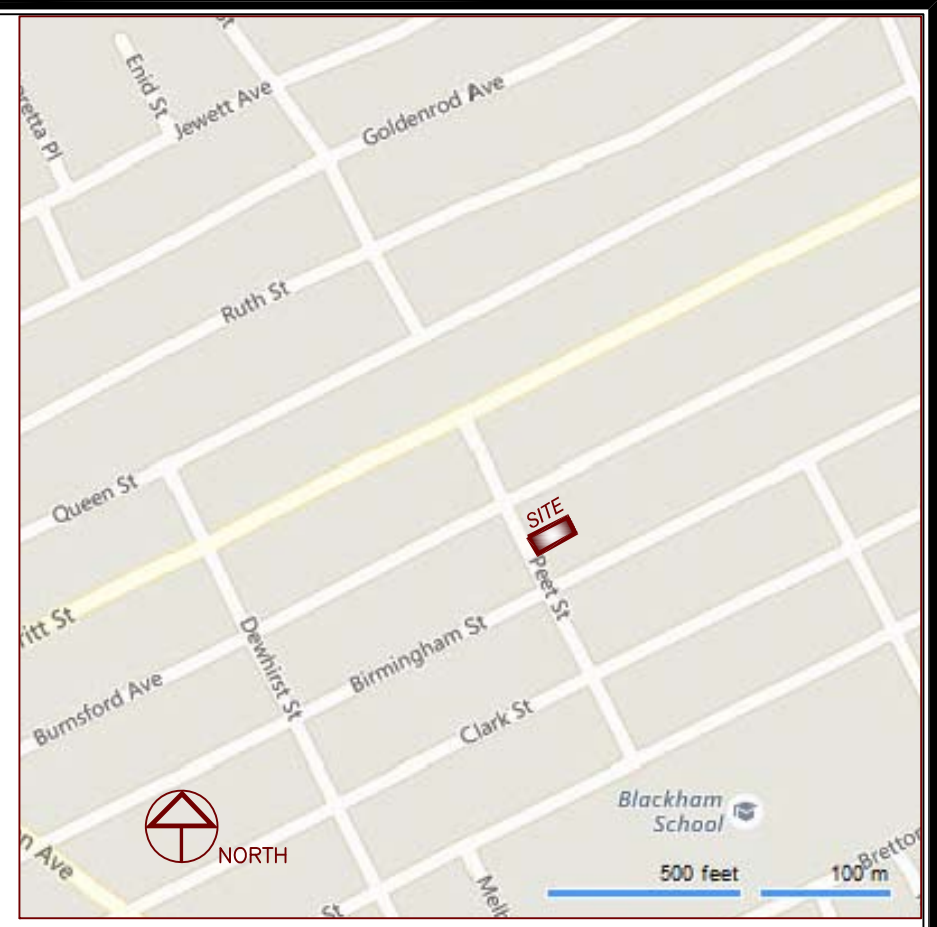
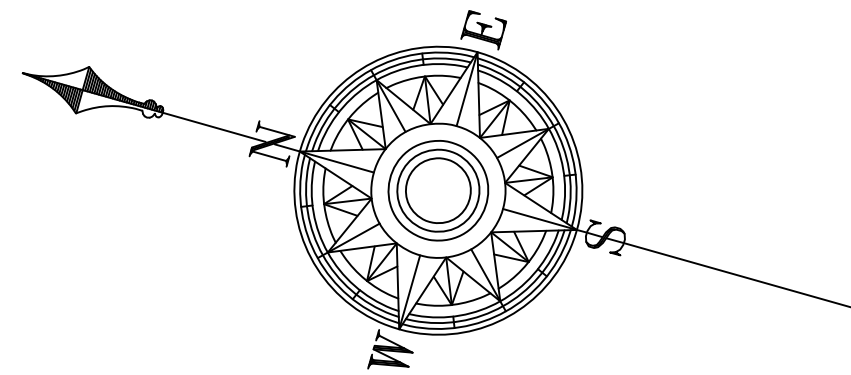

1	2	3	4	5	6

**NEW SINGLE FAMILY HOME PLANS**  
PREPARED FOR PROPERTY LOCATED AT  
116 PEET STREET, BRIDGEPORT, CT

ELECTRICAL PLANS	date:	02-02-2021
	scale:	AS NOTED
drawn:	M. REINHEIMER	203-449-6137
E-Mail:	marcosprimrose@yahoo.com	project #: MCR-2021-101

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

DEVELOPMENT STANDARDS	ZONE: RA	EXISTING	PROPOSED	AS BUILT
LOT AREA, MINIMUM	5000 SF.	3750±	3750±	
FRONTAGE, MINIMUM	50 FT.	35.00'	35.00'	
DEPTH, MINIMUM	100 FT.	100.00'	100.00'	
LOT AREA PER DWELLING UNIT, MINIMUM	N/A	N/A	N/A	
<b>PRINCIPAL BUILDING SETBACK</b>				
FRONT LOT LINE, MINIMUM FROM	20 FT.	N/A	20.0'	
SIDE LOT LINE, MINIMUM FROM				
ONE SIDE	6 FT.	N/A	6.0'	
BOTH SIDES	20% LOT WIDTH	N/A	12.0'	
REAR LOT LINE, MINIMUM	20 FT.	N/A	37.0'	
<b>ACCESSORY STRUCTURE</b>				
SETBACK MINIMUM				
FRONT LOT LINE	50% 175 FT.	82.0'	82.0'	
SIDE LOT LINE	3 FT.	0.0'	0.0'	
REAR LOT LINE	3 FT.	6.1'	6.1'	
FLOOR AREA MAXIMUM	50% OF 1ST FLOOR	N/A	N/A	
<b>COVERAGE</b>				
BUILDING COVERAGE, MAXIMUM	40%	6.4%	27.5%	
NOT TO EXCEED	1500 SF	N/A	N/A	
SITE COVERAGE, MAXIMUM	60%	6.4%	37.6%	
<b>LANDSCAPE AREA</b>				
MINIMUM	40%	93.6%	62.4%	
<b>HEIGHT</b>				
PRINCIPAL BUILDING, MAXIMUM	N/A	N/A	N/A	
MID-POINT OF HIGHEST ROOF	28 FT	N/A	28.0'	
TO RIDGE	35 FT	N/A	35.0'	
<b>ACCESSORY STRUCTURE, MAXIMUM</b>				
FLAT/ROUNDED ROOF	12 FT	N/A	N/A	
TO RIDGE	15 FT	N/A	N/A	



**GENERAL NOTES:**

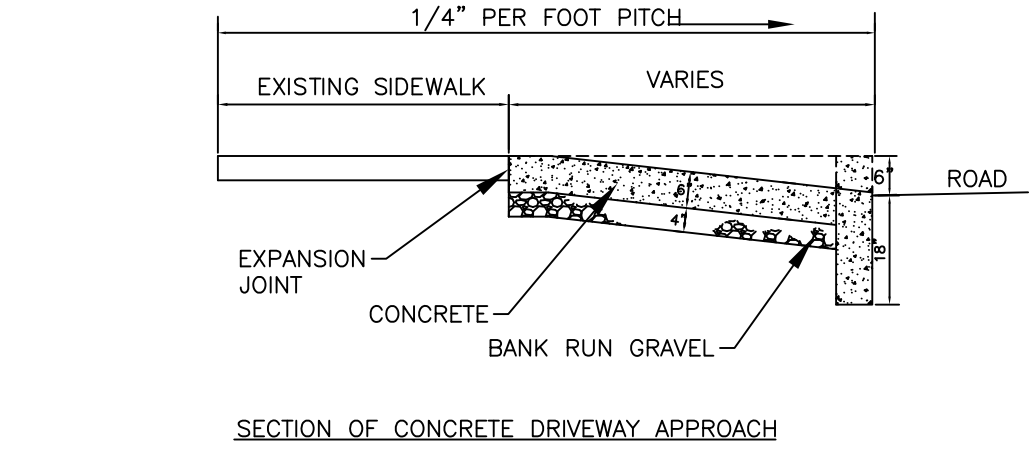
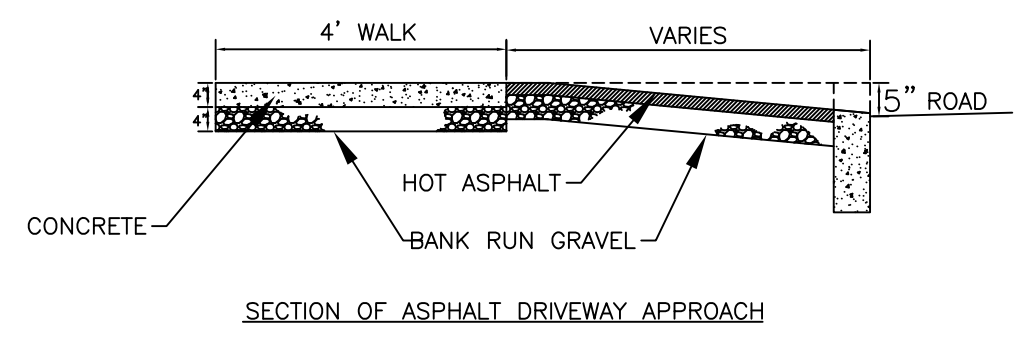
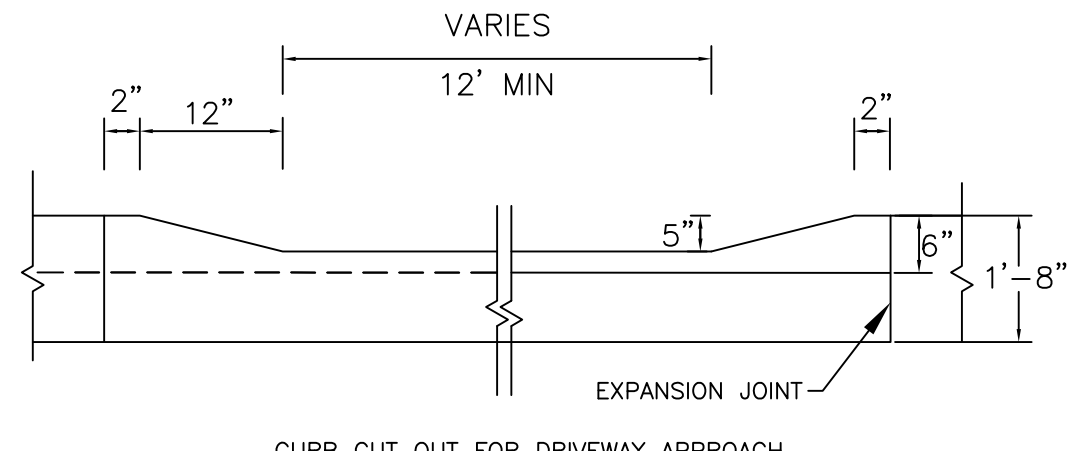
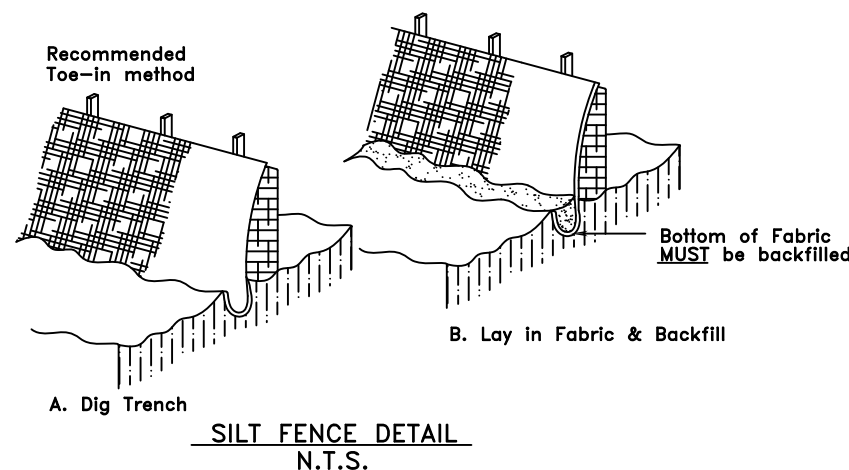
- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2 & Class T-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- Lot served by town sewer system and public water supply.
- Elevations are based on an Assumed Datum.

**SOIL DESCRIPTION OBSERVATION PITS**  
07-16-20

TEST PIT # 101	
0-12"	TOPSOIL
12-42"	BROWN F-M SAND LI SILT
42-96"	GREY M-SAND LI SILT TR. MICA
NL	
NW	
NM	
ROOTS TO 60"	
TEST PIT # 102	
0-6"	TOPSOIL
6-40"	BROWN F-M SAND LI SILT
40-84"	GREY M-SAND LI SILT TR. MICA
NL	
NW	
NM	
ROOTS TO 54"	

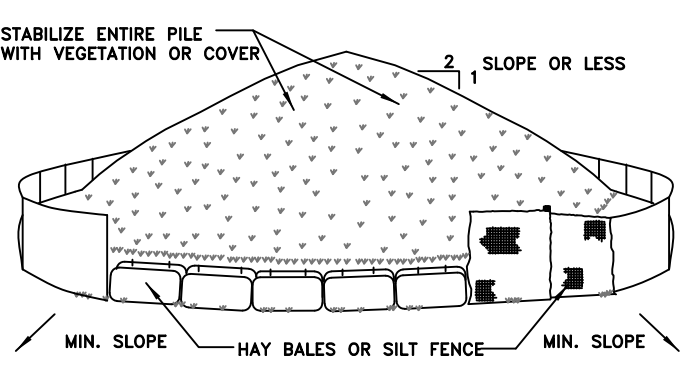
**PERCOLATION TEST RESULT**  
07-16-20

PERC. #101 @ 22" PRESSURE @ 9:15			
TIME	READING	DROP	
10:15	7 3/8	N/A	
:25	9 1/2	2 1/8	
:35	10 7/8	1 3/8	
:45	11 7/8	1	
:55	12 1/2	5/8	
11:05	13	1/2	
:15	13 1/2	1/2	
1" IN 20.0 MIN			

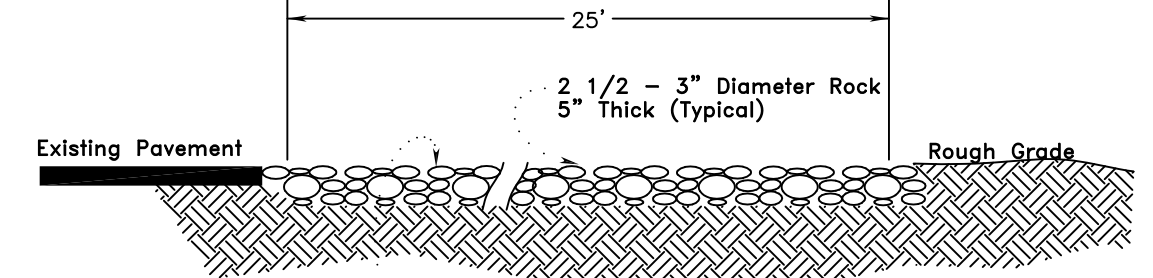


**MAP REFERENCES**

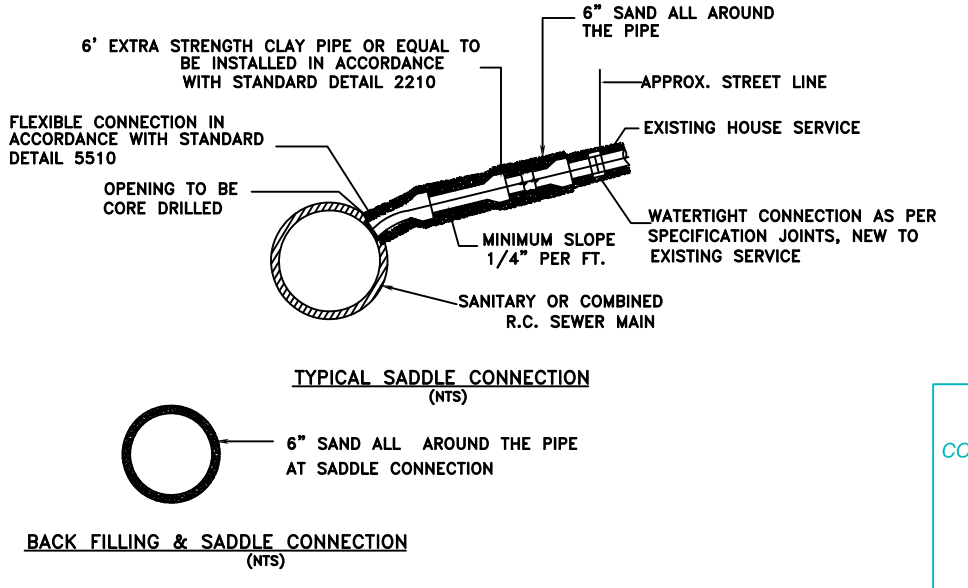
- RECORD MAP # VOL. 6 PG. 1
- RECORD MAP # VOL. 9 PG. 1-2
- RECORD MAP # VOL. 13, PG. 54
- RECORD MAP # VOL. 53 PG. 159



- INSTALLATION NOTES**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
  - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
  - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR HAY BALES, THEN STABILIZED WITH VEGETATION OR COVERED.
  - SEE SPECIFICATIONS (THIS SHEET) FOR INSTALLATION OF SILT FENCE.



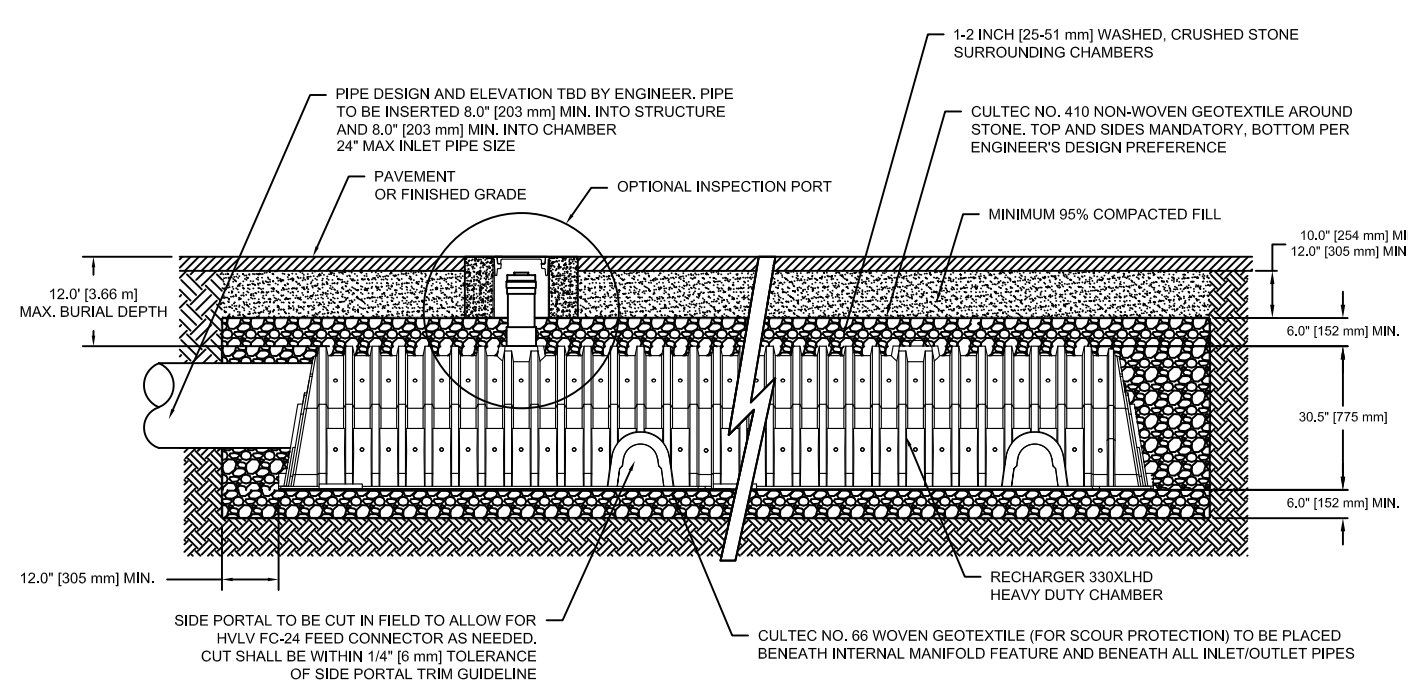
**ANTI-TRACKING APRON**  
(At Driveway Entrance)



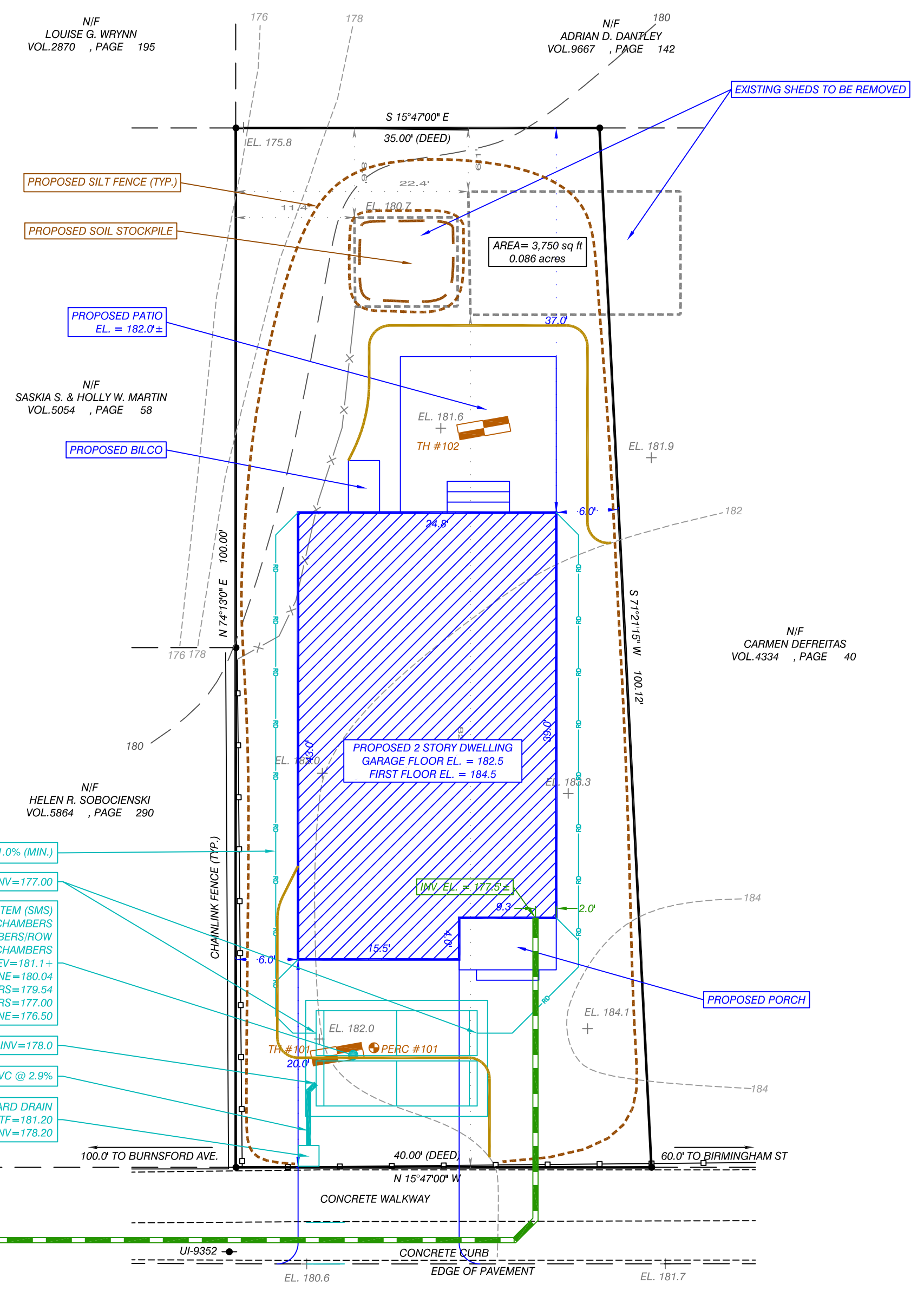
**BACK FILLING & SADDLE CONNECTION**

SEWER LATER CONNECTION PROVIDE SADDLE  
INV. EL. @ MAIN = 170.54±  
INV. EL. @ SADDLE = 170.92±

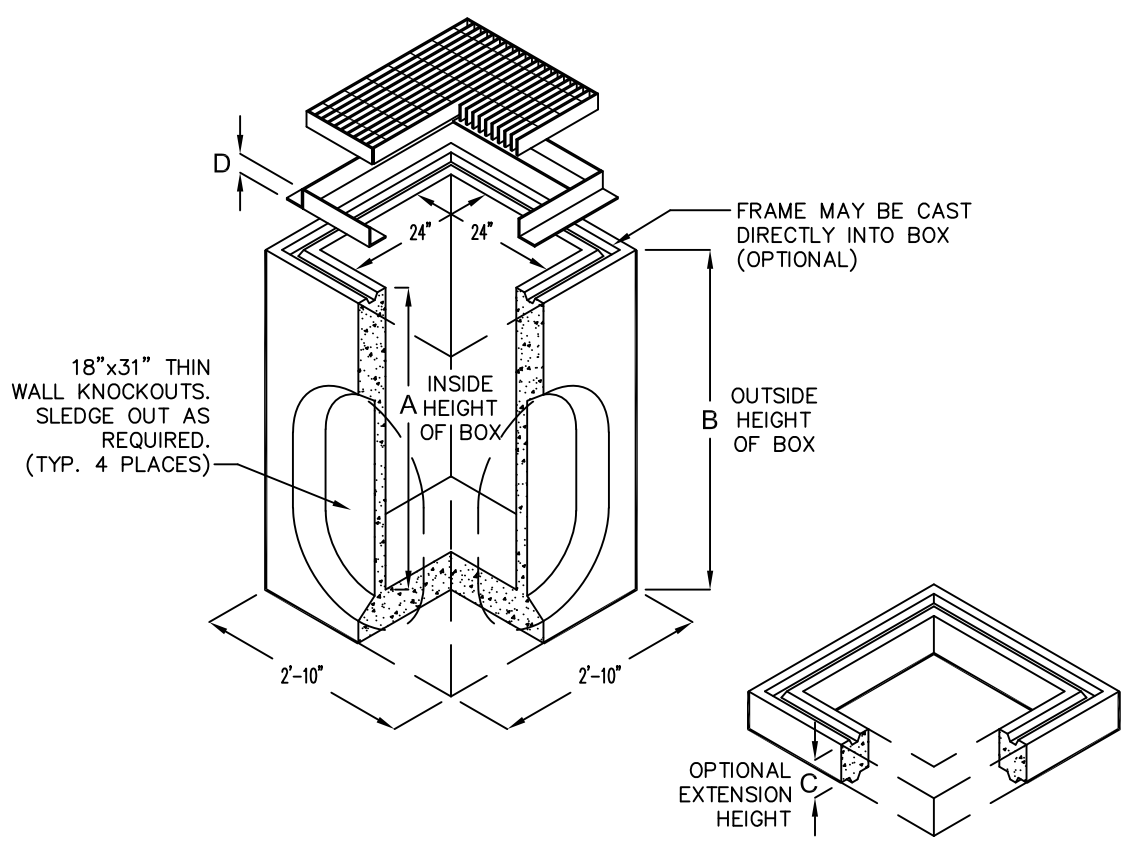
SAN. MH  
TF. EL. = 174.77  
UPPER INV. EL. = 168.89±  
LOWER INV. EL. = 165.91±



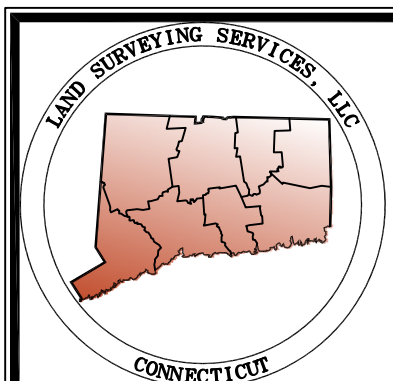
**CULTEC 330XLHD DETAIL**  
N.T.S.



**PEET STREET**



**24" x 24" PRECAST CONCRETE YARD DRAIN (H-20)**  
N.T.S.



**LAND SURVEYING SERVICES, LLC**  
135 FAIRCHILD AVENUE  
FAIRFIELD, CONNECTICUT 06825  
TEL. (203) 522-4177  
FAX. (203) 615-0123  
EMAIL: info@nealjain.com

**TITLE BLOCK**  
ASSESSORS MAP # 65, PARCEL # 2335/30  
APPLICANT: SAME AS OWNER  
ZONING: RA  
DESCRPTIVE TITLE: CLASS A-2 SURVEY  
To the best of my knowledge and belief this map is substantially correct as noted hereon  
NEAL K. JAIN L.S. # 18139

DATE	DESCRIPTION	REVISIONS
12-1-2020	PROPOSED SITE PLAN	

**IMPROVEMENT LOCATION SURVEY**  
PREPARED FOR  
**VAZ STRATFORD AVE LAUNDROMAT LLC**  
116 PEET STREET, BRIDGEPORT, CONNECTICUT  
SCALE: 1" = 10'  
DATE: APR. 2, 2018

**PETITION TO THE BOARD OF APPEALS**  
**City of Bridgeport, Connecticut**

The undersigned presents the following petition for:

*(Check all that Apply)*

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

288 Knowlton Street

(Number)

(Street)

Zone MU-LI

(Zone Classification)

On the east side of the street about 0 feet North from

(North, South, East, West)

(North, South, East, West)

Barnum Avenue

(Street)

Block : 1650

Lot: 2

Dimension of Lot in Question 100.34' x 156.00' x 99.84' x 137.23'

(Specify)

1. NAME OF PETITIONER / BUSINESS G & S Produce Direct, LLC

(Print)

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Lessee

3. HAS ANY PREVIOUS PETITION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_

(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Proposed cafe liquor permit within existing building

5. THIS PETITION RELATES TO: Check all that Apply

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY Cafe liquor

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See Attached

PETITIONER \_\_\_\_\_

(Signature)

(Print)

DATE 04/01/2021

If signed by agent, state capacity (lawyer, builder, etc.) \_\_\_\_\_

(Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824

(Zip Code)

(Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_

Print

(If other than owner)

(Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_

Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION**

All questions must be answered in detail (use separate sheet if necessary).

The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for

The Zoning Board of Appeals to process this petition.

**NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.**

**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**

**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

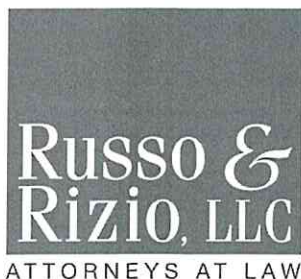
FEE RECEIVED: \_\_\_\_\_

DATE: \_\_\_\_\_

20 \_\_\_\_\_

Clerk \_\_\_\_\_

FOR OFFICE USE ONLY (Rev. 6/22/16)



Colin B. Connor  
 Elizabeth A. Falkoff\*  
 Robert G. Golger  
 Michael C. Jankovsky  
 David K. Kurata  
 Katherine M. Macol  
 Leah M. Parisi  
 William M. Petroccio\*  
 Raymond Rizio\*  
 Christopher B. Russo  
 Robert D. Russo  
 John J. Ryan  
 Vanessa R. Wambolt  
 (\*Also Admitted in NY)

April 1, 2021

Dennis Buckley  
 Zoning Administrator  
 Zoning Department  
 45 Lyon Terrace  
 Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Petition for Variances – 288 Knowlton Street**

Dear Mr. Buckley:

Please accept, on behalf of G & S Produce Direct, LLC, (the “Petitioner”), the following narrative and enclosed application materials as part of an application for variances of the Bridgeport Zoning Regulations (the “Regulations”) for the property located at 288 Knowlton Street (the “Site”) to convert an existing take-out 4,360 SF restaurant to a cafe with a liquor permit for the sale of beer and wine only in the MU-LI Zone.

**Variances Requested**

1. Variance of Section 12-10.d to permit the sale of alcoholic liquor within the existing building on the Site located within a 750’ radius of another building permitted for the sale of alcoholic liquor and a school; and
2. Variance of Section and Table 8.A to reduce the off-street parking requirement by Three (3) off-street parking spaces.

**Narrative**

The Petitioner requests the above-stated variances from the Regulations. The Site is located at the corner of Knowlton Street and Barnum Avenue and contains Fourteen thousand five hundred and fifty-nine square feet (14,559 SF). The Site is in the MU-LI Zone, but it is located in a commercial corridor of Knowlton Street, which contains a variety of uses from residential to retail to light industrial. The Site has historically been used for wholesale trade in the northern half of the building and a food service use within the southern half as the former Bridgeport Lobster and Shellfish Co. location. Recently, the Petitioner has been operating the El Fogon take-out restaurant within this space.

1 Post Road  
 Fairfield, CT 06824

Tel 203-255-9928  
 Fax 203-255-6618

The Petitioner proposes to convert the interior of the existing building to a café liquor use with a liquor permit for the sale of beer & wine only. The Site itself will remain unchanged and the interior of the café will be laid out in accordance with the submitted floor plan. Of all the industries affected by the COVID-19 pandemic, the restaurant industry has been impacted the hardest. Many restaurants have been forced to shutter, while other restaurants have experienced a steep reduction in patronage and even their ability to accommodate patronage within their restaurants. With social-distancing requirements, food service establishments can not seat the same number of patrons as they did prior to the pandemic. These food service establishments have had to adapt to remain open and service the needs of their communities. The proposed minor adjustment to the existing and longstanding use at the Site will help to achieve these goals.

Since the previous application to the Zoning Board of Appeals, the Petitioner has worked closely with the Office of Planning and Economic Development (OPED) to address the concerns of the Zoning Board of Appeals regarding off-street parking. OPED has indicated that they will submit a letter for the record that the Petitioner shall have access to the publicly owned parking lot located across the street from the Site. This parking area is more than sufficient to handle the number of parking spaces requested in the variance especially since the Petitioner is not actually increasing the floor area of the existing use.

### **Hardship**

Granting the Petitioner the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as the Petitioner proposes a minimal change to a longstanding use at the Site. The former Bridgeport Lobster and Shellfish Co. location was very popular within the community. The Petitioner seeks to simply offer a wider range of offerings, with the sale of beer & wine, to pair with the food service that has been historically provided. Said request is within 750' of a grocery store located on William Street and the front entrance of Achievement First Bridgeport Academy. The grocery store is located much closer to Bridgeport Academy than the Site. Said modification will provide a benefit to the community, which has seen its offerings decrease as a result of the pandemic, in a popular food service location.

With regards to off-street parking, the existing use requires 3.5 spaces per 1,000 SF of floor area. The proposed addition of the sale of beer & wine only, slightly adjusts the requirements to 4 spaces per 1,000 SF of floor area. However, the proposed modification to the use will not have a dramatic impact on the use of the property as beer and wine will simply be offered as a complement to the food service already provided at the Site. The change in off-street parking requirements is simply a technicality of the Regulations even though the Petitioner is not fundamentally changing the business. Off-street parking has never been available at the Site and it was successfully operated as a food service establishment with no issue. Knowlton Street and Barnum Avenue contain on-street parking around the Site with little conflict from surrounding uses, particularly on Knowlton Street. In addition, the Petitioner has closely worked with OPED

and OPED has agreed to allow the Petitioner to utilize off-street parking spaces located across the street from the Site that are controlled by the City of Bridgeport. This additional parking area will provide more than enough parking to satisfy the intent of the Regulations and service the use on the Site.

For the reasons stated above, the Petitioner respectfully requests approval of the Petition for the above-stated variances.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Ray Rizio', with a long horizontal flourish extending to the right.

Ray Rizio

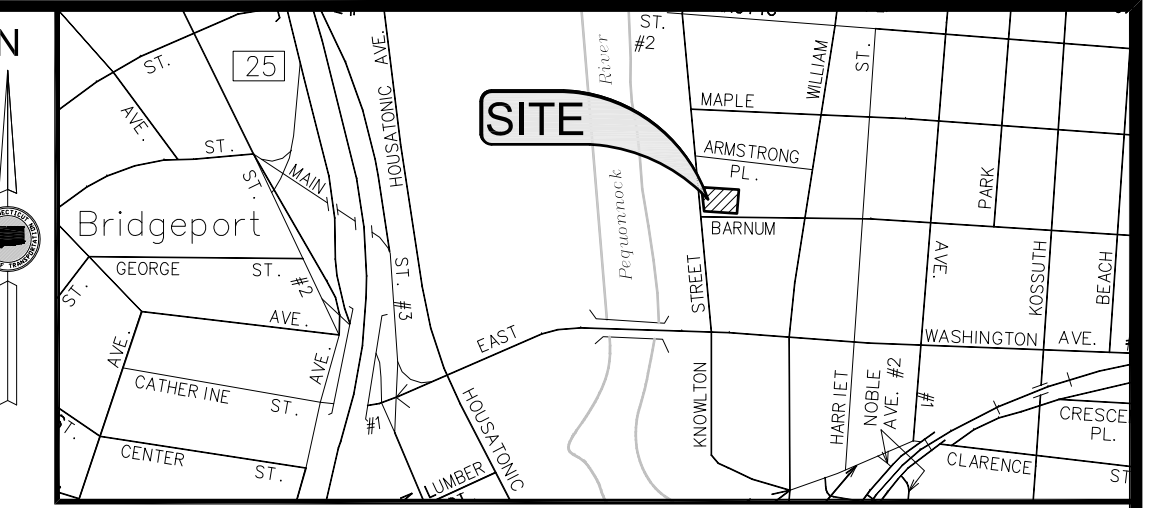
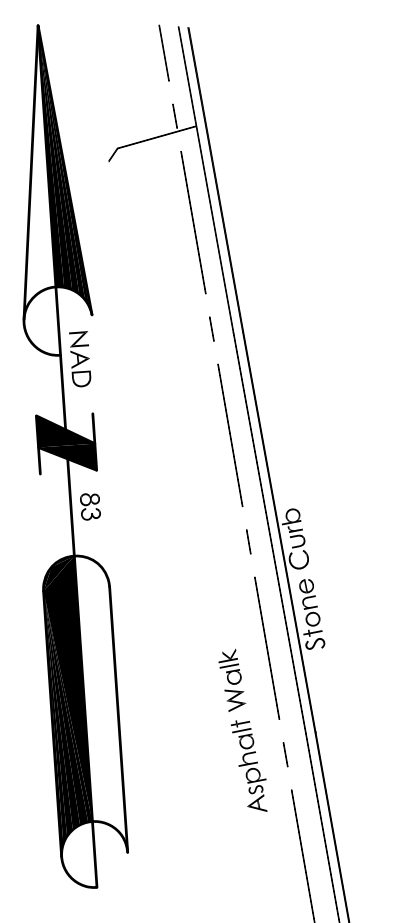
PROPERTIES WITHIN 100' OF 288 KNOWLTON STREET

PROPERTY ADDRESS	OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
2 ARMSTRONG PL	RODRIGUEZ RUPERTO & ROSA A RODRIQUEZ	2 ARMSTRONG PL	BRIDGEPORT	CT	06608
4 ARMSTRONG PL	BEGOLLI ARGJENT	4 ARMSTRONG PL	BRIDGEPORT	CT	06608
5 ARMSTRONG PL	GUZMAN CARLOS G	5 ARMSTRONG PL	BRIDGEPORT	CT	06608
7 ARMSTRONG PL	WILLIAMS SHERVIN	7 ARMSTRONG PL	BRIDGEPORT	CT	06608
9 ARMSTRONG PL	DOLOR THERESA	51 MAGNOLIA AVE	NORWALK	CT	06850
11 ARMSTRONG PL	MHA WASHINGTON PARK LLC	63 STILLWATER AVE	STAMFORD	CT	06902
13 ARMSTRONG PL	RICHARDS ZARONIE ET AL	13 ARMSTRONG PL	BRIDGEPORT	CT	06608
305 KNOWLTON ST	THE KNOWLTON LLC	295 CENTER RD, #111	EASTON	CT	06612
10 ARMSTRONG PL	SMALLS BARBARA ANN	10 ARMSTRONG PL	BRIDGEPORT	CT	06608
12 ARMSTRONG PL	PRYCE JASON	12 ARMSTRONG PL	BRIDGEPORT	CT	06608
91 BARNUM AV #93	CLARKE NOEL H & REBECCA R CLARKE	91 BARNUM AVE	BRIDGEPORT	CT	06608
101 BARNUM AV #103	MHA WASHINGTON PARK LLC	63 STILLWATER AVE	STAMFORD	CT	06902
1 ARMSTRONG PL	MITGLQ INVESTORS LP C/O NEW REZ LLC	55 BEATTIE PL, STE 110	GREENVILLE	SC	29601
3 ARMSTRONG PL	BATISTA ROMERO & CARLOS	126 BURROUGHS ST	BRIDGEPORT	CT	06608
6 ARMSTRONG PL	BELTRE LUIS M	85-50 101 ST	RICHMOND HILL	NY	11418
8 ARMSTRONG PL	ALVAREZ ALFRED	75 CLIFTON ST	WEST HAVEN	CT	06516
288 KNOWLTON ST	TWS PROPERTIES LLC	94 MATILDA PL	FAIRFIELD	CT	06824
239 KNOWLTON ST	225 KNOWLTON STREET LLC	225 KNOWLTON ST	BRIDGEPORT	CT	06608
66 BARNUM AV #70	VAZ JOSE & LUIS	30 HUNTING ST	BRIDGEPORT	CT	06606
76 BARNUM AV #78	MCDUFFIE-DAVIS JACQUELYN & JOHN H MCDUFFIE	76 BARNUM AVE	BRIDGEPORT	CT	06608
84 BARNUM AV #86	ZOZOYAS LUCIA VAZQUEZ & RAUL QUITO	84-86 BARNUM AVE	BRIDGEPORT	CT	06608
94 BARNUM AV #96	GUTIERREZ BASILIO	28 HILLSIDE DRIVE	EASTON	CT	06612
102 BARNUM AV #104	CITY OF BRIDGEPORT REDEVELOPMENT AGENCY	45 LYON TER	BRIDGEPORT	CT	06604



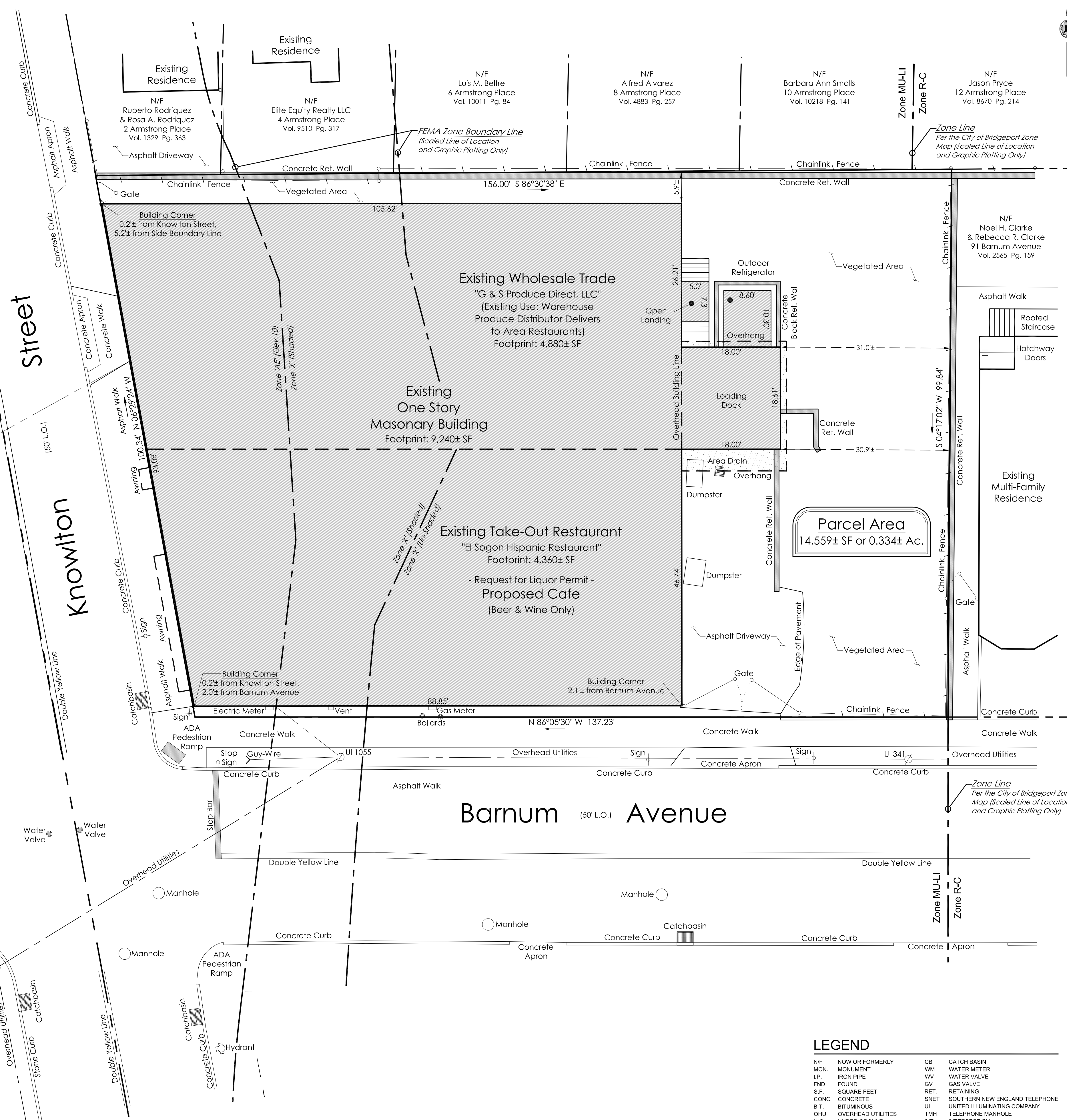
**NOTES**

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A **ZONING LOCATION SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS **A-2** AND IS INTENDED FOR **MUNICIPAL COMPLIANCE**.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.
- LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (CORRS). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON **SEPTEMBER 13, 2018** IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:  
STATION: **ORANGE**  
NORTHING **658307.101**, EASTING **930968.510**  
LATITUDE **41°14'03.13601"**, LONGITUDE **73°00'03.97333"**  
ELLIPSOID **6.5067**
- REFERENCE IS MADE TO THE FOLLOWING MAPS:  
A. PLAT BOOK OF THE CITY OF BRIDGEPORT, CONNECTICUT, FROM OFFICIAL RECORDS, PRIVATE PLANS AND ACTUAL SURVEYS COMPILED UNDER THE DIRECTION OF AND PUBLISHED BY G.M. HOPKINS CO. ATLAS PUBLISHERS 136-138 SO. FOURTH ST., PHILADELPHIA, 1929 AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.  
B. PLAT BOOK OF THE CITY OF BRIDGEPORT, CONNECTICUT, FROM OFFICIAL RECORDS, PRIVATE PLANS AND ACTUAL SURVEYS COMPILED UNDER THE DIRECTION OF AND PUBLISHED BY G.M. HOPKINS CO. CIVIL ENGINEERS, 136-138 SO. FOURTH ST., PHILADELPHIA, 1917 AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.  
C. MAP ENTITLED "MAP NO. 1," ELIZABETH ARMSTRONG ESTATE, DATED JUNE 12, 1907, PREPARED BY SCORFIELD AND FORD SURVEYORS AND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 5 PG. 55**.  
D. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 1650**.
- RECORD OWNER: TWS PROPERTIES LLC VOL. 9418 PG. 265
- ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1650 | LOT 2
- PARCEL AREA: 14,559± SQ. FT. OR 0.334± AC.
- PARCEL IS LOCATED WITHIN THE **MU-LI** ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL **429** OF 526, COMMUNITY **BRIDGEPORT**, CITY OF, NUMBER **090002** PANEL **0429** SUFFIX **G**, MAP NUMBER **09001C0429G**, MAP REVISED **JULY 8, 2013**, AND PANEL **433** OF 626, COMMUNITY **BRIDGEPORT**, CITY OF, NUMBER **090002** PANEL **0433** SUFFIX **G**, MAP NUMBER **09001C0433G**, MAP REVISED **JULY 8, 2013**. THE PARCEL IS LOCATED IN AREAS DESIGNATED AS **ZONE AE** (ELEVATION 10), **ZONE X** (SHADED) AND **ZONE X** (UNSHADED).
- THE SUBJECT PARCEL IS LOCATED WITHIN THE PEQUONNOK RIVER COASTAL BOUNDARY - RESIDENTIAL ZONE. SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT **SHEET 4 OF 4**, SCALE: 1"=500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.
- BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DEANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DEANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DEANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).



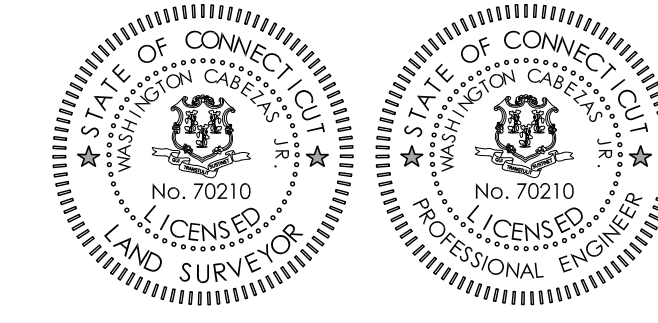
MU-LI Zone Development Standards		
	REQUIRED	EXISTING
<b>LOT</b>		
LOT AREA, MINIMUM	N/A	14,559± SF
FRONTAGE, MINIMUM	35 FT	237.57 FT
FLOOR AREA RATIO, MAXIMUM	N/A	N/A
PRINCIPLE BUILDING SETBACK	N/A	N/A
<b>PRINCIPLE BUILDING SETBACK</b>		
FRONT LOT LINE, MINIMUM FROM	N/A	N/A
STREET LOT LINE, MINIMUM FROM	0 FT (OR PREVAILING SETBACK)	0.2± FT (KNOWLTON) 2.0± FT (BARNUM)
MAXIMUM SETBACK	10 FT (OR PREVAILING SETBACK)	2.0± FT (BARNUM)
SIDE LOT LINE, MINIMUM FROM	N/A	N/A
REAR LOT LINE, MINIMUM FROM	N/A	N/A
NOT TO EXCEED	N/A	N/A
<b>MINIMUM SETBACK FROM:</b>		
OTHER HEAVY INDUSTRIAL USE	N/A	N/A
OTHER USE	N/A	N/A
LOT LINE ABUTTING AN 'R' ZONE	N/A	N/A
SIDE	10 FT	30.9± FT
REAR	15 FT	CORNER LOT
LOT LINE ABUTTING AN 'MU' OR 'Y' ZONE	N/A	N/A
CORNER LOT YARDS	NOTE 2	PROVIDED
MEAN HIGH WATER, MINIMUM FROM	N/A	N/A
<b>ACCESSORY STRUCTURE</b>		
SETBACKS	NOTE 9	N/A
<b>COVERAGE</b>		
BUILDING COVERAGE, MAXIMUM	65%	65%
SITE COVERAGE, MAXIMUM	85%	75%
<b>LANDSCAPED AREA</b>		
MINIMUM	15%	25%
IN SETBACK ABUTTING AN 'R' ZONE, MIN.	10 FT DEEP AT L4 (4)	NONE
<b>HEIGHT</b>		
<b>PRINCIPAL BUILDING</b>		
MAXIMUM FOR PRINCIPAL BUILDING	35 FT (NOTE 12)	22± FT
PROJECTIONS AND FEATURES	NOTE 5	30± FT (Chimney)
<b>ACCESSORY STRUCTURE, MAXIMUM</b>		
HEIGHT, MAXIMUM	NOTE 7	N/A
FLOOR AREA, GROSS MAXIMUM	NOTE 8	N/A
<b>PUBLIC ACCESS EASEMENT</b>		
	NOTE 10	N/A

- NOTES:**
- NO MAXIMUM BUILDING SETBACK FROM A STREET LOT LINE SHALL BE REQUIRED FOR ANY PARCEL OF LAND BOUNDED ON THREE OR MORE SIDES BY CITY STREETS AND OWNED BY A CITY GOVERNMENT AGENCY.
  - ON A CORNER LOT IN ANY ZONE, THERE SHALL BE TWO FRONT YARDS AND TWO SIDE YARDS.
  - THE MINIMUM SETBACK FROM MEAN HIGH WATER SHALL BE THIRTY (30) FEET EXCEPT FOR BUILDINGS SUPPORTING WATER-DEPENDENT USES THAT MAY REQUIRE LOCATION IMMEDIATELY ADJACENT TO THE WATER.
  - SEE SECTION 11-3, LANDSCAPING AND SCREENING - THE MINIMUM AREAS REQUIRED TO BE LANDSCAPED ARE LISTED IN TABLE 3, ZONE DEVELOPMENT STANDARDS FOR RESIDENTIAL ZONES AND TABLE 4A AND 4B, ZONE DEVELOPMENT STANDARDS FOR NON-RESIDENTIAL ZONES. ANY REQUIRED LANDSCAPING AS FOR REQUIRED SETBACKS OR PARKING LOTS, MAY BE APPLIED TOWARD THE MINIMUM LANDSCAPED AREA PERCENTAGE REQUIREMENT. REQUIRED LANDSCAPING AND SCREENING MUST MEET THE LEVELS REFERENCED IN EACH APPLICABLE ZONE DEVELOPMENT STANDARDS TABLE AND APPLICABLE STANDARDS SET FORTH ELSEWHERE IN THESE REGULATIONS. LANDSCAPING AND SCREENING STANDARDS LEVELS ARE SET FORTH IN SECTION 11-3-1.
  - SEE SECTION 4-4, HEIGHT - MAXIMUM HEIGHTS FOR STRUCTURES ARE LISTED IN THE ZONE DEVELOPMENT STANDARDS TABLES. EXCEPTIONS TO THE MAXIMUM HEIGHTS ARE SET FORTH IN SECTION 4-4-1 (PROJECTIONS ALLOWED) AND 4-4-2 (ARCHITECTURAL FEATURES).
  - BUILDINGS PROPOSED FOR MORE THAN THREE (3) STORES SHALL REQUIRE A SPECIAL PERMIT.
  - ANY ACCESSORY STRUCTURE WITH A FLAT OR BOWLED ROOF SHALL BE NO HIGHER AT ITS HIGHEST POINT THAN TWELVE (12) FEET AND ANY ACCESSORY STRUCTURE WITH A PITCHED ROOF SHALL BE NO HIGHER THAN FIFTEEN (15) FEET, MEASURED FROM THE AVERAGE LEVEL OF THE GROUND ALONG ALL WALLS OF THE STRUCTURE. IN ALL ZONES, THE MAXIMUM HEIGHT FOR ANY ACCESSORY STRUCTURE SHALL NOT EXCEED (5%) OF THE MAXIMUM HEIGHT FOR PRINCIPAL STRUCTURES IN THAT ZONE.
  - SEE SECTION 4-9, ACCESSORY STRUCTURES - CUSTOMARY ACCESSORY STRUCTURES ARE ALLOWED IN ALL ZONES, AS SPECIFICALLY REGULATED IN THE ZONES UNDER THE PROVISIONS OF A. LOCATION; B. COMPLIANCE; C. SET; AND D. PROHIBITED USE.
  - SETBACKS FOR ACCESSORY STRUCTURES SHALL BE THE SAME AS SETBACKS FOR PRINCIPAL STRUCTURES.
  - A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON ANY NON-RESIDENTIAL PROPERTY ABUTTING A WATERWAY. IN SUCH A CASE, A DEDICATED OPEN SPACE AREA SHALL BE ESTABLISHED FROM THE TOP OF THE EMBANKMENT AND FOR TWENTY (20) FEET INLAND.
  - PARKING GARAGES SHALL BE EXEMPT FROM THE FLOOR AREA RATIO (FAR) REQUIREMENT AND SHALL NOT BE INCLUDED IN THE CALCULATION OF THE GROSS FLOOR AREA IN AN MUEM ZONE.
  - MAXIMUM HEIGHT FOR A PASSENGER TERMINAL SHALL BE 60 FT.
  - N/A - NOT APPLICABLE N/C - NO CHANGE



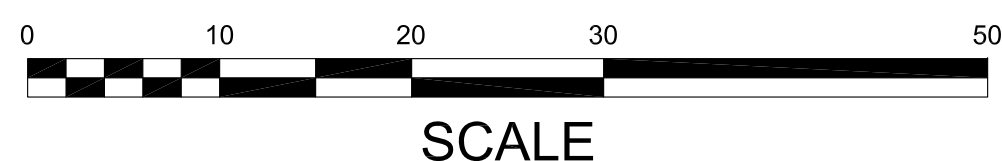
**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS  
78 ELM STREET, BRIDGEPORT, CT 06604  
P: 203 330 8700 • F: 203 330 8701

SCALE: 1"=10'  
FIELD FILE: 288\_knowlton\_st.rw5  
PROJECT NO.: CD1439  
DATE: August 28, 2020  
FILE: 288 Knowlton St\_ZLS.dwg  
SHEET 1 OF 1  
REV:



TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON  
WASHINGTON CABEZAS, JR. PEL 70210

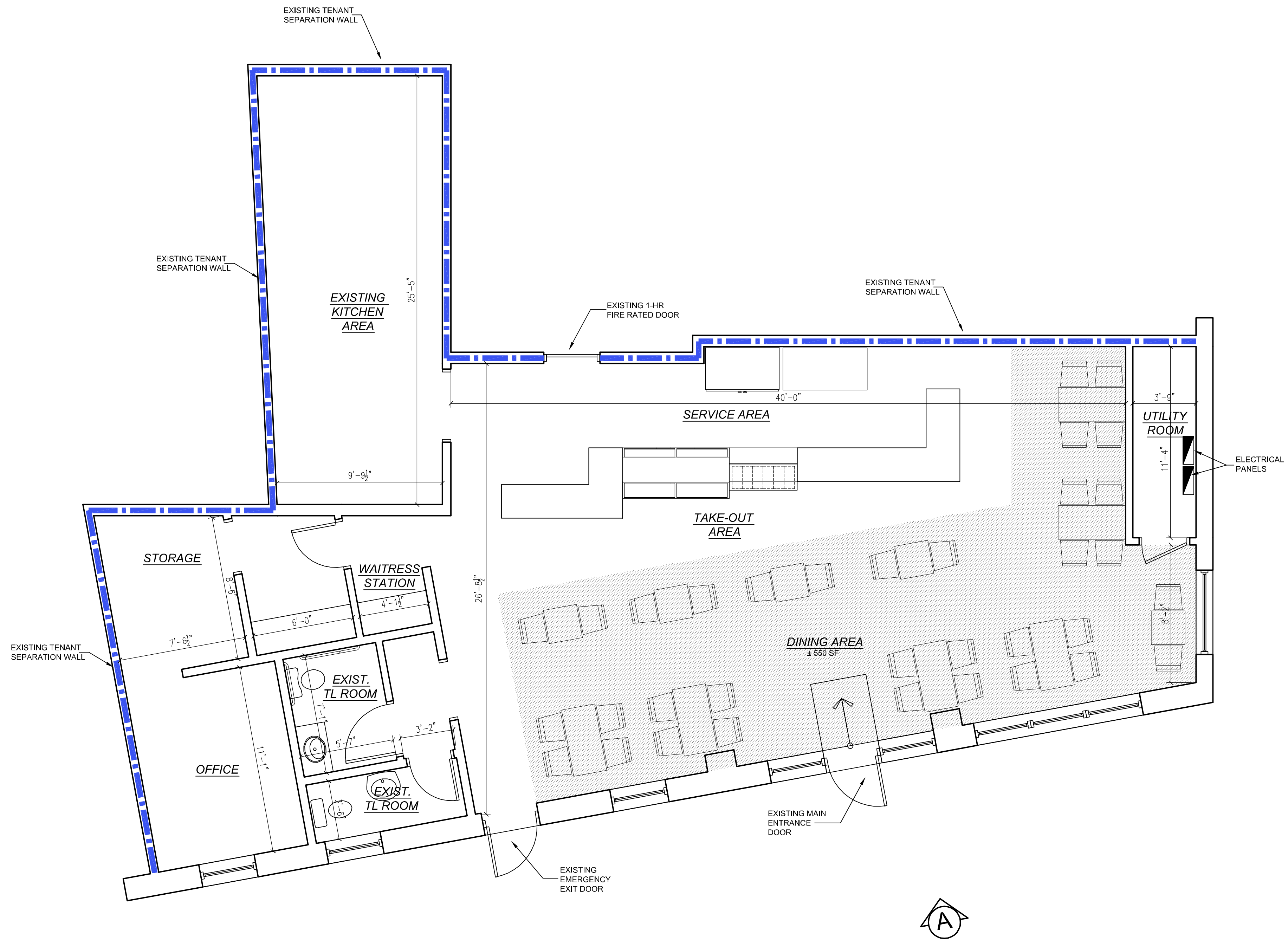
**PROGRESS PRINT 8-27-2020**



**LEGEND**

NF	NOW OR FORMERLY	CB	CATCH BASIN
MON	MONUMENT	WM	WATER METER
I.P.	IRON PIPE	WV	WATER VALVE
FND	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET.	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
UG	UNDER GROUND	INT.	INTERSECTION
MH	MANHOLE	INV.	INVERT
ELEC.	ELECTRIC	CI.	CAST IRON
2"	UTILITY POLE	V.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCF	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EOP	EDGE OF PAVEMENT	± 8.05	EXISTING SPOT GRADE
RET.	RETAINING	-100-	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
FFE	FINISHED FLOOR ELEVATION	⊙	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
L.P.	LIGHT POST	PVC	POLYVINYL CHLORIDE
⊙	EXISTING CONIFER TREE	⊙	EXISTING DECIDUOUS TREE

**ZONING LOCATION SURVEY**  
- PREPARED FOR -  
**EL SOGON HISPANIC RESTAURANT**  
288 KNOWLTON STREET  
BRIDGEPORT, CONNECTICUT  
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1650 | LOT 2  
SHEET 1 OF 1  
AUGUST 28, 2020 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1"=10'



**EXISTING FLOOR PLAN**  
 SCALE 1/4" = 1'-0" GROSS FLOOR AREA = ±1,880 SF

EXISTING PARTITIONS TO REMAIN  
 1-HR TENANT SEPARATION WALL



PARTIAL STREET VIEW "A"



PARTIAL STREET VIEW "B"

1	2	3	4	5	6
REVISIONS					

**GUEDES ASSOCIATES, INC.**  
 Designers, Architects & Project Managers  
 1425 Noble Avenue, Bpt., CT. 06610  
 Tel. 203-367-5180 Fax. 203-367-4961



EL FOGON HISPANO RESTAURANT 288 KNOWLTON STREET BRIDGEPORT CT	scale: AS NOTED
	project #: 2020-113
date: 09-21-2020	drawn: M.R.
EXISTING FLOOR PLAN AND STREET VIEWS	



This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.

A-1



CITY OF BRIDGEPORT

### ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1524-1534 Seaview Avenue Zone I-L and R-C  
(Number) (Street) (Zone Classification)

On the East side of the street about 0 feet South from  
(North, South, East, West) (North, South, East, West)

Williston Street Block : 43/748 Lot: 1 & 2  
(Street)

Dimension of Lot in Question 83.23' x 87.47' x 94.70' x 73.22'  
(Specify)

1. NAME OF APPLICANT / BUSINESS Seaview Venture LLC  
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS A PREVIOUS APPLICATION BEEN FILED? Yes IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Convert a portion of the existing first floor office to a single residential dwelling unit and expunge a condition of approval to a Petition granted by the Zoning Board of Appeals on April 14, 2015

5. THIS APPLICATION RELATES TO: Check all that Apply

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY Residential and professional office

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See Attached

APPLICANT [Signature] / [Print] DATE 04/01/2021  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

#### Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).  
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.  
**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20 \_\_\_\_\_ Clerk \_\_\_\_\_



Colin B. Connor  
Elizabeth A. Falkoff\*  
Robert G. Golger  
Michael C. Jankovsky  
David K. Kurata  
Katherine M. Macol  
Leah M. Parisi  
William M. Petroccio\*  
Raymond Rizio\*  
Christopher B. Russo  
Robert D. Russo  
John J. Ryan  
Vanessa R. Wambolt  
(\*Also Admitted in NY)

April 1, 2021

Dennis Buckley  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Petition for Variances – 1524-1534 Seaview Avenue**

Dear Mr. Buckley:

Please accept, on behalf of Seaview Venture, LLC, (the “Petitioner”), the following narrative and enclosed application materials as part of an application to modify and expunge a condition of approval to a petition granted by the Zoning Board of Appeals on April 14, 2015, under the Bridgeport Zoning Regulations (the “Regulations”) for the property located at 1524-1534 Seaview Avenue (the “Site”) to convert a portion of the existing first floor professional office to permit a single studio dwelling unit in the R-C and I-L Zone.

**Narrative**

The Petitioner requests to convert a portion of the first floor from a professional office use to a single studio residential dwelling unit. The Site was granted variances on April 14, 2015, to create a mixed use development with residential on the upper floors and professional office use on the ground floor of the existing building (“Prior ZBA Approval”). Parking for the Site was to be provided on the portion of the Site known as 1524 Seaview Avenue with Six (6) off-street parking spaces. One of the conditions of the Prior ZBA Approval stated that “the 1<sup>st</sup> floor office space is only to be leased to residents of the upper floors of the building.” Under the current Petition, the Petitioner proposes for a resident to occupy a residential dwelling unit on the first floor and lease the professional office area. However, the Petitioner requests for the ability for a portion of the professional office use to be leased or subleased to a non-resident of the building. The redesigned first floor will contain an entrance on the northwest corner of the building into a small foyer. The foyer would be adjacent to an office for the resident of the dwelling unit, which is proposed to be located behind the office. The proposed dwelling unit will be a studio dwelling unit with a small kitchen, washer/dryer, and a full bath. This entire half of the ground floor area can be separated by a door to the other half of the ground floor. This half of the ground floor can be accessed from its own entrance. The Petitioner has designated this area for a meeting room, but the Petitioner requests the ability to lease this area or a portion of this area to a non-resident.

1 Post Road  
Fairfield, CT 06824

Tel 203-255-9928  
Fax 203-255-6618

The Site is located at the corner of Seaview Avenue and Williston Street. The Site is split-zoned where the property known as 1524 Seaview Avenue is located in the R-C Zone and the property known as 1534 Seaview Avenue is located in the I-L Zone. The Site is also located in a very mixed-use neighborhood from industrial to commercial to residential. The Petitioner proposes a perfect blend of mixed uses and to renovate a derelict and dilapidated building. It will be a terrific revitalization of the Site. With regards to off-street parking, the Petition exchanges the off-street parking requirement it loses by converting the professional office area to a studio dwelling unit. The Petition still meets the intent of the approval in that a resident will lease a portion of the professional office area.

### **Hardship**

Granting the Petition will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as the Petitioner proposes a minimal modification to the Prior ZBA Approval by converting a portion of the approved professional office use on the ground floor to a studio dwelling unit. This dwelling unit and a portion of the professional office will be leased by a resident of the building, which corresponds with the Prior ZBA Approval. The Petitioner asks for a removal of a condition of the Prior ZBA Approval to lease or sublease a portion of the professional office use to a non-resident of the building. The lessor of the professional office use area will have little impact on the Site. It would have no determination on the amount of parking needed as the Prior ZBA Approval has no restriction on visitors. On-street parking exists adjacent to the Site in addition to the on-Site parking. The mixed uses of professional office and residential complement each other for shared parking. The loss of the professional office area is an even trade for off-street parking with the studio dwelling unit.

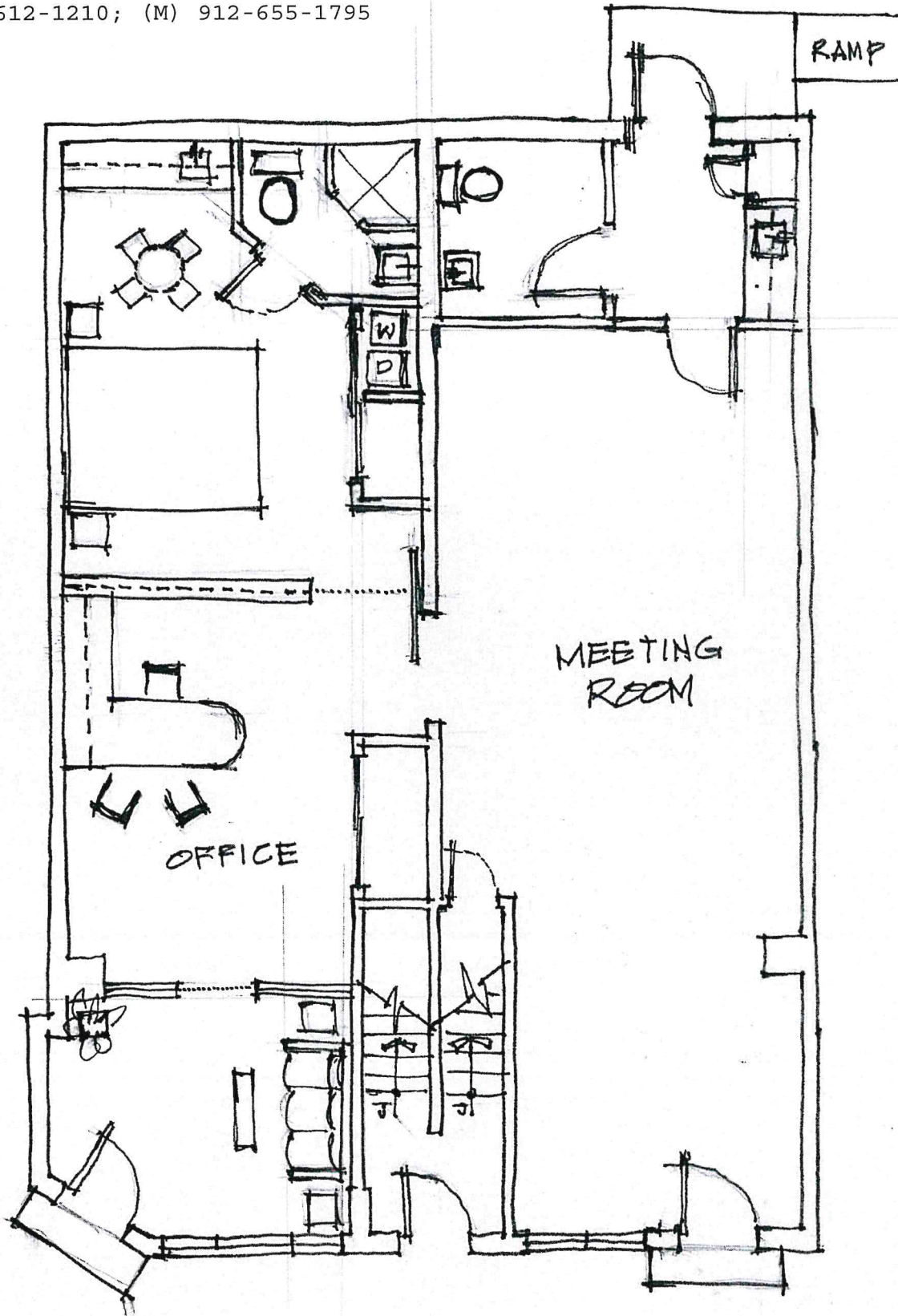
For the reasons stated above, we respectfully request approval of the Petition.

Sincerely,



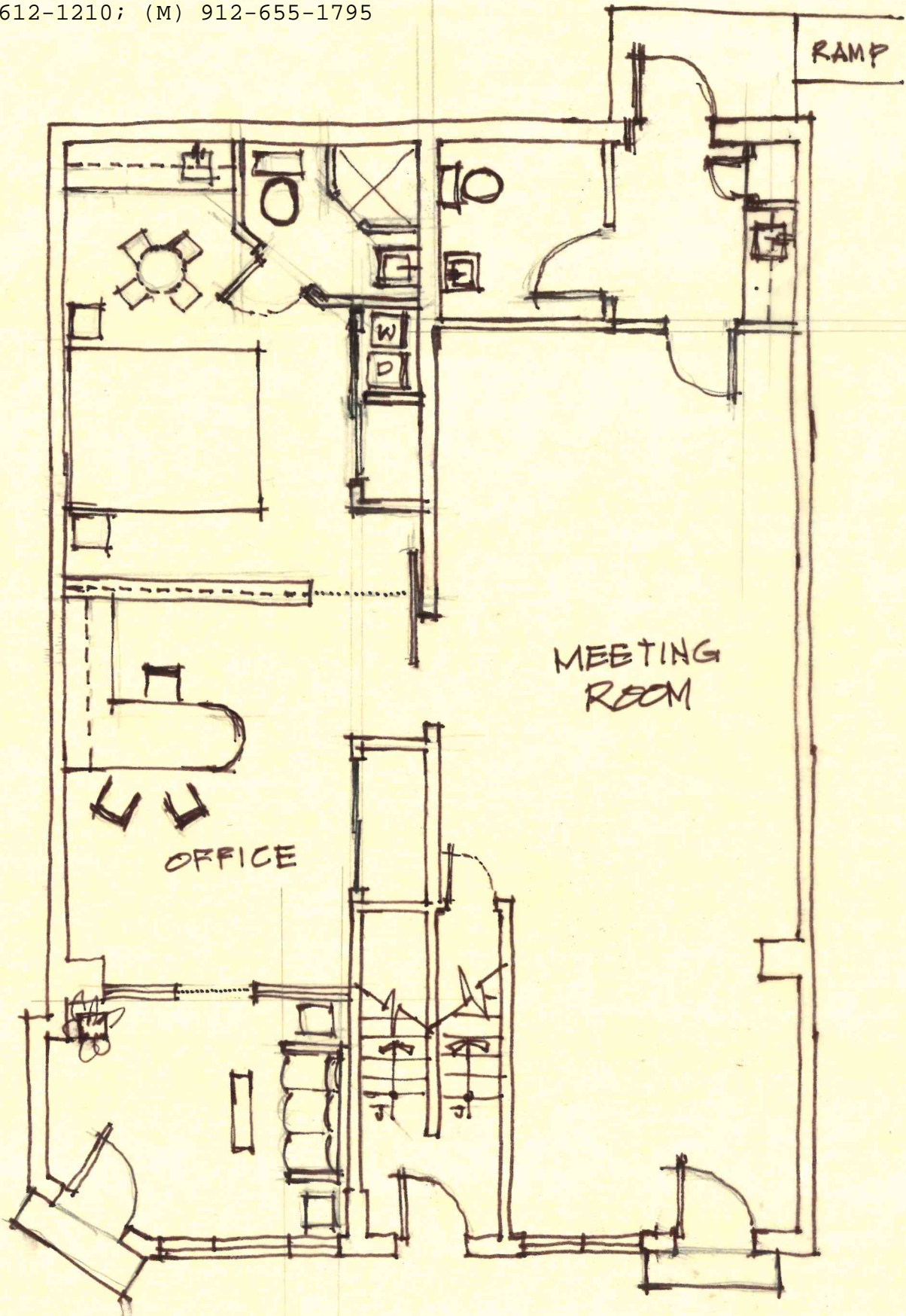
Ray Rizio

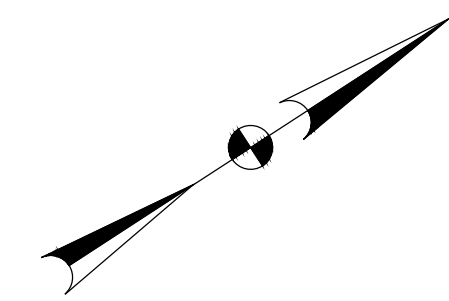
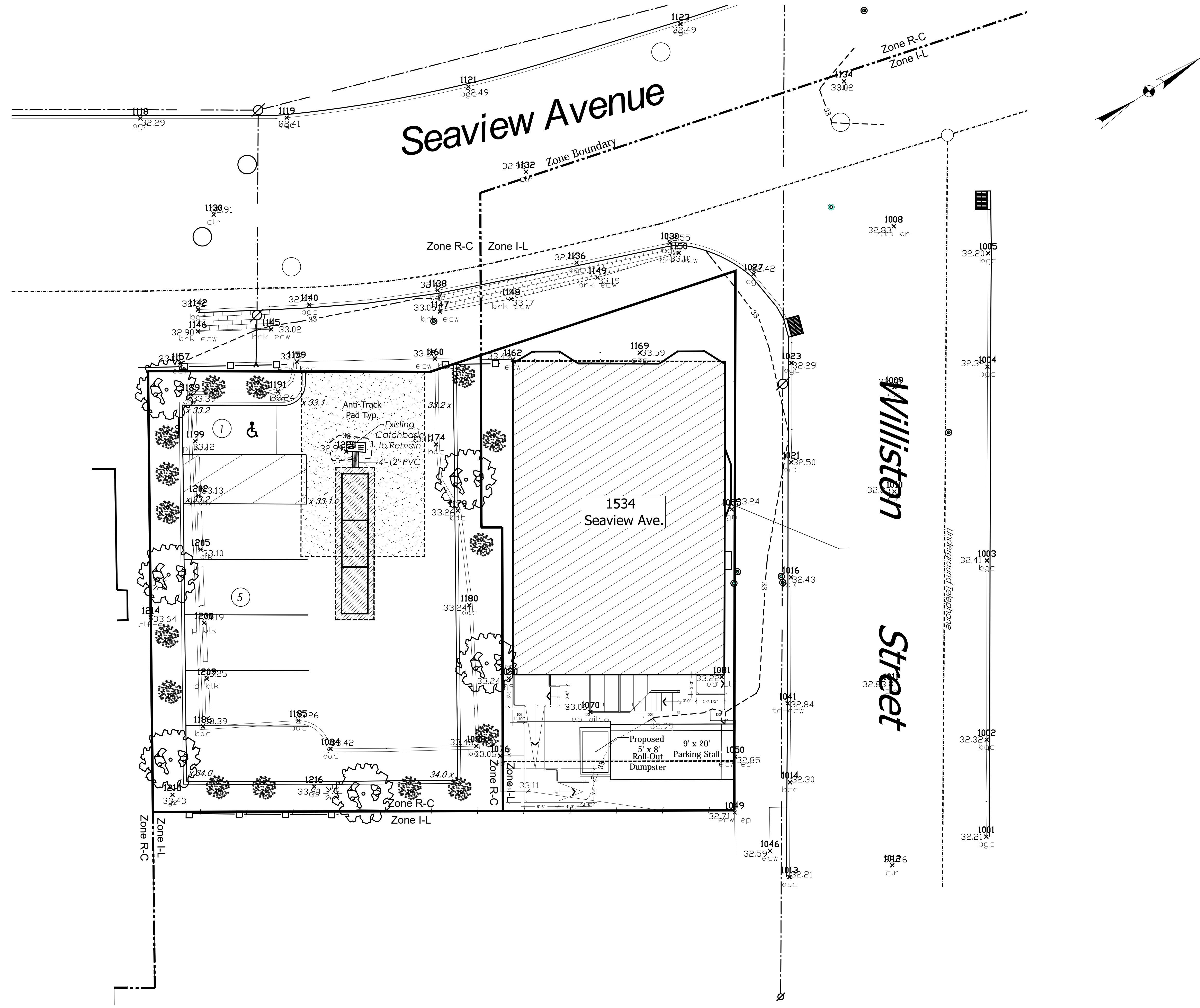
Kim Bianca Williams  
P O Box 9273, Bridgeport, CT 06601  
(O) 203-612-1210; (M) 912-655-1795



1534 - 42 Seaview Avenue

Kim Bianca Williams  
P O Box 9273, Bridgeport, CT 06601  
(O) 203-612-1210; (M) 912-655-1795





1 PROPOSED SITE PLAN  
AO.1 SCALE: 1/8"=1'-0"

THIS PRINT IS THE PROPERTY OF ZARED ENTERPRISES, LLC. IT IS LOANED WITH THE EXPRESS AGREEMENT THAT THE DRAWING AND THE INFORMATION CONTAINED THEREIN ARE THE PROPERTY OF ZARED ENTERPRISES, LLC AND WILL NOT BE REPRODUCED, COPIED OR OTHERWISE DISPOSED OF, DIRECTLY OR INDIRECTLY, AND WILL NOT BE USED IN WHOLE OR IN PART TO ASSIST IN MAKING OR TO REFURNISH ANY INFORMATION FOR MAKING DRAWINGS, PRINTS OR OTHER REPRODUCTIONS THEREOF OR FOR THE MAKING OF APPARATUS OR PARTS THEREOF EXCEPT UPON WRITTEN PERMISSION OF ZARED ENTERPRISES, LLC. THE ACCEPTANCE OF THE PRINTS WILL BE CONSTRUED AS AN ACCEPTANCE OF THE FOREGOING AGREEMENT.

NO.	DATE	REVISION
1	7/9/15	SHEET ADDED

PROJECT NAME:  
1534 SEAVIEW AV. CNA

BUILDING NAME & ADDRESS  
1534 SEAVIEW AVENUE  
BRIDGEPORT, CONNECTICUT 06607

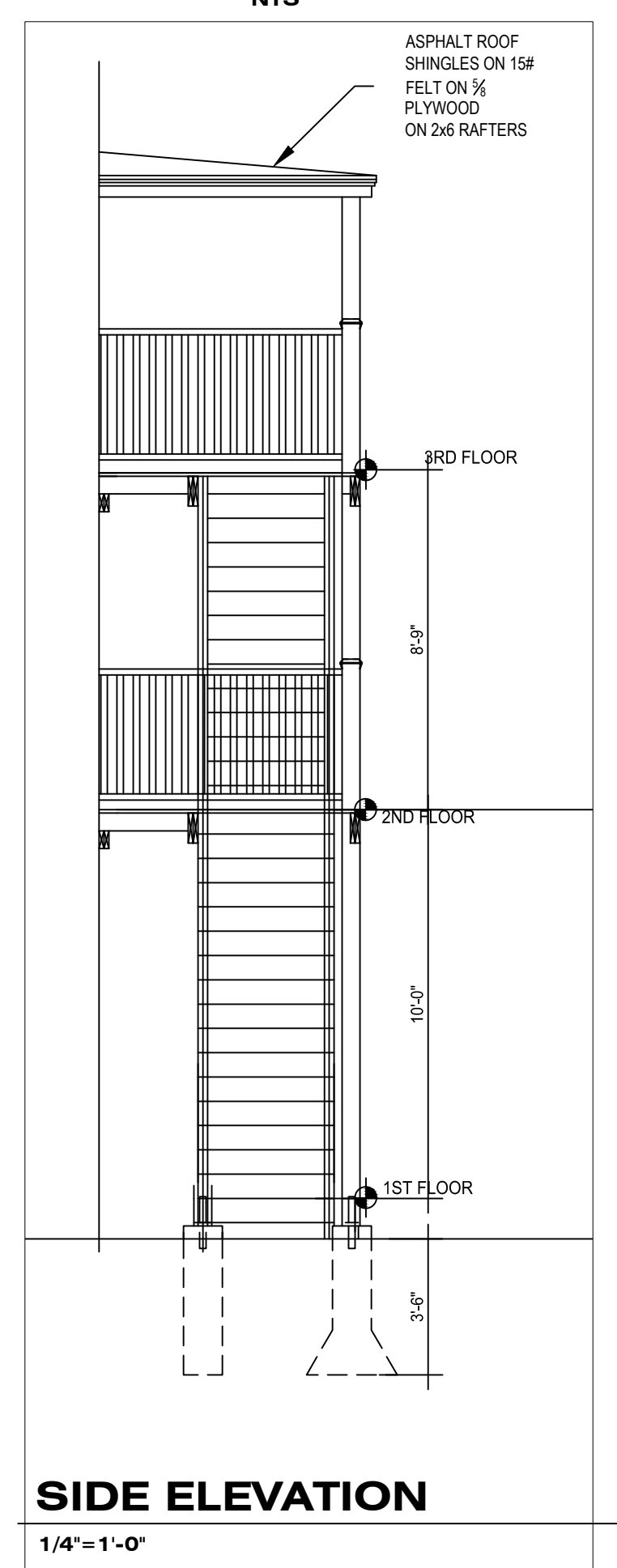
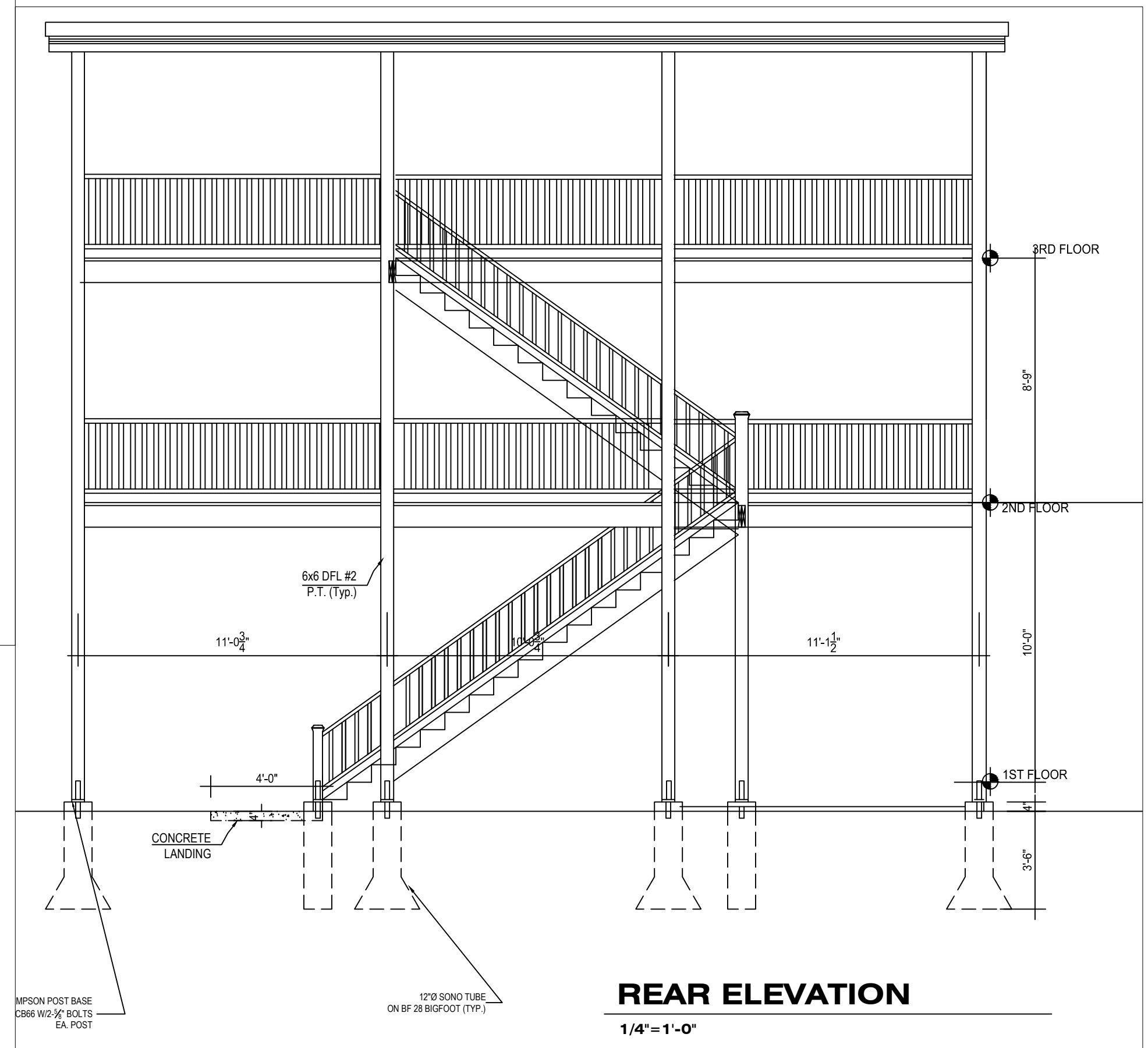
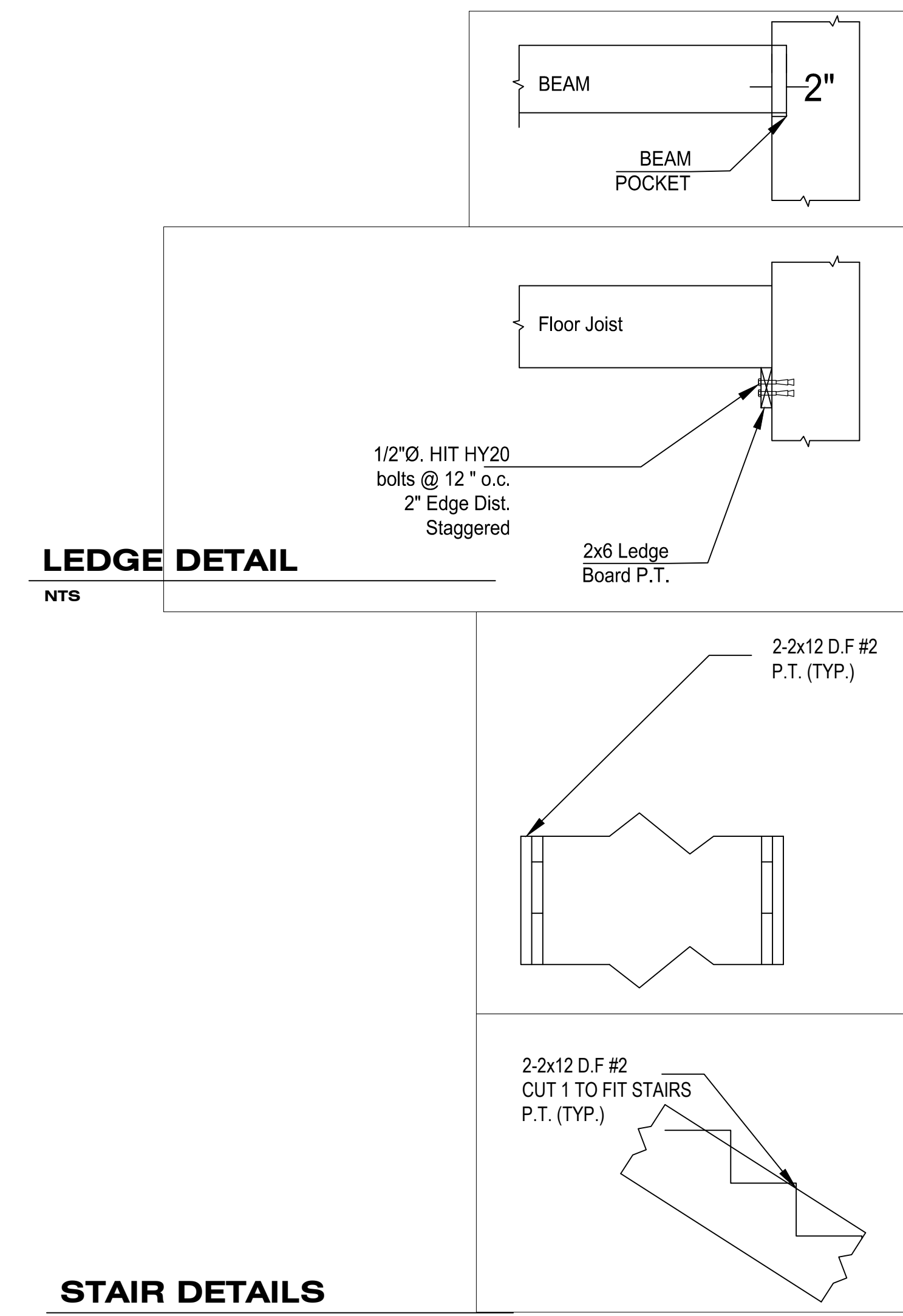
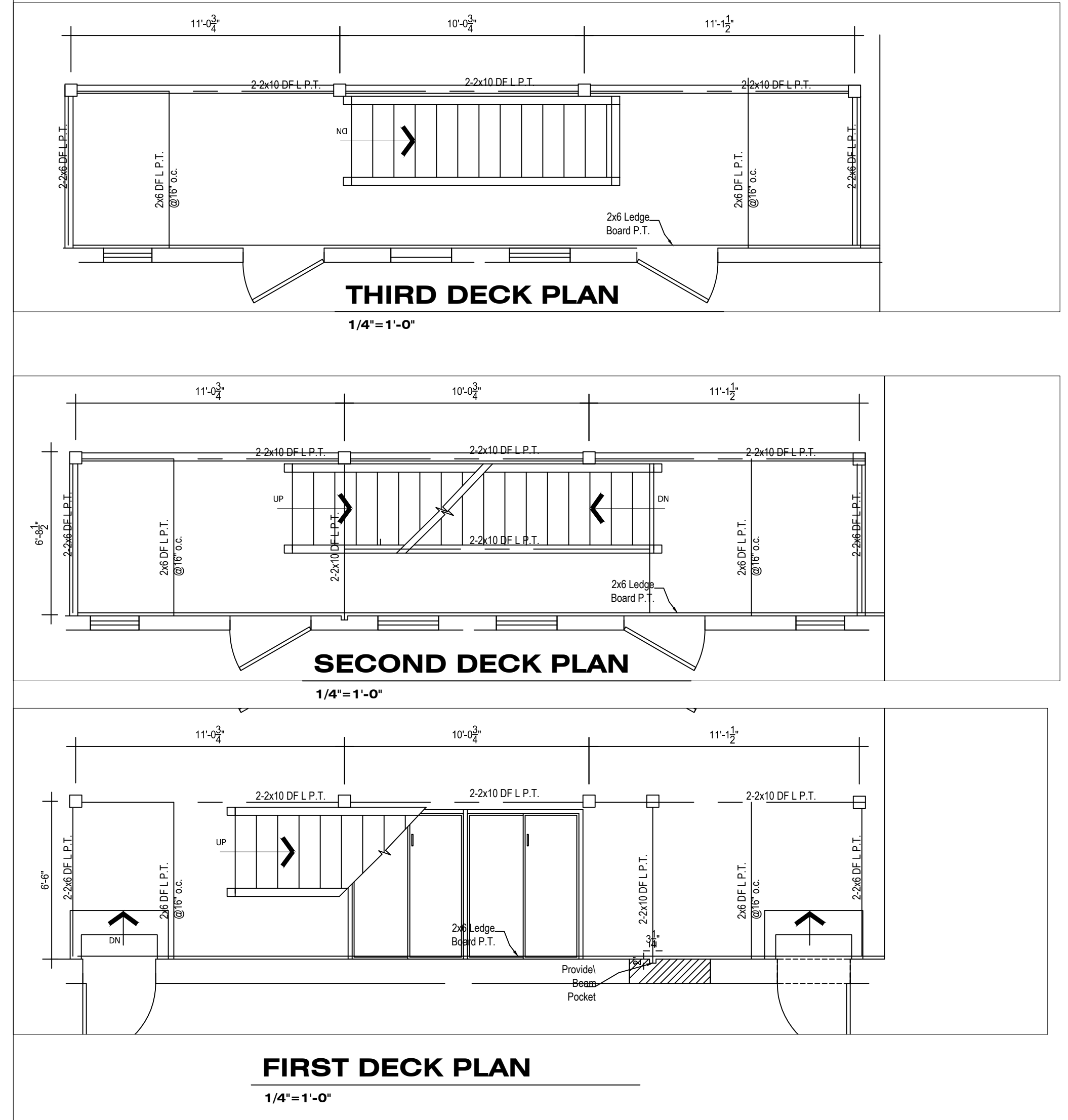
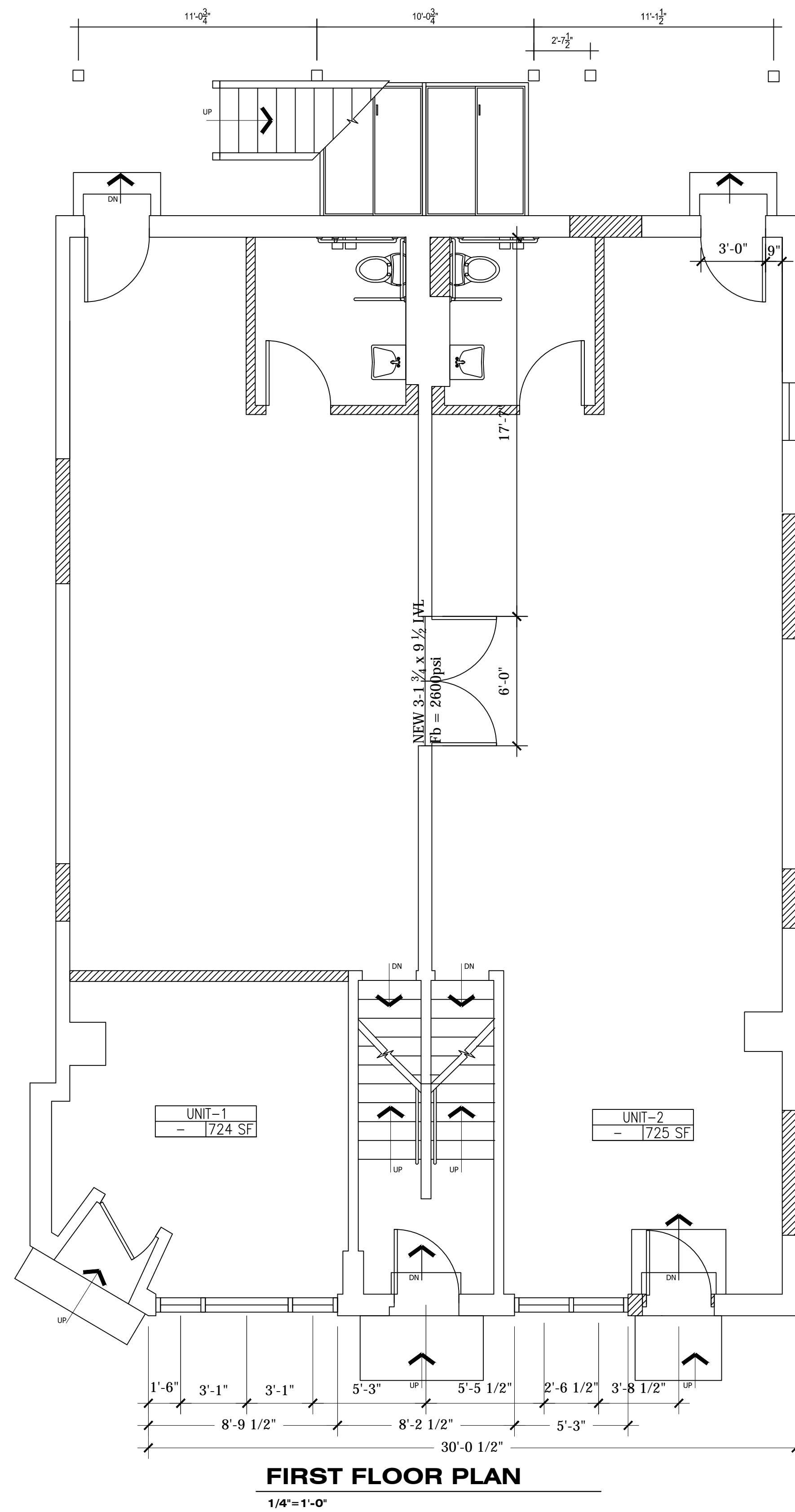
PROJECT NUMBER  
2014-30

DRAWING TITLE  
SITE PLAN

SCALE 1/8"=1'-0"	DRAWN BY V.D.
CAD FILENAME 2014-30	DATE 06/18/2015

DRAWING NUMBER  
AO.1





- NOTES:**
1. Assumed Soil Bearing Pressure = 3000PSF
  2. Where unsuitable foundation material is identified by the Owners representative, the following shall be performed: Undisturbed soil directly under affected spread footings must be cut to a minimum depth of 4'-0" below bearing surface and 4'-0" (2'-0" each side) wider than wider than footing, and replaced with engineering controlled fill.
  3. Concrete shall be normal weight, with compressive strength of 3000psi in 28 days.

SEAVIEW BUILDING  
1534 SEAVIEW AVENUE  
BRIDGEPORT, CONNECTICUT

FIRST FLOOR  
STAIRS PLAN/ELEVATION

**INGA CONSULTING ENGINEERS**  
139 WHITNEY STREET - HARTFORD, CT 06105  
Phone: (860) 233-4991 E-mail: T@ingacngineers.com

DATE	3.18.15
DRAWN BY	T.I.
CHECKED BY	T.I.
JOB NO.	-----
DRAWING NO.	

1

**List of Property Owners within 100' of 1524-1534 Seaview Ave**

<b>PROPERTY ADDRESS</b>	<b>OWNERS NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
1520 SEAVIEW AV	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
1506 SEAVIEW AV #1508	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
1553 SEAVIEW AV	1553 SEAVIEW AVENUE LLC	1553 SEAVIEW AVE	BRIDGEPORT	CT	06608
115 HOLLY ST #117	EAI LLC	115-117 HOLLY ST	BRIDGEPORT	CT	06607
1554 SEAVIEW AV #1558	CLASSIC CRESCENT LLC	240 WHITE PLAINS RD	TRUMBULL	CT	06611
1524 SEAVIEW AV #1532	SEAVIEW VENTURE LLC	570 STATE ST	BRIDGEPORT	CT	06604
1547 SEAVIEW AV	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
1509 SEAVIEW AV #1511	NOGA LLC	11 GINGER CIR	FAIRFIELD	CT	06825
1534 SEAVIEW AV #1542	SEAVIEW VENTURE LLC	1534-1542 SEAVIEW AVE	BRIDGEPORT	CT	06607
1523 SEAVIEW AV #1525	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
1564 SEAVIEW AV	CITY OF BRIDGEPORT	45 LYON TERR	BRIDGEPORT	CT	06604
1519 SEAVIEW AV	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
22 WILLISTON ST #24	MADL COLEMAN HOLDINGS COMPANY LLC	22 WILLISTON ST #24	BRIDGEPORT	CT	06607
1512 SEAVIEW AV #1514	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
1529 SEAVIEW AV #1533	BLACK THOMAS	35 MIDROCKS RD	RIDGEFIELD	CT	06877
105 HOLLY ST #107	SANCHEZ ISMAEL	105 HOLLY ST #107	BRIDGEPORT	CT	06607
63 WILLISTON ST	938 CRESCENT AVENUE LLC	938 CRESCENT AVENUE	BRIDGEPORT	CT	06607
1557 SEAVIEW AV	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610



CITY OF BRIDGEPORT

**ZONING BOARD OF APPEALS APPLICATION**

The undersigned presents the following application for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1797, 1839, and 1849-1857 Main Street and 48 Hurd Street #Rear Zone O-R  
(Number) (Street) (Zone Classification)

On the West side of the street about 0 feet North from  
(North, South, East, West) (North, South, East, West)

Frank Street Block : 1021 Lot: 5/A, 6, 8/A & 18  
(Street)

Dimension of Lot in Question 214.81' x 157.44' x 231.46' x 48.60' x 45.40' x 64.50' x 131.00' x 130.00' x 66.00' x 185.68'  
(Specify)

1. NAME OF APPLICANT / BUSINESS 1797 Main Street, LLC, JROD, LLC & 1849 Main Street, LLC  
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Proposed vehicle service building with office/retail area and vehicle parking area with vacuum units  
in connection with the existing vehicle car wash facility

5. THIS APPLICATION RELATES TO: Check all that Apply

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: Street wall

6. USE TO BE MADE OF PROPERTY Vehicle service facility with accessory retail and professional office use

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT [Signature] / [Signature] DATE 4/2/2021  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**

All questions must be answered in detail (use separate sheet if necessary).  
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this application.  
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.  
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

\_\_\_\_\_ FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_

Lisa S. Broder\*  
LBroder@russorizio.com  
Amanda C. Burns\*  
Amanda@russorizio.com  
Colin B. Connor  
Colin@russorizio.com  
Elizabeth A. Falkoff\*  
Betsy@russorizio.com  
Robert G. Golger  
Bob@russorizio.com  
David K. Kurata  
DKurata@russorizio.com  
Katherine M. Macol  
Kathy@russorizio.com



10 Sasco Hill Road, Fairfield, CT 06824  
Tel 203-254-7579 / 203-255-9928  
Fax 203-576-6626  
5 Brook St., Suite 2B, Darien, CT 06820  
Tel 203-309-5500  
www.russorizio.com

Leah M. Parisi  
Leah@russorizio.com  
William M. Petroccio\*  
WPetro@russorizio.com  
Raymond Rizio\*  
Ray@russorizio.com  
Christopher B. Russo  
Chris@russorizio.com  
Robert D. Russo  
Rob@russorizio.com  
John J. Ryan  
John@russorizio.com  
Vanessa R. Wambolt  
Vanessa@russorizio.com  
\*Also Admitted in NY

April 2, 2021

Dennis Buckley  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace, Room 210  
Bridgeport, CT 06604

**Re: Application for variance – 1797, 1839 & 1849 Main Street & 48 Hurd Avenue #Rear (the “Site”)**

Dear Mr. Buckley:

Please accept this letter on behalf of our client for an application for variances to construct a proposed vehicle service building and parking area with vacuum units in connection with an existing vehicle car wash facility with an associated retail sales and professional office area with associated Site improvements.

#### **Variances Requested**

1. Variance of Section 6-1-3, 6-1-4 and Table 4.B of the Regulations to decrease the required street wall as a percentage of the primary percentage from 75% to 11.6%; and
2. Variance of Section 6-1-3, 6-1-4 and Table 4.B to increase the side yard setback from 14' to 28.8'.

#### **Narrative**

The Site has frontage on the corner of Frank Street and Main Street in the O-R Zone. It is located in a commercial section of the street with a history of vehicle service facilities in the area, including the existing car wash facility on the Site. The Site contains 73,230 SF. The existing car wash facility is very successful and a terrific leader in the industry with a very attractive Site. The Petitioner proposes to add a full complement of vehicle services to offer to vehicle owners. First, the Petitioner proposes to knock down the existing dated building on the portion of the Site known as 1849 Main Street and construct a new two-story vehicle service building with Ten (10) service bays and office/retail area with frontage on Main Street. The service bays will be located behind the office/retail area, which will have direct frontage on Main Street in accordance with the Regulations. This office retail area will also feature significant

window coverage in accordance with the Regulations. The proposed vehicle service bays will be used to detail and service vehicles. The Petitioner intends for vehicles having just been through the car wash to then be able to drive directly over to the vehicle service building.

On the portion of the Site known as 1797 Main Street, the Petitioner proposes to install a vacuum service area. This portion of the Site will feature Twenty (20) off-street parking spaces with a vacuum unit at each space. Vehicles which have used the car wash will be able to travel to this service area through an internal drive within the Site to complete a full cleaning of their vehicle – inside and out. These vacuum units have a swinging arm that easily allows customers to vacuum all parts of their vehicle. It has become a standard amenity at this type of vehicle service facility. This portion of the Site will have a large landscaped island in the middle of the parking area and extensive landscaping along the street frontage. Although no building is proposed on this portion of the Site, the Petitioner has proposed a brick feature wall with intermittent decorative fencing along the street frontage. This feature will significantly enhance the corner of Main Street and Frank Street. It should also be noted that the Site sits below grade from Frank Street. The proposed wall will aid in the transition from Frank Street to the Site.

With regards to traffic flow inside and outside of the Site, the Petitioner has gone through extensive study to lay out the proposed traffic flow on the Site. The intent is for patrons to first use the existing car wash. As such, the only entrance into the Site is located directly in front of the car wash entrance on Main Street. When vehicles exit the car wash, they have Three (3) options. If the customer only purchased a car wash, the first option is for the customer to exit the Site directly as they exit the car wash out onto Main Street. If the customer wants to vacuum their vehicle, the second option is to take an immediate right after exiting the car wash into the parking area with vacuum units. Once a customer has completed cleaning their vehicle, they can exit the Site through a separate exit from this parking area out onto Main Street. If the customer wants a detailing service for their vehicle, the third and final option is to take an immediate left after exiting the car wash, which will take the customer directly to one of the vehicle service bays. Once the detailing is complete, the customer will pull the vehicle forward onto an exit drive that has its own exit out onto Main Street. The proposed site plan also offers an outlet exit for any customer who enters the car wash lane or the vehicle service area, but then decides they do not want such service. These vehicles would then have the option to exit the Site via a single-lane exit out onto Hurd Avenue. The Petitioner has meticulously planned the site layout for each contingency possibly encountered with a customer based on their decades of experience in this business.

### **Hardship**

Granting the Petitioner the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as the Petitioner has proposed a plan that complies with the intent of the Regulations. The Petition involves Three (3) separate properties and incorporates it into a single development to serve all of a customer's vehicle service needs. However, the Petitioner only proposes to construct a single building on the portion of the Site known as 1849 Main Street. The Petitioner proposes a building street wall of Forty-three and 00/00 feet (43.00') along Main Street. The portion of the Site known as 1839 Main Street is already developed and contains the existing car wash facility. The Petitioner is not proposing any building improvements on that portion of the Site. In addition, the portion of the Site known as

1797 Main Street is proposed to contain the parking area with vacuum units. Similarly, no building improvements are proposed on this portion of the Site. Only the portion of the Site known as 1849-1857 Main Street is proposed to contain a building improvement, but the entire Site is considered in calculating the street wall percentage under the Regulations, which requires the variance. To meet the intent of the Regulations, the Petitioner has proposed a brick feature wall with intermittent decorative fencing along the street frontage on the portion of the Site known as 1797 Main Street to create an attractive appearance at the corner of Main St. and Frank St.

On the portion of the Site known as 1849-1857 Main Street, the Petitioner has proposed a building dominated by windows on its frontage in accordance with the Regulations. However, due to the proposed use, the Petition requires an exiting drive lane for vehicles to use to exit the service bay and the Site. This drive lane reduces the potential area for a street wall. In addition, the exiting drive lane forces the Petitioner to located the building farther away from the side property line, which causes the need for the side yard setback variance. The exiting drive lane is in compliance with Regulations as far as its standards and width, but it prevents the building from being located within the maximum side yard setback under the Regulations. For these reasons, the Petitioner faces a unique hardship that prevents compliance under the Regulations. However, as argued above, the Petitioner still meets the intent of the Regulations.

The Petitioner proposes a valuable improvement to the Site to serve residents of Bridgeport. Vehicle owners in Bridgeport will be able to visit the Site and receive a full complement of services for their vehicle without needing to exit the Site. The Petitioner will be providing a tremendous service to the area and greatly improve the Site from existing conditions. For the above-stated reasons, the Petitioner respectfully requests approval of this application for variances.

Sincerely,



Christopher Russo

PROPERTY OWNERS WITHIN 100' OF 1797, 1839 & 1849 MAIN ST AND 48 HURD AVENUE (REAR)

PROPERTY ADDRESS	OWNER	MAILING ADDRESS	CITY	STATE	ZIP CODE
1812 MAIN ST #1822	1812 MAIN LLC	238 GRIFFIN AVE	BRIDGEPORT	CT	06604
1771 MAIN ST	1771 MAIN STREET LLC	1771 MAIN ST	BRIDGEPORT	CT	06606
1802 MAIN ST #1806	DRAGONE & SONS LLC	16 PAR LN	TRUMBULL	CT	06611
1839 MAIN ST	JROD LLC	1839 MAIN ST	BRIDGEPORT	CT	06604
72 FRANK ST #76	ROBLANC INC	4635 MADISON AVE	TRUMBULL	CT	06611
1765 MAIN ST	1751 MAIN STREET LLC	1751 MAIN ST	BRIDGEPORT	CT	06604
1824 MAIN ST #1836	COLUMBUS PLACE ASSOCIATES LLC	122 ROBERTON CROSSING	FAIRFIELD	CT	06825
36 FRANK ST #38	COTAS ANA ET AL C/O MICHAEL COTAS	4 RIDGE RD	SEYMOUR	CT	06483
1849 MAIN ST #1857	1849 MAIN STREET LLC	1650 BUSHWICK AVE	BROOKLYN	NY	11207
1840 MAIN ST	COLUMBUS PLACE ASSOCIATES	122 ROBERTON CROSSING	FAIRFIELD	CT	06825
1797 MAIN ST	1797 MAIN STREET LLC	1797 MAIN ST	BRIDGEPORT	CT	06606
33 FRANK ST	AMARES LLC	33 FRANK ST	BRIDGEPORT	CT	06604
45 FRANK ST	DIAZ JOSEPH G	45 FRANK ST	BRIDGEPORT	CT	06604
55 FRANK ST #57	LEARY RAYMOND	213 BUNNELL ST	BRIDGEPORT	CT	06607
61 FRANK ST #63	MT. AERY BAPTIST CHURCH INC	73 FRANK ST	BRIDGEPORT	CT	06604
126 FRANK ST	FRANK STREET YARD LLC	126 FRANK ST	BRIDGEPORT	CT	06604
50 HURD AV #58	PINHO LLC	50 HURD AVE	BRIDGEPORT	CT	06604
61 HURD AV	BENFICA-OPORTO LLC	126 FRANK ST	BRIDGEPORT	CT	06604
48 HURD AV #REAR	1849 MAIN STREET LLC	1650 BUSHWICK AVE	BROOKLYN	NY	11207
1860 MAIN ST	COLUMBUS PLACE ASSOCIATES	122 ROBERTON CROSSING	FAIRFIELD	CT	06825
37 HURD AV	LUSITANIA LLC	50 HURD AVE	BRIDGEPORT	CT	06604
84 FRANK ST #86	CABELEIRA DOMINGOS	86 FRANK ST	BRIDGEPORT	CT	06604
60 HURD AVE #62	FAI & WONG BROTHERS REALTY CORP	9 CHERRY GROVE CT	VALLEY STREAM	NY	11581
64 HURD AVE #66	MARTINS MIGUEL (EST OF) & MARIA A	64 HURD AVE	BRIDGEPORT	CT	06604
375 GRAND ST #377	BUSH MARK J	375 GRAND ST	BRIDGEPORT	CT	06604
365 GRAND ST	PEREIRA MARIA	2 HUNTERS RIDGE RD	SHELTON	CT	06484
355 GRAND ST #361	PEREIRA MARIA	2 HUNTERS RIDGE RD	SHELTON	CT	06484
1871 MAIN ST #1891	ORCHARD HILL DEVELOPMENT LLC	1871 MAIN ST	BRIDGEPORT	CT	06604
1882 MAIN ST	IJAN2 CT REALTY LLC	215 BUSINESS PARK DR	ARMONK	NY	10504
389 GRAND ST	PEREIRA MARIA F	389 GRAND ST	BRIDGEPORT	CT	06604

## Business Inquiry

### Business Details

Business Name: <b>JROD, LLC</b>	Citizenship/State Inc: <b>Domestic/CT</b>
Business ID: <b>0777297</b>	Last Report Filed Year: <b>2021</b>
Business Address: <b>1837 MAIN STREET, BRIDGEPORT, CT, 06604, USA</b>	Business Type: <b>Domestic Limited Liability Company</b>
Mailing Address: <b>1837 MAIN STREET, BRIDGEPORT, CT, 06604, USA</b>	Business Status: <b>Active</b>
Date Inc/Registration: <b>Mar 08, 2004</b>	
Annual Report Due Date: <b>03/31/2022</b>	
NAICS Code: <b>Real Estate and Rental and Leasing (53 )</b>	NAICS Sub Code: <b>All Other Consumer Goods Rental (532289 )</b>

### Principals Details

<b>Name/Title</b>	<b>Business Address</b>	<b>Residence Address</b>
VALDEMIRO SANTOS MANAGING MEMBER	1837 MAIN STREET, BRIDGEPORT, CT, 06604, USA	1837 MAIN STREET, BRIDGEPORT, CT, 06604, USA

### Agent Summary

Agent Name **VALDEMIRO SANTOS**

Agent Business Address **1837 MAIN STREET, BRIDGEPORT, CT, 06604**

Agent Residence Address **1837 MAIN STREET, BRIDGEPORT, CT, 06604**

Agent Mailing Address **1837 MAIN STREET, BRIDGEPORT, CT, 06604**



## Business Inquiry

### Business Details

Business Name:	1797 MAIN STREET LLC	Citizenship/State Inc:	Domestic/CT
Business ID:	1254277	Last Report Filed Year:	2021
Business Address:	1837 MAIN STREET, BRIDGEPORT, CT, 06604, USA	Business Type:	Domestic Limited Liability Company
Mailing Address:	1837 MAIN STREET, BRIDGEPORT, CT, 06604, USA	Business Status:	Active
Date Inc/Registration:	Oct 24, 2017		
Annual Report Due Date:	03/31/2022		
NAICS Code:	Real Estate and Rental and Leasing (53 )	NAICS Sub Code:	All Other Consumer Goods Rental (532289 )

### Principals Details

Name/Title	Business Address	Residence Address
VALDEMIRO SANTOS MEMBER	1797 MAIN STREET, BRIDGEPORT, CT, 06604	1797 MAIN STREET, BRIDGEPORT, CT, 06604
REGINA SANTOS MEMBER	1797 MAIN STREET, BRIDGEPORT, CT, 06604	1797 MAIN STREET, BRIDGEPORT, CT, 06604

### Agent Summary

Agent Name VALDEMIRO SANTOS

Agent Business Address 1797 MAIN STREET, BRIDGEPORT, CT, 06604

Agent Residence Address 1797 MAIN STREET, BRIDGEPORT, CT, 06604

Agent Mailing Address 1797 MAIN STREET, BRIDGEPORT, CT, 06604

## Business Inquiry

### Business Details

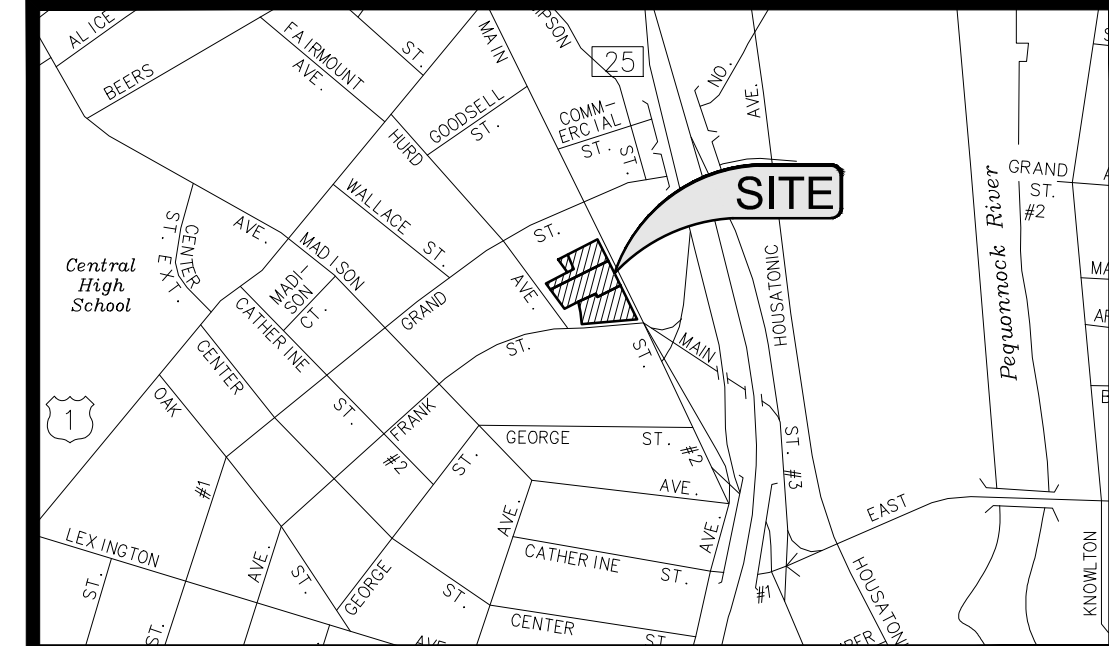
Business Name: 1849 MAIN STREET LLC	Citizenship/State Inc: Domestic/CT
Business ID: 1126863	Last Report Filed Year: 2021
Business Address: 1837 MAIN STREET, BRIDGEPORT, CT, 06604, USA	Business Type: Domestic Limited Liability Company
Mailing Address: 1837 MAIN STREET, BRIDGEPORT, CT, 06604, USA	Business Status: Active
Date Inc/Registration: Dec 13, 2013	
Annual Report Due Date: 03/31/2022	
NAICS Code: Real Estate and Rental and Leasing (53 )	NAICS Sub Code: All Other Consumer Goods Rental (532289 )

### Principals Details

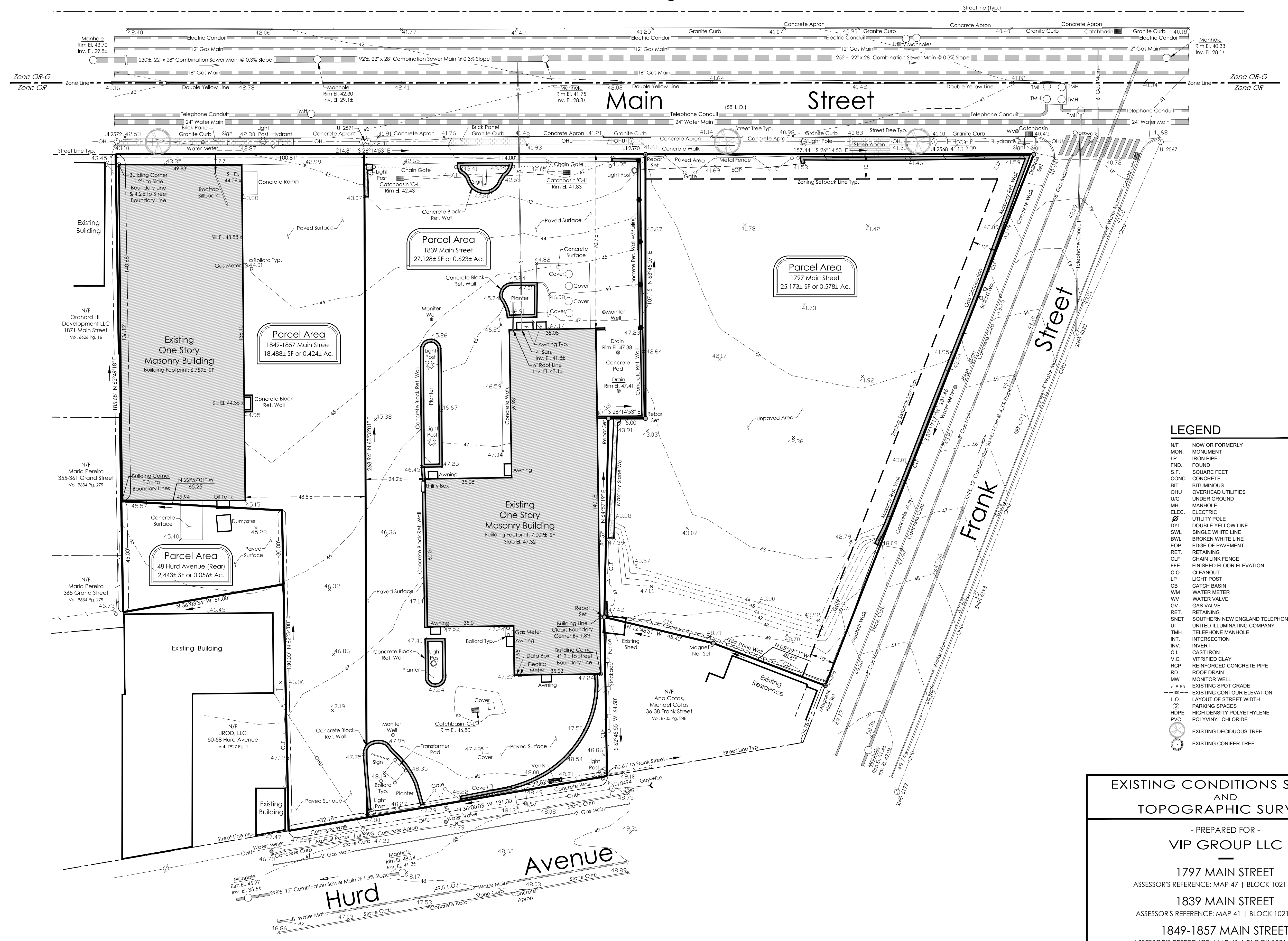
Name/Title	Business Address	Residence Address
VALDEMIRO SANTOS MEMBER	1837 MAIN STREET, BRIDGEPORT, CT, 06604, USA	1837 MAIN STREET, BRIDGEPORT, CT, 06604, USA

### Agent Summary

Agent Name	VALDEMIRO SANTOS
Agent Business Address	1849 MAIN STREET, BRIDGEPORT, CT, 06604, USA
Agent Residence Address	1849 MAIN STREET, BRIDGEPORT, CT, 06604, USA
Agent Mailing Address	1849 MAIN STREET, BRIDGEPORT, CT, 06604, USA



**LOCATION MAP**  
SCALE: 1" = 800'



- NOTES**
- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS BY THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS AN **EXISTING CONDITIONS SURVEY** AND **TOPOGRAPHIC SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS **A-2** AND TOPOGRAPHIC ACCURACY CLASS **T-2** AND IS INTENDED FOR MUNICIPAL COMPLIANCE PURPOSES.
  - THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
  - ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.
  - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED USING GEIOD3 AND **CONVERTED TO THE CITY OF BRIDGEPORT DATUM (+14.60)**. LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (COR89). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON **MARCH 23, 2013** IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:  
**STATION: ORANGE**  
**NORTHING 653,555.9292, EASTING 927,267.5499,**  
**LATITUDE 41°15'15.8940", LONGITUDE 73°00'52.6023",**  
**ELLIPSOID -4.143.**
  - REFERENCE IS MADE TO THE FOLLOWING MAPS:  
A. MAP ENTITLED "MAP OF PROPERTY PREPARED FOR JOHN EMMOLO, #1839 MAIN STREET, BRIDGEPORT, CONNECTICUT" SCALE: 1" = 20', DATED AUGUST 26, 2003; LAST REVISED SEPTEMBER 22, 2003 PREPARED BY HAMMONS LLC AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 53 PG. 246**.  
B. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 1021**.
  - PARCEL INFORMATION:  
**1797 MAIN STREET**  
A. ASSESSOR'S REFERENCE: BLOCK 1021 | LOT 8A  
B. PARCEL AREA: 25,173± SQ. FT. OR 0.578± AC.  
C. RECORD OWNER: 1797 MAIN STREET LLC, VOL. 9750 PG. 1  
D. REFERENCE TO OTHER INSTRUMENTS VOL. 1954 PG. 9 VARIANCE  
**1839 MAIN STREET**  
A. ASSESSOR'S REFERENCE: BLOCK 1021 | LOT 6  
B. PARCEL AREA: 27,128± SQ. FT. OR 0.623± AC.  
C. RECORD OWNER: JROD, LLC, VOL. 5770 PG. 93  
D. REFERENCE TO OTHER INSTRUMENTS VOL. 1572 PG. 139 VARIANCE VOL. 1562 PG. 63 VARIANCE  
**1849-1857 MAIN STREET**  
A. ASSESSOR'S REFERENCE: BLOCK 1021 | LOT 5A  
B. PARCEL AREA: 18,488± SQ. FT. OR 0.424± AC.  
C. RECORD OWNER: 1849 MAIN STREET, LLC, VOL. 9134 PG. 93  
**48 HURD STREET**  
A. ASSESSOR'S REFERENCE: BLOCK 1021 | LOT 18  
B. PARCEL AREA: 2,443± SQ. FT. OR 0.056± AC.  
C. RECORD OWNER: 1849 MAIN STREET, LLC, VOL. 9134 PG. 93
  - PARCELS ARE LOCATED WITHIN THE **O-R** ZONING DISTRICT.
  - SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL **429** OF 626, COMMUNITY **BRIDGEPORT**, CITY OF NUMBER **090009** PANEL **0429** SURVIV G, MAP NUMBER **09001C0429G**, MAP REVISED **JULY 8, 2013**. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS **ZONE X (UNSHADED)**.
  - BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
  - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).

**LEGEND**

NF	NOW OR FORMERLY
MON.	MONUMENT
IP	IRON PIPE
FND.	FOUND
S.F.	SQUARE FEET
CONC.	CONCRETE
BIT.	BITUMINOUS
OHU	OVERHEAD UTILITIES
UG	UNDER GROUND
MH	MANHOLE
ELEC.	ELECTRIC
Ø	UTILITY POLE
DYL	DOUBLE YELLOW LINE
SWL	SINGLE WHITE LINE
BWL	BROKEN WHITE LINE
EOP	EDGE OF PAVEMENT
RET.	RETAINING
CLF	CHAIN LINK FENCE
FFE	FINISHED FLOOR ELEVATION
C.O.	CLEANOUT
LP	LIGHT POST
CB	CATCH BASIN
WM	WATER METER
WV	WATER VALVE
GV	GAS VALVE
RET.	RETAINING
SNET	SOUTHERN NEW ENGLAND TELEPHONE
UI	UNITED ILLUMINATING COMPANY
TMH	TELEPHONE MANHOLE
INT.	INTERSECTION
INV.	INVERT
C1	CAST IRON
V.C.	VITRIFIED CLAY
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
MW	MONITOR WELL
Ø	EXISTING SPOT GRADE
- - -	EXISTING CONTOUR ELEVATION
L.O.	LAYOUT OF STREET WIDTH
Ⓟ	PARKING SPACES
HDPE	HIGH DENSITY POLYETHYLENE
PVC	POLYVINYL CHLORIDE
⊙	EXISTING DECIDUOUS TREE
⊙	EXISTING CONIFER TREE

**EXISTING CONDITIONS SURVEY  
- AND -  
TOPOGRAPHIC SURVEY**

- PREPARED FOR -  
**VIP GROUP LLC**

**1797 MAIN STREET**  
ASSESSOR'S REFERENCE: MAP 47 | BLOCK 1021 | LOT 8A

**1839 MAIN STREET**  
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1021 | LOT 6

**1849-1857 MAIN STREET**  
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1021 | LOT 5A

**48 HURD STREET (REAR)**  
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1021 | LOT 18

**BRIDGEPORT, CONNECTICUT**

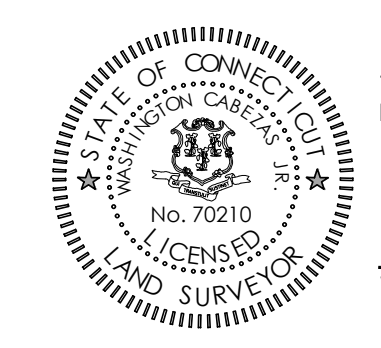
SHEET 1 OF 1

SEPTEMBER 14, 2020 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1"=20'

**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS

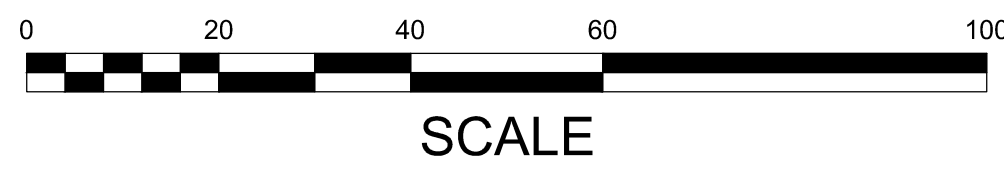
78 ELM STREET, BRIDGEPORT, CT 06604  
P: 203 330 8700 • F: 203 330 8701

SCALE: 1"=20'  
FIELD FILE: 1797 Main Street ECS.rw5  
PROJECT NO.: CD1305  
DATE: September 14, 2020  
FILE: 1797 Main St\_ECS.dwg  
SHEET 1 OF 1  
REV:



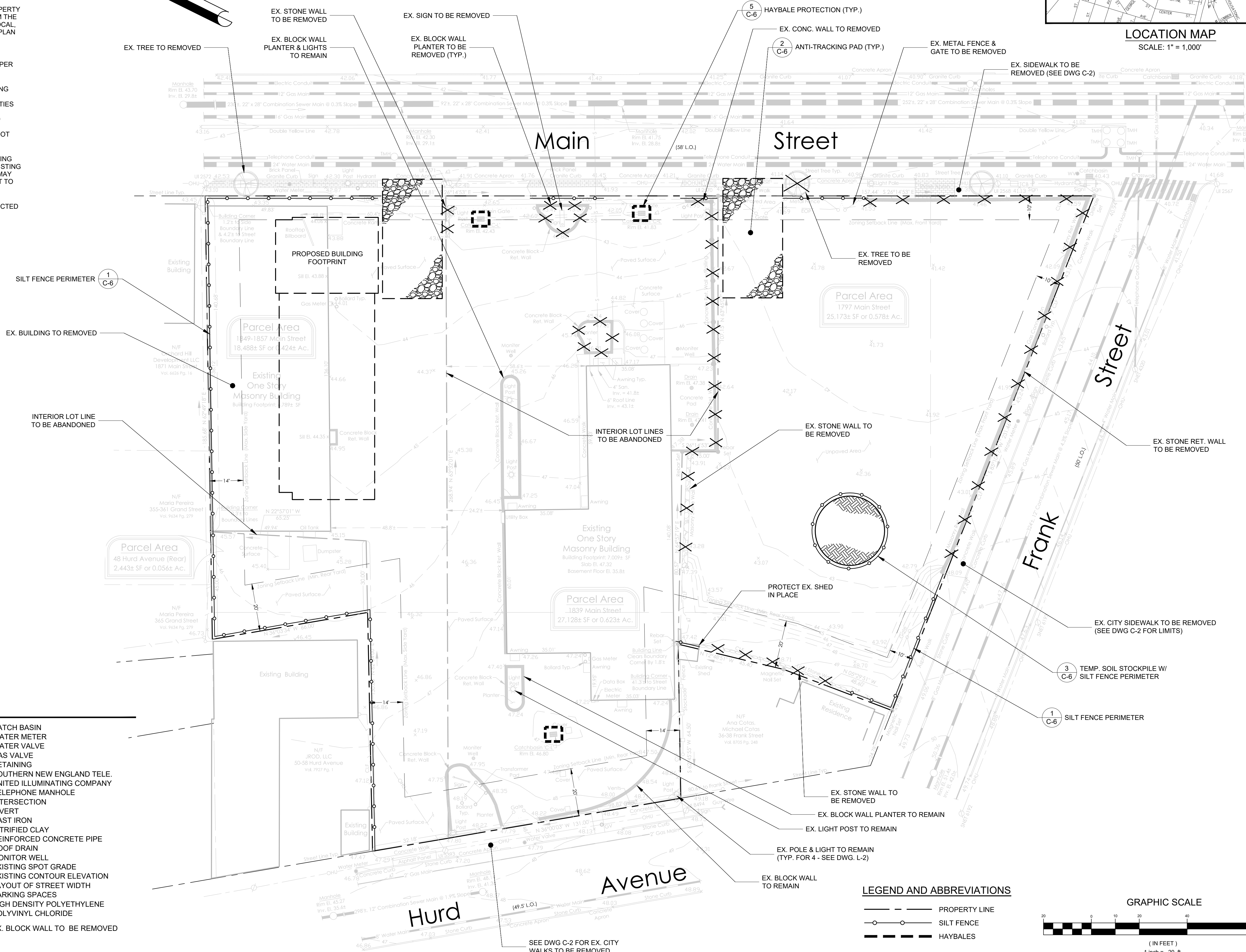
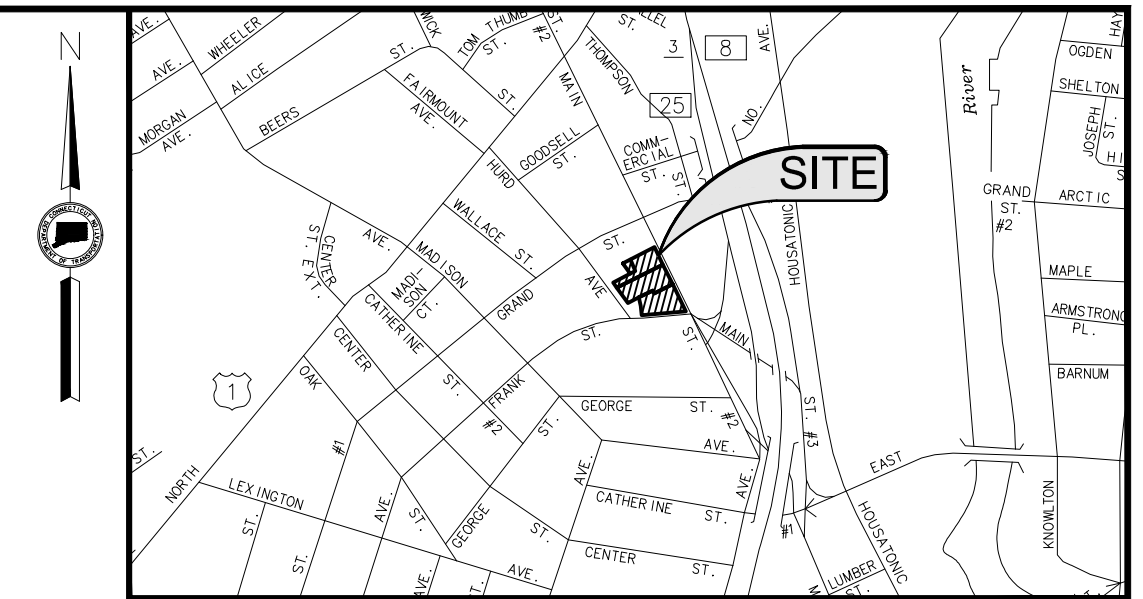
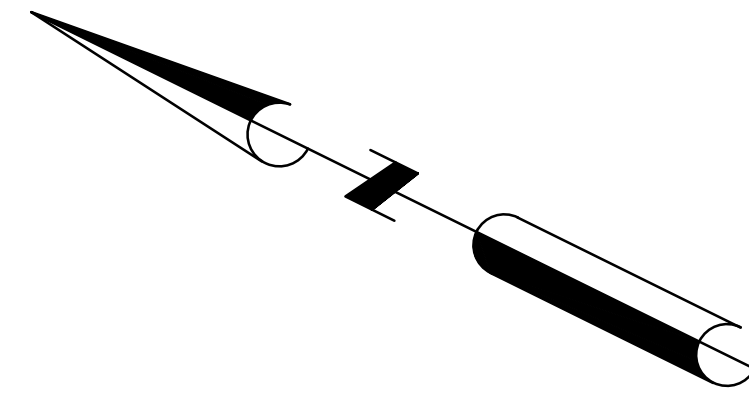
TO THE BEST OF MY KNOWLEDGE & BELIEF THIS  
MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

WASHINGTON CABEZAS, JR. PEL 70210



**GENERAL NOTES**

- CONTRACTOR SHALL CONTACT "CALL-BEFORE-YOU-DIG" SERVICES AT 1-800-922-4455 A MINIMUM OF TWO (2) DAYS BEFORE BEGINNING ANY EXCAVATION AT THE SITE.
- CONTRACTOR SHALL CLEARLY MARK ALL TREES TO BE REMOVED FOR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO CLEARING OPERATIONS. ANY TREES TO BE REMOVED ON CITY PROPERTY REQUIRE APPROVAL OF LOCAL TREE WARDEN.
- ALL UNSUITABLE MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS. SEE SOIL MANAGEMENT PLAN PREPARED BY TRC.
- REMOVE ALL UNSUITABLE FILL IN AREAS OF OLD FOUNDATIONS AND REPLACE WITH COMPACTED FILL PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- PROVIDE, ERECT AND MAINTAIN BARRICADES, WARNING LIGHTS, SIGNS, ETC., AS REQUIRED FOR SAFETY OF PERSONNEL, PUBLIC AND OCCUPANTS OF THE FACILITIES AFFECTED BY THE CONTRACTOR'S OPERATIONS. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESS AND EGRESS PATTERNS AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND IN ACCORDANCE WITH CONNDOT STANDARDS.
- THE CONTRACTOR SHALL CAREFULLY SAWCUT EXISTING CURBS AND PAVEMENTS PRIOR TO REMOVAL. ALL EXISTING CURBING, PAVEMENTS AND OTHER AMENITIES THAT MAY INTERFERE WITH THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- ALL EXISTING SURVEY MONUMENTS SHALL BE PROTECTED IN PLACE IN ACCORDANCE WITH STATE LAWS.



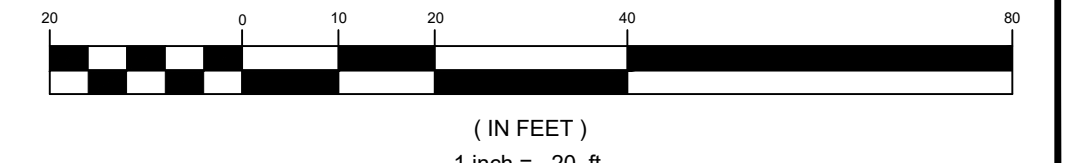
**LEGEND**

N/F	NOW OR FORMERLY	CB	CATCH BASIN
MON.	MONUMENT	WM	WATER METER
I.P.	IRON PIPE	WV	WATER VALVE
FND.	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET.	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELE.
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
U/G	UNDER GROUND	INT.	INTERSECTION
MH	MANHOLE	INV.	INVERT
ELEC.	ELECTRIC	C.I.	CAST IRON
Ø	UTILITY POLE	V.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EOP	EDGE OF PAVEMENT	x 8.65	EXISTING SPOT GRADE
RET.	RETAINING	-100-	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
FFE	FINISHED FLOOR ELEV.	⊙	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
—	SILT FENCE	⊗	EX. BLOCK WALL TO BE REMOVED
---	PROPERTY LINE		
---	EASEMENT LINE		

**LEGEND AND ABBREVIATIONS**

---	PROPERTY LINE
---	SILT FENCE
---	HAYBALES

**GRAPHIC SCALE**



**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS  
78 ELM STREET, BRIDGEPORT, CT 06604  
P:203 330 8700 F:203 330 8701

SEAL:  
  
CHRISTIAN A. DeANGELIS, PE

**REVISIONS:**

No.	DESC.	DATE
0	ZBA SUBMISSION	04-02-21

**PROPOSED SERVICE GARAGE**  
- FOR PROPERTY LOCATED AT -  
1797, 1839 & 1849 MAIN STREET  
BRIDGEPORT, CT  
- PREPARED FOR -  
VIP GROUP, LLC  
1837 MAIN STREET, BRIDGEPORT, CT 06604

SHEET TITLE:  
**EXIST. CONDITIONS, DEMOLITION AND SOIL EROSION & SEDIMENT CONTROL (SESC) PLAN**

PROJ. No.: 2020-22  
DATE: 02 APRIL 2021  
DWG. No.: C-1  
SHEET 1 OF 10  
SCALE: 1" = 20'

DESIGNED: CAD	DRAWN BY: ARM	CHECKED: CAD
---------------	---------------	--------------

Copyright © 2021 Cabezas-DeAngelis, LLC. All rights reserved. No part of these documents may be reproduced in any form or by any means without the written permission of Cabezas-DeAngelis, LLC.

**GENERAL NOTES**

- ALL UTILITY AND SUB-SURFACE INFORMATION SHOWN HEREON IS TO BE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. THE CONTRACTOR SHALL MAKE INVESTIGATIONS IN THE FIELD TO VERIFY ALL EXACT UTILITY LOCATIONS BEFORE CONSTRUCTION. CALL TELEPHONE # 1-800-922-4455 "CALL BEFORE YOU DIG" A MINIMUM OF 2 DAYS BEFORE BEGINNING ANY EXCAVATION AT THE SITE.
- SITE PLAN BASED ON MAP ENTITLED "EXISTING CONDITIONS SURVEY AND TOPOGRAPHIC SURVEY, PREPARED FOR VIP GROUP, LLC, 1797 MAIN STREET, 1839 MAIN STREET, 1849-1857 MAIN STREET, 48 HURD STREET, BRIDGEPORT, CONNECTICUT, DATED LINE 29, 2020 AND PREPARED BY CABEZAS-DEANGELIS, LLC. ELEVATIONS ARE BASED ON THE CITY OF BRIDGEPORT DATUM.
- THE SITE LIES WITHIN FEMA FLOOD ZONE X (UNSHADED) AS NOTED ON FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 429 OF 626, BRIDGEPORT, CITY OF, NUMBER 09002, PANEL 0429 SUFFIX G, MAP NUMBER 090010429G, MAP REVISED JULY 6, 2013.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION OPERATIONS WITHIN AND OUTSIDE OF THE LIMITS OF CONSTRUCTION AS SHOWN ON THE PLANS.
- ALL DISTURBED AREAS WITHIN OR OUTSIDE THE LIMITS OF CONSTRUCTION NOT COVERED BY BUILDINGS, PAVEMENT, PLANTING BEDS OR OTHER IMPROVEMENTS ARE TO BE TOP SOILED (4" DEPTH MIN.) AND SEEDED PER DIRECTION OF THE OWNER.
- ANY DIMENSION LINE SHOWN FROM PROPERTY LINE, FACE OF CURB OR BUILDING IS PERPENDICULAR UNLESS OTHERWISE SHOWN.
- PROVIDE, ERECT AND MAINTAIN BARRICADES, WARNING LIGHTS, SIGNS, ETC., AS REQUIRED FOR SAFETY OF PERSONNEL, PUBLIC AND OCCUPANTS OF THE FACILITIES AFFECTED BY THE CONTRACTOR'S OPERATIONS. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESS AND EGRESS PATTERNS AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND IN ACCORDANCE WITH CONDOT STANDARDS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CONDOT FORM 816, LATEST EDITION, AS AMENDED, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, AND SUPERVISION TO CONSTRUCT THE PROPOSED IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING EXCAVATION, PAVEMENT REMOVAL, UNSUITABLE MATERIAL REMOVAL AND OFF-SITE DISPOSAL THEREOF, INSTALLATION OF BASE MATERIAL, PAVEMENTS, FILL MATERIAL, CURBING, DRAINAGE STRUCTURES, TOPSOIL AND SEED.
- THE CONTRACTOR SHALL CAREFULLY SAWCUT EXISTING CURBS AND PAVEMENTS PRIOR TO REMOVAL. ALL EXISTING CURBING, PAVEMENTS AND OTHER AMENITIES THAT MAY INTERFERE WITH THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.

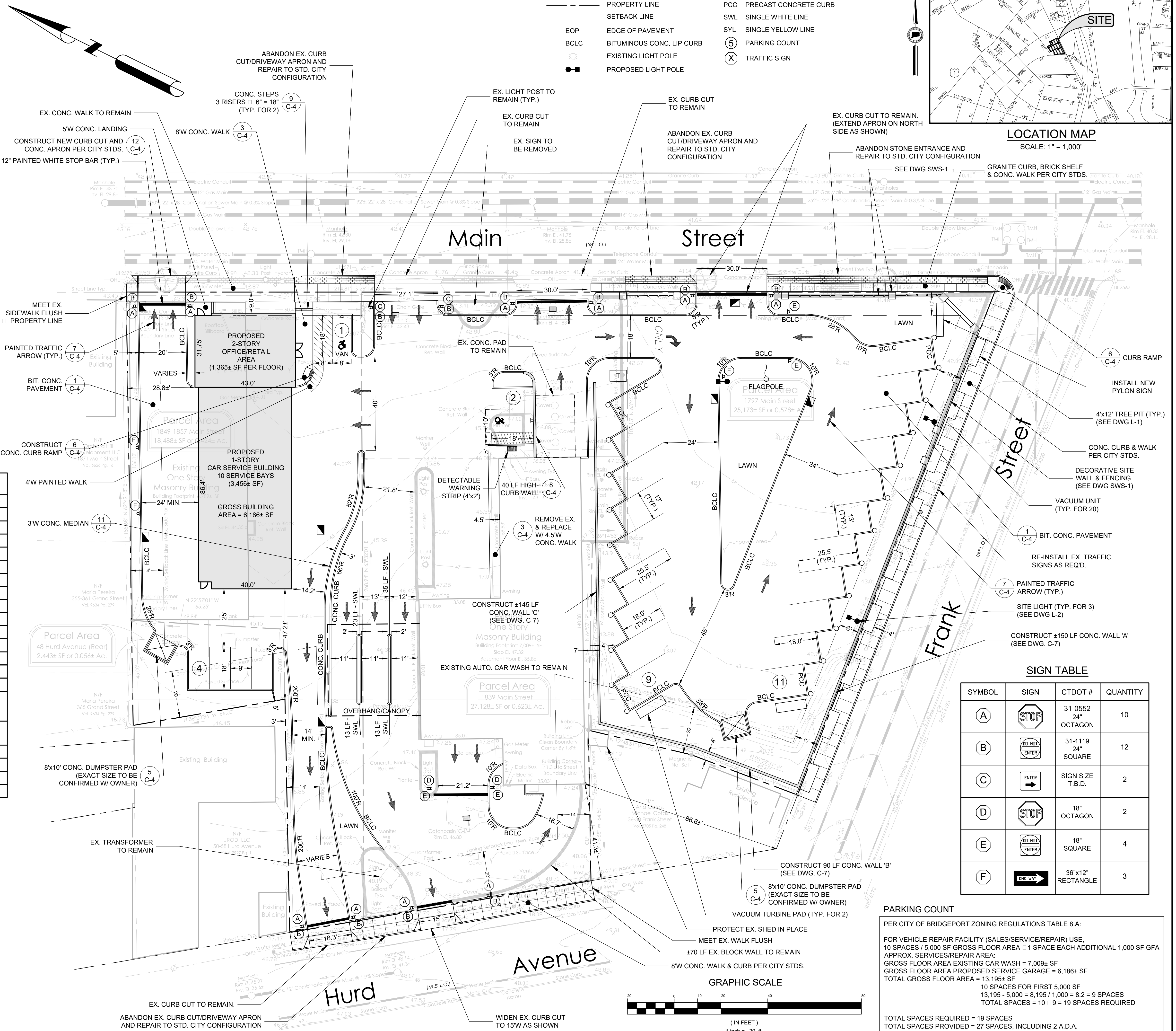
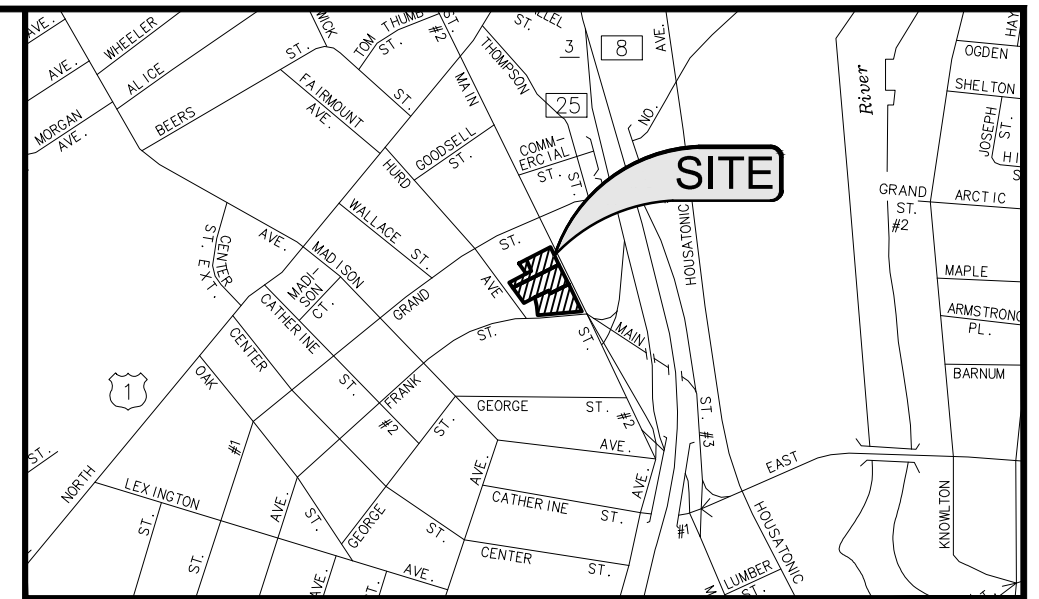
**OR Zone Development Standards**

	MINIMUM	MAXIMUM	PROVIDED
LOT			
LOT WIDTH	35 FT	NONE	301.0± FT
LOT DEPTH	NONE	NONE	174.4± FT
LOT AREA	5,000 SF	NONE	73,230± SF
LOT COVERAGE	75%	NONE	76%
STREET WALL (SEE NOTE 8)			
AS A PERCENT OF FRONTAGE (PRIMARY)	75%	NONE	11.6%
AS A PERCENT OF FRONTAGE (SECONDARY)	30%	NONE	N/A
AS A PERCENT OF FRONTAGE (TERTIARY)	N/A	NONE	N/A
BUILDING SETBACK FROM STREET LOT LINE (SEE NOTE 9 & 10)			
PRIMARY FRONTAGE	0 FT	10 FT	9 FT
SECONDARY FRONTAGE	0 FT	10 FT	86.6± FT
TERTIARY FRONTAGE	N/A	N/A	41.3± FT
YARDS			
SIDE YARD (SEE NOTE 2)	0 FT OR 5 FT IF SIDE YARD IS UTILIZED	1 FT FOR EACH FLOOR OF BUILDING HEIGHT NOT TO EXCEED 14 FEET	28.8± FT*
REAR YARD	0 FT OR 20 FT IF FLOOR CONTAINS HABITABLE SPACE	NONE	47.2± FT
OTHER STANDARDS (SEE NOTE 11)			
LANDSCAPED AREA AS A PERCENT OF LOT	15%	25%	24%
FLOOR TO CEILING HEIGHT OF FIRST STORY	12 FT	NONE	14 FT
ALL WATER-ABUTTING PROPERTIES	NOTE 3	NOTE 3	N/A

- NOTES:**
- ANY BUILDING SETBACK ALONG PRIMARY OR SECONDARY FRONTAGES IN THE DVD-Core MUST BE IN THE FORM OF A SIDEWALK EASEMENT OR COVERED ARCADE.
  - ALLEYS BETWEEN BUILDINGS CREATED BY CONTIGUOUS SIDE YARD SETBACKS SHALL BE COVERED AT THE STREET FRONTAGE BY A GATE MATCHING FACADE SO AS TO MAINTAIN STREET LINE CONTINUITY.
  - A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON ANY NON-RESIDENTIAL PROPERTIES ABUTTING A WATERWAY, FROM THE TOP OF THE EMBANKMENT AND FOR TWENTY (20) FEET INLAND, A DEDICATED OPEN SPACE AREA SHALL BE ESTABLISHED.
  - SEE THE PROVISIONS OF 10-10-4 REGARDING BUILDING SETBACK IN THE NCVZ ZONE.
  - IN FLOOD PLAIN AREAS WHERE THE LOWEST BUILDING FLOOR IS RAISED TO MEET THE FLOOD PLAIN REQUIREMENTS, UP TO 30% OF REQUIRED STREET WALL WIDTH COULD BE RECESSED TO ACCOMMODATE ACCESS STAIRS AND RAMPS.
  - WHEN FLOOD RESISTANCE CONSTRUCTION REQUIRES RAISING THE LOWEST FLOOR HEIGHT, FRONT BUILDING SETBACKS MAY BE INCREASED BY UP TO 25 FEET TO PROVIDE EXTERIOR STAIRS AND RAMPS.
  - FOR RESIDENTIAL USE ONLY, THE FRONT SETBACK MAY BE INCREASED UP TO 35 FEET.
  - LARGE PARCELS WITH MULTIPLE BUILDINGS SHALL MAINTAIN STREET WALL ALONG AT LEAST 60% OF PRIMARY STREET FRONTAGE.
  - SINGLE USE MULTIFAMILY STRUCTURES MUST PROVIDE A MINIMUM SETBACK OF 10' OF LANDSCAPED AREA.
  - CAN BE INCREASED AN ADDITIONAL 5' TO ACCOMMODATE OUTDOOR SEATING FOR FOOD ESTABLISHMENTS.
  - LANDSCAPED AREA REQUIREMENT MAY BE MET WITH ONE OR MORE OF THE FOLLOWING: TRADITIONAL LANDSCAPING (SEE SECTION 11-3), GREEN FACADE, GREEN ROOF AND/OR GREEN WALL.

**LEGEND AND ABBREVIATIONS**

- |       |                           |     |                       |
|-------|---------------------------|-----|-----------------------|
| —     | PROPERTY LINE             | PCC | PRECAST CONCRETE CURB |
| - - - | SETBACK LINE              | SWL | SINGLE WHITE LINE     |
| ●     | EOP                       | SYL | SINGLE YELLOW LINE    |
| —     | EDGE OF PAVEMENT          | Ⓟ   | PARKING COUNT         |
| —     | BCLC                      | ⓧ   | TRAFFIC SIGN          |
| —     | BITUMINOUS CONC. LIP CURB |     |                       |
| —     | EXISTING LIGHT POLE       |     |                       |
| —     | PROPOSED LIGHT POLE       |     |                       |



**SIGN TABLE**

SYMBOL	SIGN	CTDOT #	QUANTITY
(A)	STOP	31-0552 24" OCTAGON	10
(B)	NO LEFT TURN	31-1119 24" SQUARE	12
(C)	ENTER	SIGN SIZE T.B.D.	2
(D)	STOP	18" OCTAGON	2
(E)	NO LEFT TURN	18" SQUARE	4
(F)	ONE WAY	36"x12" RECTANGLE	3

**PARKING COUNT**

PER CITY OF BRIDGEPORT ZONING REGULATIONS TABLE 8.A:

FOR VEHICLE REPAIR FACILITY (SALES/SERVICE/REPAIR) USE:  
 10 SPACES / 5,000 SF GROSS FLOOR AREA = 1 SPACE EACH ADDITIONAL 1,000 SF GFA APPROX. SERVICES/REPAIR AREA:  
 GROSS FLOOR AREA EXISTING CAR WASH = 7,009± SF  
 GROSS FLOOR AREA PROPOSED SERVICE GARAGE = 6,186± SF  
 TOTAL GROSS FLOOR AREA = 13,195± SF

10 SPACES FOR FIRST 5,000 SF  
 13,195 - 5,000 = 8,195 / 1,000 = 8.2 = 9 SPACES  
 TOTAL SPACES = 10 + 9 = 19 SPACES REQUIRED

TOTAL SPACES REQUIRED = 19 SPACES  
 TOTAL SPACES PROVIDED = 27 SPACES, INCLUDING 2 A.D.A.



SEAL:  
 CHRISTIAN A. DeANGELIS, PE

**REVISIONS:**

No.	DESC.	DATE
0	ZBA SUBMISSION	04-02-21

**PROPOSED SERVICE GARAGE**  
 - FOR PROPERTY LOCATED AT -  
 1797, 1839 & 1849 MAIN STREET  
 BRIDGEPORT, CT  
 - PREPARED FOR -  
 VIP GROUP, LLC  
 1837 MAIN STREET, BRIDGEPORT, CT 06604

SHEET TITLE:  
**SITE PLAN**

PROJ. No.: **2020-22**  
 DATE: **02 APRIL 2021**  
 DWG. No.: **C-2**

SHEET 2 OF 10  
 SCALE: 1" = 20'

DESIGNED: CAD DRAWN BY: ARM CHECKED: CAD

Copyright © 2021 Cabezas-DeAngelis, LLC. All rights reserved. No part of these documents may be reproduced in any form or by any means without the written permission of Cabezas-DeAngelis, LLC.

**NOTES**

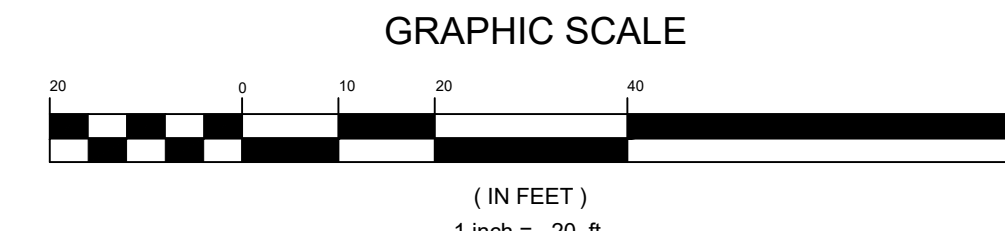
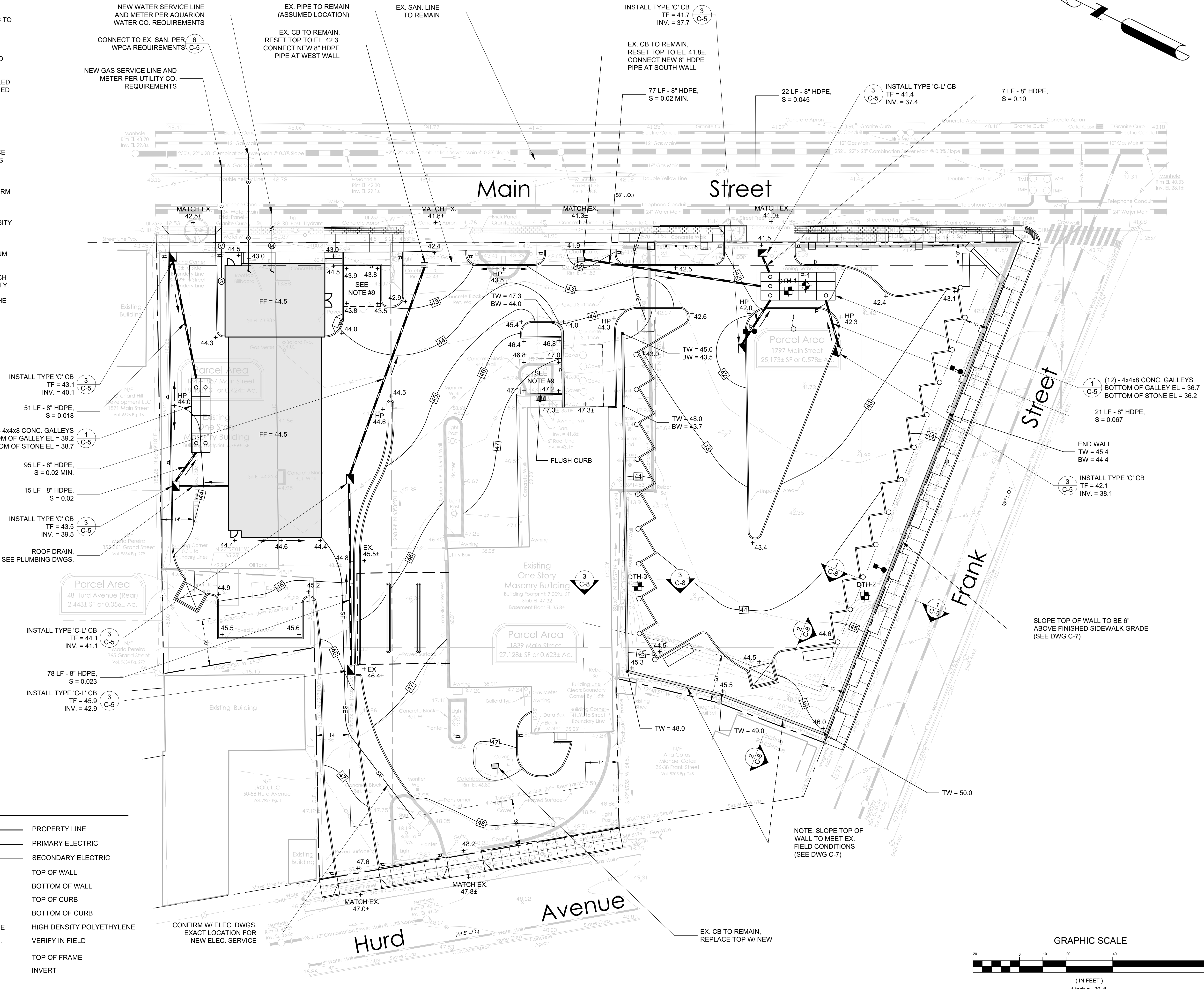
- CONTRACTOR SHALL CONTACT "CALL-BEFORE-YOU-DIG" SERVICES AT 1-800-922-4455 A MINIMUM OF TWO (2) DAYS BEFORE BEGINNING ANY EXCAVATION AT THE SITE.
- CONTRACTOR SHALL CLEARLY MARK CLEARING LIMITS FOR OWNER'S REVIEW PRIOR TO TREE REMOVAL OPERATIONS. TREES TO BE REMOVED ON CITY PROPERTY REQUIRE APPROVAL OF LOCAL TREE WARDEN.
- NEW WORK SHALL BLEND SMOOTHLY WITH EXISTING GRADES. UNLESS OTHERWISE SHOWN, ALL PAVEMENTS SHALL HAVE A TWO PERCENT CROSS-PITCH TO INSURE PROPER DRAINAGE.
- SILTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS NECESSARY PRIOR TO THE START OF GRADING AND MAINTAINED UNTIL ALL GROUND SURFACES ARE STABILIZED, I.E. WITH TURF, PAVEMENTS, ETC.
- PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE. ACTIVE UTILITY LINES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE UTILITY OWNER AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL SUBSURFACE UTILITIES PRIOR TO THE START OF WORK. ANY FIELD CONDITIONS THAT DIFFER FROM THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CONDOT FORM 816, LATEST EDITION, AS AMENDED, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN.
- COMPACT MATERIAL TO NOT LESS THAN THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557 AND D-2049 AS FOLLOWS:
  - FOR UNPAVED AREAS, COMPACT TOP 6" OF SUBGRADE AND EACH LAYER OF BACKFILL OF FILL MATERIAL TO 85% MAXIMUM DRY DENSITY.
  - FOR PAVEMENTS, COMPACT TOP 12" OF SUBGRADE AND EACH LAYER OF BACKFILL MATERIAL TO 95% MAXIMUM DRY DENSITY.
- ALL UNSUITABLE MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
- GRADES IN A.D.A. PARKING AREA SHALL NOT EXCEED 50:1 IN ANY DIRECTION.

TEST PIT DATA/SOIL DESCRIPTIONS BY CABEZAS-DEANGELIS SEPTEMBER 28, 2020		
DEEP TEST HOLE - 1	DEEP TEST HOLE - 2	DEEP TEST HOLE - 3
0'-16" CRUSHED BRICK, CONC. & ASPHALT MATERIAL	0'-12" SANDY FILL, SOME TOPSOIL	0'-12" BRICK, CONC. & ASPHALT FILL
16'-24" BROWN SANDY FILL, DRY, STONY	12'-14" CONCRETE SLAB	12'-24" ORANGE BROWN SANDY FILL, NO STONES, DRY
24'-50" ORANGE BROWN SILTY SAND, MOIST, SOME STONES	14'-44" ORANGE BROWN COARSE SAND W/ COBBLES, DRY	24'-50" ORANGE BROWN COARSE SAND, STONY, FEW COBBLES
60'-72" COARSE SAND, MOIST, SOME STONES, FEW COBBLES	44'-62" VERY FINE YELLOW BROWN SAND, NO STONES, DENSE	60'-68" VERY FINE YELLOW BROWN SAND, MOIST, COMPACT, NO STONES
MOTTLES: NONE.	MOTTLES: NONE.	MOTTLES: NONE.
GW: NONE.	GW: NONE.	GW: NONE.
LEDGE: NONE.	LEDGE: NONE.	LEDGE: NONE.
ROOTS: NONE.	ROOTS: NONE.	ROOTS: NONE.
RESTRICTIVE: NONE.	RESTRICTIVE: NONE.	RESTRICTIVE: NONE.

Percolation Test - VIP Service Garage, Bridgeport, CT Test Hole P-1 Data 18" deep, 10" diameter Monday, September 28, 2020			
Test Hole P-1 Data			
Time	Measurement to Water Surface	Drop in Water Level (0.01')	Rate (Min./Inch)
11:50 AM	0.30		
11:53 AM	0.47	0.17	1.47
11:56 AM	0.59	0.12	2.08
11:59 AM	0.68	0.09	2.78
12:02 PM	0.75	0.07	3.57
12:05 PM	0.80	0.05	5.00
12:08 PM	0.85	0.05	5.00
12:11 PM	0.90	0.05	5.00
12:14 PM	1.00	0.10	2.50
12:17 PM	1.04	0.04	6.25
12:20 PM	1.08	0.04	6.25
12:23 PM	1.12	0.04	6.25
12:26 PM	1.15	0.04	6.25
12:29 PM	1.20	0.04	6.25
Total Test Time (Min.)			39
Overall Percolation Rate (Min/Inch)			3.61
Minimum Percolation Rate (Min/Inch)			6.25

**LEGEND AND ABBREVIATIONS**

- STORM DRAIN (EX.)
- STORM DRAIN (PROP.)
- ▣ CATCH BASIN (PROP.)
- ▣ DRYWELL BASIN (PROP.)
- ▣ CATCH BASIN (EX.)
- ⊙ MANHOLE (D=STORM, S=SEWER)
- CURB
- 9g CONTOUR (EX.)
- × 99.0 SPOT ELEV. (EX.)
- 9g CONTOUR (PROP.)
- + 99.0 SPOT ELEV. (PROP.)
- PROPERTY LINE
- PE PRIMARY ELECTRIC
- SE SECONDARY ELECTRIC
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TC TOP OF CURB
- BC BOTTOM OF CURB
- HDPE HIGH DENSITY POLYETHYLENE
- V.I.F. VERIFY IN FIELD
- TF TOP OF FRAME
- INV. INVERT



SEAL:  
  
CHRISTIAN A. DeANGELIS, PE

REVISIONS:		
No.	DESC.	DATE
0	ZBA SUBMISSION	04-02-21

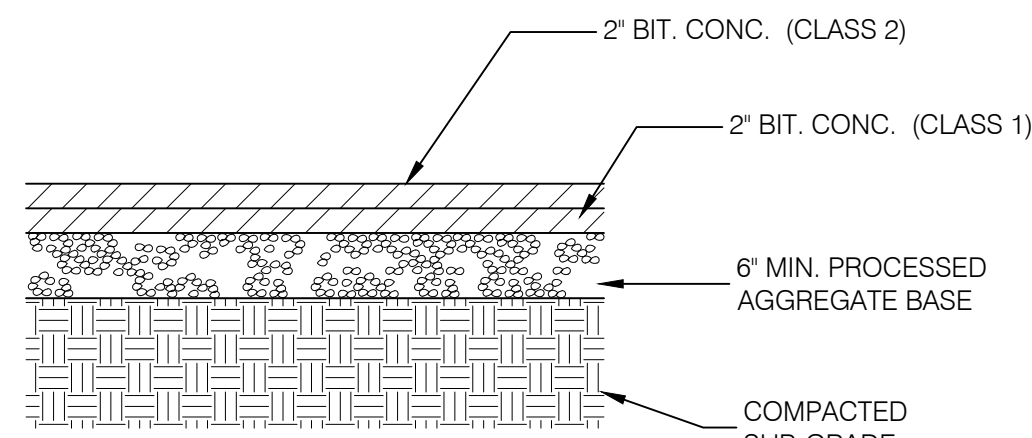
**PROPOSED SERVICE GARAGE**  
- FOR PROPERTY LOCATED AT -  
1797, 1839 & 1849 MAIN STREET  
BRIDGEPORT, CT  
- PREPARED FOR -  
VIP GROUP, LLC  
1837 MAIN STREET, BRIDGEPORT, CT 06604

SHEET TITLE:  
  
**GRADING,  
DRAINAGE &  
UTILITY PLAN**

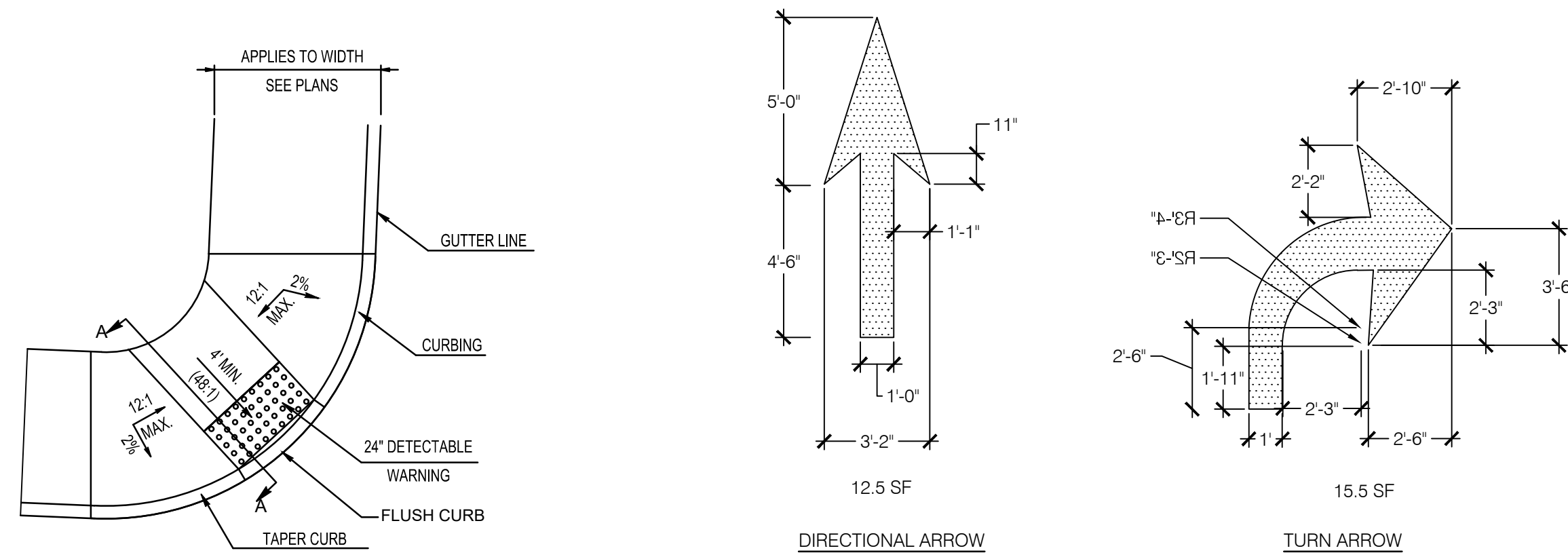
PROJ. No.: 2020-22  
DATE: 02 APRIL 2021  
DWG. No.: C-3  
SHEET 3 OF 10  
SCALE: 1" = 20'

DESIGNED: CAD	DRAWN BY: ARM	CHECKED: CAD
---------------	---------------	--------------

Copyright © 2021 Cabezas-DeAngelis, LLC. All rights reserved. No part of these documents may be reproduced in any form or by any means without the written permission of Cabezas-DeAngelis, LLC.

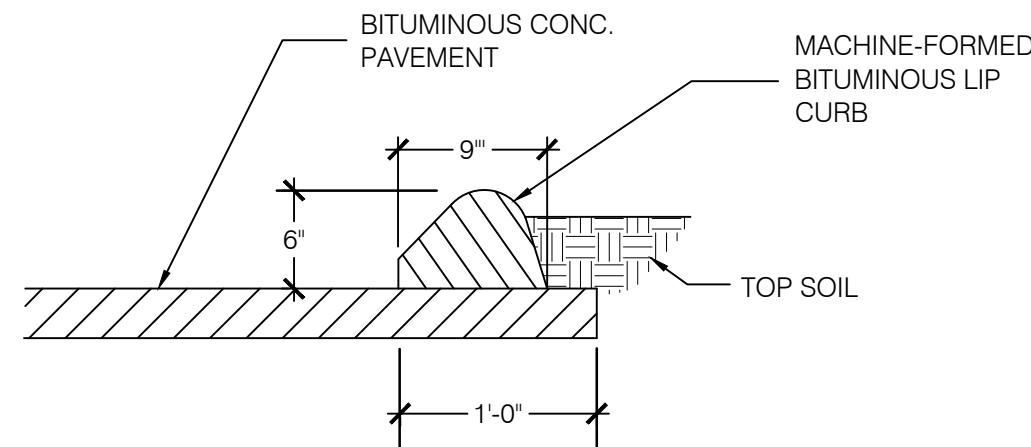


1 BITUMINOUS CONCRETE PAVEMENT  
SCALE: N.T.S.

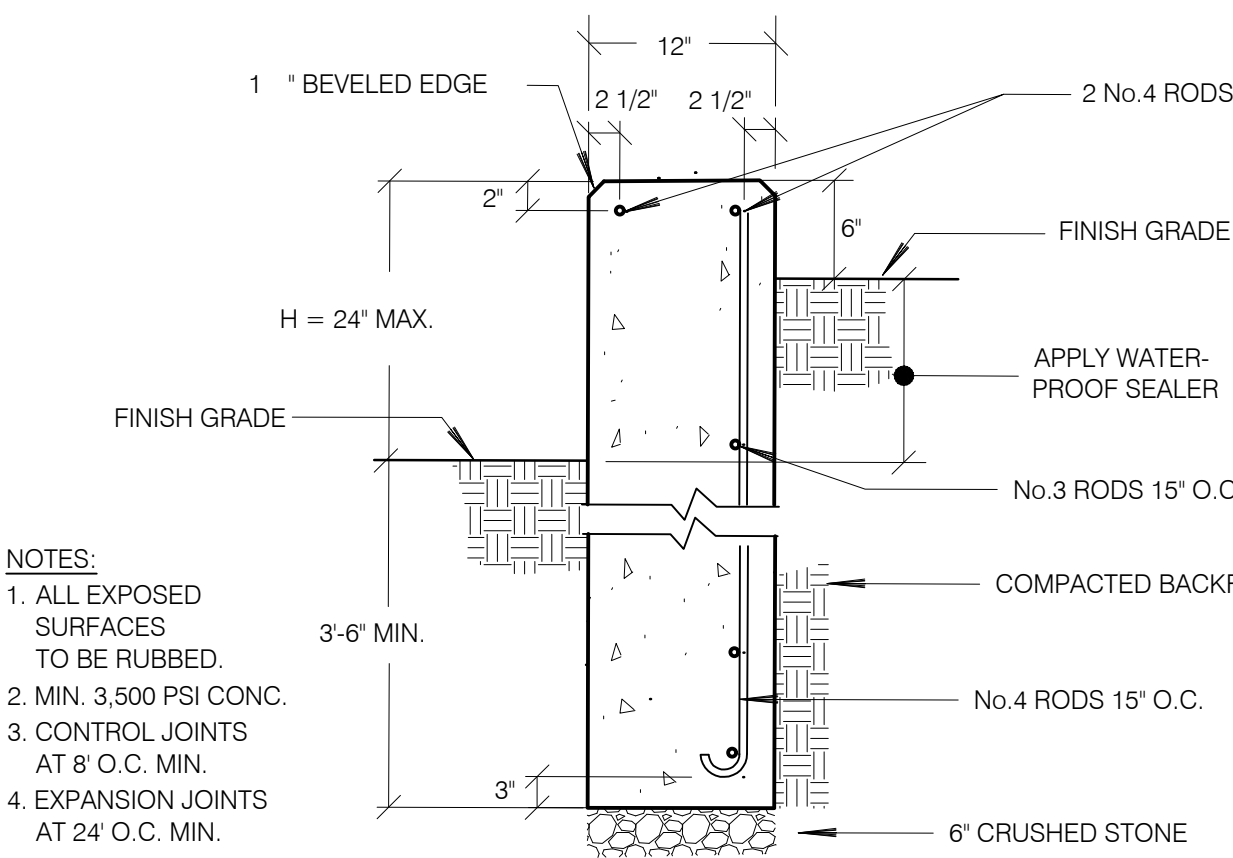


6 TYPICAL CONCRETE CURB RAMP  
SCALE: N.T.S.

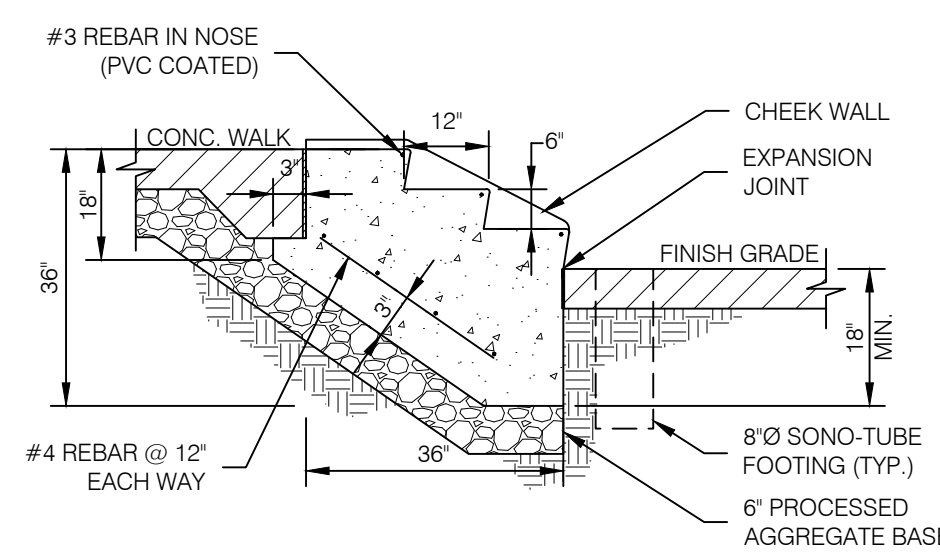
7 PAVEMENT ARROW DETAILS  
SCALE: N.T.S.



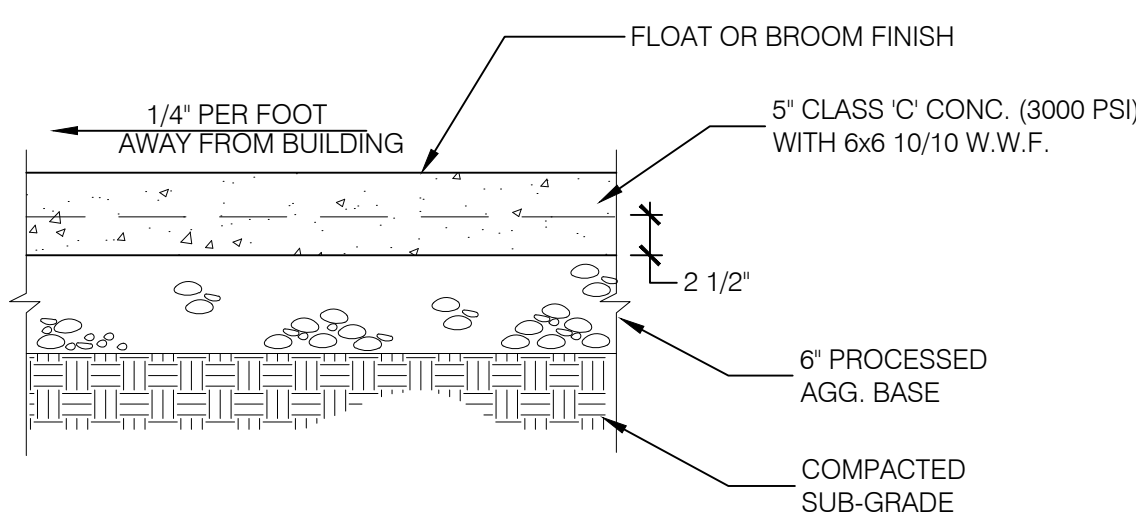
2 BITUMINOUS LIP CURB  
SCALE: N.T.S.



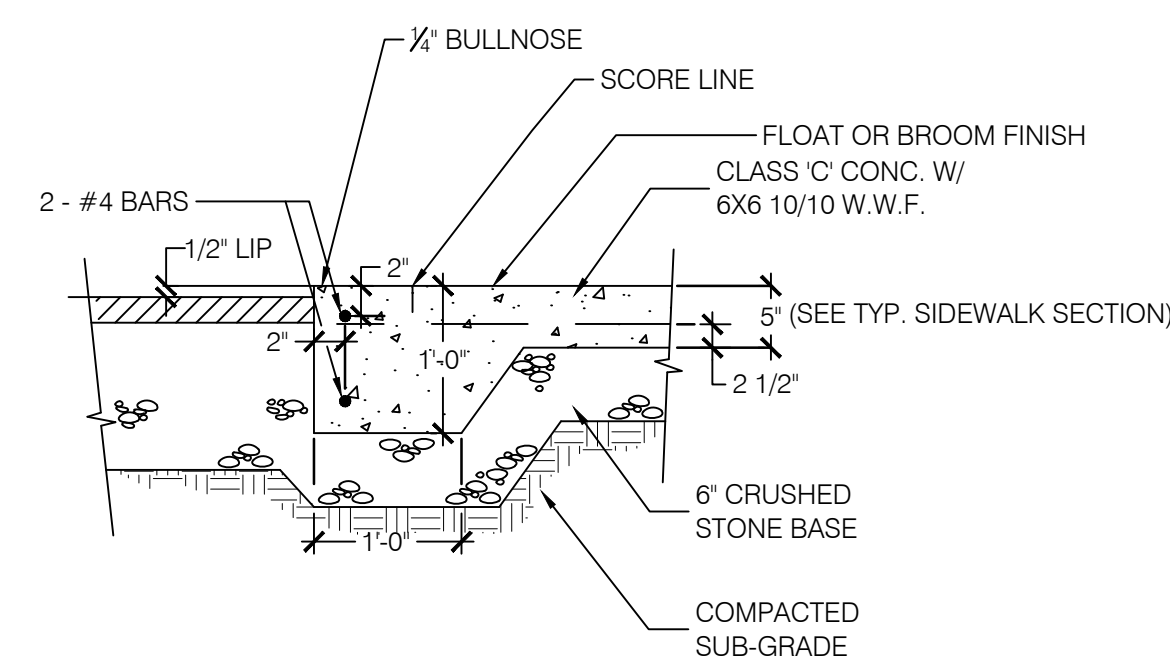
8 HIGH CURB WALL - TYP. SECTION  
SCALE: N.T.S.



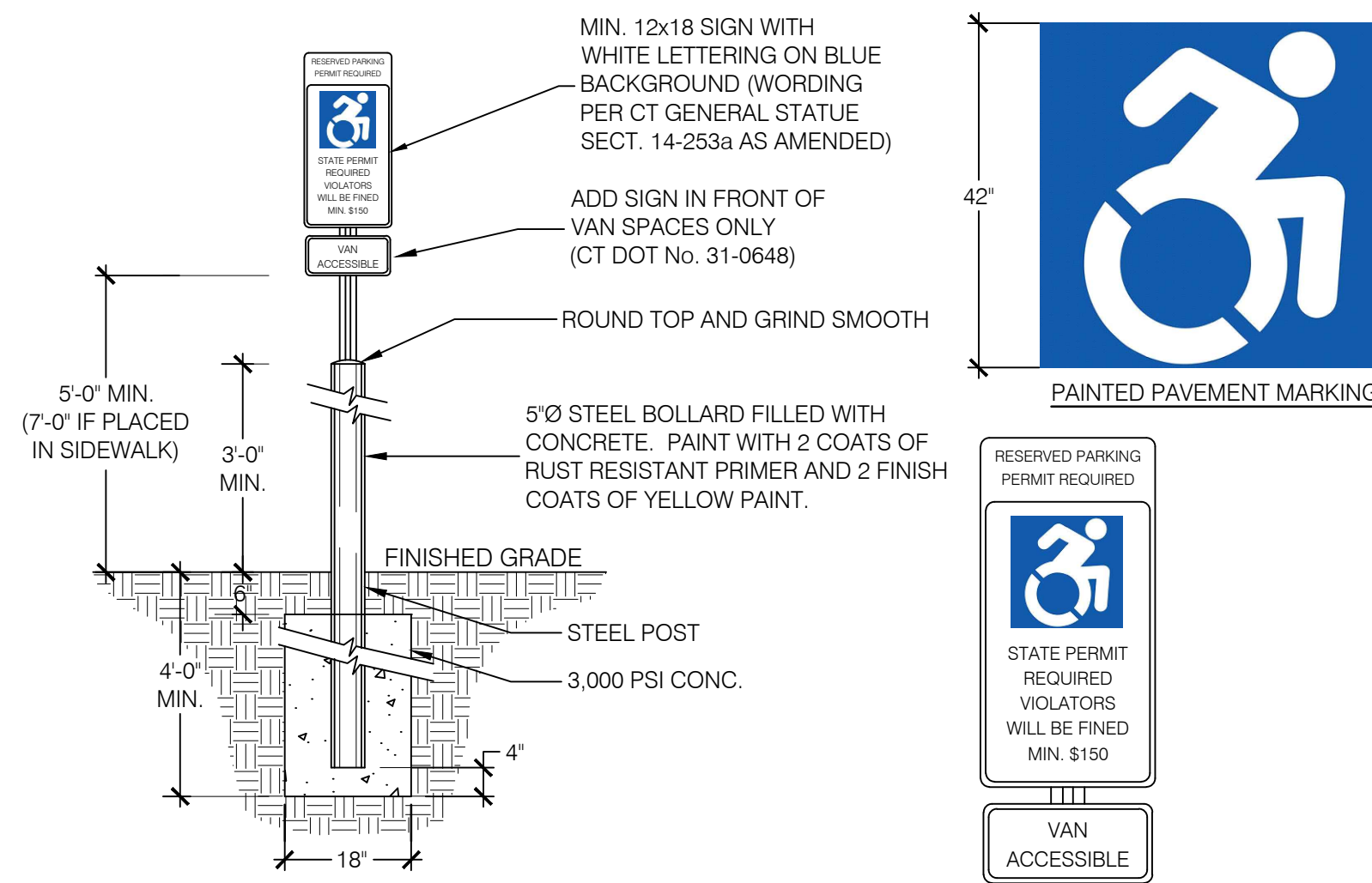
9 CAST-IN-PLACE CONCRETE STEPS  
SCALE: N.T.S.



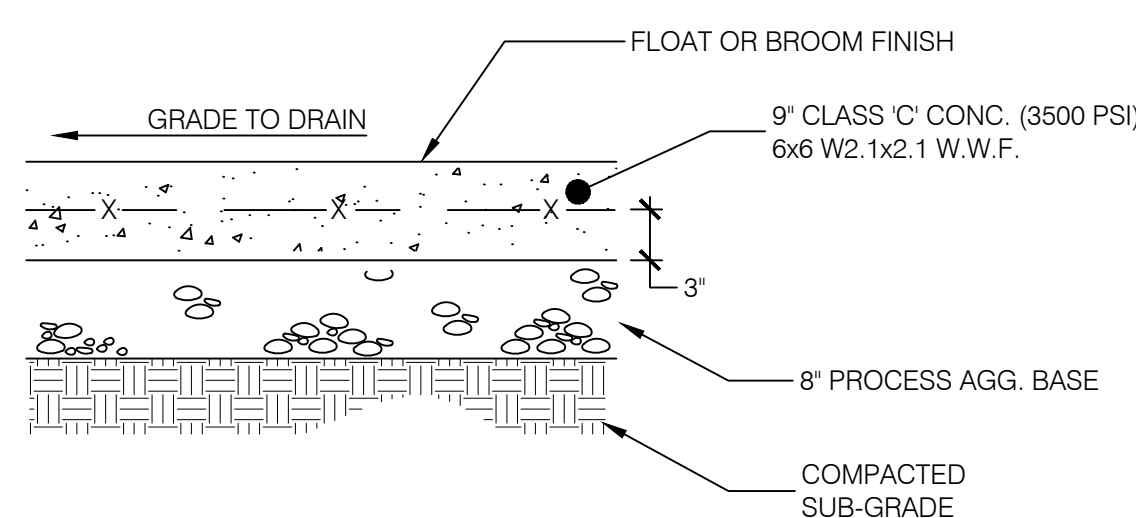
3 CONCRETE SIDEWALK  
SCALE: 1" = 1'-0"



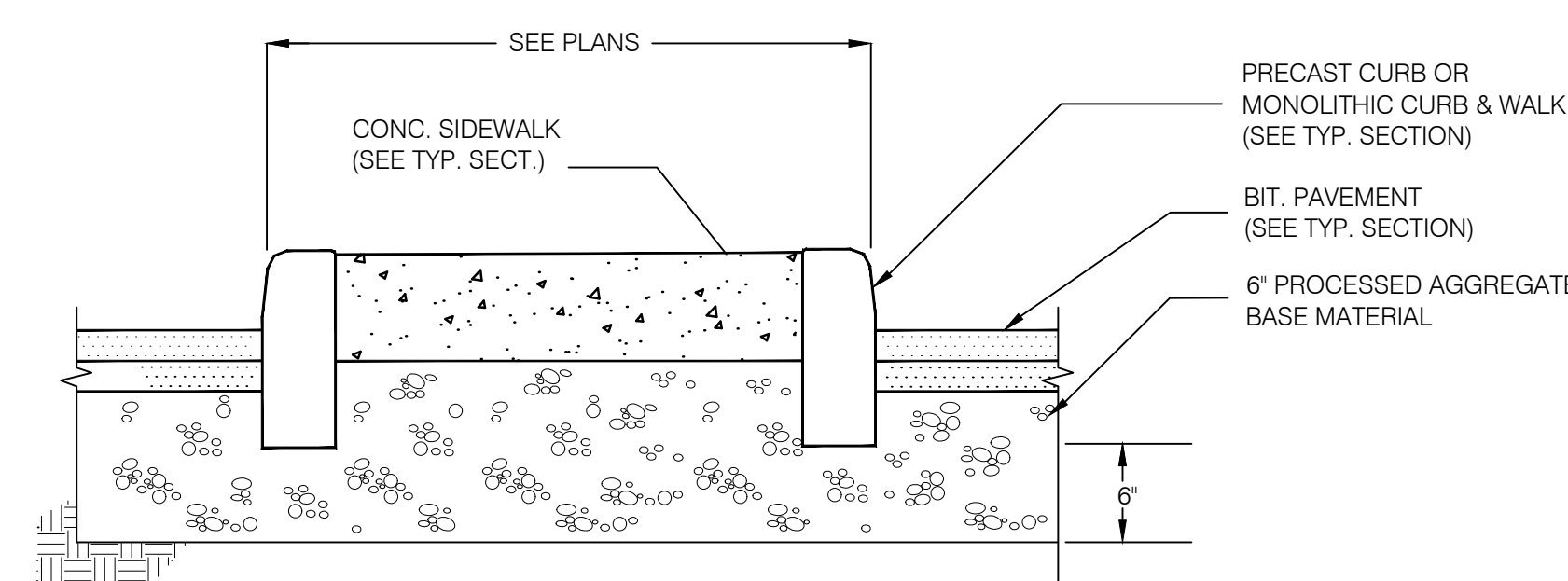
4 MONOLITHIC CONCRETE CURB - FLUSH CONDITION  
SCALE: N.T.S.



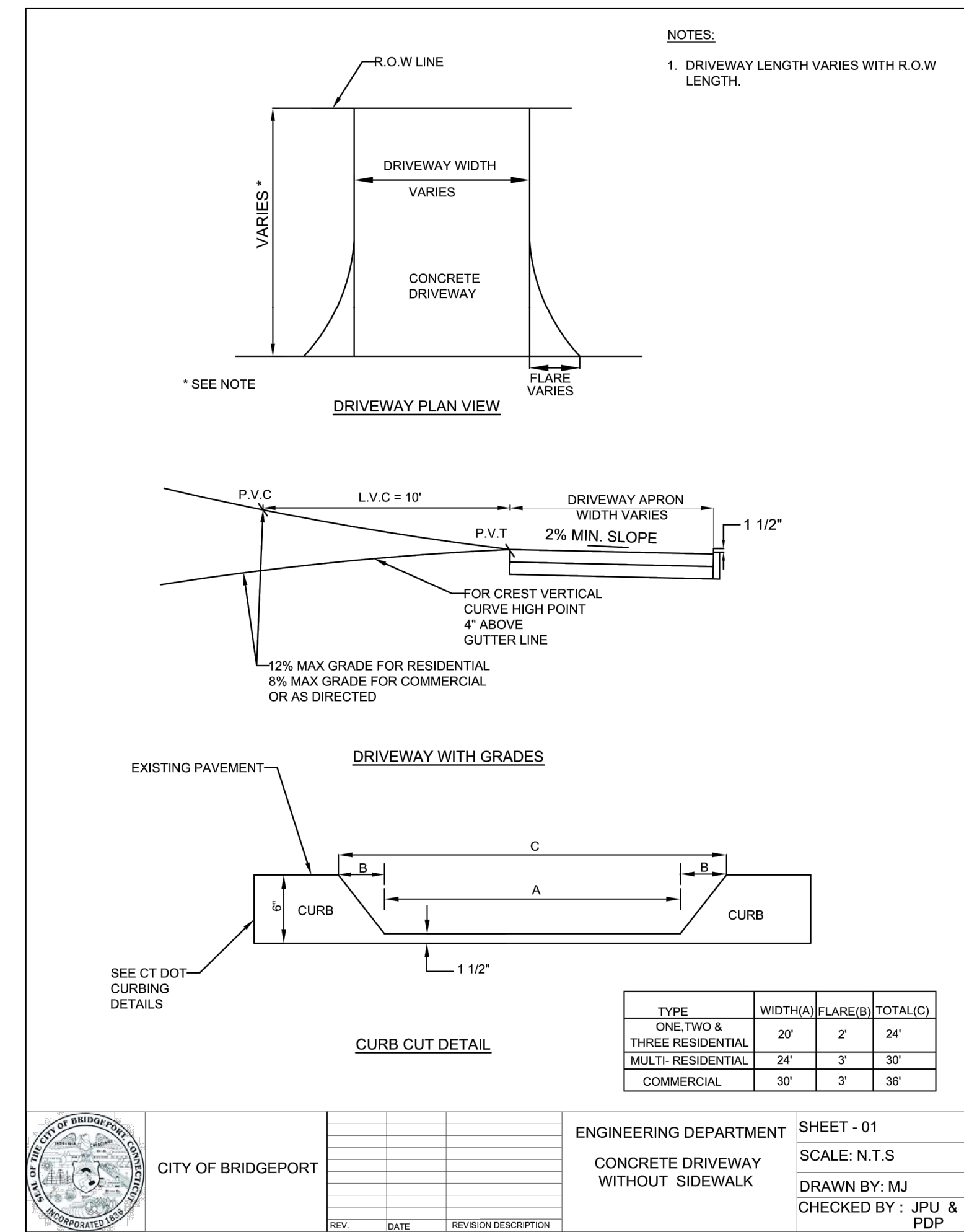
10 TYP. H.C. PARKING SIGN WITH BOLLARD & PAVEMENT MARKING SYMBOL  
NOT TO SCALE



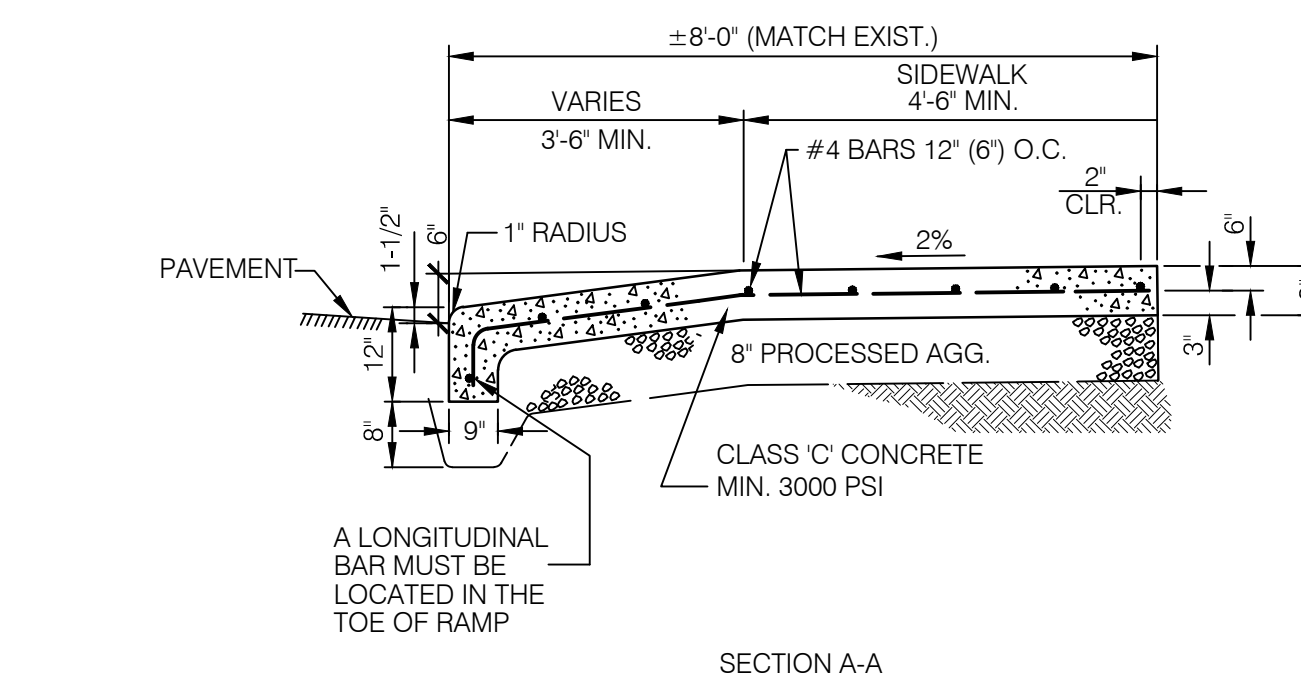
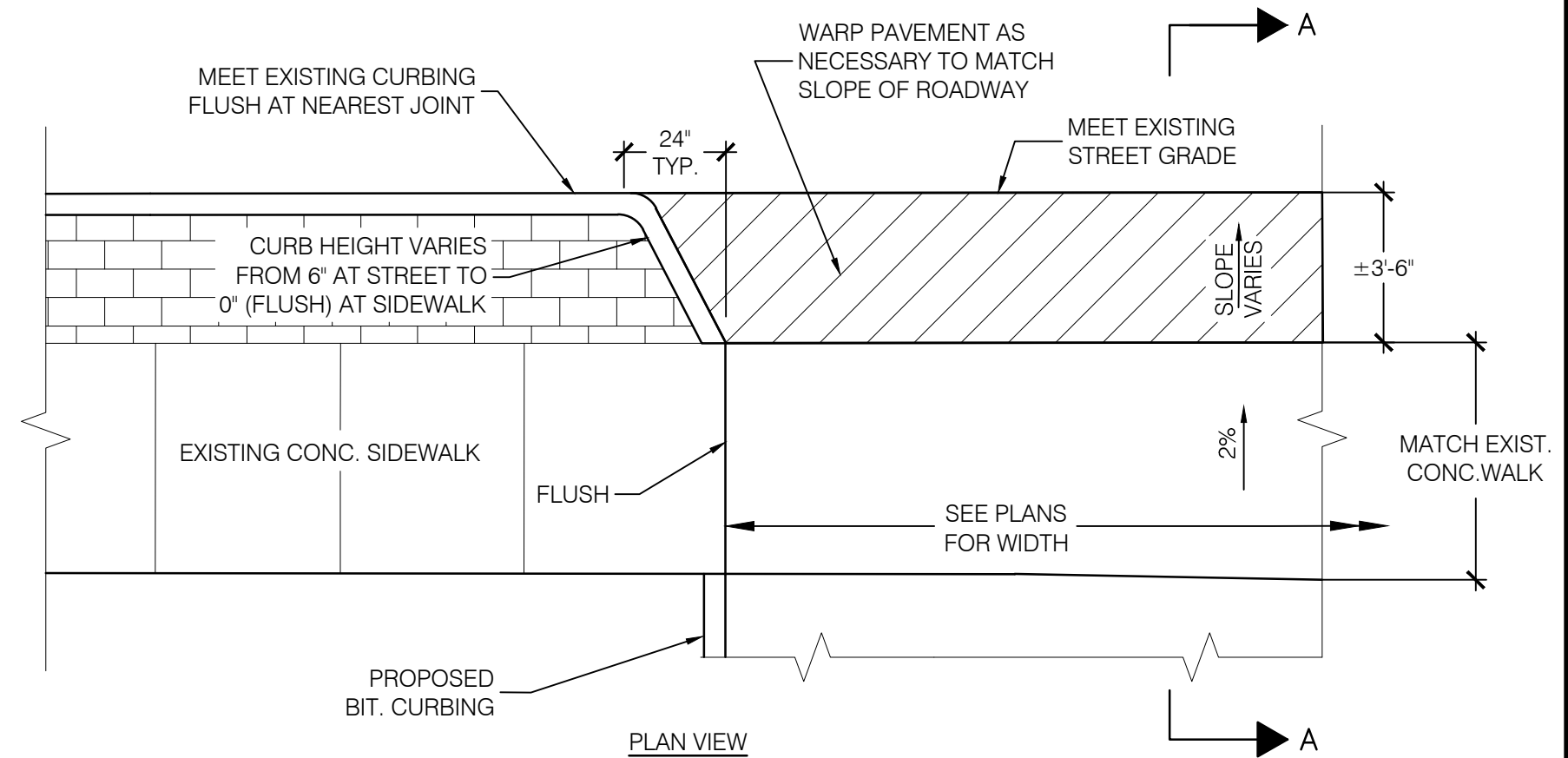
5 CONCRETE PAVEMENT (DUMPSTER PAD)  
SCALE: 1" = 1'-0"



11 CONCRETE TRAFFIC ISLAND (TYP. SECTION)  
SCALE: N.T.S.



12 TYPICAL CURB CUT DETAIL - CITY OF BRIDGEPORT  
SCALE: N.T.S.



13 CONCRETE DRIVEWAY ENTRANCE DETAIL W/ BRICK BAND  
SCALE: N.T.S.

SEAL:

CHRISTIAN A. DeANGELIS, PE

REVISIONS:

No.	DESC.	DATE
0	ZBA SUBMISSION	04-02-21

**PROPOSED SERVICE GARAGE**

- FOR PROPERTY LOCATED AT -  
1797, 1839 & 1849 MAIN STREET  
BRIDGEPORT, CT  
- PREPARED FOR -  
VIP GROUP, LLC  
1837 MAIN STREET, BRIDGEPORT, CT 06604

SHEET TITLE:

**TYPICAL SITE  
DETAILS**

PROJ. No.:

2020-22

DATE:

02 APRIL 2021

DWG. No.:

**C-4**

SHEET 4 OF 10

SCALE: AS NOTED

DESIGNED: CAD  
DRAWN BY: ARM  
CHECKED: CAD

Copyright © 2021 Cabezas-DeAngelis, LLC. All rights reserved. No part of these documents may be reproduced in any form or by any means without the written permission of Cabezas-DeAngelis, LLC.

SEAL:

CHRISTIAN A. DeANGELIS, PE

REVISIONS:

No.	DESC.	DATE
0	ZBA SUBMISSION	04-02-21

**PROPOSED SERVICE GARAGE**

- FOR PROPERTY LOCATED AT -  
1797, 1839 & 1849 MAIN STREET  
BRIDGEPORT, CT  
- PREPARED FOR -  
VIP GROUP, LLC  
1837 MAIN STREET, BRIDGEPORT, CT 06604

SHEET TITLE:

**TYPICAL DRAINAGE & UTILITY DETAILS**

PROJ. No.: 2020-22

DATE: 02 APRIL 2021

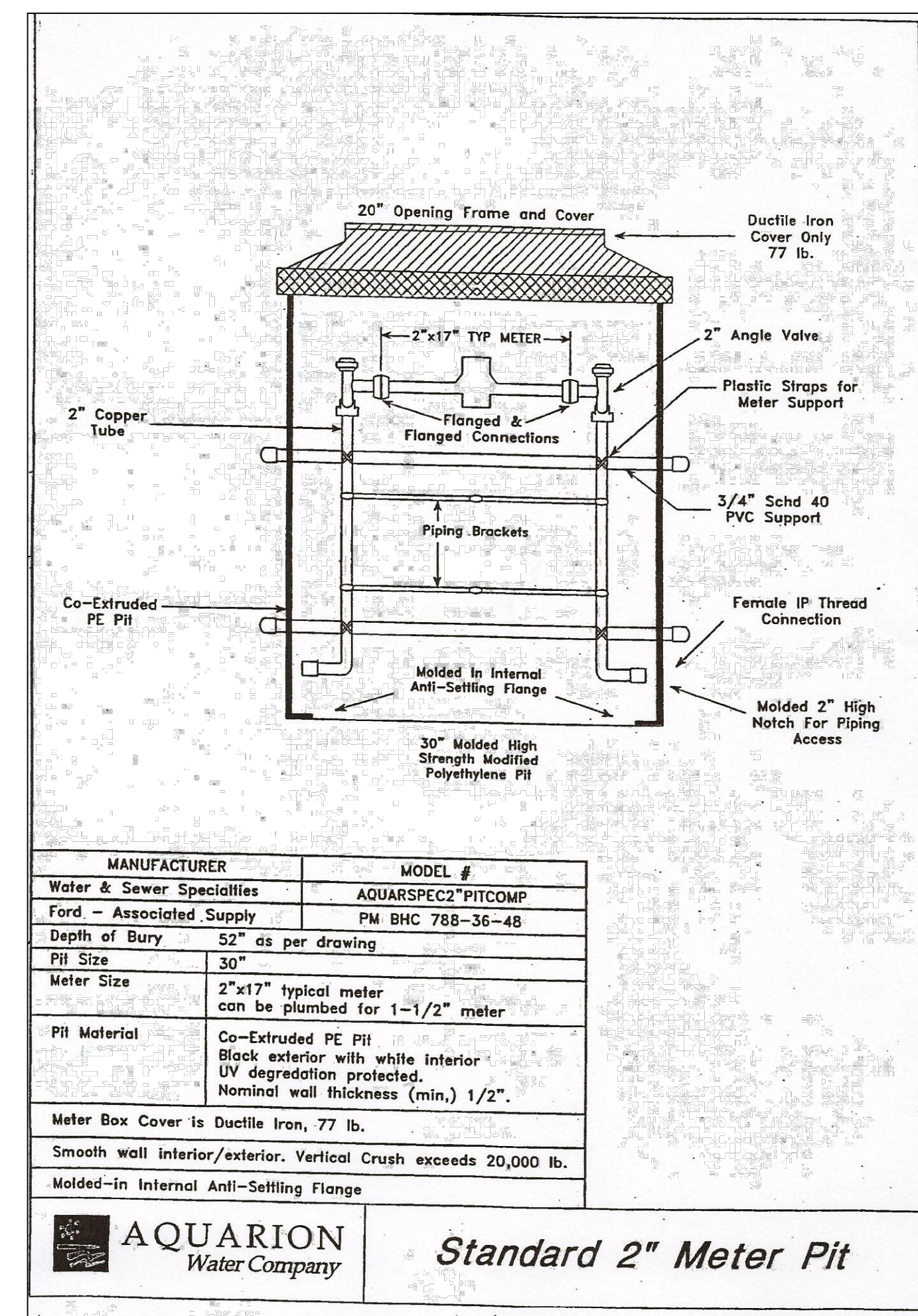
DWG. No.: C-5

SHEET 5 OF 10

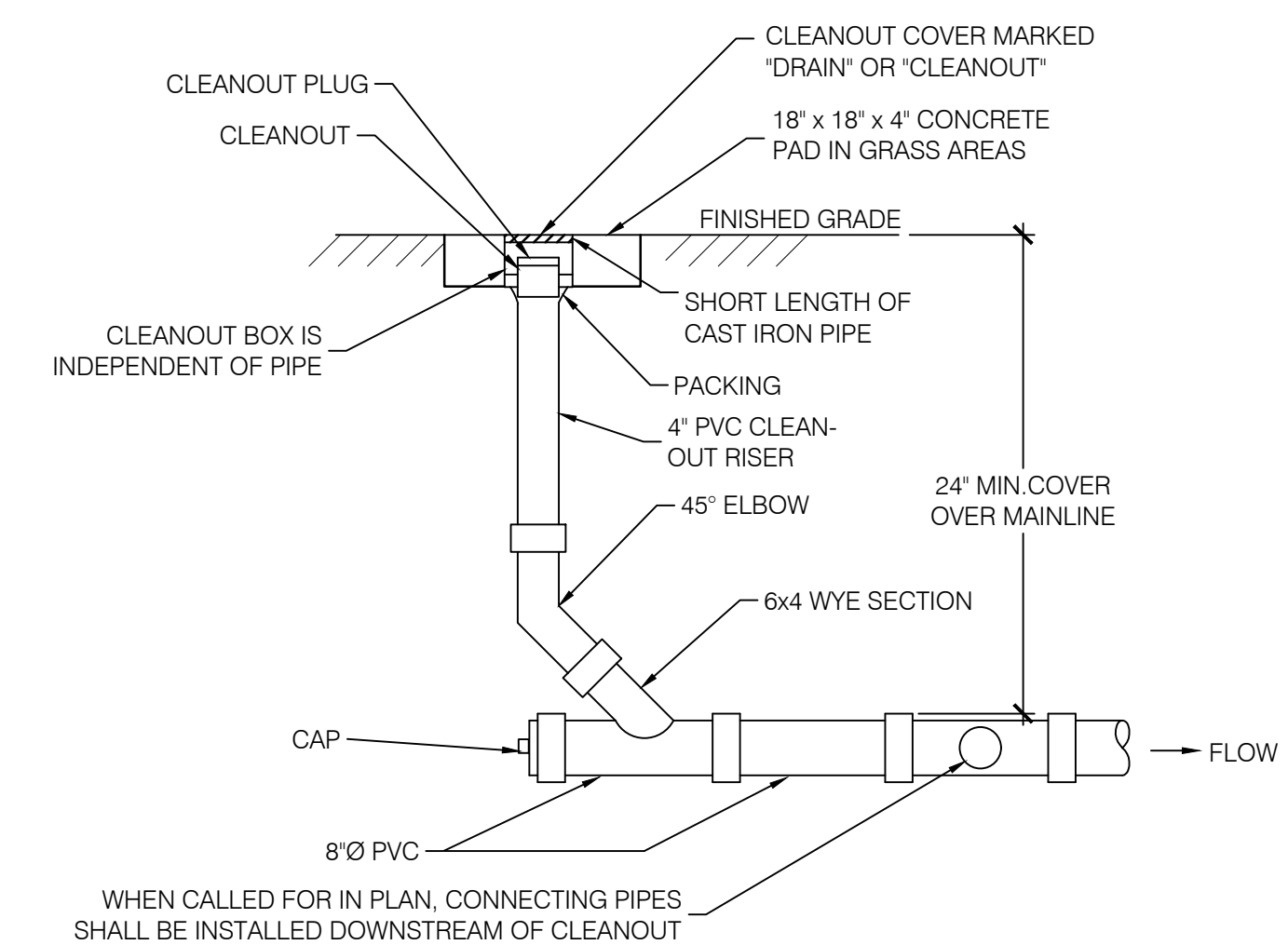
SCALE: AS NOTED

DESIGNED: CAD DRAWN BY: ARM CHECKED: CAD

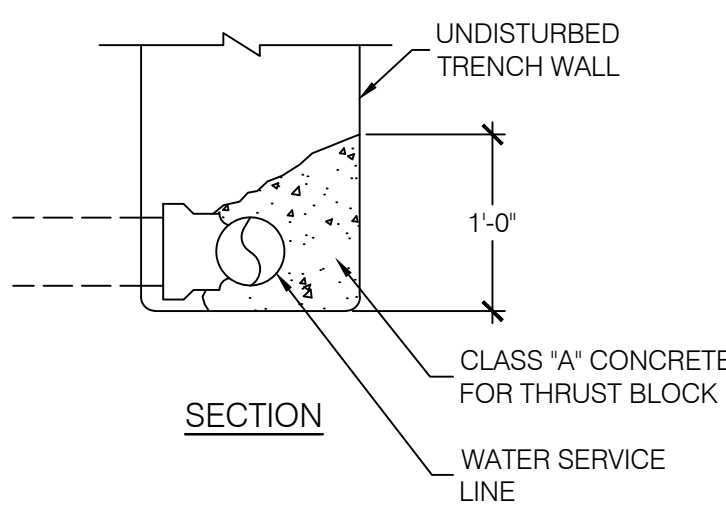
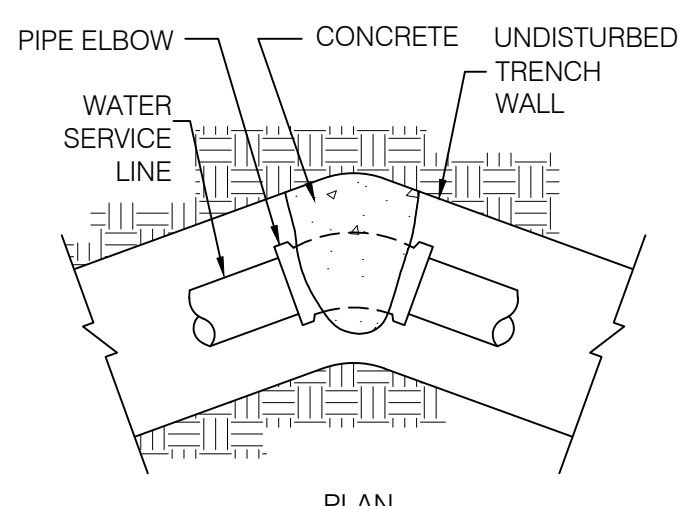
Copyright © 2021 Cabezas-DeAngelis, LLC. All rights reserved. No part of these documents may be reproduced in any form or by any means without the written permission of Cabezas-DeAngelis, LLC.



7 TYPICAL WATER METER PIT - AQUARION  
SCALE: N.T.S.



4 TYPICAL CLEANOUT  
SCALE: N.T.S.



5 TYPICAL THRUST BLOCK DETAIL  
SCALE: N.T.S.

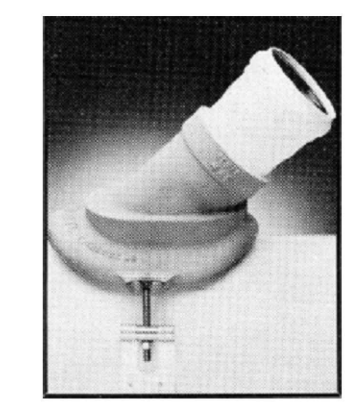
**SANITARY SEWER NOTES**

- SADDLE TO BE SEALTITE TYPE "E" MULTI-RANGE WYE SEWER SADDLE. (TO BE USED IF CONNECTION IS NOT FOUND)
- 6" PVC SEWER CONNECTION TO BE INSTALLED ON CRUSHED TO 3" ABOVE PIPE. FILTER FABRIC TO BE INSTALLED ON TOP SURFACE OF CRUSHED STONE.
- SERVICE LATERALS TO CROSS SANITARY LINE. VERIFY ELEVATIONS AT CROSSINGS WITH TEST PITS.

**NOTE**

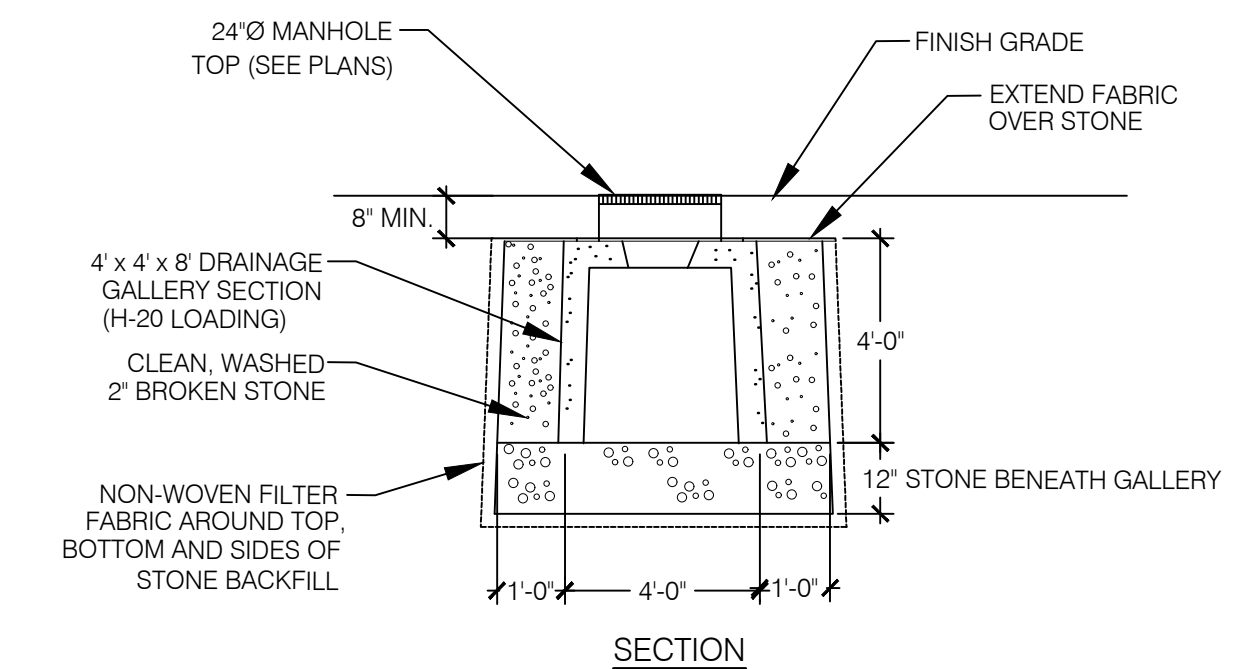
- PIPE TO BE BEDDED IN CRUSHED STONE.

**SEALTITE TYPE "E" MULTI-RANGE WYE SEWER SADDLE. VARIOUS CONTOURS TO FIT 6.00" THROUGH 30.00" O.D. GRAVITY SEWER MAINS**

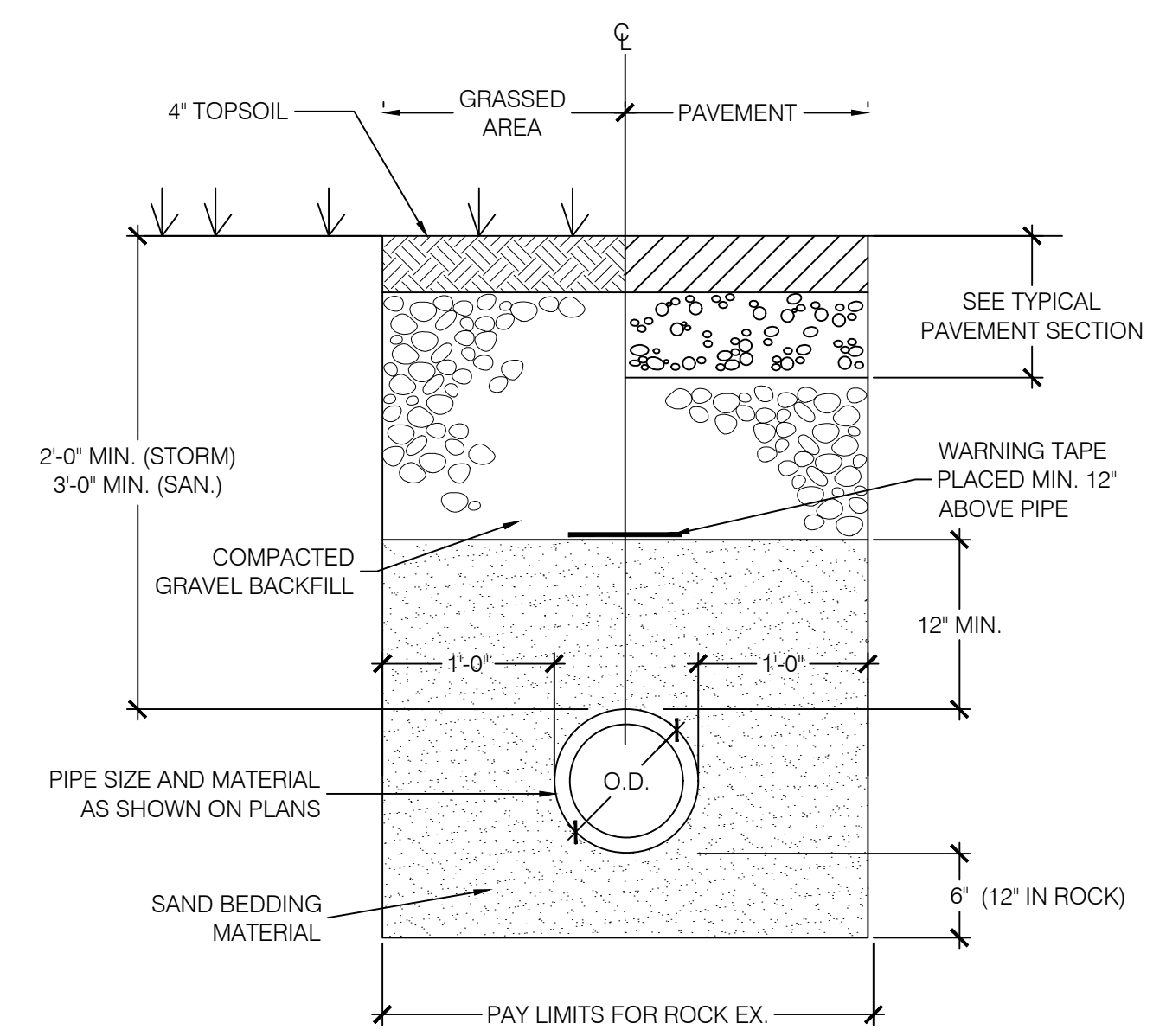


- Models Available:**
- EH 4" & 6" Gasketed Bell to accept SDR-35
  - E40P 4" & 6" Solvent Weld PVC Hub to accept SCH 40
  - ES 4" & 6" Spigot Cam Connect Any Lateral with Proper FERROCO Coupling
  - EA 4" & 6" Spigot of SDR 35-PVC
  - EEX 4" & 6" Hub to accept Extra Heavy CI (Gasket Included)
  - ESV 4" & 6" Hub to accept Service Weight CI (Gasket Included)
  - E40 4" & 6" Gasketed Bell to accept SCH 40
  - E40A 4" & 6" Spigot - SCH 40 PVC O.D.
  - E90A 4" & 6" Spigot - C900 O.D.
  - E90P 4" & 6" Solvent Weld PVC Hub to accept C900

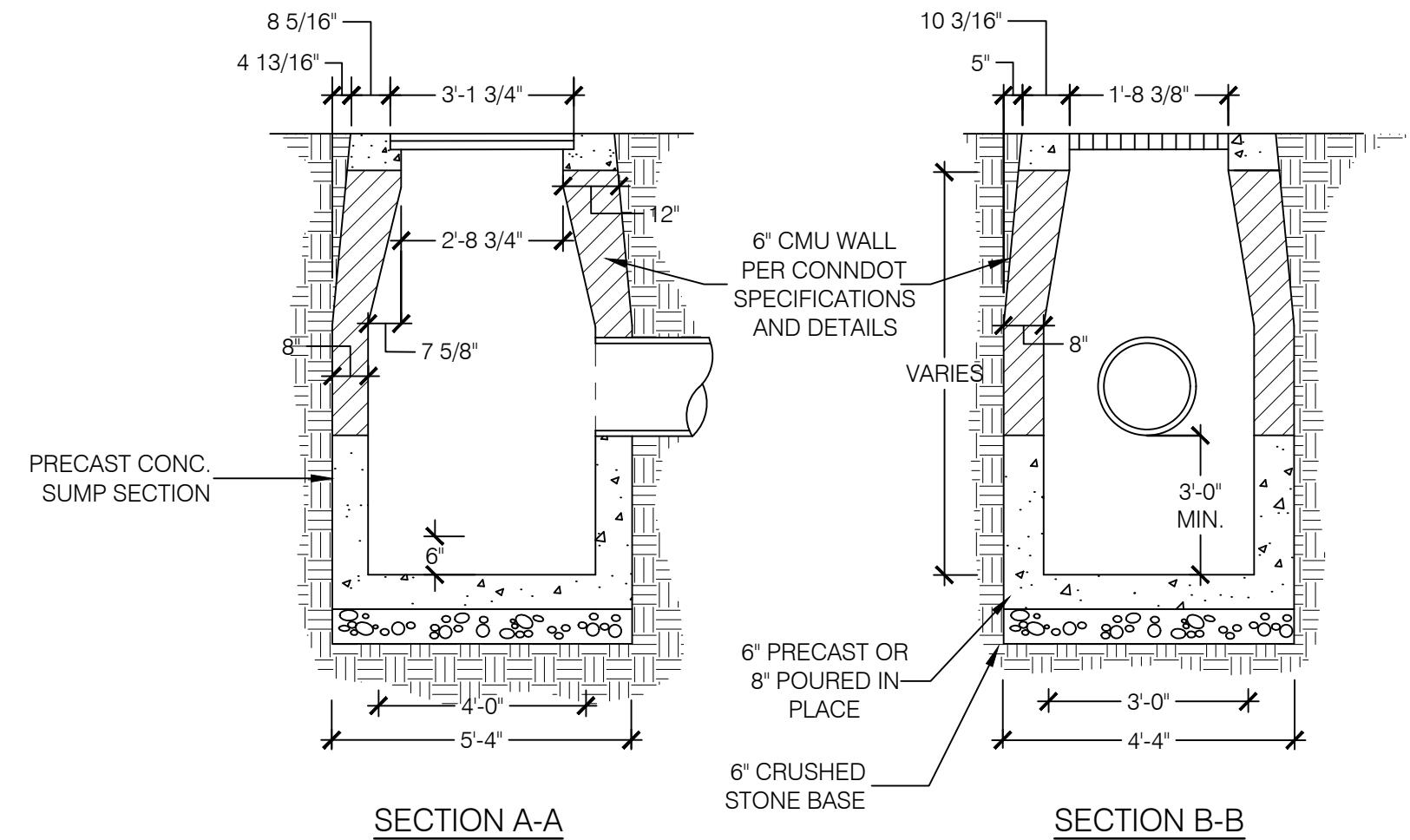
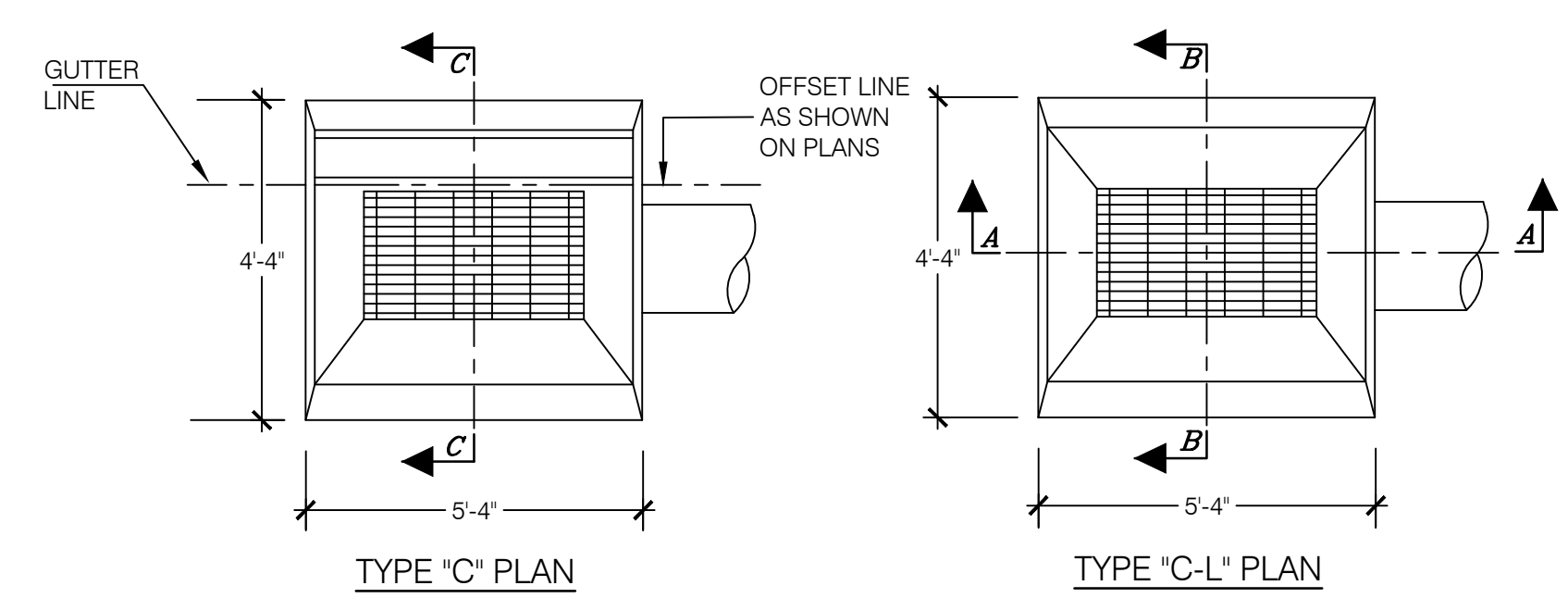
6 TYP. PVC SANITARY LATERAL CONNECTION TO EXISTING SANITARY SEWER  
SCALE: N.T.S.



1 4' X 4' X 8' GALLERIES (TYP. SECTION)  
SCALE: N.T.S.

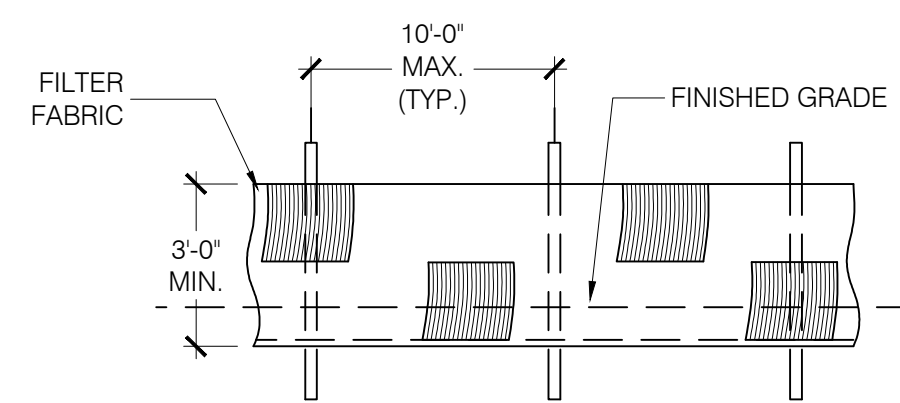


2 TYPICAL TRENCH SECTION (PVC OR HDPE PIPE)  
SCALE: 1" = 1'-0"

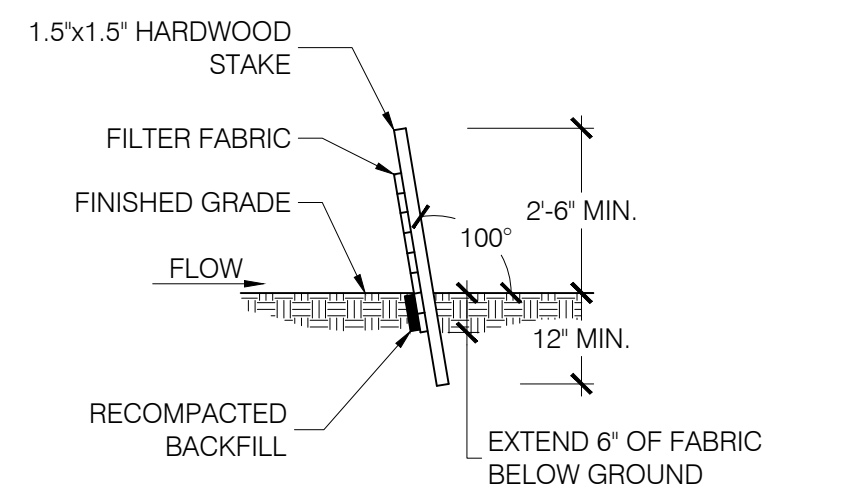


3 TYPICAL CATCH BASIN - TYPE "C" OR "C-L"  
SCALE: N.T.S.



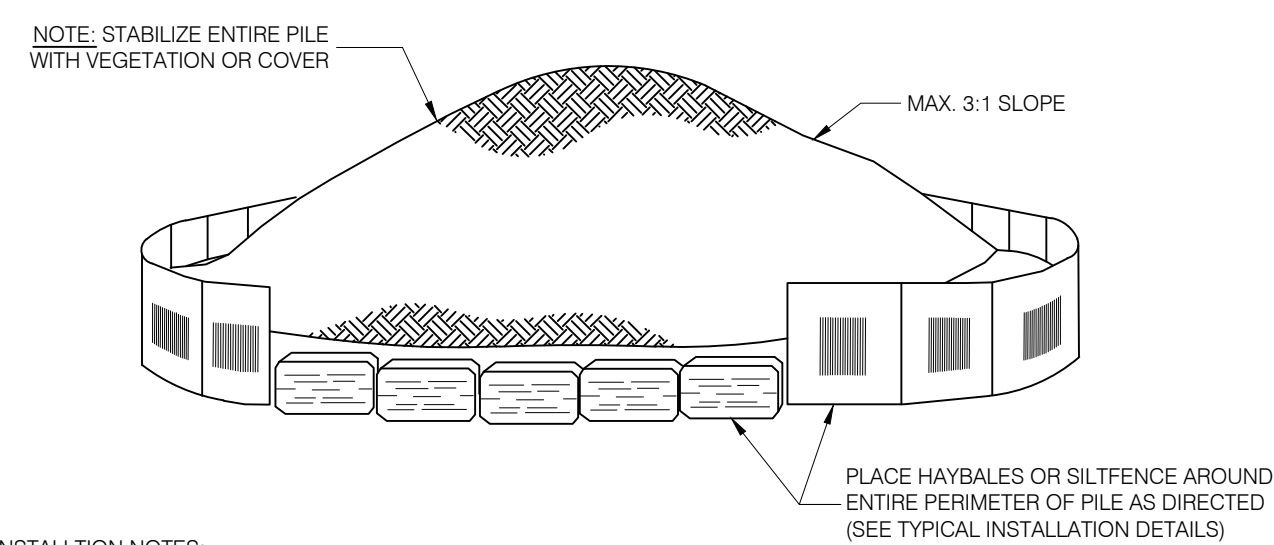


ELEVATION



SECTION

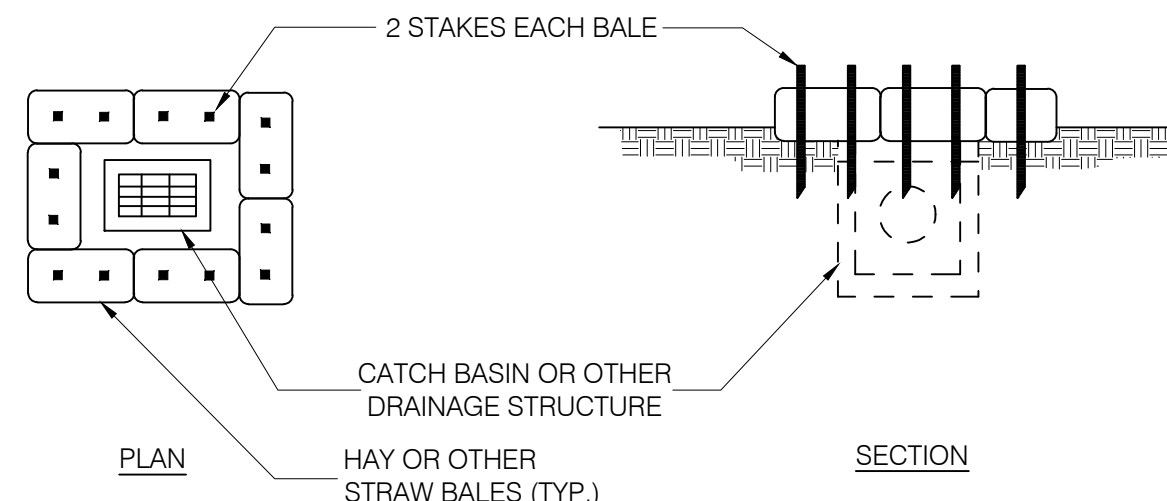
1 SILT FENCE DETAIL  
SCALE: N.T.S.



INSTALLATION NOTES:

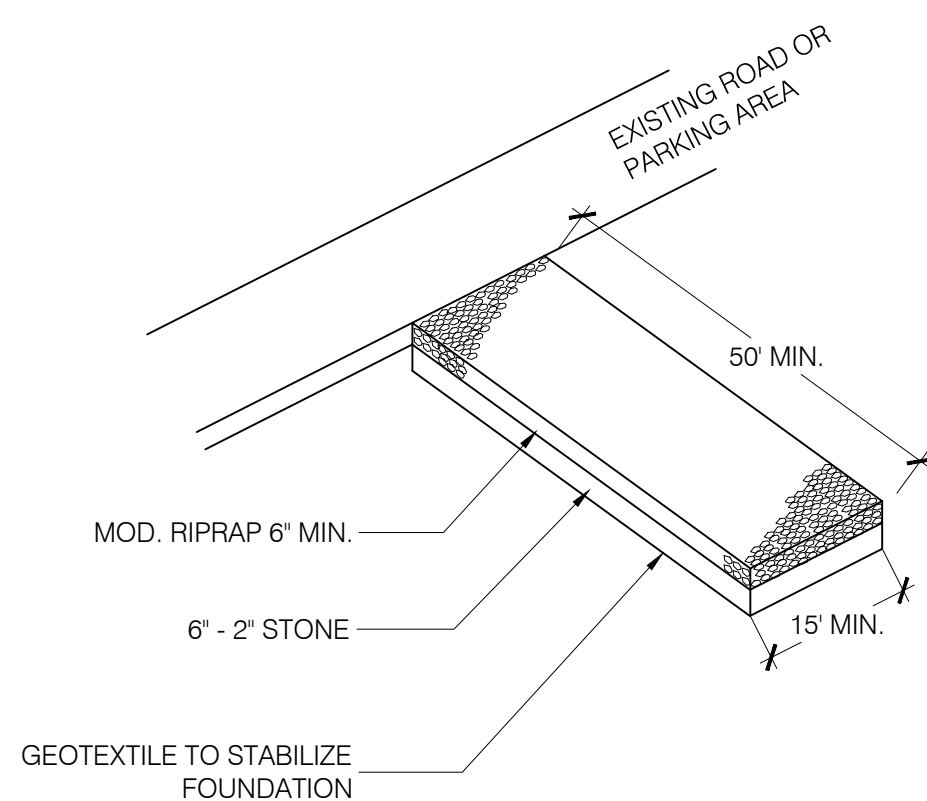
1. AREA CHOSEN FOR STOCKPILE OPERATION SHALL BE DRY AND STABLE.
2. THE GROUND SURFACE SHALL SLOPE AWAY FROM THE STOCK PILE.
3. IF NECESSARY, PLACE TARP OR IMPERVIOUS MATERIAL BENEATH STOCKPILE TO PREVENT MIXING OF SOIL.
4. COVER STOCKPILE WITH FABRIC OR VEGETATION AS DIRECTED.
5. MAX. SLOPE OF STOCKPILE SHALL BE 3:1 (H:V) UNLESS OTHERWISE APPROVED.

3 TEMPORARY SOIL STOCKPILE  
SCALE: N.T.S.

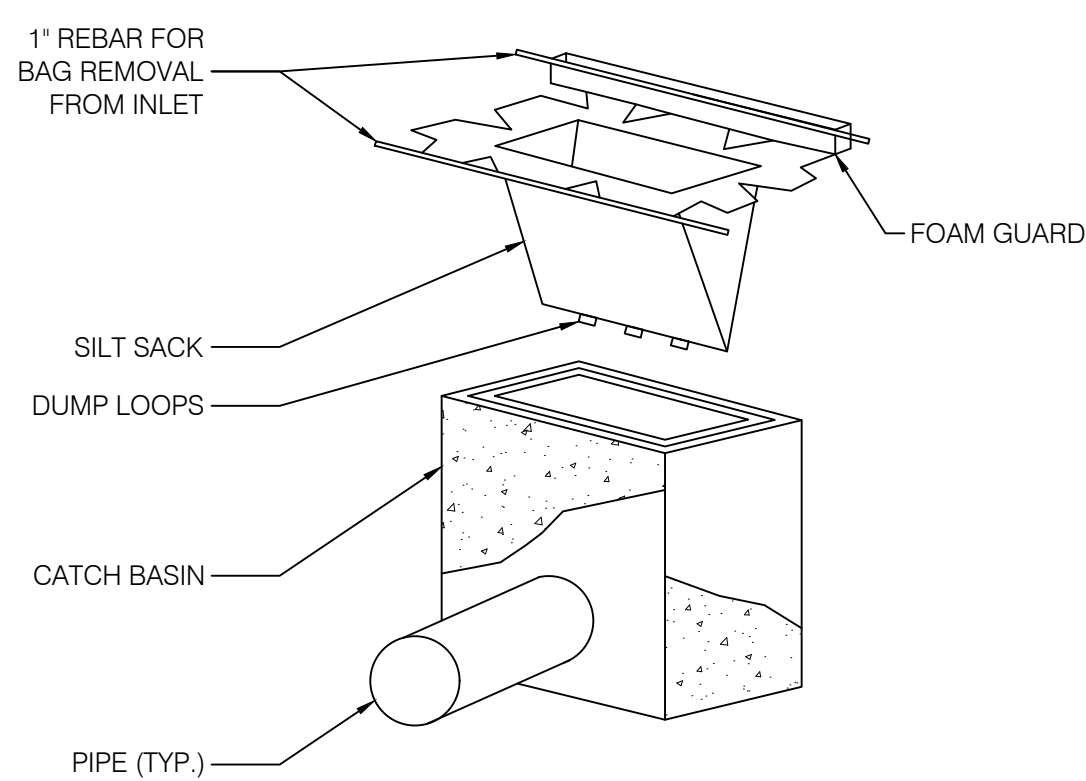


NOTE:  
ALL EXISTING OR PROPOSED CATCH BASINS IN AREAS DISTURBED BY CONSTRUCTION SHALL BE PROTECTED BY SEDIMENTATION CONTROLS.

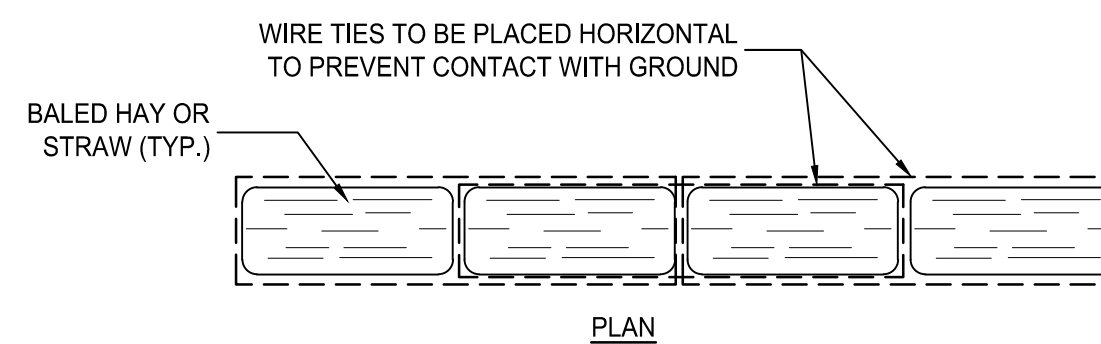
5 HAY BALE DETAIL- CATCH BASIN IN A DEPRESSION - TYPE 'C'  
SCALE: N.T.S.



2 ANTI-TRACKING PAD DETAIL  
SCALE: N.T.S.



4 SILT SACK™ CATCH BASIN INSERT  
SCALE: N.T.S.



NOTE: TO BE USED FOR HAY BALES LOCATED ON CONCRETE OR ASPHALT SURFACES.

6 HAY BALE DETAIL - IMPERVIOUS SURFACE  
SCALE: N.T.S.

SEDIMENT AND EROSION CONTROL NARRATIVE

THE INTENT OF THIS EROSION AND SEDIMENT CONTROL PLAN IS TO COLLECT SEDIMENT IN RUN-OFF DURING EARTH WORK OPERATIONS BEFORE CONSTRUCTION AREAS MAY BE STABILIZED. THE MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED WHERE SHOWN ON THE PLANS AND AS DIRECTED BY THE ENGINEER OR CITY REPRESENTATIVE. SILTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE "2002 CT DEP GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE CONSTRUCTION OF A PROPOSED CAR SERVICE GARAGE.

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL AND MAINTAIN THE EROSION CONTROL MEASURES DURING THE CONSTRUCTION PERIOD. WHEN CONSTRUCTION IS COMPLETE, IT WILL BE THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM TO ENSURE EFFICIENT OPERATION AND REMOVAL OF SEDIMENT. CONSTRUCTION IS SCHEDULED TO BEGIN IN THE SPRING OF 2021 AND END FALL OF 2021.

SEDIMENT AND EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL ASSIGN A PERSON OR PERSONS WHO WILL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN AND DESCRIBED HEREIN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL METHODS AND INFORMING ALL PARTIES ENGAGED IN THE CONSTRUCTION OF THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, AND NOTIFYING THE PLANNING AND ZONING OFFICER OF ANY TRANSFER OF THIS RESPONSIBILITY.
2. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE AND SHALL CONSIST OF: ANTI-TRACKING PAD, HAYBALES, SILT FENCE, MULCH, AND TEMPORARY SEEDING. MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. CLEAN OUT OF THE OIL/WATER SEPARATOR, CATCH BASIN SUMPS AND CULVERTS SHALL OCCUR ON A REGULAR BASIS DURING THE CONSTRUCTION PERIOD. THE ACCUMULATED SEDIMENT SHALL BE DISPOSED OF TO A LOCATION APPROVED BY THE ENGINEER OR CITY REPRESENTATIVE.
4. THE EROSION CONTROL FEATURES SHALL BE CHECKED DAILY AND AFTER EACH SEVERE RAIN STORM FOR DAMAGE. UNTIL SUCH FEATURES ARE, IN THE OPINION OF THE ENGINEER, NO LONGER NEEDED, ALL SEDIMENTATION SYSTEMS SHALL HAVE THE ACCUMULATED SEDIMENT REMOVED BEFORE IT SIGNIFICANTLY REDUCES THEIR STORAGE VOLUME OR FUNCTION PRIOR TO THE NEXT RAIN STORM FORECAST FOR THE REGION.
5. THE CONTRACTOR SHALL HAVE ON HAND AT ALL TIMES THE NECESSARY MATERIALS AND EQUIPMENT TO PROVIDE FOR EARLY MEASURES TO CONTROL EROSION AND SEDIMENT LOSS. THE CONTRACTOR SHALL CEASE ANY OF HIS OPERATIONS WHICH WILL INCREASE EROSION OR SEDIMENT LOSS DURING RAIN STORMS.
6. ALL SLOPES OF STOCKPILED MATERIAL AND OTHER DISTURBED AREAS SHALL BE STABILIZED AND PROTECTED BY SURROUNDING WITH HAYBALES, AS SHOWN ON THE PLANS. ALL DAMAGED AREAS SHALL BE REPAIRED AS SOON AS POSSIBLE. THE CONTRACTOR SHALL RESPOND TO MAINTENANCE OR ADDITIONAL MEASURES ORDERED BY THE ENGINEER OR THE CITY REPRESENTATIVE WITHIN 24 HOURS.
7. THE CONTRACTOR SHALL PERFORM DUST CONTROL ON A DAILY BASIS DURING PERIODS OF DRY WEATHER, ON ALL AREAS WHERE SOIL HAS NOT YET BEEN STABILIZED AND AS DIRECTED BY THE ENGINEER.
8. AT THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES, WHEN ALL DISTURBED AREAS ARE STABILIZED WITH NEW TURF, PAVEMENT, ETC., THE CONTRACTOR SHALL COMPLETELY REMOVE ALL SEDIMENTATION AND EROSION CONTROL MEASURES FROM THE SITE, UNLESS SPECIFICALLY ORDERED BY THE ENGINEER TO REMAIN IN PLACE.

SEDIMENT AND EROSION CONTROL MEASURES

MULCHES SHALL BE HAY, STRAW, WOOD CELLULOSE, WOOD CHIPS, STONE, NETTING, BURLAP OR OTHER SUITABLE MULCH MATERIAL AS APPROVED BY THE ENGINEER. MULCHES SHALL BE REASONABLY CLEAN AND FREE OF NOXIOUS WEEDS AND DELETERIOUS MATERIALS. ASPHALT SPRAYS WILL NOT BE ALLOWED. THE CONTRACTOR SHALL PREVENT STRAW, WOOD CHIPS, ETC., FROM ENTERING ANY WATERCOURSE.

HAY BALES SHALL BE PLACED AROUND ALL EXISTING DRAINAGE INLETS OR AS DIRECTED BY THE ENGINEER. THEY SHALL BE HELD IN PLACE BY TWO WOODEN STAKES IN EACH BALE. BALES SHALL BE MAINTAINED OR REPLACED AS ORDERED BY THE ENGINEER UNTIL THEY ARE NO LONGER NECESSARY FOR THE PURPOSE INTENDED OR ARE ORDERED REMOVED BY THE ENGINEER. HAY BALES SHALL BE MADE OF HAY WITH 40 POUNDS MINIMUM WEIGHT AND 120 POUNDS MAXIMUM WEIGHT. WOOD STAKES SHALL BE A MINIMUM OF 1 INCH BY 1 INCH NOMINAL SIZE BY A MINIMUM OF 3 FEET LONG.

SILT FENCE SHALL CONSIST OF 3-FOOT WIDE GEOSYNTHETIC FABRIC WITH PREFABRICATED WOOD POSTS AS MANUFACTURED BY "MIRAFI" OR EQUAL. THE BOTTOM SIX INCHES OF FABRIC SHALL BE BURIED BY EITHER TRENCHING OR BY LAYING THE SIX INCH SECTION HORIZONTALLY ON THE GROUND AND BURYING BY RAMPING THE TOPSOIL UP TO THE CONTROL FENCE.

- MINIMUM LENGTH OF SILT FENCE IS 15 L.F.
- MAXIMUM POST SPACING IS 10 L.F.
- JOINTS IN FILTER FABRIC SHALL BE ONLY AT SUPPORT POSTS WITH MINIMUM 6" OVERLAP, SECURELY SEALED.
- SILT FENCE SHALL NOT BE USED IN A WATER COURSE
- FABRIC SUSCEPTIBLE TO SUNLIGHT DAMAGE SHALL NOT BE USED IN ANY INSTALLATIONS WHERE EXPOSURE TO LIGHT WILL EXCEED 30 DAYS, UNLESS SPECIFICALLY AUTHORIZED IN WRITING BY THE ENGINEER.

TEMPORARY GRASS SEED SHALL BE PERENNIAL RYE-GRASS (LOLIUM PERENNE) OR AN IMPROVED VARIETY THEREOF, SUCH AS MANHATTAN, HAVING A MINIMUM PURITY OF 98 PERCENT AND A MINIMUM GERMINATION OF 90 PERCENT. THE SEEDING MAY BE ALTERED BY THE ENGINEER IF REQUESTED BY THE CONTRACTOR TO SUIT SPECIAL AREAS OR CONDITIONS.

CONSTRUCTION SEQUENCE

	ESTIMATED TIME FRAME
1. INSTALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES	1 DAY
2. PROCEED WITH CLEARING OF THE SITE	3 WEEKS
3. INSTALL INTERIOR SEDIMENT AND EROSION CONTROL DEVICES.	1 DAY
4. CONSTRUCT BUILDING.	8 MONTHS
5. FORM AND COMPACT FINAL SUBGRADE. INSTALL DRAINAGE STRUCTURES AND OTHER BELOW-GRADE IMPROVEMENTS.	1 MONTH
6. INSTALL ABOVE-GRADE IMPROVEMENTS INSTALL BASE MATERIAL.	1 MONTH
7. COMPLETE PAVING OF PARKING LOT. INSTALL SIDEWALKS AND CURBS.	1 MONTH
8. COMPLETE FINAL GRADING/TOPSOIL & SEEDING: STABILIZE ALL GROUND SURFACES.	1 WEEK
9. PERFORM FINAL CLEAN-UP: REPAIR EXISTING EROSION CONTROL FEATURES	2 DAYS
	±12 MONTHS TOTAL

CONTACT PERSON

SITE ENGINEER:  
CHRIS DeANGELIS, PE  
203-330-8700

SEAL:

CHRISTIAN A. DeANGELIS, PE

REVISIONS:

No.	DESC.	DATE
0	ZBA SUBMISSION	04-02-21

PROPOSED SERVICE GARAGE

- FOR PROPERTY LOCATED AT -  
1797, 1839 & 1849 MAIN STREET  
BRIDGEPORT, CT  
- PREPARED FOR -  
VIP GROUP, LLC  
1837 MAIN STREET, BRIDGEPORT, CT 06604

SHEET TITLE:

SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

PROJ. No.: 2020-22

DATE: 02 APRIL 2021

DWG. No.: C-6

SHEET 6 OF 10

SCALE: AS NOTED

DESIGNED: CAD DRAWN BY: ARM CHECKED: CAD

Copyright © 2021 Cabezas-DeAngelis, LLC. All rights reserved. No part of these documents may be reproduced in any form or by any means without the written permission of Cabezas-DeAngelis, LLC.

SEAL:

CHRISTIAN A. DeANGELIS, PE

REVISIONS:

No.	DESC.	DATE
0	ZBA SUBMISSION	04-02-21

**PROPOSED SERVICE GARAGE**

- FOR PROPERTY LOCATED AT -  
1797, 1839 & 1849 MAIN STREET  
BRIDGEPORT, CT  
- PREPARED FOR -  
VIP GROUP, LLC  
1837 MAIN STREET, BRIDGEPORT, CT 06604

SHEET TITLE:

**RETAINING WALL PLAN & PROFILES**

PROJ. No.: 2020-22

DATE: 02 APRIL 2021

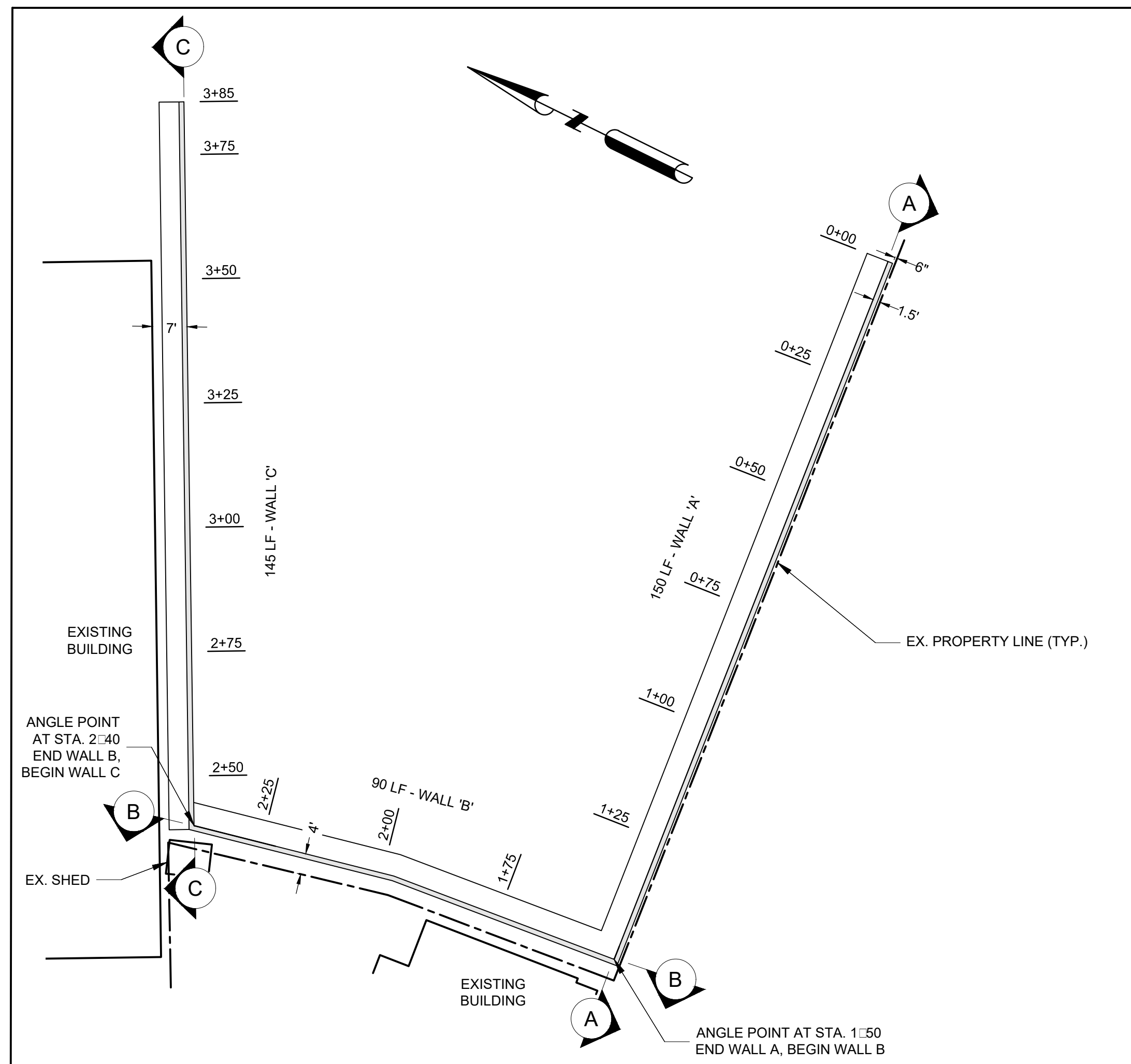
DWG. No.: C-7

SHEET 7 OF 10

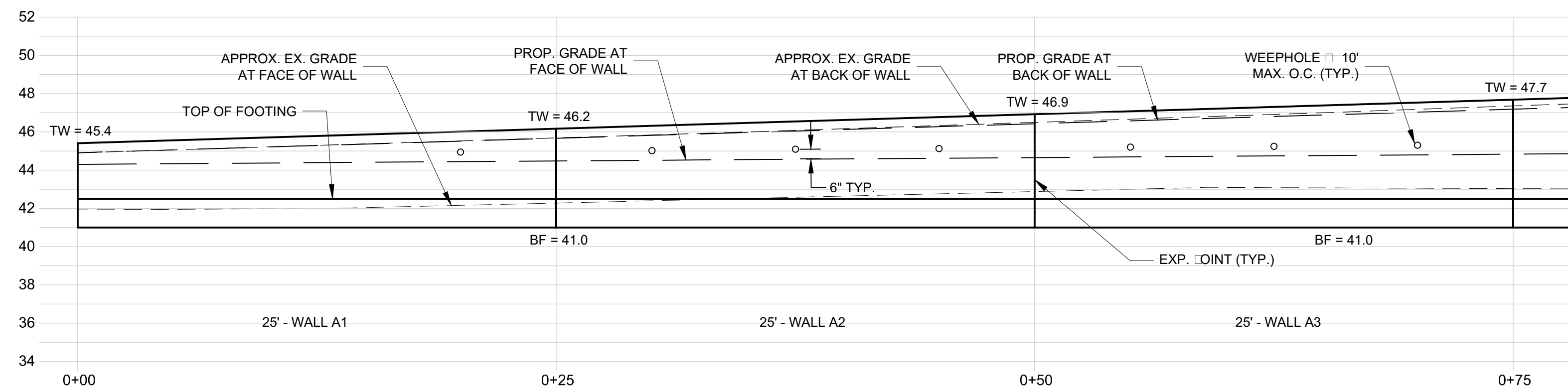
SCALE: AS NOTED

DESIGNED: CAD DRAWN BY: ARM CHECKED: CAD

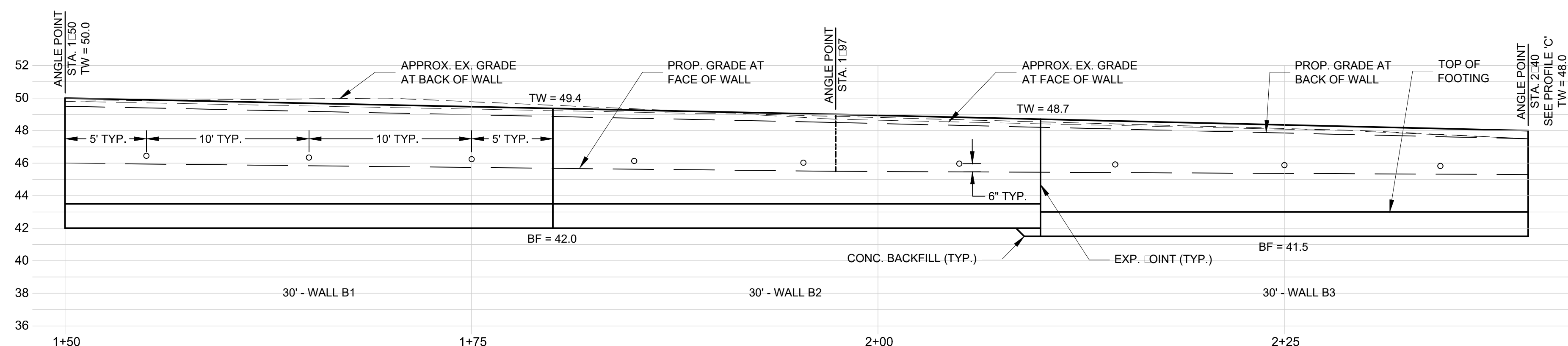
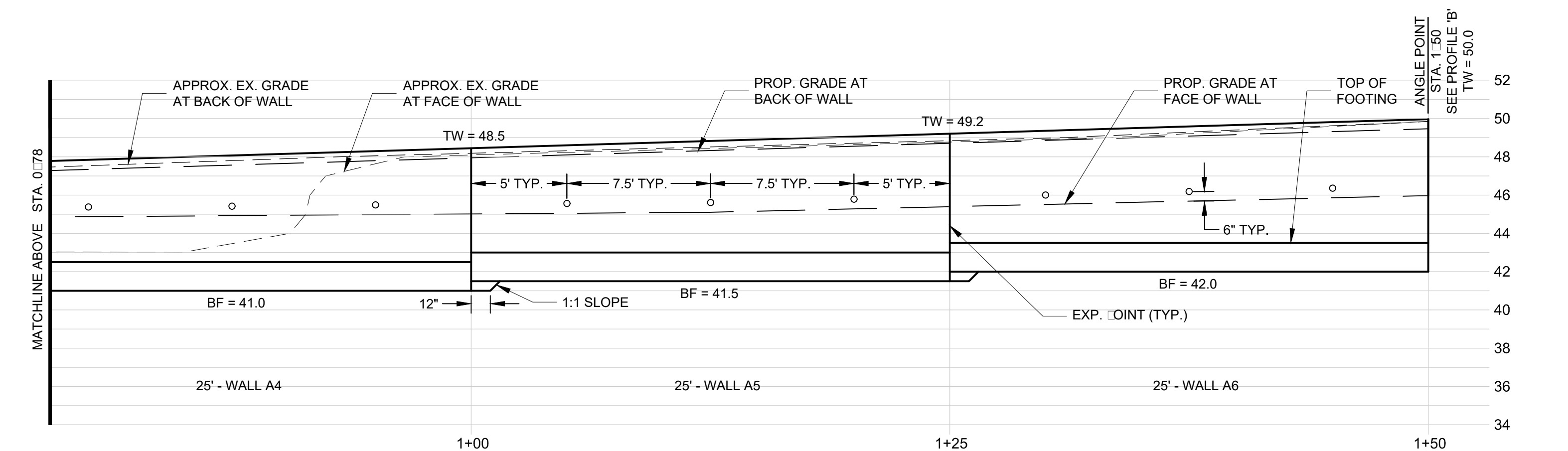
Copyright © 2021 Cabezas-DeAngelis, LLC. All rights reserved. No part of these documents may be reproduced in any form or by any means without the written permission of Cabezas-DeAngelis, LLC.



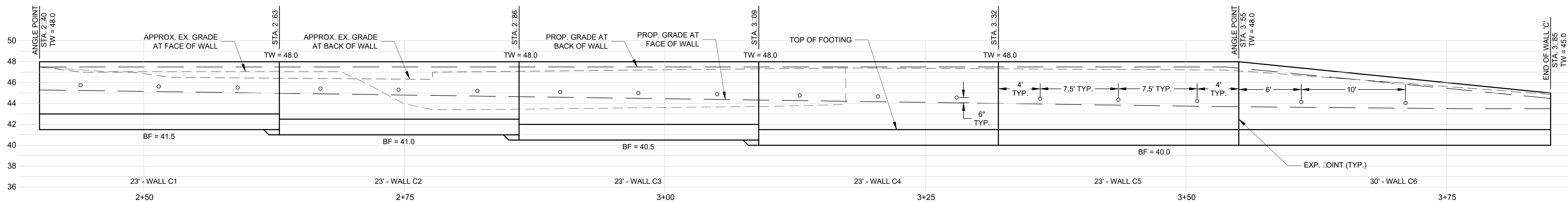
**RETAINING WALL LAYOUT (PLAN VIEW)**  
SCALE: 1" = 20'



**RETAINING WALL PROFILE A-A**  
SCALE: 1" = 5'



**RETAINING WALL PROFILE B-B**  
SCALE: 1" = 5'



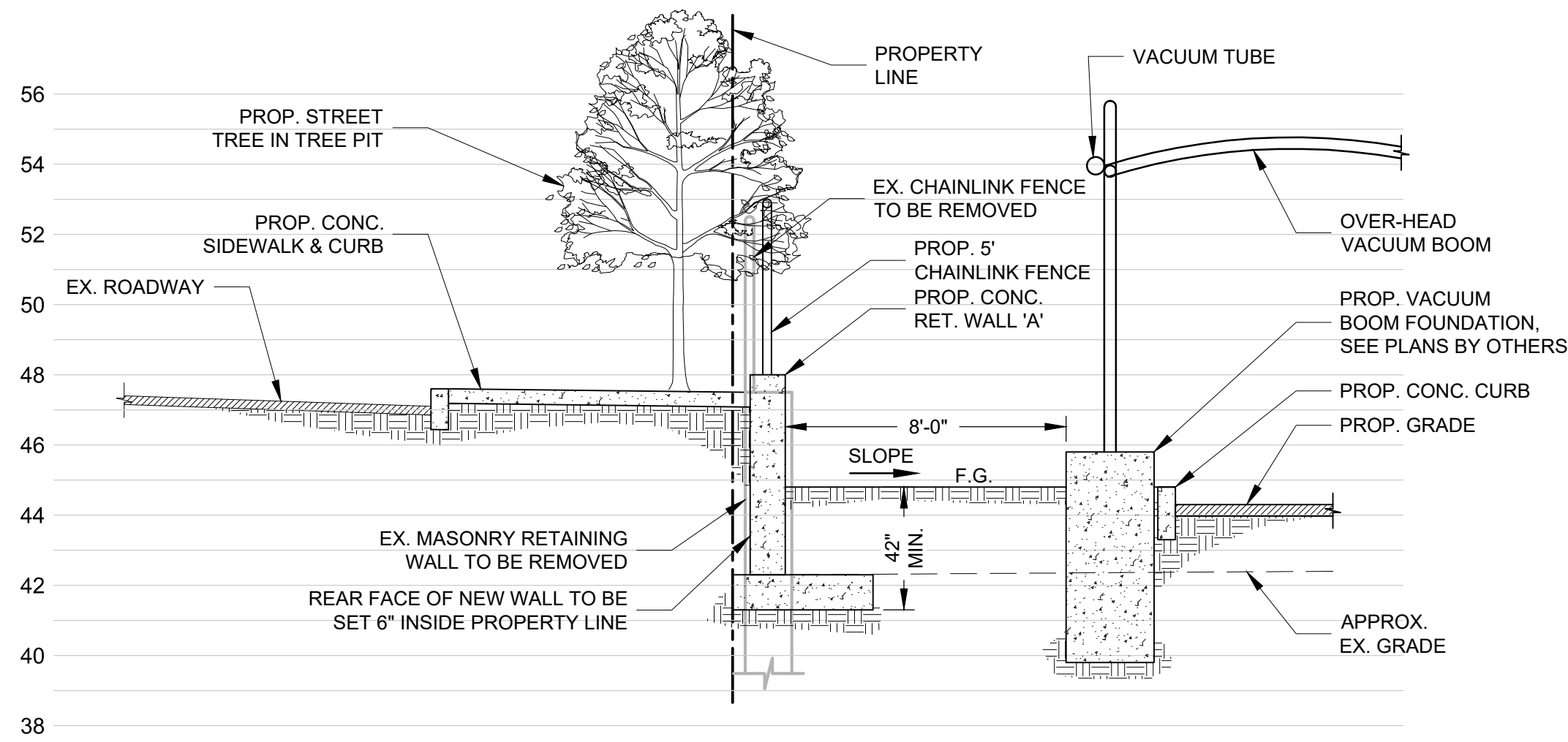
**RETAINING WALL PROFILE C-C**  
SCALE: 1" = 5'

SEAL:

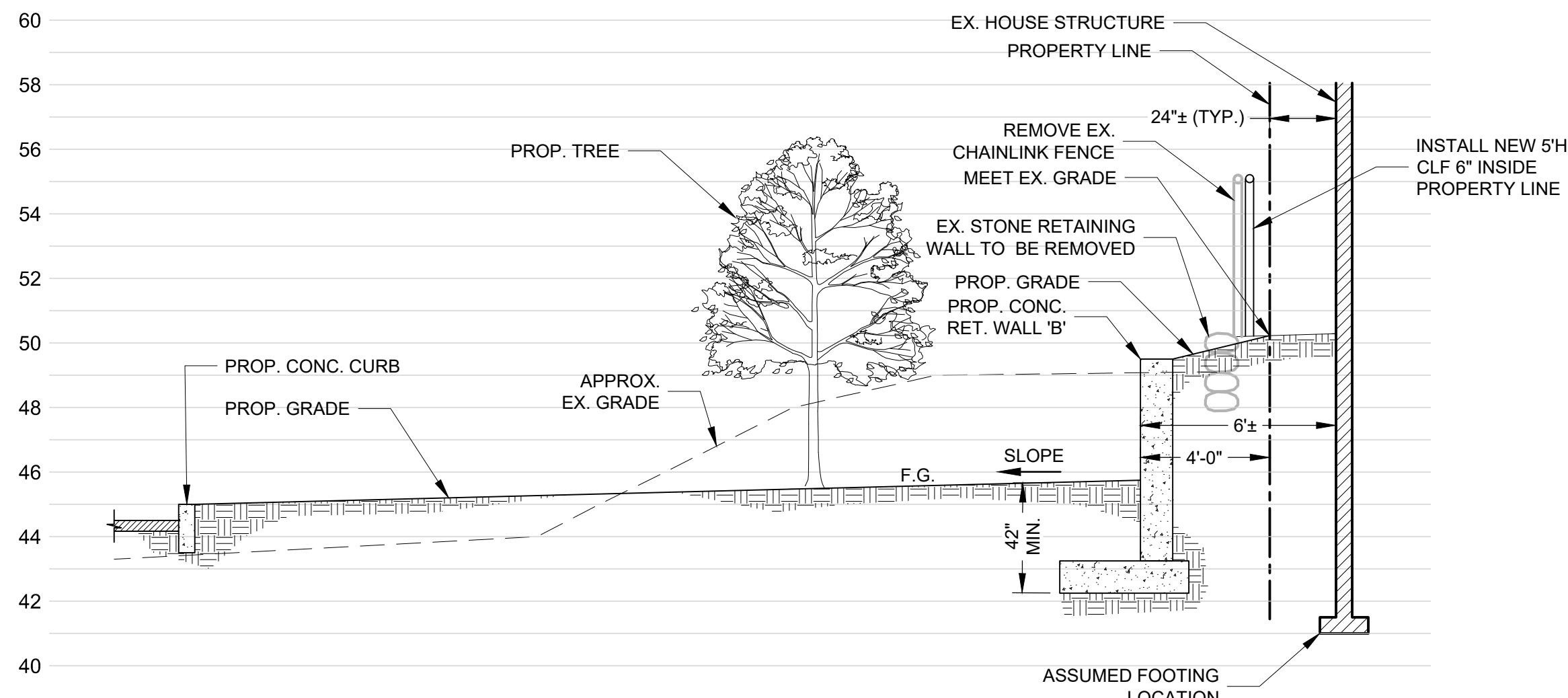
CHRISTIAN A. DeANGELIS, PE

REVISIONS:

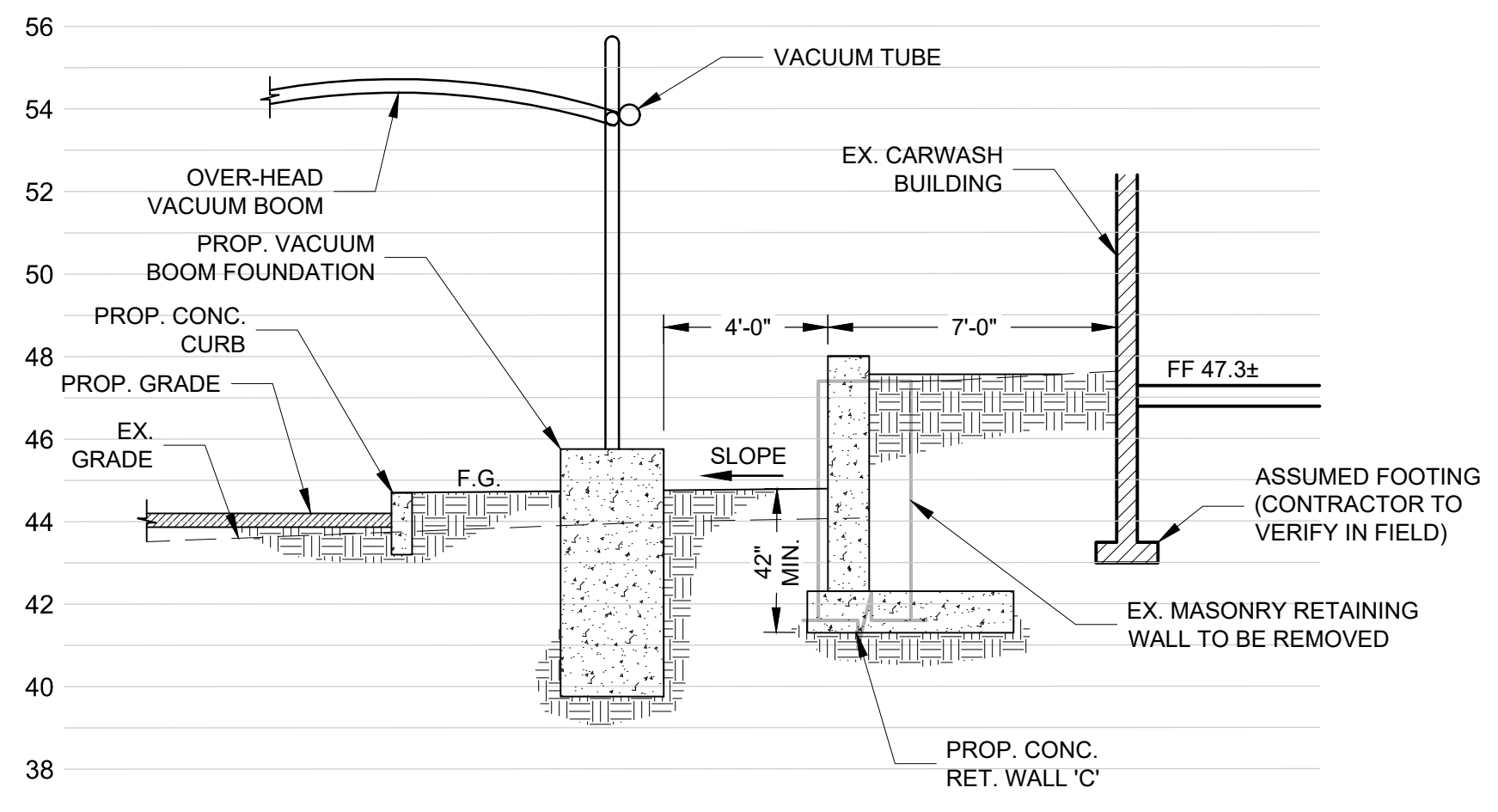
No.	DESC.	DATE
0	ZBA SUBMISSION	04-02-21



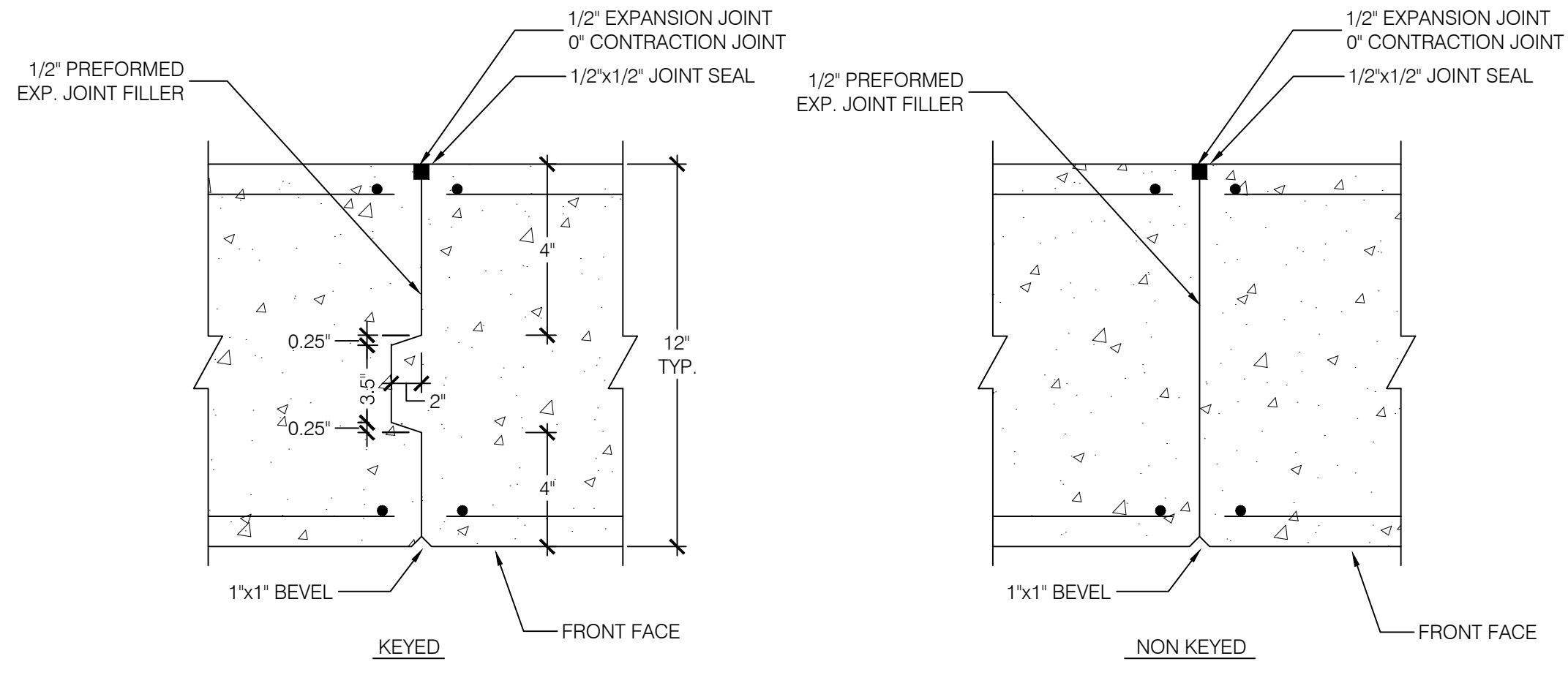
1 RETAINING WALL 'A' SECTION  
SCALE: 1" = 4'-0"



2 RETAINING WALL 'B' SECTION  
SCALE: 1" = 4'-0"

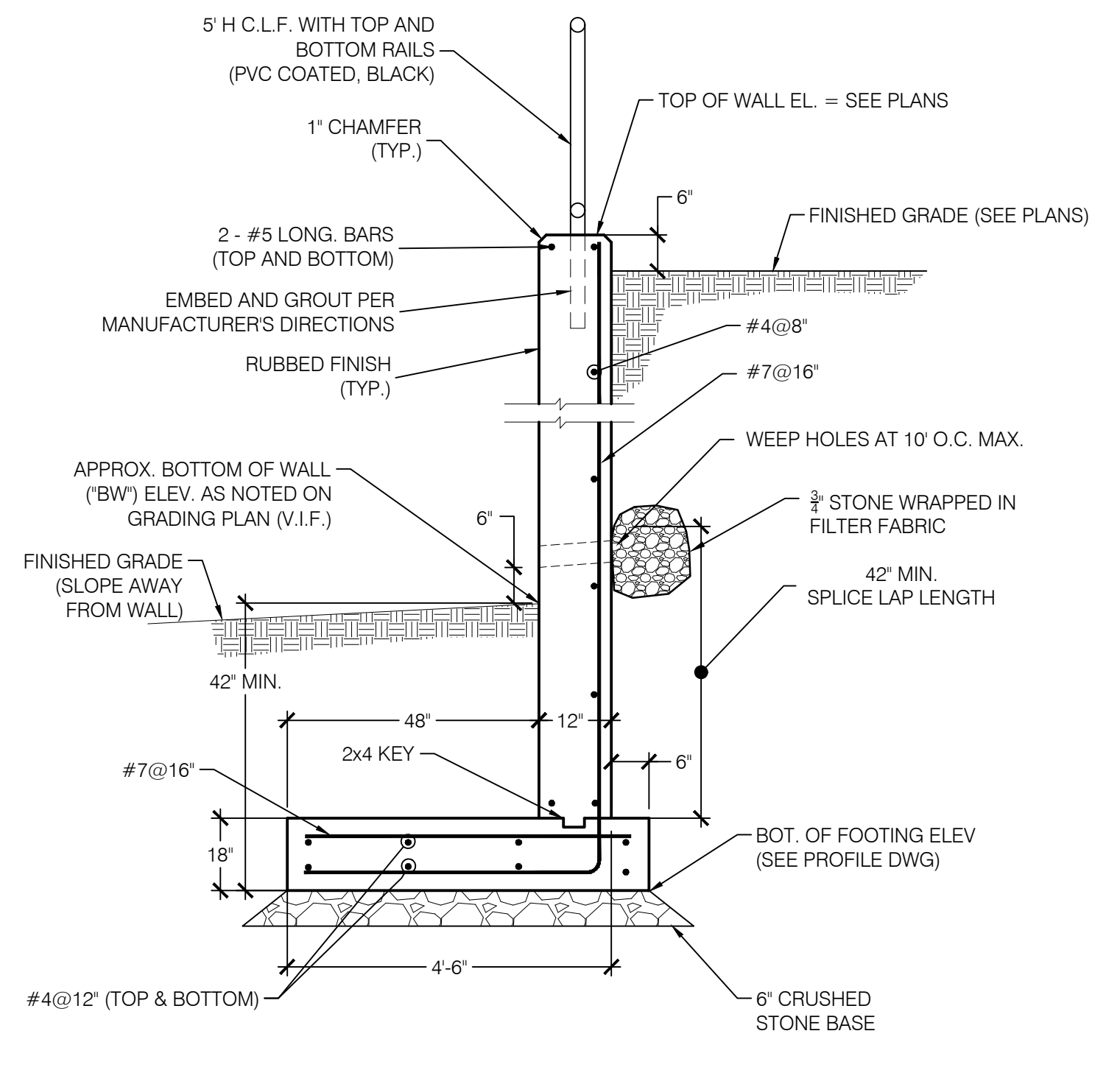


3 RETAINING WALL 'C' SECTION  
SCALE: 1" = 4'-0"

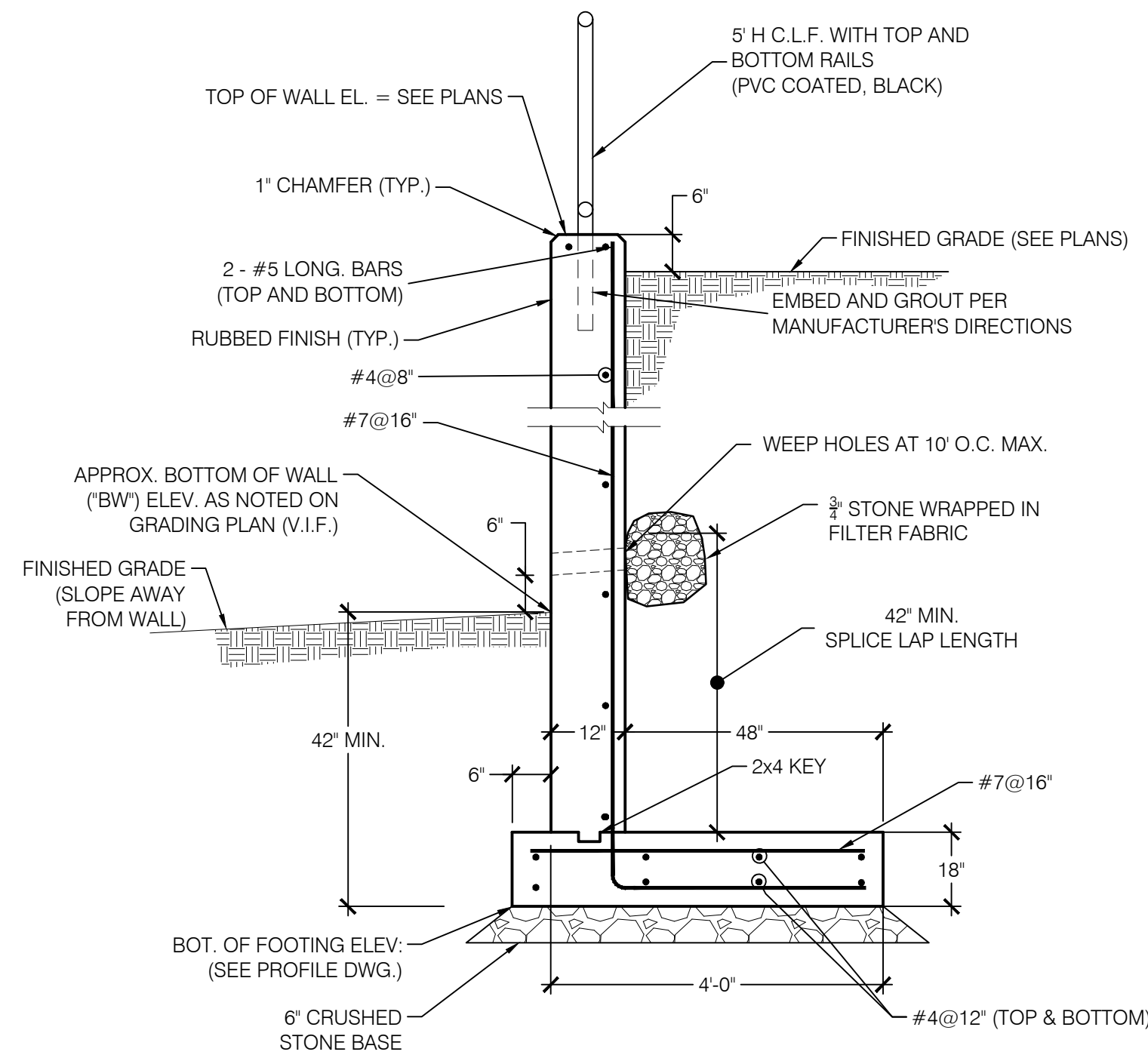


4 EXPANSION JOINT DETAILS  
SCALE: N.T.S.

- NOTES:
1. JOINT SEAL IN RETAINING WALLS TO EXTEND FROM TOP OF FOOTING TO TOP OF PARAPET AND HORIZONTALLY ALONG THIS JOINT TO OUTSIDE FACE OF PARAPET.
  2. KEYS IN RETAINING WALLS TO EXTEND FROM TOP OF FOOTING TO WITHIN 12" OF TOP OF PARAPET.
  3. NO REINFORCEMENT SHALL PASS THROUGH EXPANSION OR CONTRACTION JOINTS.
  4. REINFORCEMENT SHALL PASS THROUGH CONSTRUCTION JOINTS.
  5. REINFORCEMENT IN PARAPETS SHALL BE EPOXY COATED.



5 TYPICAL RETAINING WALL SECTION - WALLS 'A' & 'B'  
SCALE: N.T.S.



6 TYPICAL RETAINING WALL SECTION - WALL 'C'  
SCALE: N.T.S.

**GENERAL NOTES FOR WALL CONSTRUCTION:**

**CONCRETE**  
ALL CONCRETE WORK SHALL CONFORM TO ACI 318 (LATEST EDITION).  
ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.

MAXIMUM SLUMP FOR CONCRETE SHALL BE 4"  
ALL EXPOSED EDGES SHALL HAVE A 1"x1" CHAMFER.

**REINFORCEMENT**  
REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60.  
PROVIDE 3" COVER FOR FOOTINGS, 2" COVER FOR STEM.

ALL REINFORCEMENT SHALL BE BENT, LAPPED, SPLICED, AND PLACED IN ACCORDANCE WITH ACI 318 (LATEST EDITION) AND CRSI 'MANUAL OF STANDARD PRACTICE' (LATEST EDITION).

**SOILS**  
FOOTINGS SHALL BEAR ON 6" OF COMPACTED GRAVEL BACKFILL OVER COMPACTED EXISTING INORGANIC SOIL.

REMOVE ANY ORGANIC SOILS BELOW RETAINING WALL AND BACKFILL WITH COMPACTED GRAVEL.

FOOTINGS BASED ON ASSUMED BEARING PRESSURE OF 3,500 PSF. TO BE FIELD VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.

**FOUNDATION**

FOOTINGS ARE INTENDED TO BEAR ON SUITABLE UNDISTURBED MATERIAL UNLESS OTHERWISE NOTED. THE SOIL SUBGRADE FOR ALL FOOTINGS AND SLABS ON GRADE SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER OR THE OWNER'S TESTING LABORATORY IMMEDIATELY PRIOR TO PLACING FOOTING FORMS AND CONCRETE. CONTRACTOR SHALL NOTIFY THE STRUCTURAL AND GEOTECHNICAL ENGINEERS WHERE PROPOSED FOOTING ELEVATIONS WOULD BEAR ON UNSUITABLE MATERIAL AND PROCEED AS DIRECTED.

NO FOOTING OR SLABS SHALL BE PLACED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER OR ICE.

PROVIDE AN ADEQUATE DEWATERING SYSTEM TO MAINTAIN DRY EXCAVATIONS.

ALL DIMENSIONS AND DETAILS RELATING TO THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

THE BASE OF FOUNDATION EXCAVATIONS SHOULD BE FREE OF WATER AND LOOSE SOIL BEFORE PLACING CONCRETE. CONCRETE SHOULD BE PLACED SOON AFTER EXCAVATING TO REDUCE BEARING SOIL DISTURBANCE. SHOULD THE SOILS AT BEARING LEVEL BECOME WET, DISTURBED, OR FROZEN, THE AFFECTED SOIL SHOULD BE REMOVED PRIOR TO PLACING CONCRETE.

IF UNSUITABLE BEARING SOILS ARE ENCOUNTERED IN FOOTING EXCAVATIONS, THE EXCAVATIONS SHOULD BE EXTENDED DEEPER TO SUITABLE SOILS AND THE FOOTINGS COULD BEAR DIRECTLY ON THESE SOILS AT THE LOWER LEVEL. AS AN ALTERNATIVE, THE FOOTINGS COULD ALSO BEAR ON PROPERLY COMPACTED STRUCTURAL FILL OR MINUS 3/4" CRUSHED STONE EXTENDING DOWN TO THE SUITABLE SOILS, OR ON LEAN CONCRETE BACKFILL PLACED IN THE EXCAVATIONS.

THE CONTRACTOR SHOULD BE REQUIRED TO MAINTAIN A STABLE SUBGRADE DURING CONSTRUCTION. THE CONTRACTOR SHOULD PREVENT GROUNDWATER, IF ENCOUNTERED, AND SURFACE WATER RUNOFF FROM COLLECTING IN THE EXCAVATION. SUBGRADE SOILS THAT BECOME UNSTABLE BECAUSE OF WATER AND/OR REWORKING BY CONSTRUCTION ACTIVITY SHOULD BE REPLACED WITH COMPACTED STRUCTURAL FILL AS NECESSARY.

**PROPOSED SERVICE GARAGE**  
- FOR PROPERTY LOCATED AT -  
1797, 1839 & 1849 MAIN STREET  
BRIDGEPORT, CT  
- PREPARED FOR -  
VIP GROUP, LLC  
1837 MAIN STREET, BRIDGEPORT, CT 06604

SHEET TITLE:

**TYPICAL WALL  
DETAILS &  
SECTIONS**

PROJ. No.: 2020-22

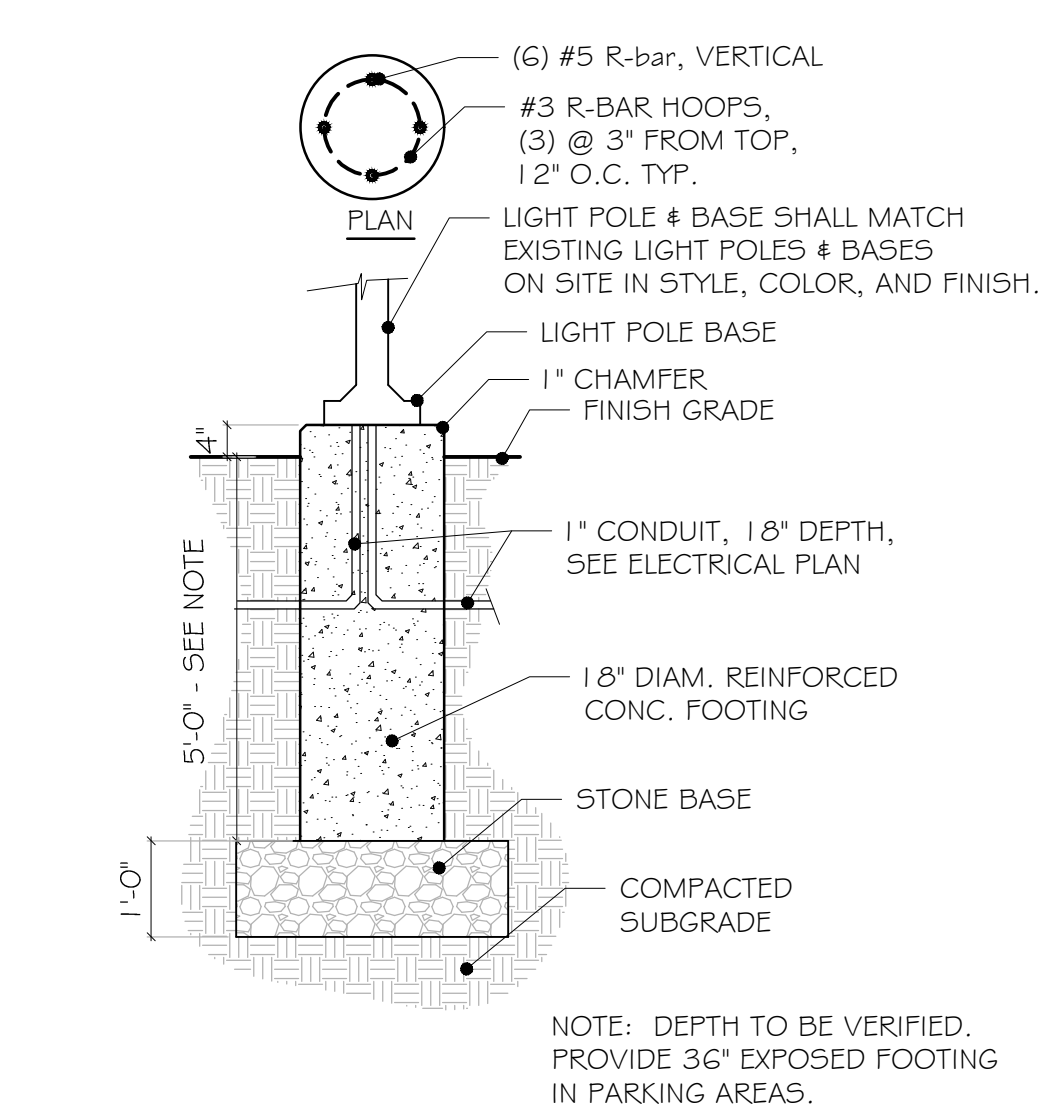
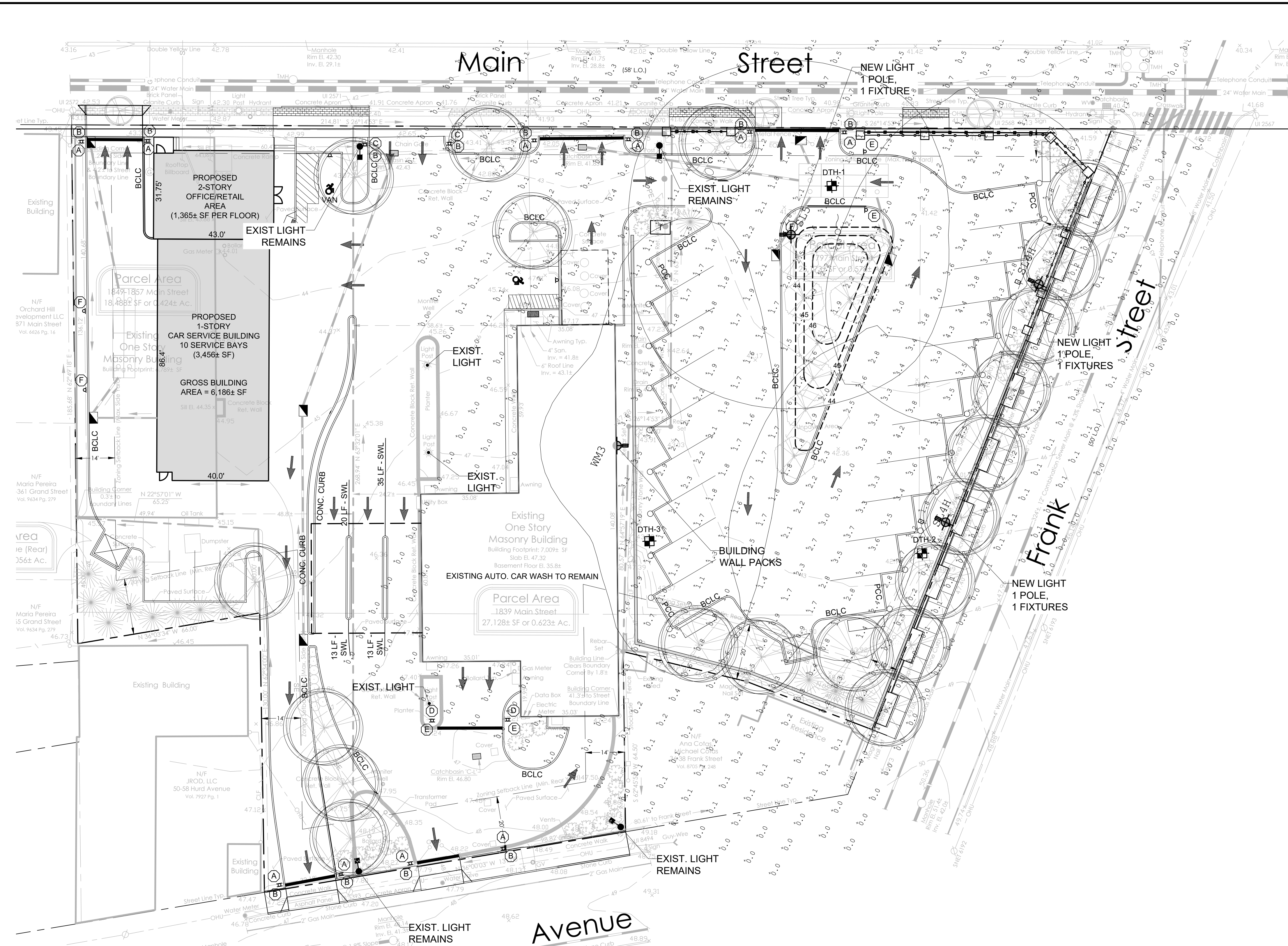
DATE: 02 APRIL 2021

DWG. No.: C-8

SHEET 8 OF 10  
SCALE: AS NOTED

DESIGNED: CAD	DRAWN BY: ARM	CHECKED: CAD
------------------	------------------	-----------------





**LIGHT POLE FOOTING**  
NTS

- LIGHTING NOTES**
- Photometric plan is based on information provided by Manufacturer's representative.
  - Lighting levels within property does not include existing light fixtures.
  - Light fixture representative: Apex Lighting Solutions, 20-30 Beaver Road, Wethersfield, CT 06109, tel. (860)632-8766, [www.ApexLg.com](http://www.ApexLg.com).
  - Notes from Manufacturer's Representative:
    - Calculations have been performed according to IES standards and good practice. Some difference between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, and measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as architectural elements may significantly affect lighting calculations. If real environmental conditions do not match the input data, differences will occur between measured values and calculated values.
  - Conductor diagrams, lighting controls and other electrical engineering by others.
  - All work shall be completed per latest building and electrical code requirements.
  - Plans may not accurately reflect existing site conditions. It is the responsibility of the Contractor to visit the site and familiarize themselves with site conditions.
  - The Contractor is responsible for any damage due to construction operations within and OUTSIDE the limits of construction as shown on the plans.
  - The Contractor shall restore all areas disturbed due to construction to original condition, at no additional expense to the Owner.
  - Underground utilities are based on information supplied by others. Other underground utilities may exist on the site, the existence of which are unknown. The existence, size and location of all such features must be determined and verified in the field by appropriate authorities prior to construction. Contact "Call Before You Dig" at 1-800-922-4455.
  - The contractor shall familiarize himself with all subsurface utilities prior to the start of work. Any field conditions that differ from the plans shall be brought to the attention of the landscape architect and owner immediately.
  - PROTECT existing utilities to remain from damage. Active utility lines damaged during construction operations shall be repaired or replaced as directed by the utility owner at no additional cost to the owner.
  - All materials and methods of construction shall conform to CONN DOT Form 817, latest edition, as amended, unless other shown on the drawings or specifications herein.

Luminaire Schedule							
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
2	SL4H	SINGLE	17885	173.6	0.850	B1-U0-G3	U.S. ARCHITECTURAL RZR-PLD-IV-80LED-700mA-NW-VOLT-FINISH-HS / MOUNTED TO SNTS-254-11-MOUNT-FINISH
1	SL5	SINGLE	23643	173.6	0.850	B5-U0-G4	U.S. ARCHITECTURAL RZR-PLD-VSQ-W-80LED-700mA-NW-VOLT-FINISH / MOUNTED TO SNTS-254-11-MOUNT-FINISH
1	WM3	SINGLE	19161	161.9	0.850	B3-U0-G4	U.S. ARCHITECTURAL RZR-WM3-PLD-III-W-60LED-875mA-NW-VOLT-FINISH / WALL MOUNTED AT 25FT AFG TO BOF

Calculation Summary						
Label	Grid Z	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	0	0.08	4.4	0.0	N.A.	N.A.
PARKING LOT		2.37	4.4	0.8	2.96	5.50

**Aris Land Studio**  
78 Elm Street  
Bridgeport, CT 06604  
203.606.3130  
[www.ArisLS.com](http://www.ArisLS.com)



REVISIONS:

No.	DESC.	DATE
0	ZBA SUBMISSION	04-02-21

**PROPOSED CAR WASH FACILITY**  
- FOR PROPERTY LOCATED AT -  
1797, 1839 & 1849 MAIN STREET  
BRIDGEPORT, CT  
- PREPARED FOR -  
VIP GROUP, LLC  
1837 MAIN STREET, BRIDGEPORT, CT 06604

SHEET TITLE:  
**LIGHTING PLAN**

PROJ. No.: **20-314**  
DATE: **2 APRIL 2021**  
DWG. No.: **L-2**  
SHEET 10 OF 10  
SCALE: 1"=20'  
DESIGNED: AWS DRAWN BY: CAD CHECKED: AWS

Copyright © 2021 Aris Land Studio, LLC. All rights reserved. No part of these documents may be reproduced in any form or by any means without the written permission of Aris Land Studio, LLC.



# VIP AUTO DETAILING

## 1849 MAIN STREET

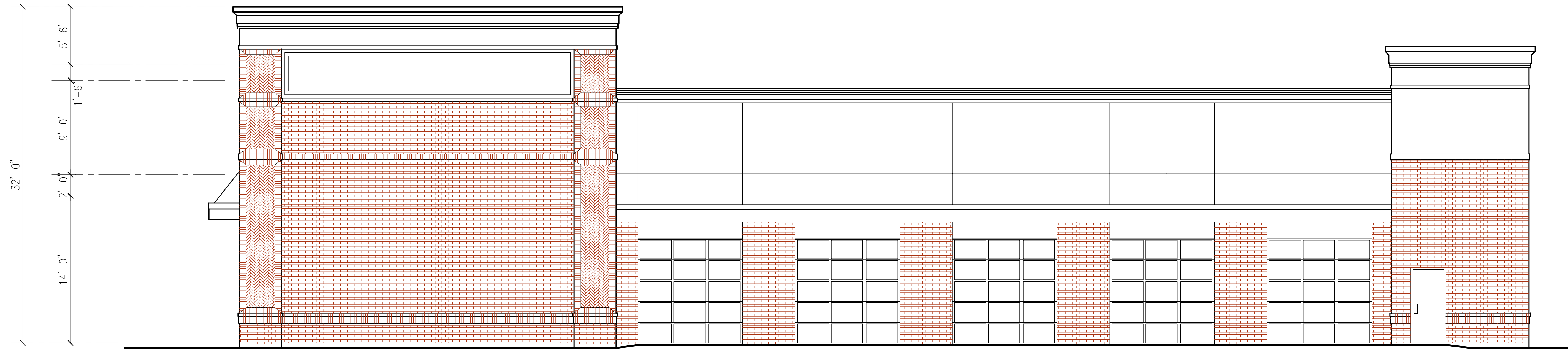
## BRIDGEPORT, CT



**GUEDES ASSOCIATES, INC.**

Designers, Architects & Project Managers  
1425 Noble Avenue, Bpt., CT. 06610  
Tel. 203-367-5180 Fax. 203-367-4961





## NORTH ELEVATION PLAN

SCALE - 3/16" = 1'-0"



## WEST ELEVATION PLAN

SCALE - 3/16" = 1'-0"



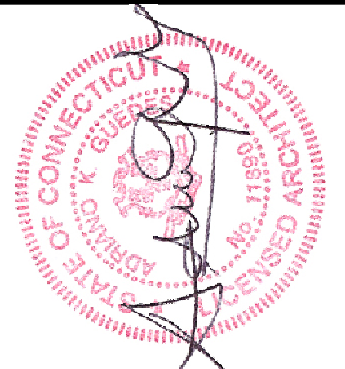
PRIMROSE  
COMPANIES

AUTO DETAILING BUILDING  
VIP CAR SERVICE  
1849 MAIN STREET, BRIDGEPORT, CT

date: 10-12-2020  
drawn: J JN GUEDES

scale: AS NOTED  
project #: NORTH & WEST  
ELEVATION PLAN

This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.

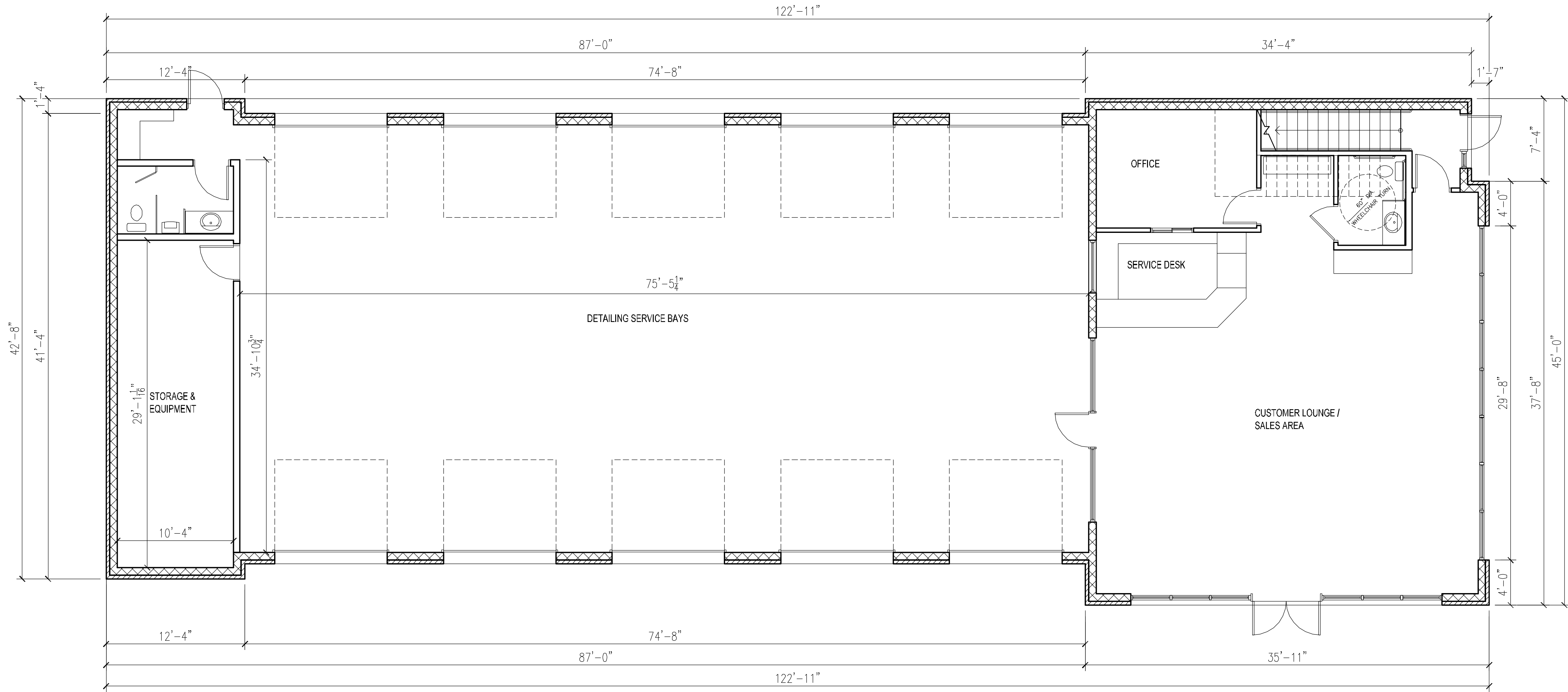


revisions					
1	2	3	4	5	6

**GUEDES ASSOCIATES, INC.**  
 Designers , Architects & Project Managers  
 1425 Noble Avenue, Bpt., CT. 06610  
 Tel. 203-367-5180 Fax. 203-367-4961

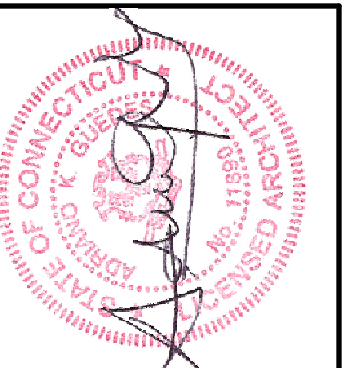
AUTO DETAILING BUILDING VIP CAR SERVICE 1849 MAIN STREET, BRIDGEPORT, CT	date: 10-12-2020 drawn: J JN GUEDES	scale: AS NOTED project #:
--	--	-------------------------------

**A-4**



# FIRST FLOOR PLAN

SCALE - 3/16" = 1'-0"



REVISIONS					
1	2	3	4	5	6

**GUEDES ASSOCIATES, INC.**  
 Designers, Architects & Project Managers  
 1425 Noble Avenue, Bpt., CT. 06610  
 Tel. 203-367-5180 Fax. 203-367-4961

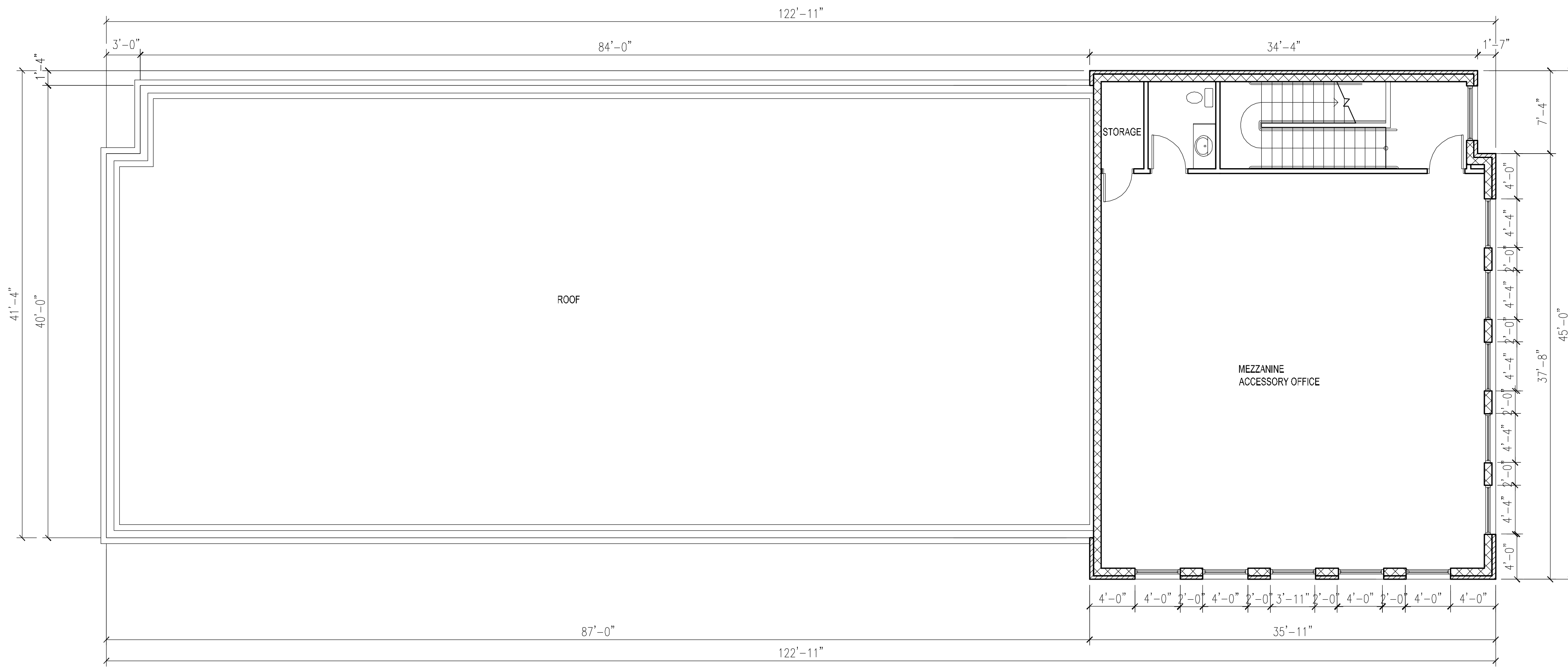
AUTO DETAILING BUILDING VIP CAR SERVICE 1849 MAIN STREET, BRIDGEPORT, CT	date:	10-12-2020	scale:	AS NOTED
	drawn:	JIN GUEDES	project #:	



This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.

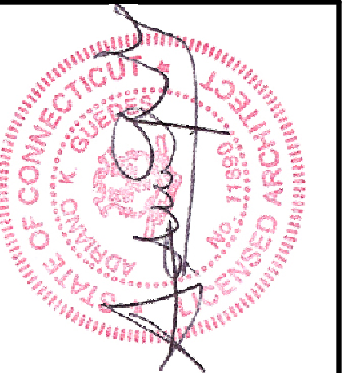
**A-1**





# SECOND FLOOR PLAN

SCALE - 3/16" = 1'-0"



REVISIONS					
1	2	3	4	5	6

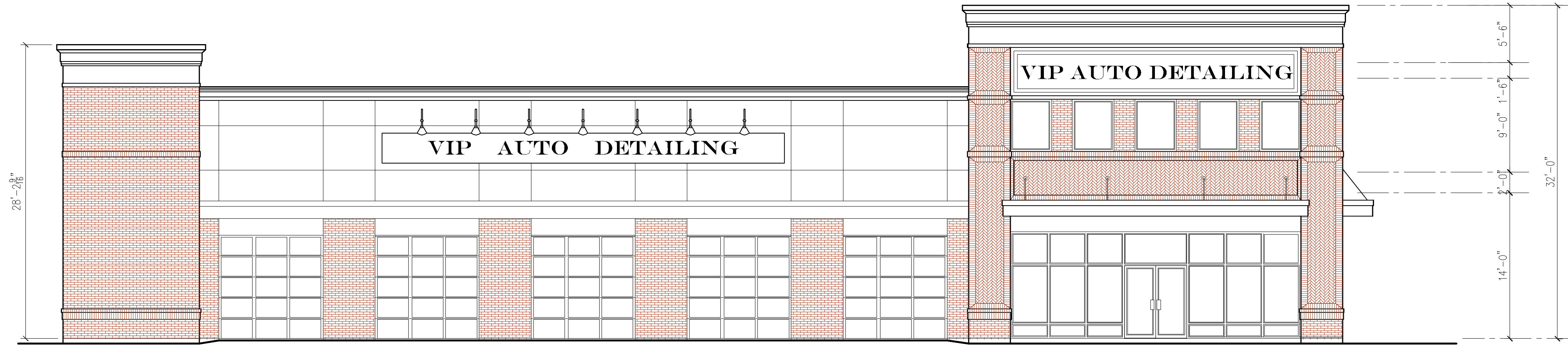
**GUEDES ASSOCIATES, INC.**  
 Designers, Architects & Project Managers  
 1425 Noble Avenue, Bpt., CT. 06610  
 Tel. 203-367-5180 Fax. 203-367-4961

AUTO DETAILING BUILDING VIP CAR SERVICE 1849 MAIN STREET, BRIDGEPORT, CT	date:	10-12-2020	scale:	AS NOTED
	drawn:	J.N. GUEDES	project #:	
SECOND FLOOR PLAN				



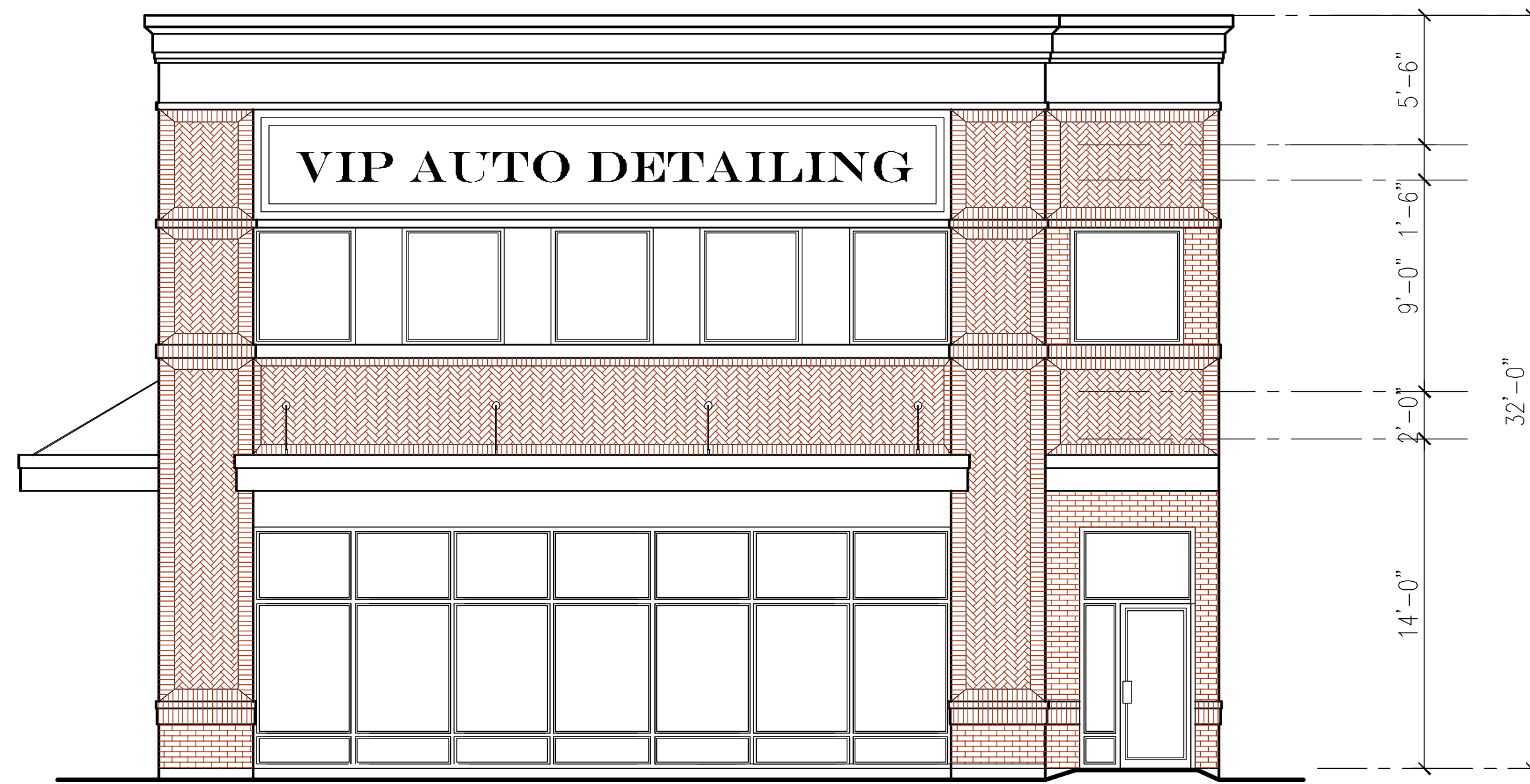
This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.

**A-2**



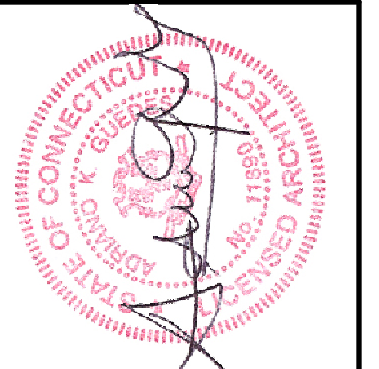
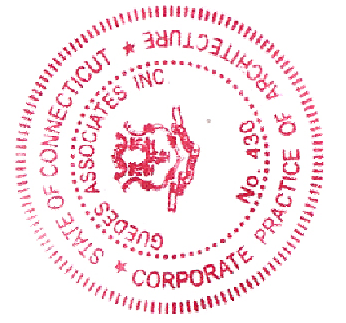
## SOUTH ELEVATION PLAN

SCALE - 3/16" = 1'-0"



## EAST ELEVATION PLAN

SCALE - 3/16" = 1'-0"



1	2	3	4	5	6

revisions

**GUEDES ASSOCIATES, INC.**  
 Designers, Architects & Project Managers  
 1425 Noble Avenue, Bpt., CT. 06610  
 Tel. 203-367-5180 Fax. 203-367-4961



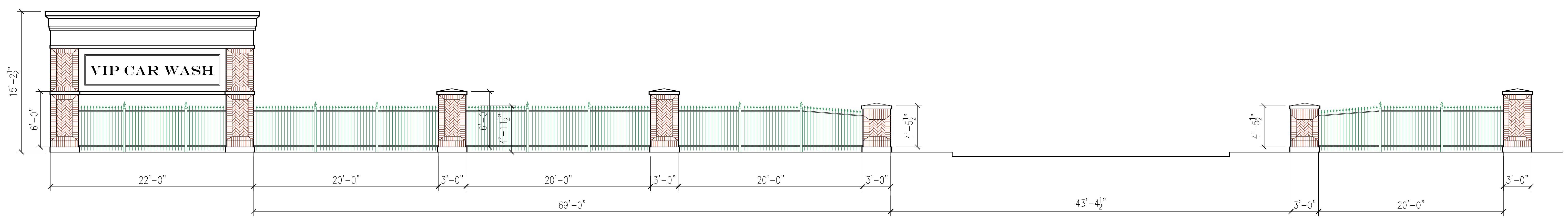
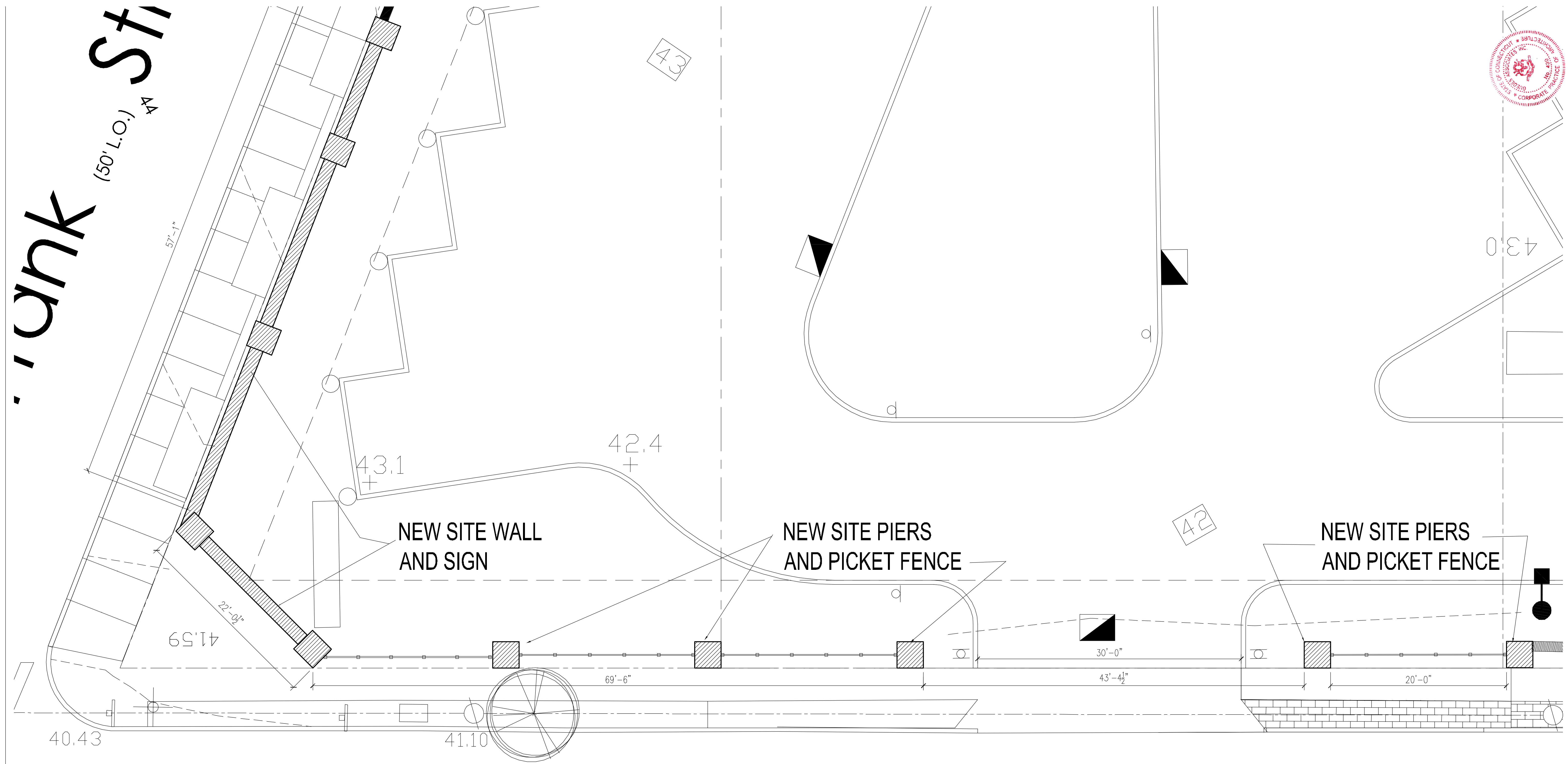
AUTO DETAILING BUILDING VIP CAR SERVICE 1849 MAIN STREET, BRIDGEPORT, CT	date: 10-12-2020	scale: AS NOTED
SOUTH & EAST ELEVATION PLAN	drawn: J JN GUEDES	project #:



This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.

**A-3**

**Bank** (50' L.O.) **St**

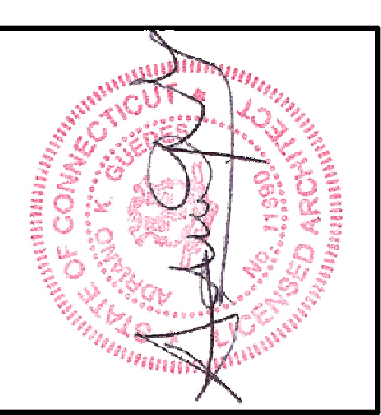
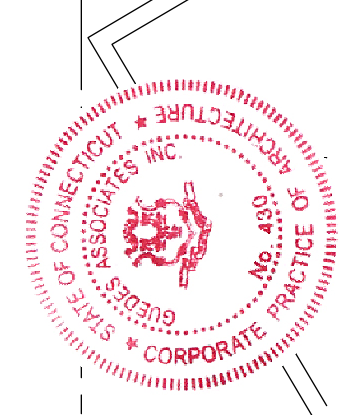


**SITE WALL & SIGN ELEVATION PLAN**  
SCALE - 3/16" = 1'-0"

**Main** (58' L.O.) **St**



This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without the written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervisor, the architect will not be held responsible for damages.



REVISIONS					
1	2	3	4	5	6

**GUEDES ASSOCIATES, INC.**  
Designers, Architects & Project Managers  
1425 Noble Avenue, Bpt., CT. 06610  
Tel. 203-367-5180 Fax. 203-367-4961

AUTO DETAILING BUILDING VIP CAR SERVICE 1849 MAIN STREET, BRIDGEPORT, CT	date: 10-12-2020 drawn: JN GUEDES	scale: AS NOTED project #:
SITE WALL & SIGN PLAN		

**SWS-1**

**PETITION TO THE BOARD OF APPEALS**  
**City of Bridgeport, Connecticut**

The undersigned presents the following petition for:

*(Check all that Apply)*

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1905 Barnum Avenue Zone O-R  
(Number) (Street) (Zone Classification)  
On the North side of the street about 0 feet West from  
(North, South, East, West) (North, South, East, West)  
Sage Avenue Block : 1841 Lot: 21  
(Street)

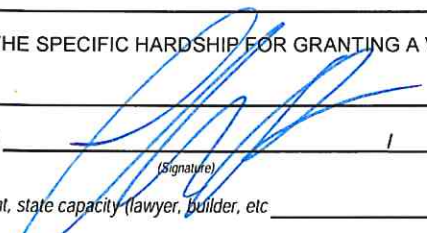
Dimension of Lot in Question 106.83' x 73.26' x 13.98' x 24.75' x 14.37' x 80.32' x 93.81'  
(Specify)

1. NAME OF PETITIONER / BUSINESS Muhammad Ali Zulekfal  
(Print)
2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
3. HAS ANY PREVIOUS PETITION BEEN FILED? Yes IF SO, GIVE DATE OF HEARING 7/14/2020  
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT Approval of Certificate of Location for a vehicle repair facility

5. THIS PETITION RELATES TO: *Check all that Apply*  
 Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY Vehicle repair facility

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? N/A

PETITIONER  / DATE 2/5/21  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc.) \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address C/O Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION**  
All questions must be answered in detail (use separate sheet if necessary).  
The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for  
**The Zoning Board of Appeals** to process this petition.  
**NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_



Colin B. Connor  
Elizabeth A. Falkoff\*  
Robert G. Golger  
Michael C. Jankovsky  
David K. Kurata  
Katherine M. Macol  
Leah M. Parisi  
William M. Petroccio\*  
Raymond Rizio\*  
Christopher B. Russo  
Robert D. Russo  
John J. Ryan  
Vanessa R. Wambolt  
(\*Also Admitted in NY)

September 30, 2020

Dennis Buckley  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Petition for Rehearing – 1905 Barnum Avenue**

Dear Mr. Buckley:

Please accept the following narrative and enclosed application materials as part of the Variance application requesting a rehearing to the Bridgeport Zoning Board of Appeals (“ZBA”) for the property located at 1905 Barnum Avenue (the “Site”):

**Narrative**

The Petitioner requests an approval for a Certificate of Location for a vehicle repair facility with general repairer’s license at the Site. The Applicant had previously submitted to ZBA for a general repairer’s license in addition to the existing vehicle repair facility at the Site as well as approval as a used vehicle sales dealership. The Applicant was denied by the ZBA in this request. Subsequently, the Applicant has taken a number of steps to address the comments made by the ZBA at the previous hearing. First, the Applicant, whom purchased the property in August of 2019, has obtained a judgment to evict the existing tenant at the facility, so the existing tenant will no longer occupy the property by the time of hearing. Therefore, this application will be to replace the existing vehicle repair facility, not as an addition to the existing facility. Second, the ZBA had expressed concern with the current condition of the Site. The Applicant has considerably cleaned the Site and removed some damaged vehicles. Once the existing tenant is fully evicted, the Applicant will be able to complete the cleanup of the Site and ensure the Site is in accordance with the submitted site plans. Finally, the Applicant has removed the request for a used car dealership from this Application. This Application is for a single vehicle repair facility with general repairer’s license on the Site that will be owner-operated. It is significantly different from the prior application.

As the ZBA may recall, the Site is located at the corner of Barnum Avenue and Sage Avenue and contains Nine thousand three hundred and sixty-two square feet (9,362 SF). The Site is located both in the City of Bridgeport and Town of Stratford. It is within the OR Zone and has been traditionally used as a vehicle repair facility. The Applicant proposes no alterations to the existing building. Nine (9) off-street parking spaces will be provided and no vehicles will be in any other location outside once the Applicant has full control of the Site. The Site will be accessed from its

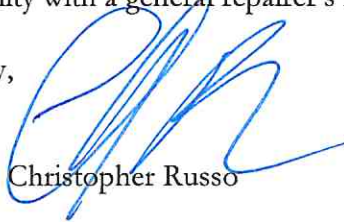
10 Sasco Hill Road  
Fairfield, CT 06824

Tel 203-255-9928  
Fax 203-255-6618

curb cut on Sage Avenue and then it will be exited from its curb cut onto Barnum Avenue. Obviously, this Site has already been approved as a location for a vehicle repair facility. The Applicant merely requests that that they obtain a Certificate of Location themselves to be the sole operator out of the Site.

For the reasons stated above, the Petitioner respectfully requests approval of a Certificate of Location as a vehicle repair facility with a general repairer's license.

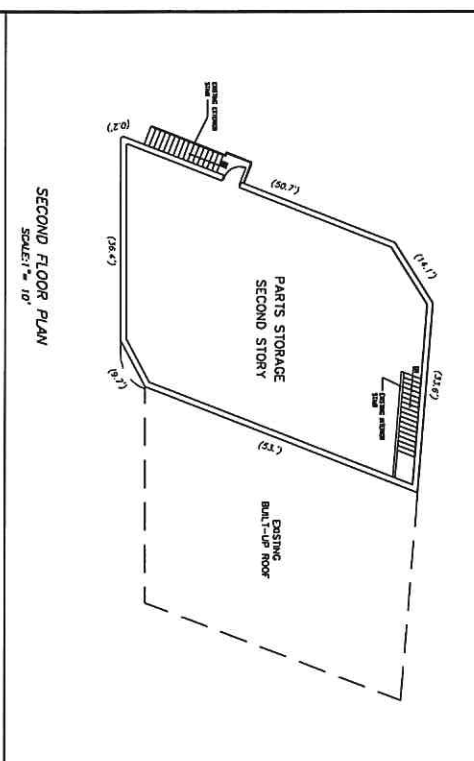
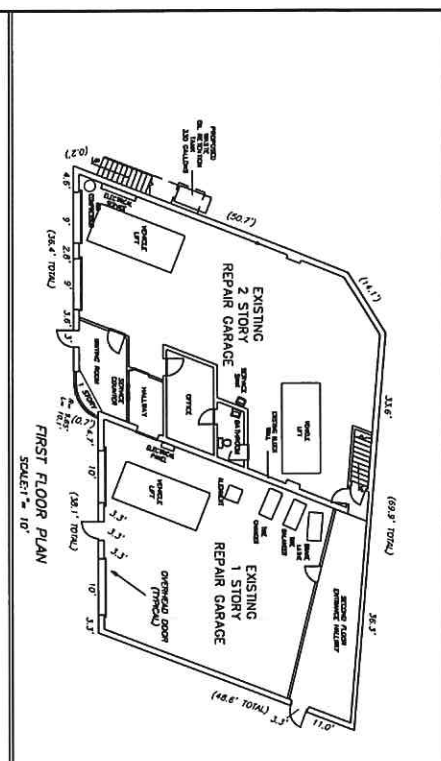
Sincerely,



Christopher Russo

**PROPERTY OWNERS WITHIN 100' OF 1905 BARNUM AVENUE**

<b>LOCATION</b>	<b>OWNER NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
30 KENT AV	TAYLOR MELODY	30 KENT AVE	BRIDGEPORT	CT	06610
1854 BARNUM AV	ROBERIC PROPERTIES LLC	134-21 CHERRY AVE #3C	FLUSHING	NY	11355
1880 BARNUM AV	CALVERY NEW TESTAMENT CHURCH OF GOD INC	207 ASYLUM ST	BRIDGEPORT	CT	06610
41 SAGE AV	2440 BARNUM AVENUE LLC	31 SAGE AVE	BRIDGEPORT	CT	06610
43 SAGE AV	43 SAGE LLC	51 PINEBROOK RD	NEW ROCHELLE	NY	10801
42 KENT AV	BALDWIN HOLDINGS INC	150 HIGHLAND AVE	BRIDGEPORT	CT	06604
1905 BARNUM AV	HOSSAIN AHAMED & MUHAMMAD ALI ZULEKFAL	48 STEVENS ST, 1ST FL	NORWALK	CT	06850
40 KENT AV	RICKETTS LATOYA	40 KENT AVE	BRIDGEPORT	CT	06610
32 KENT AV	GEORGE LESTER S	325 PLATT ST	BRIDGEPORT	CT	06610
1869 BARNUM AV	1869 BARNUM AVE LLC	109 SEQUOIA RD	BRIDGEPORT	CT	06606
1859 BARNUM AV #1865	JGV BARNUM LLC	PO BOX 110384	TRUMBULL	CT	06611
52 KENT AV	COLON IVELLIS	52 KENT AVE	BRIDGEPORT	CT	06610
50 KENT AV	MASTRONI ANTHONY L	50 KENT AVE	BRIDGEPORT	CT	06610
50 SAGE AVE	J & B PROPERTY LLC	31 SAGE AVE	BRIDGEPORT	CT	06610
2450 BARNUM AVE	ASHLEY KOST IRREV TRUST, SCHIRALDI BENEDICT A TRUSTEE	741 BOSTON POST RD, STE 304	GUILFORD	CT	06437



- SEE REFERENCES**
- 1. Site Plan for Property 1905 Barnum Avenue, Bridgeport, Connecticut, dated 11/20/10, issued April 19/17 by Gregory N. Lewis, S.C.
  - 2. Ordinance 2009-10, dated April 23, 19/18 by Gregory N. Lewis, S.C.
  - 3. Map 17, dated 11/20/10, issued April 19/17 by Gregory N. Lewis, S.C.
  - 4. Map 18, dated 11/20/10, issued April 19/17 by Gregory N. Lewis, S.C.
  - 5. Map 19, dated 11/20/10, issued April 19/17 by Gregory N. Lewis, S.C.
  - 6. Map 20, dated 11/20/10, issued April 19/17 by Gregory N. Lewis, S.C.
  - 7. Map 21, dated 11/20/10, issued April 19/17 by Gregory N. Lewis, S.C.
  - 8. Map 22, dated 11/20/10, issued April 19/17 by Gregory N. Lewis, S.C.
- NOTES**
1. See Ordinance 2009-10, dated April 23, 19/18 by Gregory N. Lewis, S.C.
  2. See Ordinance 2009-10, dated April 23, 19/18 by Gregory N. Lewis, S.C.
  3. See Ordinance 2009-10, dated April 23, 19/18 by Gregory N. Lewis, S.C.
  4. See Ordinance 2009-10, dated April 23, 19/18 by Gregory N. Lewis, S.C.
  5. See Ordinance 2009-10, dated April 23, 19/18 by Gregory N. Lewis, S.C.
  6. See Ordinance 2009-10, dated April 23, 19/18 by Gregory N. Lewis, S.C.
  7. See Ordinance 2009-10, dated April 23, 19/18 by Gregory N. Lewis, S.C.
  8. See Ordinance 2009-10, dated April 23, 19/18 by Gregory N. Lewis, S.C.

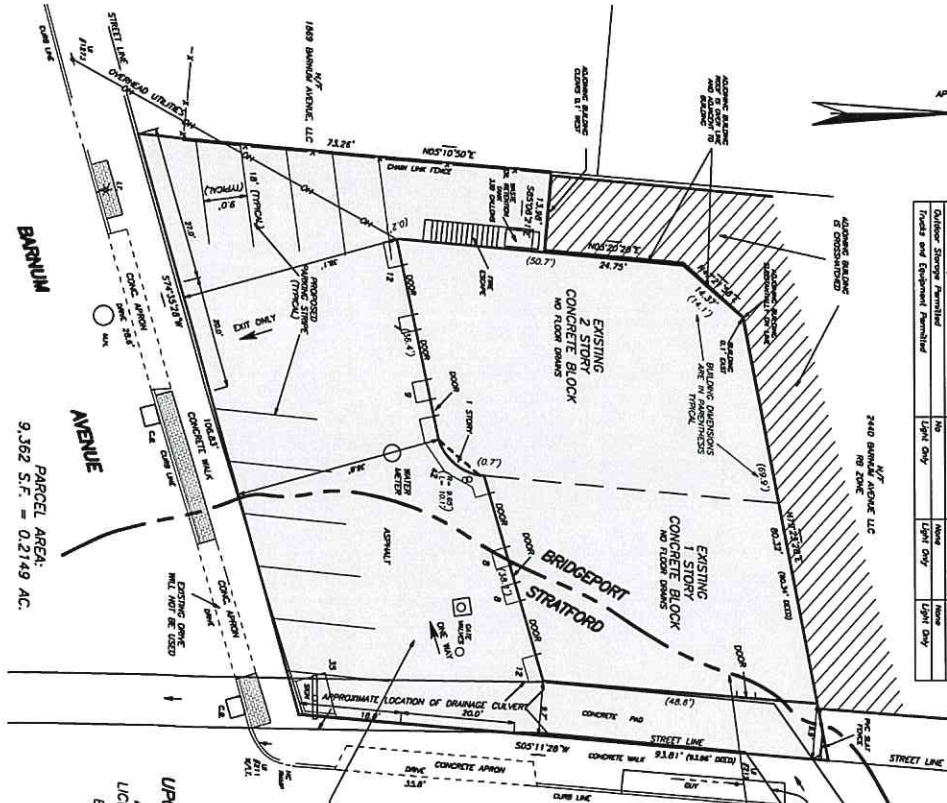
This site plan of this location has been reviewed and approved by the Planning Board of the Town of Bridgeport, Connecticut, on 11/20/10.

**COMMITTEE OFFICIAL** \_\_\_\_\_ DATE \_\_\_\_\_

**APPLICANT** \_\_\_\_\_ DATE \_\_\_\_\_

**OFFICE/RETAIL (OR) ZONE DEVELOPMENT STANDARDS**

STANDARDS	REQUIRED	EXISTING	PROPOSED
Minimum FAR	0.75	0.75	0.75
Maximum FAR	2.0	2.0	2.0
Minimum Building Setback	35' R.L.	35' R.L.	35' R.L.
Minimum Side Setback	10' R.L.	10' R.L.	10' R.L.
Minimum Rear Setback	10' R.L.	10' R.L.	10' R.L.
Maximum Building Coverage	65%	65%	65%
Maximum Lot Coverage	65%	65%	65%
Maximum Lot Area	1.38	1.38	1.38
Maximum Height	35' R.L.	35' R.L.	35' R.L.
Maximum Number of Stories	2	2	2
Maximum Floor Area	23,750 S.F.	23,750 S.F.	23,750 S.F.
Maximum Density	20 Units/Acre	20 Units/Acre	20 Units/Acre
Maximum Parking Spaces	100	100	100
Maximum Number of Units	100	100	100
Maximum Number of Units per Acre	20	20	20
Maximum Number of Units per Parcel	100	100	100
Maximum Number of Units per Acre	20	20	20
Maximum Number of Units per Parcel	100	100	100
Maximum Number of Units per Acre	20	20	20
Maximum Number of Units per Parcel	100	100	100



**SITE DEVELOPMENT PLAN**

ZONING LOCATION SURVEY

UPGRADE TO USED CAR DEALERSHIP

ALEX AUTO SALES AND REPAIR

LICENSED LOCATION: 1905 BARNUM AVENUE

BRIDGEPORT/STRAITFORD, CONNECTICUT

SCALE: 1" = 10'

DATE: 5-21-2020

PREPARED BY: GREGORY N. LEWIS

LEWIS ASSOCIATES

280 LAW STREET, BRIDGEPORT, CONNECTICUT

PHONE: 203-381-1988

