



CITY OF BRIDGEPORT

**ZONING BOARD OF APPEALS APPLICATION**

The undersigned presents the following application for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

9, 25 & 35 Island Brook Avenue Zone I-L  
(Number) (Street) (Zone Classification)

On the South side of the street about 550 feet East from  
(North, South, East, West) (North, South, East, West)

Twitchell Street Block: 1538 Lot: 11,12, & 13A  
(Street)

Dimension of Lot in Question 150.00' x 200.00' x 73.00' x 351.46' x 105.00' x 1.65' x 38.81' x 0.80' x 197.80'  
(Specify)

1. NAME OF APPLICANT / BUSINESS Architectural Stone Group, LLC  
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Lessee

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Proposed outdoor storage in coastal area zone

5. THIS APPLICATION RELATES TO: Check all that Apply

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: Outdoor storage in coastal area zone

6. USE TO BE MADE OF PROPERTY Outdoor storage of stone and gravel in coastal zone

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT [Signature] DATE 11/20/2020  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**

All questions must be answered in detail (use separate sheet if necessary).  
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this application.  
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.  
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_



Colin B. Connor  
Elizabeth A. Falkoff\*  
Robert G. Golger  
David K. Kurata  
Katherine M. Macol  
Leah M. Parisi  
William M. Petroccio\*  
Raymond Rizio\*  
Christopher B. Russo  
Robert D. Russo  
John J. Ryan  
Vanessa R. Wambolt  
(\*Also Admitted in NY)

November 20, 2020

Dennis Buckley  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace, Room 210  
Bridgeport, CT 06604

**Re: Application for variance – 9, 25 & 35 Island Brook Avenue (the “Site”)**

Dear Mr. Buckley:

Please accept this letter on behalf of our client for an application for variances to permit the outdoor storage of stone and gravel materials in connection with an existing stone and masonry supply use at the Site.

**Variations Requested**

Variance of Section 14-3-3i of the Regulations to permit the outdoor storage and wholesale trade of stone and gravel materials in connection with a stone and masonry supply business.

**Narrative**

The Site has frontage on along Island Brook Avenue in the I-L Zone and it is located within the coastal area zone. It is located in a very industrial area of the street with industrial uses surrounding the entire Site and on the other side of Island Brook. For decades, The Site has contained industrial uses and outdoor storage yards. As early as 1954, the Site was approved as a location for a used car dealer and vehicle repair with the outdoor storage of junk vehicles. In 1991, the Site was approved as a school bus maintenance and repair facility, and in 1999, it was further approved for Bud’s Truck and Diesel Service for the display, sale and repair of used motor vehicles. The Site contains a pre-existing 1,607 SF one-story concrete masonry building.

The Petitioner proposes to transition the Site away from its history as a vehicle repair facility and junk yard to a stone and masonry supply building with the outdoor storage of stone and gravel materials with defined jersey barrier bays located behind the existing building and chainlink fence, which is located along the street property line. No barrier has previously existed

10 Sasco Hill Road  
Fairfield, CT 06824  
Tel 203-255-9928  
Fax 203-255-6618

between the outdoor storage on the Site and neighboring properties or Island Brook except for certain areas of chainlink fence. The Petitioner will locate the jersey barriers in accordance with setback standards in the I-L Zone and in accordance with Section 11-6 of the Regulations and better protect the coastal zone. The Site directly abuts Island Brook, but it does not directly abut the Pequonnock River.

### **Hardship**

Granting the Petitioner the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as they propose to improve the protections of the coastal area by no longer utilizing the property as a motor vehicles sales and repair facility and junk yard, which has been the use of the Site for decades. In addition, the Petitioner will locate stone and gravel supplies with bays made of jersey barriers to contain the products offered by the Petitioner. The Petition will not have a negative impact on the neighborhood, which has been industrial for decades, or the coastal zone, which has not had any type of screening or protection from prior uses on the Site.

For the above-stated reasons, the Petitioner respectfully requests approval of this petition for a variance.

Thank you for your assistance in this matter.

Sincerely,

A handwritten signature in black ink that reads "Christopher Russo". The signature is written in a cursive style with a long, sweeping underline that extends to the right.

Christopher Russo

**PROPERTY OWNERS WITHIN 100' OF 9, 25 AND 35 ISLAND BROOK AVENUE**

<b>PROPERTY ADDRESS</b>	<b>OWNER'S NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
3 ISLAND BROOK AV #7	3-7 ISLAND BROOK LLC	136 MEADOWVIEW DR	TRUMBULL	CT	06611
10 ISLAND BROOK AV	10 ISLAND BROOK LLC	89-50 127TH ST	RICHMOND HILLS	NY	11418
34 ISLAND BROOK AV	30 MLW LLC	30 ISLAND BROOK AVE	BRIDGEPORT	CT	06605
30 ISLAND BROOK AV	30 MLW LLC	30 ISLAND BROOK AVE	BRIDGEPORT	CT	06605
18 ISLAND BROOK AV	MLW INC	18 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
35 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
25 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
9 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
35 ISLAND BROOK AV #REAR	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
52 ISLAND BROOK AV #54	MLW INC	52 ISLAND BROOK AVE	BRIDGEPORT	CT	06604
44 ISLAND BROOK AV	MLW INC	25 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
45 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606
236 EVERGREEN ST	CITY OF BRIDGEPORT	45 LYON TERRACE	BRIDGEPORT	CT	06604
101 ISLAND BROOK REAR AV	MOTA JOSEPH	100 WALNUT AVE	SHELTON	CT	06484
89 ISLAND BROOK AV	LCJA LLC	100 WALNUT AVE	SHELTON	CT	06484
61 ISLAND BROOK AV	MLW INC	18 ROSEMARY DR	BRIDGEPORT	CT	06606

## Business Inquiry

### Business Details

Business Name: ARCHITECTURAL STONE GROUP, LLC      Citizenship/State Inc: Domestic/CT  
Business ID: 1222575      Last Report Filed Year: NONE  
Business Address: 9 ISLANDBROOK AVENUE, BRIDGEPORT, CT, 06606      Business Type: Domestic Limited Liability Company  
Mailing Address: 9 ISLANDBROOK AVENUE, BRIDGEPORT, CT, 06606      Business Status: Active  
Date Inc/Registration: Nov 18, 2016  
Annual Report Due Date: 11/18/2017  
NAICS Code: NONE      NAICS Sub Code: NONE

### Principals Details

Name/Title	Business Address	Residence Address
ARCHITECTURAL STONE WHOLESALEERS LLC MANAGER	18 GLEN STREET, MILFORD, CT, 06460	NONE

### Agent Summary

Agent Name ARCHITECTURAL STONE WHOLESALEERS LLC  
Agent Business Address 18 GLEN STREET, MILFORD, CT, 06460  
Agent Residence Address NONE  
Agent Mailing Address NONE



40 School St: COB/BOE

Neighboring parcels within 100 feet:

34 School St & 28 School St: Thor LLC (Peter Cummings), 51 Robson Pl, Fairfield CT 06824

20 School St.: Carol Jablonski; resident occupied

48 School St.: Giacobbe Construction LLC, 23 Rocky Ridge Dr Trumbull, CT 06611

2893 Fairfield Ave: KFAC Partners c/o Donna Vita, 367 Newtown Tpke, Weston, CT 06883  
(Black Rock Social House)

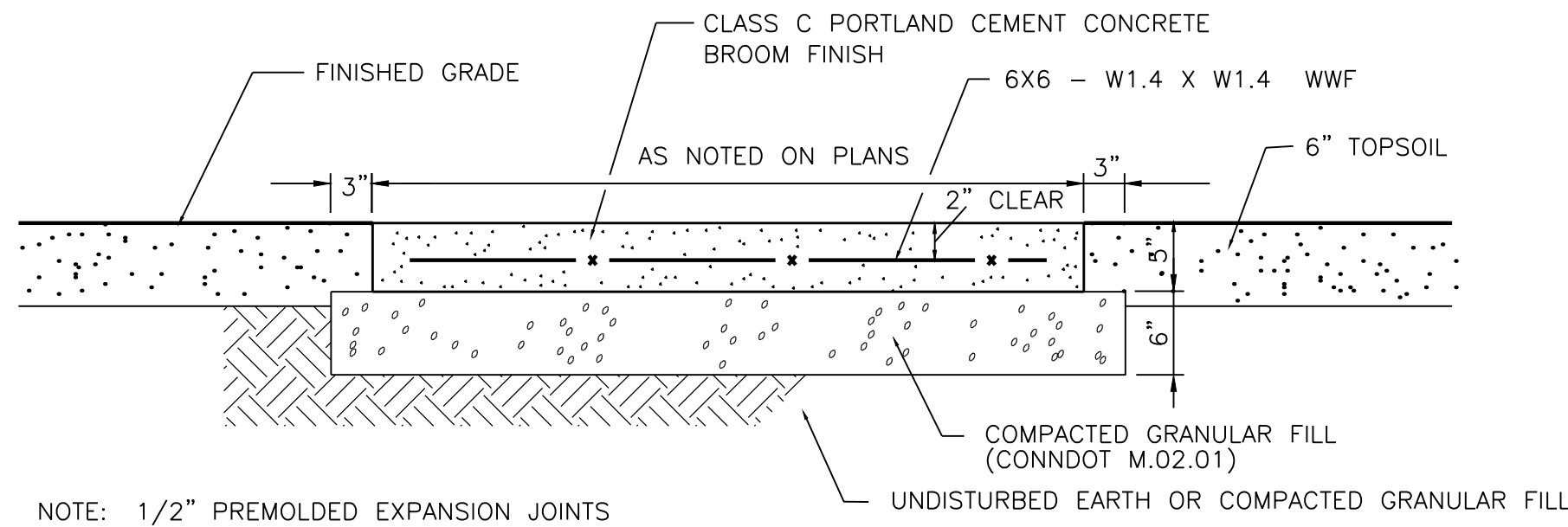
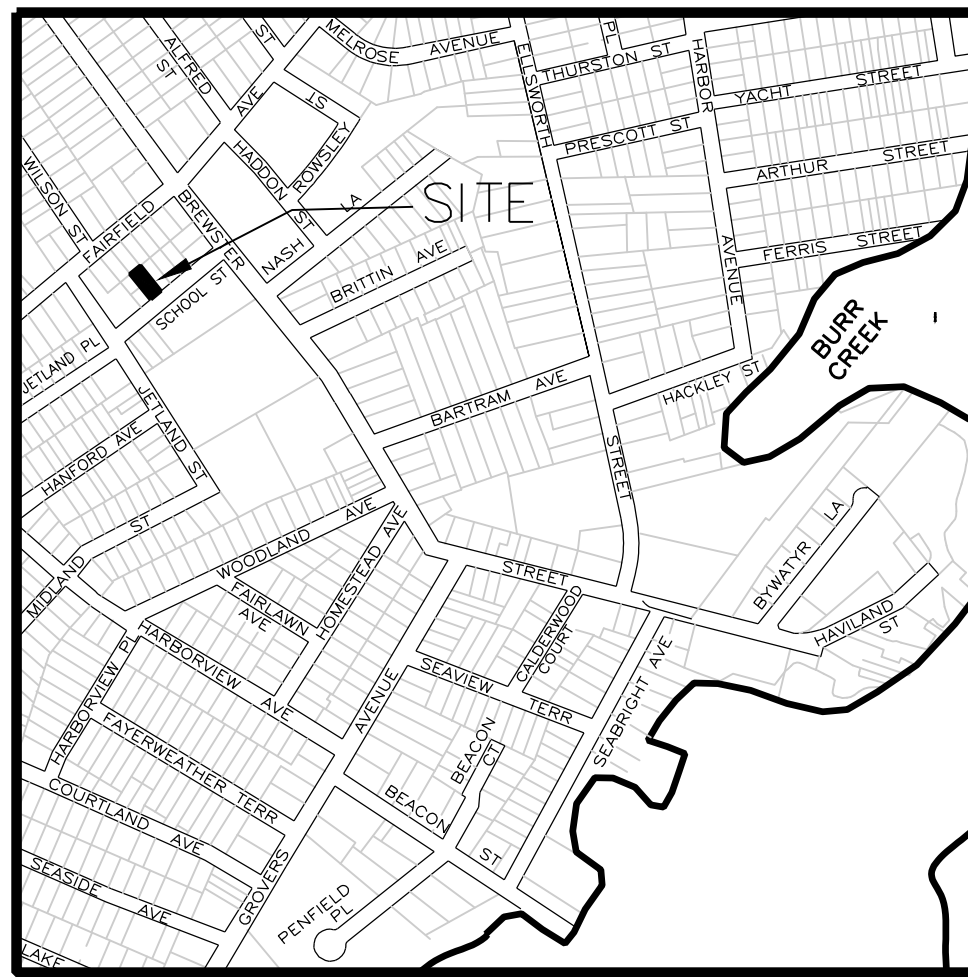
2889 Fairfield Ave: BRBW2889 LLC, 2889 Fairfield Ave (Laura Pennock/Tara Collins building)

2879 Fairfield Ave: Amr Wasfi, 2887 Fairfield Ave (veterinarian building)

2871 Fairfield Ave: Sonia Stevens, 11 Jetland St, Bpt 06605

2863 Fairfield Ave: Nicholas Khamarji, 610 Brooklawn Ave, 06610

2855 Fairfield Ave: SRC Property, 4013 Park Ave #9, Fairfield, CT 06825

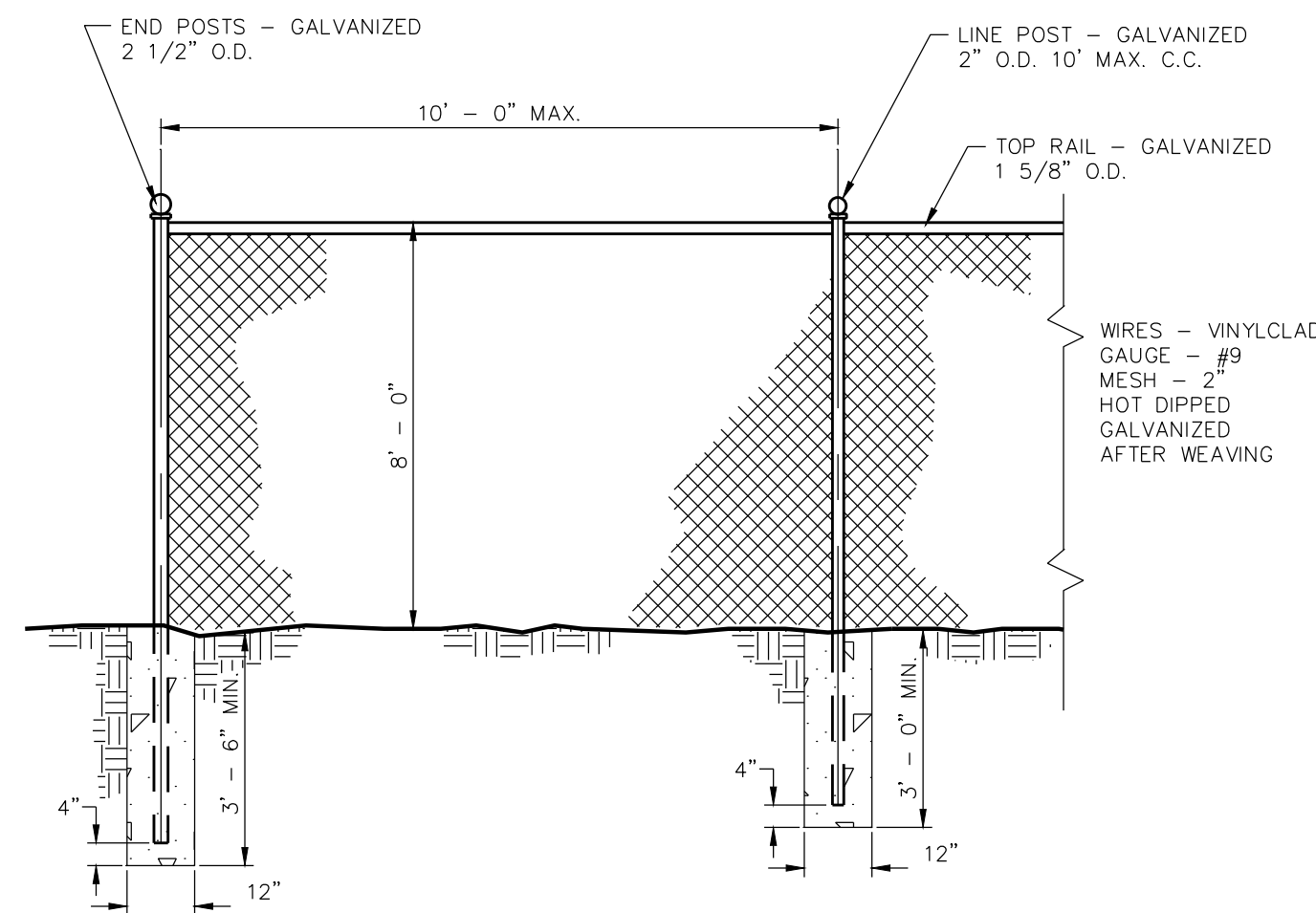


NOTE: 1/2" PREMOLDED EXPANSION JOINTS SHALL BE INSTALLED AT 20' O.C., UNLESS OTHERWISE SPECIFIED.

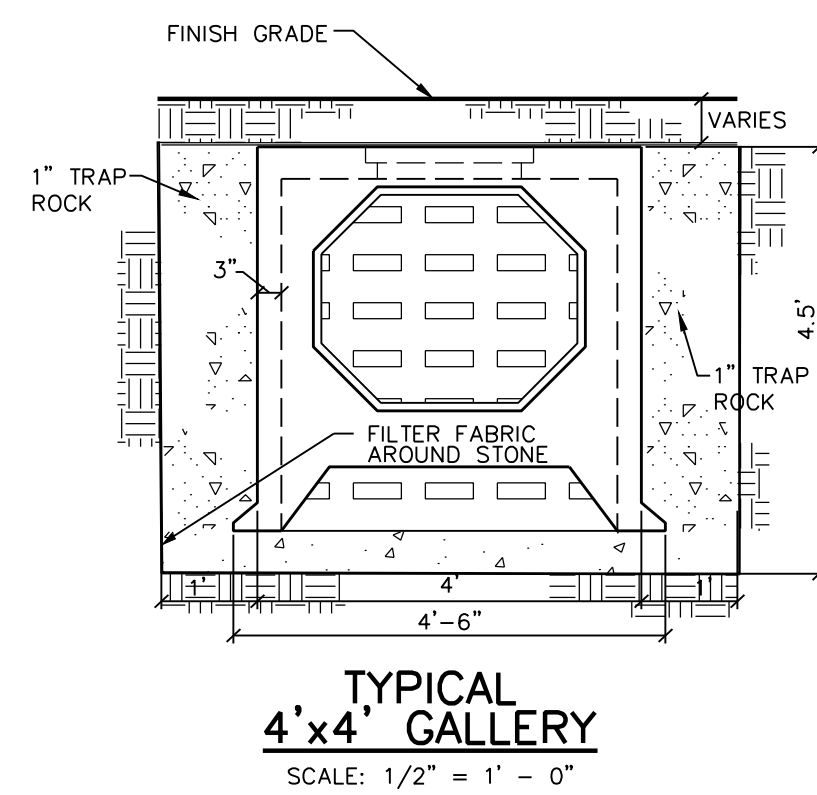
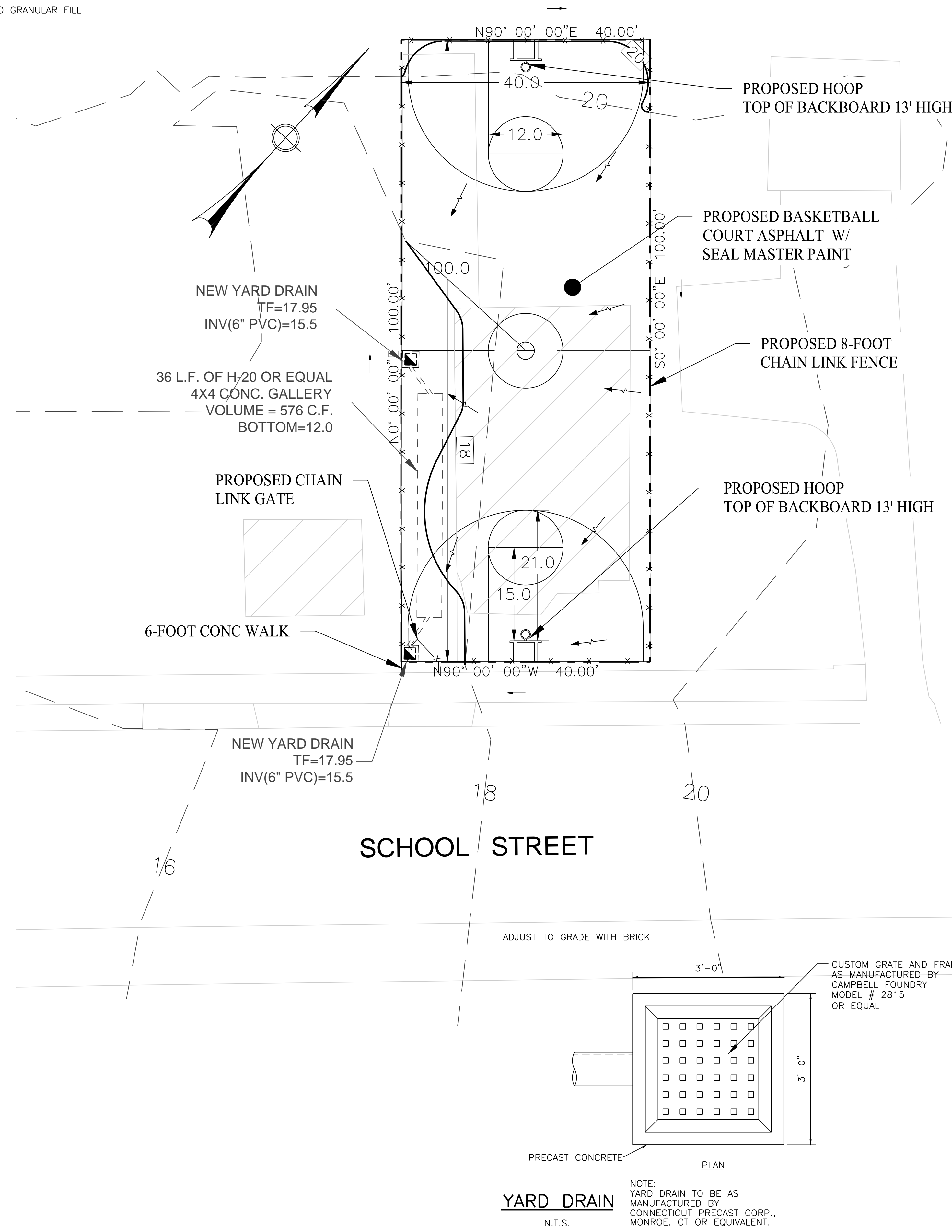
**CONCRETE WALK**  
N.T.S.

**LEGEND**

- EXISTING EDGE OF PAVEMENT
- - - PROPOSED EDGE OF PAVEMENT
- - - PROPERTY LINE
- - - STREAM
- - - WETLANDS
- EXISTING BUILDING
- PROPOSED BUILDING
- B1 BORING
- ⊕ TEST PIT
- 123.4 EXISTING SPOT ELEVATION
- 123.4 PROPOSED SPOT ELEVATION
- - - EXISTING 2' CONTOUR
- - - EXISTING 10' CONTOUR
- - - PROPOSED 2' CONTOUR
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING STORM PIPES
- - - PROPOSED STORM PIPES
- - - EXISTING SANITARY PIPES
- - - PROPOSED SANITARY PIPES
- GRADE TO DRAIN
- HAYBALES
- - - FILTER FABRIC FENCE



**CHAIN LINK FENCE**  
SCALE 1/4" = 1' - 0"



**TYPICAL 4' x 4' GALLERY**  
SCALE: 1/2" = 1' - 0"

RESIDENTIAL MULTI-FAMILY ZONE (R-C)	STANDARDS	PERVIOUS CONDITION	PROPOSED CONDITION
<b>LOT</b>			
Lot area, minimum	9,000 s.f.	4,000 S.F.	4,000 S.F. **
Frontage, minimum	60 ft.	40 FT	40 FT **
Depth, minimum	n.a.	-	-
Lot area per dwelling unit, minimum	2,700 s.f.	4,000 S.F.	N/A
<b>PRINCIPAL BUILDING SETBACK</b>			
Front lot line, minimum from	15 ft. or Prevailing	7.5'	-
Side lot line, minimum from	10 ft. (1)	3.3'	-
One side	Note 1	32.25'	-
Both sides shall add up to	Note 1	-	-
Rear lot line	The lesser of 20% of lot depth or 50'	42.6'	-
<b>ACCESSORY STRUCTURE SETBACK</b>			
Front lot line, min.	The lesser of 50% of lot depth or 75'	-	-
Side lot line, min.	3 ft.	-	-
Rear lot line, min.	3 ft.	-	-
Corner lot, min.	Note 2	-	-
Floor area max.	Note 4	-	-
<b>COVERAGE</b>	Note 5		
Building coverage, maximum	60%	33%	0%
Site coverage, maximum	70%	58%	100%*
<b>LANDSCAPED AREA</b>			
Minimum	30%	42%	0%*
<b>HEIGHT</b>	Note 6 & 8		
Principal Building, maximum	4 stories or 45 ft.	3 Stories	-
To mid-point of highest roof	n.a.	-	-
To ridge	n.a.	-	-
Accessory Structure, maximum	n.a.	-	-
Flat or rounded roof	12 ft.	-	-
To ridge	15 ft.	-	-

\* NON CONFORMING  
\*\* EXISTING NON CONFORMING

NOTE:  
1. Side setback shall be either ten ft. min. or forty percent of the principal building height, whichever is greater.  
2. Corner lots are required to provide two front yards and two side yards.  
4. See Section 4-9-10(c).  
5. On lots of five (5) acres or more, building coverage shall not exceed 60% and site coverage shall not exceed 70%.  
6. For nursing homes, convalescent homes, assisted living facility or congregate housing, max. allowable height of a principal building shall be 5 stories or 60 feet and the lot size is at least five acres. (Dormitories excluded)  
8. In flood plain areas where the lowest floor of the building is elevated to meet the flood damage prevention standards, the maximum total building height shall be measured from the Base Flood Elevation (BFE)+1' elevation.

REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

**SITE PLAN**

40 SCHOOL STREET  
BRIDGEPORT, CONN.

PREPARED FOR  
**BLACK ROCK SCHOOL**

SHEET TITLE

**SCHEMATIC SITE PLAN**

DESIGNED BY: PLT	SCALE: 1" = 20'
DRAWN BY: LJC	DATE: 02-23-15
CHECKED BY: PLT	PROJECT NUMBER: 1883
CAD FILE: R:\1883-Brewster-Bpt\dwg\1883-Siteplan.dwg	

SEAL SHEET NUMBER

**SP-1**



Written Statement: 40 School Street

We at Black Rock School are requesting to build a basketball court for the schoolchildren.. Currently the property is just covered by grass and dirt. While the residential standard for landscaping is 30% for a residential area, the basketball court will cover the property. We will add plantings to the border, however. All the water will stay on the property because of the proposed drainage on the site plan.

Thank you for your time,

Stephen Cassidy, principal & community members of the PAC



CITY OF BRIDGEPORT

**ZONING BOARD OF APPEALS APPLICATION**

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(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

\_\_\_\_\_ Zone \_\_\_\_\_  
(Number) (Street) (Zone Classification)

On the \_\_\_\_\_ side of the street about \_\_\_\_\_ feet \_\_\_\_\_ from  
(North, South, East, West) (North, South, East, West)

\_\_\_\_\_ Block : \_\_\_\_\_ Lot: \_\_\_\_\_  
(Street)

Dimension of Lot in Question \_\_\_\_\_  
(Specify)

1. NAME OF APPLICANT / BUSINESS \_\_\_\_\_  
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) \_\_\_\_\_

3. HAS A PREVIOUS APPLICATION BEEN FILED? \_\_\_\_\_ IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT \_\_\_\_\_

5. THIS APPLICATION RELATES TO: Check all that Apply

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management  
Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY \_\_\_\_\_

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? \_\_\_\_\_

APPLICANT \_\_\_\_\_ / \_\_\_\_\_ DATE \_\_\_\_\_  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address \_\_\_\_\_  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**

All questions must be answered in detail (use separate sheet if necessary).

The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.

NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.  
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

\_\_\_\_\_ FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

134 Albion St and 2093-2097 Fairfield Avenue Zone I-L

On the East side of the street about 0 feet South from

Fairfield Avenue Block: 19/308 Lot: 1 & 2/A

Dimension of Lot in Question 84.15' x 100.00' x 50.00' x 90.00' x 50.00' x 95.81' x 100.00' x

1. NAME OF APPLICANT / BUSINESS Barros Motors Auto Sales LLC

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner and Lessee

3. HAS A PREVIOUS APPLICATION BEEN FILED? Yes IF SO, GIVE DATE OF HEARING 12/8/21

4. DESCRIBE PROPOSED DEVELOPMENT

A certificate of approval of location of a motor vehicle repair facility and general repairer's license

5. THIS APPLICATION RELATES TO: Check all that Apply

- Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: Motor Vehicle - Consent Agenda

6. USE TO BE MADE OF PROPERTY Motor vehicle repair facility and General Repairer's license

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT [Signature] DATE 06/04/2021

If signed by agent, state capacity (lawyer, builder, etc) /

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824

PROPERTY OWNERS ENDORSEMENT Print

Subscribe & Sworn to before me this day of 20

Notary Public in & for the County of Fairfield, State of Connecticut.

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FEE RECEIVED: DATE: 20 Clerk



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 Elizabeth A. Falkoff\*  
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 William M. Petroccio\*  
 Raymond Rizio\*  
 Christopher B. Russo  
 Robert D. Russo  
 John J. Ryan  
 Vanessa R. Wambolt  
 (\*Also Admitted in NY)

June 4, 2021

Dennis Buckley  
 Zoning Administrator  
 Zoning Department  
 45 Lyon Terrace  
 Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Petition for Certificate of Location and General Repairer’s License for Motor Vehicle  
 Repair Facility – 134 Albion Street & 2093-2097 Fairfield Avenue**

Dear Mr. Buckley:

Please accept the following narrative and enclosed application materials as part of the application for a certificate of approval of location for a motor vehicle repair facility with general repairer’s license to the Bridgeport Zoning Board of Appeals (“ZBA”) for the properties located at 134 Albion Street & 2093-2097 Fairfield Avenue (the “Site”) in the I-L Zone:

**Narrative**

The Petitioner requests an approval for a Certificate of Location for a motor vehicle repair facility with general repairer’s license at the Site. The Applicant had previously submitted to ZBA for a general repairer’s license as well as approval to operate a used car dealership. While the Site can accommodate a dealership, the Petitioner only seeks approval for a motor vehicle repair facility with this current Petition.

The Site currently contains a single approximately 2,350 SF single-story building with Three (3) bay doors. The Site has previously been approved for the existing alarm & stereo installation business within the bay area on the south side of the building as well as both a motor vehicle repair and sales facility for the entire Site dating all the way back to 1988. So, the Site has a long history with the proposed use and beyond. Again, the Petitioner is not seeking approval as a used car dealership with this Petition, but merely to continue to operate as a small motor vehicle repair facility.

The Site’s only access is from Albion Street, which allows the Petitioner the ability to screen the Site from Fairfield Avenue. The Petitioner intends to landscape along the Fairfield Avenue property line to provide an attractive front to the Site. The Site features a very large parking area, which provides well in excess of the off-street parking requirements under the Regulations. The Regulations require Ten (10) off-street parking spaces for the first 5,000 SF of a motor vehicle repair facility and the existing building is only around 2,350 SF. It should also be noted, these prior zoning

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 Fairfield, CT 06824

Tel 203-255-9928  
 Fax 203-255-6618

approvals relied solely on the parking available at 134 Albion Street. However, the Petitioner also owns the property at 2093-2097 Fairfield Avenue, which provides even more parking for the Site, well in excess of the parking required for a building double the size of the existing building.

This Site has been approved as a motor vehicle repair facility for decades. For the reasons stated above, the Petitioner respectfully requests approval of a Certificate of Location as a vehicle repair facility with a general repairer's license to continue said use within the existing building.

Sincerely,



Christopher Russo

# Business Inquiry

## Business Details

Business Name: **BARROS MOTORS AUTO SALES LLC**

Citizenship/State Inc: **Domestic/CT**

Business ID: **1309270**

Last Report Filed Year: **2021**

Business Address: **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA**

Business Type: **Domestic Limited Liability Company**

Mailing Address: **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA**

Business Status: **Active**

Date Inc/Registration: **May 13, 2019**

Annual Report Due Date: **03/31/2022**

NAICS Code: **Other Services (except Public Administration) (81 )**

NAICS Sub Code: **All Other Automotive Repair and Maintenance (811198 )**

## Principals Details

**Name/Title**

**Business Address**

**Residence Address**

DANIEL H BARROS MANAGING MEMBER

134 ALBION STREET, BRIDGEPORT, CT, 06605, USA

10 KNOLL PLACE, 10 KNOLL PLACE, BRIDGEPORT, CT, 06610, USA

## Agent Summary

Agent Name **DANIEL H BARROS**

Agent Business Address **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA**

Agent Residence Address **10 KNOLL PLACE, CT, BRIDGEPORT, CT, 06610, USA**

Agent Mailing Address **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA**

**PROPERTY ADDRESS WITHIN 100' OF 134 ALBION ST AND 2093-2097 FAIRFIELD AVE**

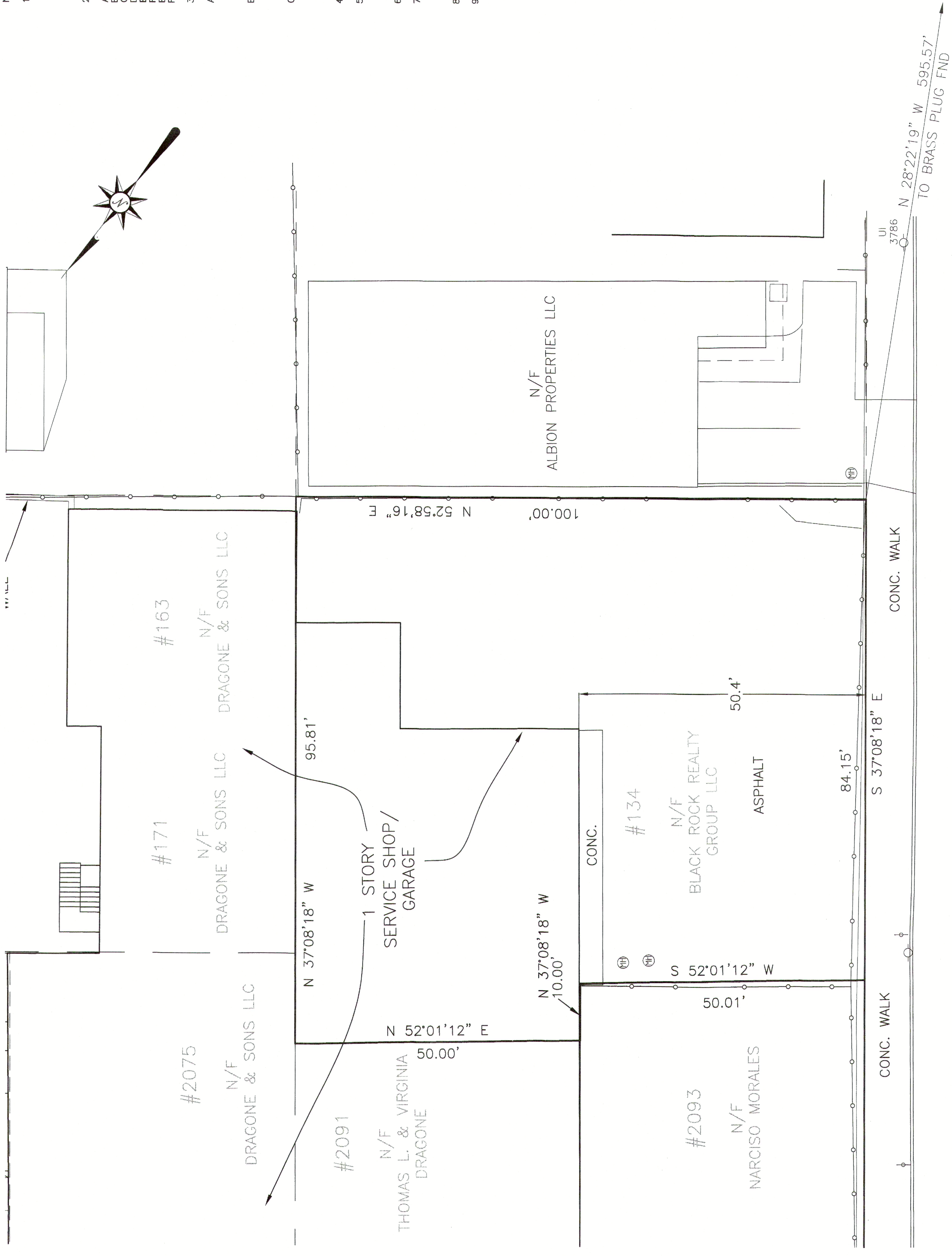
<b>PROPERTY ADDRESS</b>	<b>OWNER NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
110 ALBION ST	REID CEPHAS N N	234 OAKSIDE ST	LEHIGH ACRES	FL	33936
134 ALBION ST	BLACK ROCK REALTY GROUP LLC	801 ELLSWORTH ST	BRIDGEPORT	CT	06605
145 ANDOVER ST #151	BAR BRIDGEPORT LLC	145 ANDOVER ST #151	BRIDGEPORT	CT	06605
137 ANDOVER ST #143	NEDELJKOVIC DARA	669 WHITE PLAINS RD	TRUMBULL	CT	06611
2115 FAIRFIELD AV	ALBION PLAZA LLC	62 STONEY RIDGE RD	SADDLE RIDGE	NJ	07458
118 ALBION ST	ALBION PROPERTIES LLC	97 STROBEL RD	TRUMBULL	CT	06611
171 ANDOVER ST	DRAGONE & SONS LLC	16 PAR LN	TRUMBULL	CT	06611
163 ANDOVER ST	TROJILLO JOSE E	1452 WOOD AVE	BRIDGEPORT	CT	06604
2093 FAIRFIELD AV #2097	BARROS DANIEL	10 KNOLL PL	BRIDGEPORT	CT	06610
165 ANDOVER ST	WALDORF PROPERTIES LLC	478 ALBANY AVE #1	BROOKLYN	NY	11203
102 ALBION ST	ALPHA BLACK ROCK LLC	1700 DIXWELL AVE, BLD D, STE K	HAMDEN	CT	06473
2145 FAIRFIELD AV	RDS NATIONAL GROUP LLC	9675 AUTRY FALLS DR	ALPHARETTA	GA	30022
2075 FAIRFIELD AV	DRAGONE & SONS LLC	16 PAR LN	TRUMBULL	CT	06611
2091 FAIRFIELD AV	BLACK ROCK REALTY GROUP LLC	2091 FAIRFIELD AVE	BRIDGEPORT	CT	06605
2073 FAIRFIELD AV	DRAGONE & SONS LLC	16 PAR LN	TRUMBULL	CT	06611
2098 FAIRFIELD AV	POWER TEST REALTY CO LTD PARTNERSHIP C/O GETTY REALTY CORP	292 MADISON AVE, 9TH FL	NEW YORK	NY	10017

NOTES:

- THIS SURVEY (OR MAP) HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND IS INTENDED TO BE USED FOR REGULATORY APPROVAL.
- REFERENCE IS MADE TO THE FOLLOWING DEEDS:
  - VOL.2450 PG.179
  - VOL.3140 PG.278
  - VOL.4985 PG.197
  - VOL.5883 PG.053
  - VOL.6122 PG.019
  - VOL.6576 PG.086
  - VOL.7717 PG.256
  - VOL.10118 PG.247
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
  - "MAP NO. 1 OF PROPERTY TO BE KNOWN AS 'BARNUM LAND,' BRIDGEPORT, CONN.," SCALE 100 FT. TO 1 IN., PREPARED BY SCOFIELD & FORD, JUNE 1, 1914, ON FILE IN THE BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOL.5 PG.38 AND RECOPIED IN COPIES OF MAPS VOL.7 PG.59.
  - "IMPROVEMENT LOCATION SURVEY OF PROPERTY LOCATED AT 146 ANDOVER STREET, BRIDGEPORT, CONNECTICUT, PREPARED FOR BRIDGEPORT BIODIESEL, LLC" SCALE 1"=20', PREPARED BY PEREIRA ENGINEERING, LLC, SEPTEMBER 15, 2009.
  - "BOUNDARY & TOPOGRAPHIC SURVEY, BRIDGEPORT HOUSING AUTHORITY, 46 ALBION STREET, BRIDGEPORT, CONNECTICUT" PROJECT NUMBER 140028201, DRAWING NO. 07.01, SCALE 1"=20', PREPARED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, OCTOBER 16, 2009.
  - OWNER OF RECORD: BLACK ROCK REALTY GROUP, LLC..
  - LOT CORNER MARKERS DEPICTED HEREON WERE FOUND AND/OR SET DURING COMPLETION OF THIS SURVEY. ALL CORNER MARKERS FOR THIS LOT ARE TO BE PLACED AS PART OF SUBDIVISION IMPROVEMENTS AND HAVE BEEN BONDED TO THE TOWN.
  - BEARINGS BASED ON REFERENCE MAP 3..C.
  - CERTIFICATION OF THIS MAP APPLIES TO CONDITIONS AS OF THE ORIGINAL DATE OR REVISED DATE DEPICTED HEREON. EXISTING CONDITIONS ON THIS PROPERTY MAY HAVE CHANGED SINCE THAT DATE AND AN UPDATED SURVEY IS RECOMMENDED TO ACCURATELY DEPICT THE CURRENT CONDITIONS.
  - TAX ASSESSOR INDICATES OWNER OF #171 ANDOVER STREET TO BE ALL COUNTY AUTO, LLC.
  - AREA = 8,998 SQUARE FEET.

LEGEND

—○—	CHAIN LINK FENCE
—□—	STOCKADE FENCE
○	UTILITY POLE
□	ELECTRIC BOX
⊗	GAS VALVE
⊕	WATER METER
⊖	WATER VALVE
⊗	MONITORING WELL
⊕	MANHOLE
⊖	CATCH BASIN
+	SIGN
*	LAMP POST

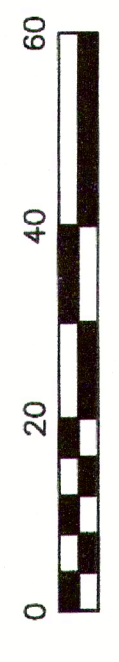


IMPROVEMENT LOCATION SURVEY  
134 ALBION STREET  
BRIDGEPORT, CONNECTICUT

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.  
THIS MAP IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OR AFFIXED WITH THE LIVE STAMP OF THE SIGNATORY.

**J. EDWARDS & ASSOCIATES, LLC**  
Engineering  
277 Shennedy Road  
Easton, CT, 06812  
(203)-288-4205  
www.jedassoc.com

*(Signature)*  
JASON EDWARDS, L.S. No. 70308



SCALE 1"=20'  
AUGUST 11, 2020



## Business Inquiry

### Business Details

Business Name: **BARROS MOTORS AUTO SALES LLC**      Citizenship/State Inc: **Domestic/CT**

Business ID: **1309270**      Last Report Filed Year: **2021**

Business Address: **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA**      Business Type: **Domestic Limited Liability Company**

Mailing Address: **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA**      Business Status: **Active**

Date Inc/Registration: **May 13, 2019**

Annual Report Due Date: **03/31/2022**

NAICS Code: **Other Services (except Public Administration) (81 )**      NAICS Sub Code: **All Other Automotive Repair and Maintenance (811198 )**

### Principals Details

Name/Title	Business Address	Residence Address
DANIEL H BARROS MANAGING MEMBER	134 ALBION STREET, BRIDGEPORT, CT, 06605, USA	10 KNOLL PLACE, 10 KNOLL PLACE, BRIDGEPORT, CT, 06610, USA

### Agent Summary

Agent Name **DANIEL H BARROS**

Agent Business Address **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA**

Agent Residence Address **10 KNOLL PLACE, CT, BRIDGEPORT, CT, 06610, USA**

Agent Mailing Address **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA**

## Sampieri, Nicholas

---

**From:** Christopher Russo <Chris@russorizio.com>  
**Sent:** Thursday, June 3, 2021 5:12 PM  
**To:** Sampieri, Nicholas  
**Subject:** 134 Albion St

Can I get a copy of the prior approvals on 134 Albion St. Thanks



**Christopher B. Russo**  
Attorney, Russo & Rizio, LLC  
10 Sasco Hill Road, Fairfield, CT 06824  
Direct Dial: (203) 528-0590  
Office: (203) 255- 9928  
[Chris@russorizio.com](mailto:Chris@russorizio.com)  
[www.russorizio.com](http://www.russorizio.com)

**ZONING COMPLIANCE FIELD CARD**

No.: 1R0033

Date: 10/16/19

IL-Zone  
308-2A

Applicant: Sounds Good

Location: **134 Albion St**  
North 100' East of Fairfield Ave

Dimension of Lot: 88'x100'

Proposed Construction and/or Use: No work, new tenant utilizing single right-side bay inc. to an alarm & stereo installation business.

Notes:

By: 

Date: 10-16-19

**134 Albion St**

CA-2

**PLANNING & ZONING COMMISSION**

Seeking under Sec. 14-54 of the CT General Statutes an amended certificate approval of location for a used car dealer's license under new ownership in an I-L zone.

WOOD AVE AUTO SALES, LLC  
C/O JOSE SANTOS CARCAMO  
134 ALBION STREET  
BRIDGEPORT, CT 06605

**PUBLIC HEARING:** August 25, 2014

**DECISION:** Consented Approval

**CONDITIONS:** DMV CONDITIONS "D"

134 Albion St. Velez Service Center, Inc. 05/10  
east side 100' south owner  
of Fairfield Ave.  
Lot: 84.15' x 100'  
x 185.81' x 50' x 50' x 50'

WAIVER OF HEARING REQUIREMENTS FOR MOTOR VEHICLE

LICENSING - grant under Sec. 14-54 of the C.G.S. an amended Cert. of App. of Loc. for a Used Car Dealer & Repair License in a BUS. NO. 1 ZONE & LT. IND. Zone to permit the display, sale & repair of Used Motor Vehicles in connec. with an exist. repair garage facility under new ownership.

WAIVER OF HEARING REQUIREMENTS FOR MOTOR VEHICLE

LICENSING, Tuesday, March 8, 1988 GRANTED CONDITIONALLY subject to the following conditions:

(over)

134 Albion St. Mimi Dragone, Inc.,  
east side 100' south lessee  
of Fairfield Ave.  
Lot: 84.15' x 100' x  
185.81' x 50' x 50' x 50'

WAIVER OF HEARING REQUIREMENTS FOR MOTOR VEHICLE

LICENSING - grant under Sec. 14-54 of the C.G.S. an amended Certificate of Approval of Location for a Used Car Dealer License in a BUS. NO. 1 & LT. IND. ZONE to permit the display, sale & repair of used motor vehicles in connec. with an exist. dealership under new ownership.

WAIVER OF HEARING REQUIREMENTS FOR MOTOR VEHICLE

LICENSING - Tuesday, June 13, 1989 GRANTED under

# PETITION TO THE BOARD OF APPEALS

## City of Bridgeport, Connecticut

The undersigned presents the following petition for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

189 Arctic Street Zone R-C  
(Number) (Street) (Zone Classification)

On the North side of the street about 70 feet East from William Street  
(North, South, East, West) (North, South, East, West)

Block: 1636 Lot: 13  
 Dimension of Lot In Question 42.55' Ft + 52.13' Ft + 42.72 Ft + 61.37 Ft.  
(Specify)

1. NAME OF PETITIONER / BUSINESS Nova Development  
(Print)

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS ANY PREVIOUS PETITION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Construction of New single-family house, 1,365 SF, 3 Bedrooms, 2 1/2 bathroom, Laundry, Kitchen, Living.

5. THIS PETITION RELATES TO:

(Check all that Apply)

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY Residential Single-Family

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? \_\_\_\_\_

Under size lot

PETITIONER Lucimeire Mampan 1 Lucimeire Mampan DATE 06-04-2021  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ lucimeire.mampan@gmail.com  
(Email)

Mailing Address 4 Brush Dr. New Fairfield, CT 06812 203 516 1208  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print OLINTO NOGUEIRA  
(If other than owner) (Signature)

Subscribe & Sworn to before me this 08 day of June 2021

Olinto Nogueira Notary Public In & for the County of Fairfield, State of Connecticut.

### Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All questions must be answered in detail (use separate sheet if necessary).  
 The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this petition.

NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.  
 PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
 (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

Maira Desouza  
 Notary Public, State of Connecticut  
 My Commission Expires April 30, 2022

04-06-2021  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06904  
(Hand Delivered)

Re: New Construction: Single-Family Home  
Variance of the required minimum lot line setback  
ZBA Application at 189 Arctic St

Dear ZBA Members:

Please accept the following narrative and enclose application for the request of a variance of the minimum side lot line setback for the property located at 189 Arctic St, Bridgeport, CT, to permit the construction of a single-family residence on an R-C zone.

#### Proposed Development & Use

The petitioner proposes to construct a two story, single-family home of approximated 1,300 SF of living space containing 3 (three) bedrooms, living room, dining room, kitchen, 2-1/2 bathrooms, and laundry room. The site will be provided with over 54% of landscape area which exceeds the actual Zoning Requirement of 30% of landscape area.

The Property is located on the R-C Residence Zone and the proposed development will be in conformity with the character of the existing neighborhood and does not affect the neighborhood in any negative way.

#### Variances Request

1. Variance of Section *F-3* minimum (both) side lot setback of the required 23' 2" for the proposed 20' 4" to permit the construction of a single-family dwelling unit located on an R-C zone. Historic District.

### Hardship

The first submitted proposal – that was in accordance with zoning regulations – was declined on June 1<sup>st</sup> by the Historic Commission (letter attached on the process). The updated proposal, in order to incorporate the Commissioners' request, increased the height of the building from 24' 10" to 28' 10", provoking each side setback to change from 10' 2" to 11' 6" (40% of the height of the building), as stated on engineering plans.

The proposed building is located 10' 2" from each side property lines. As result of the extreme limited space available on the property, it is not attainable to resize the building proposed on architectural plans – that is already considered a tiny house – to match the current setback (11' 6") for each sides.

For the reason stated above, the petitioner respectfully hereby requests your consideration and approval of this petition.

Lucimeire Mompean

Petitioner





City of Bridgeport, Connecticut  
**HISTORIC DISTRICT COMMISSION**

ROOM 210 - 45 LYON TERRACE  
BRIDGEPORT, CONNECTICUT 06604  
TELEPHONE: (203) 576-7217  
FAX: (203) 576-7213

HISTORIC DISTRICT COMMISSION #1  
STRATFIELD HISTORIC DISTRICT

June 2, 2021

Nova Development, LLC  
46 Payne Road  
Bethel, CT 06801

1. Reference: Application #2021-2 of Nova Development, LLC for the construction of a new single-family dwelling at the address of 189 Arctic Street.

Dear Nova Development:

At the meeting held on June 1, 2021 the Historic District Commission of the City of Bridgeport voted to DENY your application.

Reasons:

1. The pitch of the roof shall be increased to compliment the historic character of the neighborhood.
2. The first floor shall be raised from grade to be consistent with the houses on the street.

Please contact me at (203) 576-7217 if you have questions.

Sincerely,

Paul Boucher  
Historic Commission Clerk

## List of the Property Owners

Torres Eduardo – 388 William St, Bridgeport CT, 06608

Murray Maxine P – 400 William St, Bridgeport CT, 06608

Allison Jasmin – 404 William St, Bridgeport CT, 06608

Negron Julio & Elena – 3 William PL, Bridgeport CT, 06608

Moales Anthony – 4 William PL, Bridgeport CT, 06608

Rivera Zoraida – 5 William PL, Bridgeport CT, 06608

Wells Fargo Bank NA Trustee – 217 Arctic St, Bridgeport CT, 06608

Gudino Catalan Erik L – 211 Arctic St, Bridgeport CT, 06608

Castro Gloria N Penaranda – 194 Arctic St, Bridgeport CT, 06608

ACA Arturo ET – 178 Arctic St, Bridgeport CT, 06608





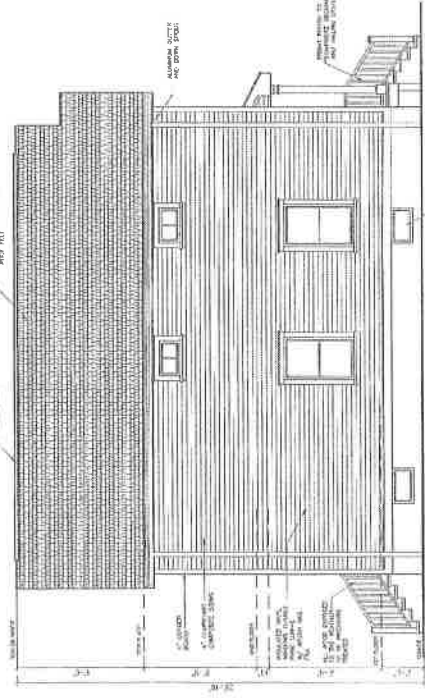
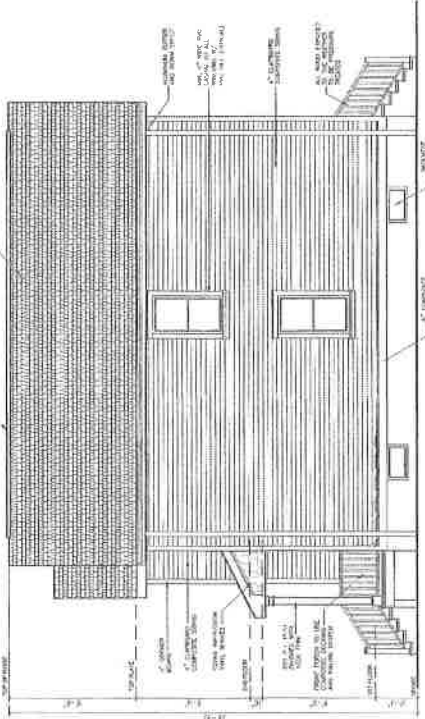
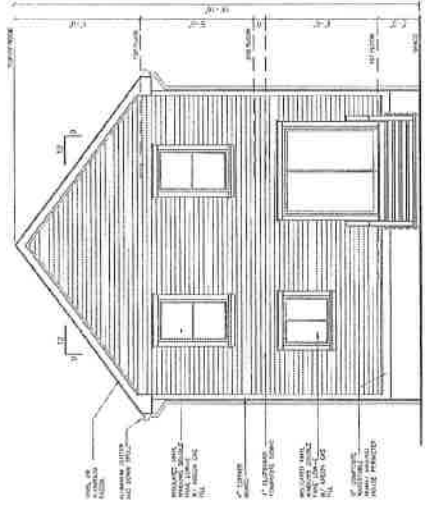
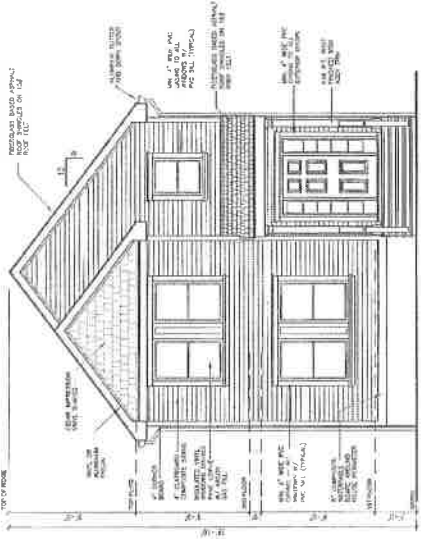
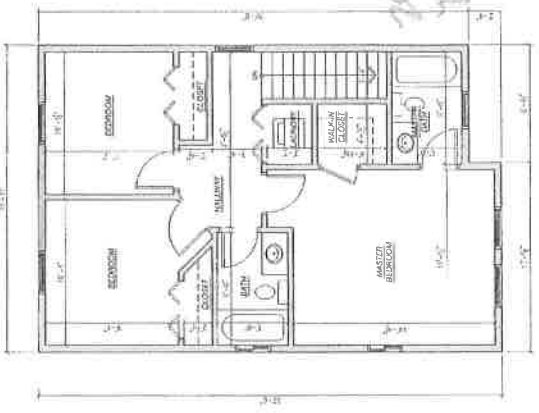
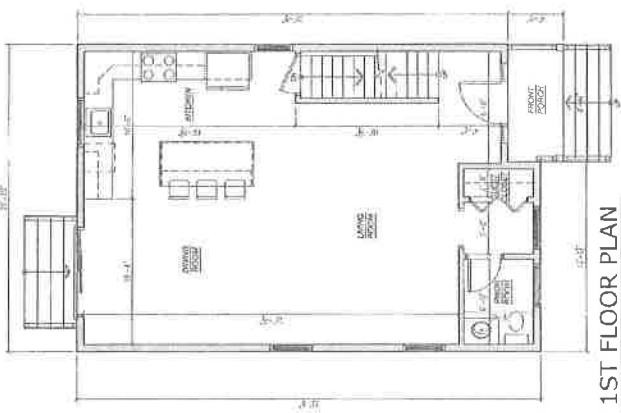
05-25-2021	REVISIONS
06-02-2021	

NEW SINGLE FAMILY HOME PLANS  
 PREPARED FOR PROPERTY LOCATED AT  
 189 ARCTIC STREET, BRIDGEPORT, CT

DATE: 06-27-2021	SCALE: AS NOTED
DESIGNER: M. RENNEMER 303-449-0137	PROJECT #: MCH2021-125
MAIL: mrennemera@prlx.com	

FLOOR PLANS AND ELEVATIONS  
**A-1**

The Engineer's Office (E.O.) hereby certifies that the plans shown herein were prepared by a duly licensed professional engineer in the State of Connecticut. The Engineer's Office is not responsible for any errors or omissions on the part of the contractor or any other person who may use these plans for any purpose other than that intended by the Engineer's Office.





CITY OF BRIDGEPORT

**ZONING BOARD OF APPEALS APPLICATION**

The undersigned presents the following application for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

215 & 235 Frank Street Zone R-C  
(Number) (Street) (Zone Classification)

On the South side of the street about 0 feet East from  
(North, South, East, West) (North, South, East, West)

Catherine Street Block : 41/1023 Lot: 1/A & 9  
(Street)

Dimension of Lot in Question 134.59' x 94.53' x 61.89' x 19.45' x 73.09' x 73.92'  
(Specify)

1. NAME OF APPLICANT / BUSINESS Pantanal Family Restaurant, LLC  
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT \_\_\_\_\_  
Expunge Condition of Approval dated March 11, 2003 to permit a consumer bar at the existing restaurant

5. THIS APPLICATION RELATES TO: Check all that Apply:

- Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking
- Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: Expunge condition of prior Zoning Board of Appeals approval

6. USE TO BE MADE OF PROPERTY Existing restaurant with a full-service restaurant liquor permit with a 10-seat consumer bar

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT [Signature] / \_\_\_\_\_ DATE 06/04/2021  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / Chris@russorizio.com  
(Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**

All questions must be answered in detail (use separate sheet if necessary).  
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this application.  
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.  
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_  
FOR OFFICE USE ONLY (Rev. 6/22/16)



Colin B. Connor  
Elizabeth A. Falkoff\*  
Robert G. Golger  
Michael C. Jankovsky  
David K. Kurata  
Katherine M. Macol  
Leah M. Parisi  
William M. Petroccio\*  
Raymond Rizio\*  
Christopher B. Russo  
Robert D. Russo  
John J. Ryan  
Vanessa R. Wambolt  
(\*Also Admitted in NY)

June 7, 2021

Dennis Buckley  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Petition to Expunge Conditions of Approval – 215 & 235 Frank Street**

Dear Mr. Buckley:

Please accept, on behalf of Pantanal Family Restaurant, LLC, (the “Petitioner”), the following narrative and enclosed application materials as part of an application to expunge conditions of approval from the Zoning Board of Appeals (“ZBA”) dated March 11, 2003, (the “Prior ZBA Approval”) under the Bridgeport Zoning Regulations (the “Regulations”) for the property located at 215 & 235 Frank Street (the “Site”) to permit a full-service restaurant liquor permit with a Ten-seat consumer bar within the existing Pantanal restaurant in the R-C Zone.

**Narrative**

The Petitioner requests to expunge conditions 1 & 2 of the Prior ZBA Approval to permit a full-service restaurant liquor permit with a Ten-seat consumer bar within the existing Pantanal restaurant. The Site is located at the corner of Frank Street and Catherine Street and contains Eleven thousand two hundred and fifty-one square feet (11,251 SF). The Site is in the R-C Zone, but it is located in a mixed use neighborhood, which contains a variety of uses from residential to retail to light industrial. The existing use has been established at the Site for decades and has become a cornerstone of the neighborhood and community.

The Petitioner proposes to install a Ten-seat consumer bar within the existing restaurant under a full-service restaurant liquor permit. The interior conversion will be a minimal change for the restaurant. The exterior of the Site itself will remain unchanged. Of all the industries affected by the COVID-19 pandemic, the restaurant industry has been impacted the hardest. Many restaurants have been forced to shutter, while other restaurants have experienced a steep reduction in patronage and even their ability to accommodate patronage within their restaurants. With social-distancing requirements, food service establishments can not seat the same number of patrons as they did prior to the pandemic. These food service establishments have had to adapt to remain open and service the needs of their communities. The proposed minor adjustment to the existing and longstanding use at the Site will help to achieve these goals.

10 Sasco Hill Road  
Fairfield, CT 06824

Tel 203-255-9928  
Fax 203-255-6618

A hardship is not required as the Petitioner is merely seeking to expunge a condition of approval. They are not requesting a variance. The Site already has been approved for beer and wine service. The Petition will allow for a wider range of offerings from the restaurant and provide a service for neighborhood patrons at a beloved and well-established neighborhood restaurant that has demonstrated its ability to operate at the Site. A small Ten-seat consumer bar will have a negligible impact on the traffic and usage of the Site.

For the reasons stated above, the Petitioner respectfully requests approval of the Petition for the above-stated variances.

Sincerely,



Ray Rizio

**PROPERTIES WITHIN 100' OF 215 & 235 FRANK STREET**

<b>PROPERTY ADDRESS</b>	<b>OWNERS NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
253 MADISON AV #259	COPPOLA FRANK J	710 WEST JACKSON AVE	BRIDGEPORT	CT	06604
234 FRANK ST #236	VALDOVINOS CARLOS & JOSE L	234 FRANK ST	BRIDGEPORT	CT	06604
328 CATHERINE ST #330	MJO APARTMENTS LLC	215 FRANK ST	BRIDGEPORT	CT	06604
206 GEORGE ST	HADDOCK JORGE L	206 GEORGE ST	BRIDGEPORT	CT	06604
285 MADISON AV	3 SINGHS LLC	6245 MAIN ST	TRUMBULL	CT	06611
226 FRANK ST #228	COSTA MARCO PAULO & MARIA E	228 FRANK ST	BRIDGEPORT	CT	06604
245 MADISON AV #247	245-247 MADISON AVE LLC	245 MADISON AVE, #247	BRIDGEPORT	CT	06606
215 FRANK ST	PANTANAL FAMILY RESTURANT LLC	215 FRANK ST	BRIDGEPORT	CT	06604
229 MADISON AV	TAVAREZ FREDDY A	24 SELTSAM ST	BRIDGEPORT	CT	06606
198 GEORGE ST #204	TEIXEIRA JOAQUIM & LUCILIA	198-204 GEORGE ST	BRIDGEPORT	CT	06604
206 FRANK ST #208	RIBEIRO JOSE M ET AL	206-208 FRANK ST	BRIDGEPORT	CT	06604
218 FRANK ST #220	TRI-STATE RENTAL PROPERTIES LLC	792 STURGES HWY	WESTPORT	CT	06880
261 MADISON AV #267	COPPOLA LOUIS F JR ET AL	710 WEST JACKSON AVE	BRIDGEPORT	CT	06604
320 CATHERINE ST	KAREEN GARRICKS & CALVIN	17 UNION AVE	MOUNT VERNON	NY	10550
308 CATHERINE ST #310	ROSA ANTONIO M & MARIA A ROSA	308 CATHERINE ST	BRIDGEPORT	CT	06604
235 FRANK ST	PANTANAL FAMILY RESTURANT LLC	215 FRANK ST	BRIDGEPORT	CT	06604
363 CATHERINE ST #365	MUROLO DOMINICK & KRYSTAL CRUZ-MUROLO	363 CATHERINE ST, #365	BRIDGEPORT	CT	06604
249 FRANK ST #251	PRATT HIRAM & IVERA	9159 LEAH MEADOW LN	CHARLOTTE	NC	28227
257 FRANK ST #259	ALVES JOAQUIM & MARIA ALVES	573 GRAND ST	BRIDGEPORT	CT	06604
315 CATHERINE ST #317	DUQUE AMERICO & LAURA	315 CATHERINE ST	BRIDGEPORT	CT	06604

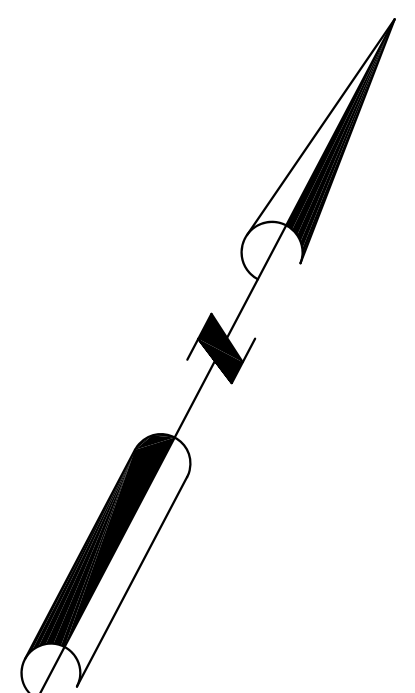


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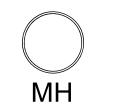
- 1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 28, 1996. IT IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND IS INTENDED FOR MUNICIPAL COMPLIANCE PURPOSES.
2. THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
3. ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.
4. BEARING REFERENCE ASSUMED.
5. REFERENCE IS MADE TO THE FOLLOWING MAPS:
A. MAP ENTITLED "MAP PARTITION OF PROPERTY IN BRIDGEPORT, CONN. FOR: CLOA GERBINO AND RALPH FARINA," SCALE 1"=16', DATED AUG. 4, 1944 PREPARED BY FULLER & CO., INC. AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOL. 29 PG. 24.
B. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING BLOCK 1023.
6. PARCEL INFORMATION:
215 FRANK STREET
A. ASSESSOR'S REFERENCE: BLOCK 1023 | LOT 9
B. PARCEL AREA: 5,863± SQ. FT. or 0.135± AC.
235 FRANK STREET
A. ASSESSOR'S REFERENCE: BLOCK 1023 | LOT 1A
B. PARCEL AREA: 5,388± SQ. FT. or 0.123± AC.
7. RECORD OWNER: PANTANAL FAMILY RESTAURANT, LLC VOL. 6268 PG. 306
8. COMBINED PARCEL AREA: 11,251± SQ. FT. or 0.258± AC.
9. PARCELS ARE LOCATED WITHIN THE R-C ZONING DISTRICT.
10. SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 429 OF 626, COMMUNITY BRIDGEPORT, CITY OF NUMBER 090002 PANEL 0429 SUFFIX G, MAP NUMBER 09001C0429G, MAP REVISED JULY 8, 2013. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS ZONE X (UNSHADED).
11. BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD DOCUMENTATION, CONFLICTING LINES OF TITLE WITH LINES OF POSSESSION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
12. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DEANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DEANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DEANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).
13. ZONING APPROVALS FOUND IN CITY OF BRIDGEPORT TOWN CLERK'S OFFICE:
A) 6/10/1997, THE CONSTRUCTION OF AN ADDITION TO THE EXISTING NONCONFORMING BUILDING WHICH WILL EXCEED 5,000 SQ. FT. IN TOTAL AREA IN AN R-C ZONE AS FILED IN VOL. 3734 PG. 190.
B) 6/30/1997 & 7/14/1997, THE RENOVATION AND IMPROVEMENTS TO THE EXISTING BAKERY AND THE CONSTRUCTION OF A GARAGE ADDITION IN A R-C ZONE AS FILED IN VOL. 3765 PG. 217.
C) 8/14/2001, RESTAURANT USE OF PORTION OF BUILDING IN AN R-C ZONE AS FILED IN VOL. 4728 PG. 319.
D) 10/22/2001, RESTAURANT USE OF PORTION OF BUILDING IN AN R-C ZONE PREVIOUSLY USED AS A BAKERY AS FILED IN VOL. 4728 PG. 318.
E) 1/8/2002, ESTABLISH A BEER AND WINE RESTAURANT PERMIT IN CONNECTION WITH A PROPOSED RESTAURANT USE IN AN R-C ZONE AS FILED IN VOL. 4796 PG. 46.
F) 3/11/2003, EXTENSION AND ENLARGEMENT OF THE EXISTING LICENSED BEER AND WINE RESTAURANT IN A RESIDENCE "C" ZONE AS FILED IN VOL. 5409 PG. 344.

LEGEND

- NF NOW OR FORMERLY
MON MONUMENT
I.P. IRON PIPE
FND FOUND
S.F. SQUARE FEET
CONC. CONCRETE
BIT. BITUMINOUS
OHU OVERHEAD UTILITIES
UG UNDER GROUND
MH MANHOLE
ELEC. ELECTRIC
Ø UTILITY POLE
DYL DOUBLE YELLOW LINE
SWL SINGLE WHITE LINE
BWL BROKEN WHITE LINE
EDP EDGE OF PAVEMENT
RET. RETAINING
CLF CHAIN LINK FENCE
FFE FINISHED FLOOR ELEVATION
C.O. CLEANOUT
LP LIGHT POST
CB CATCH BASIN
WM WATER METER
WV WATER VALVE
GV GAS VALVE
RET. RETAINING
SNET SOUTHERN NEW ENGLAND TELEPHONE
UI UNITED ILLUMINATING COMPANY
TMH TELEPHONE MANHOLE
INT INTERSECTION
INV INVERT
C.I. CAST IRON
V.C. VITRIFIED CLAY
RCP REINFORCED CONCRETE PIPE
RD ROOF DRAIN
MW MONITOR WELL
x 8.65 EXISTING SPOT GRADE
-100-- EXISTING CONTOUR ELEVATION
L.O. LAYOUT OF STREET WIDTH
② PARKING SPACES
HDPE HIGH DENSITY POLYETHYLENE
PVC POLYVINYL CHLORIDE

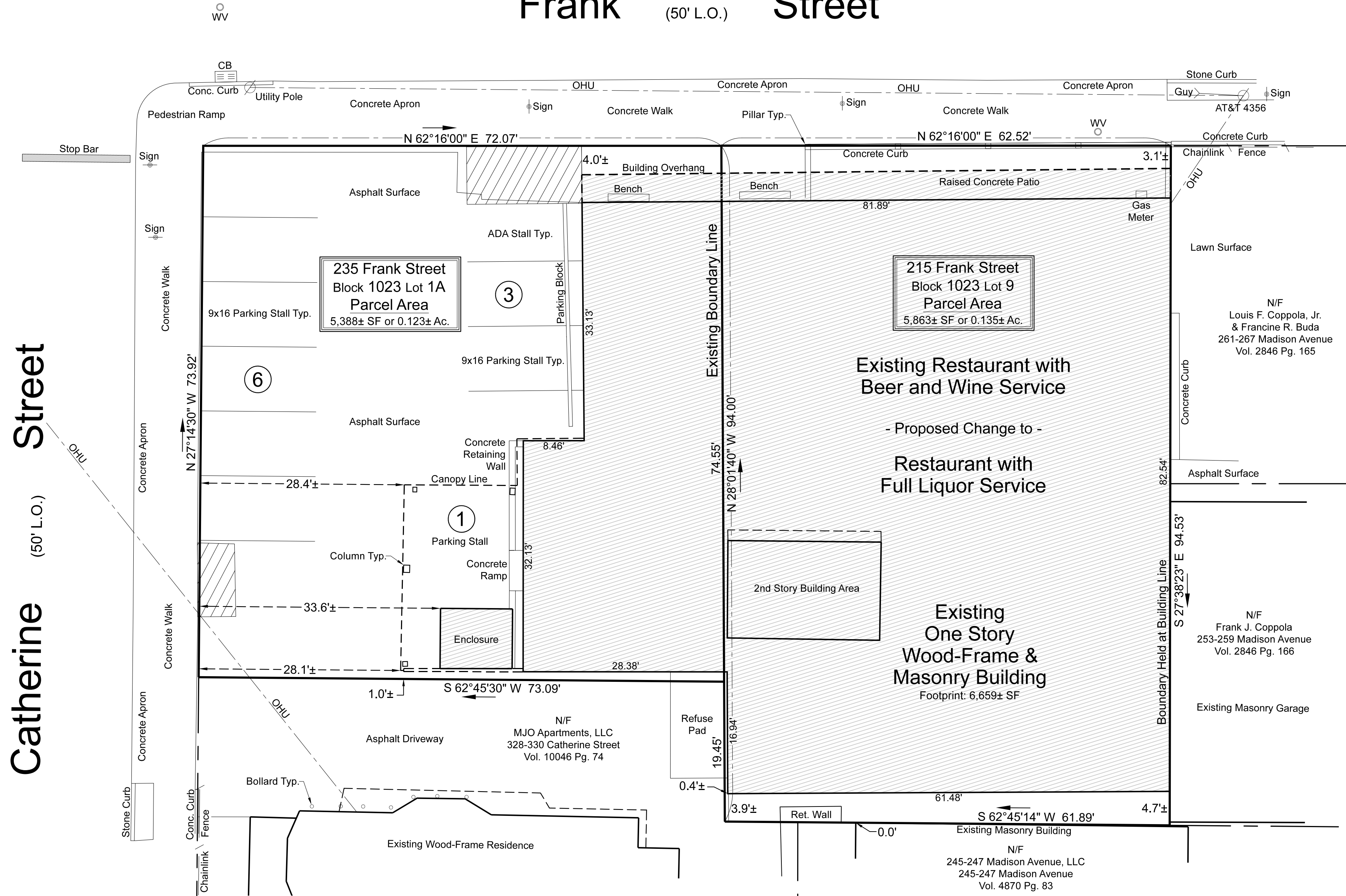


Frank (50' L.O.) Street



MH

Catherine Street (50' L.O.)



LOCATION MAP

SCALE: 1" = 800'

R-C Zone Development Standards

Table with 3 columns: STANDARD, REQUIRED, PROVIDED. Rows include LOT (LOT AREA, FRONTAGE, DEPTH, etc.), PRINCIPLE BUILDING SETBACK (FRONT, SIDE, REAR, etc.), ACCESSORY STRUCTURE (SETBACK, COVERAGE, etc.), LANDSCAPED AREA, and HEIGHT (PRINCIPAL BUILDING, etc.).

NOTES

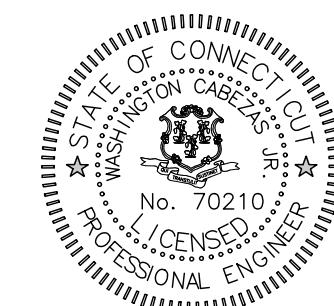
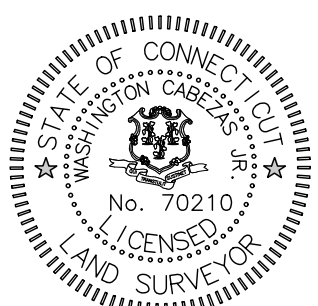
- 1. SIDE SETBACK SHALL BE EITHER TEN (10) FT MINIMUM OR FORTY (40) PERCENT OF THE PRINCIPAL BUILDING HEIGHT, WHICHEVER IS GREATER.
2. CORNER LOTS ARE REQUIRED TO PROVIDE TWO FRONT YARDS AND TWO SIDE YARDS.
3. R-A 5,000 SF LOT MINIMUM SHALL APPLY ONLY TO LAWFULLY CREATED LOTS THAT PRE-EXIST THE EFFECTIVE DATE OF THESE REGULATIONS. NO NEW SUCH LOTS SHALL BE CREATED.
4. THE MAXIMUM TOTAL SQUARE FOOTAGE OF ANY AND ALL ACCESSORY STRUCTURES ON A LOT SHALL NOT EXCEED FIFTY (50) PERCENT OF THE FIRST OR GROUND FLOOR OF THE PRINCIPLE STRUCTURES. WITH THE EXCEPTION OF IN-GROUND POOLS AND OTHER SIMILAR STRUCTURES AT GRADE LEVEL WHICH SHALL NOT BE COUNTED TOWARDS THE MAXIMUM SQUARE FOOTAGE OF ACCESSORY STRUCTURES. (PER SECTION 4-9-1(C)(2))
5. ON LOTS OF FIVE (5) ACRES OR MORE, BUILDING COVERAGE SHALL NOT EXCEED 60% AND SITE COVERAGE SHALL NOT EXCEED 70%.
6. FOR NURSING HOMES, CONVALESCENT HOMES, ASSISTED LIVING FACILITY OR CONGREGATE HOUSING, MAXIMUM ALLOWABLE HEIGHT OF A PRINCIPAL BUILDING SHALL BE 6-STORIES OR 60 FT AND THE LOT SIZE IS AT LEAST FIVE (5) ACRES. (DORMITORIES EXCLUDED.)
7. FOR PUBLIC INTER-DISTRICT MULTI-MAGNET SCHOOLS WITH 200,000 SF OR MORE OF FLOOR AREA IN THE R-C ZONE, SEE TABLE 3.A, ALL OTHER SCHOOLS, SEE TABLE 3.
8. IN FLOOD PLAIN AREAS WHERE THE LOWEST FLOOR OF THE BUILDING IS ELEVATED TO MEET THE FLOOD DAMAGE PREVENTION STANDARDS, THE MAXIMUM TOTAL BUILDING HEIGHT SHALL BE MEASURED FROM THE BASE FLOOD ELEVATION (BFE) + 1 ELEVATION PROVIDED THAT THE RESULTING HEIGHT OF THE BUILDING IS NOT MORE THAN FIVE (5) FEET GREATER THAN THE MAXIMUM BUILDING HEIGHT PERMITTED IN THE RCC ZONE.
9. MINIMUM SIDE SETBACK ALONG COMMERCIAL CORRIDORS IS 0'.
10. HALF STORY: AN ATTIC OR STORY IMMEDIATELY BELOW A SLOPING ROOF WITH NO MORE THAN 50% OF SAID SPACE HAVING A FLOOR TO CEILING HEIGHT GREATER THAN SEVEN FEET SIX INCHES (7'6").
N.A. - NOT APPLICABLE

IMPROVEMENT LOCATION SURVEY

PREPARED FOR
PANTANAL FAMILY RESTAURANT, LLC
215 FRANK STREET
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1023 | LOT 9
- AND -
235 FRANK STREET
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1023 | LOT 1A
BRIDGEPORT, CONNECTICUT
SHEET 1 OF 1



SCALE: 1"=10'
FIELD FILE: frank st survey\_REV.nw5
PROJECT NO. CD1331
DATE: September 19, 2019
FILE: 215-235 Frank St\_ILS.dwg
SHEET 1 OF 1
REV:



TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

WASHINGTON CABEZAS, JR. PEL 70210



SCALE

## Business Inquiry

### Business Details

Business Name: **PANTANAL FAMILY RESTAURANT, LLC**      Citizenship/State Inc: **Domestic/CT**  
Business ID: **0810686**      Last Report Filed Year: **2021**  
Business Address: **215 FRANK ST, BRIDGEPORT, CT, 06604, USA**      Business Type: **Domestic Limited Liability Company**  
Mailing Address: **215 FRANK STREET, BRIDGEPORT, CT, 06604, USA**      Business Status: **Active**  
Date Inc/Registration: **Feb 04, 2005**  
Annual Report Due Date: **03/31/2022**  
NAICS Code: **Accommodation and Food Services (72 )**      NAICS Sub Code: **Full-Service Restaurants (722511 )**

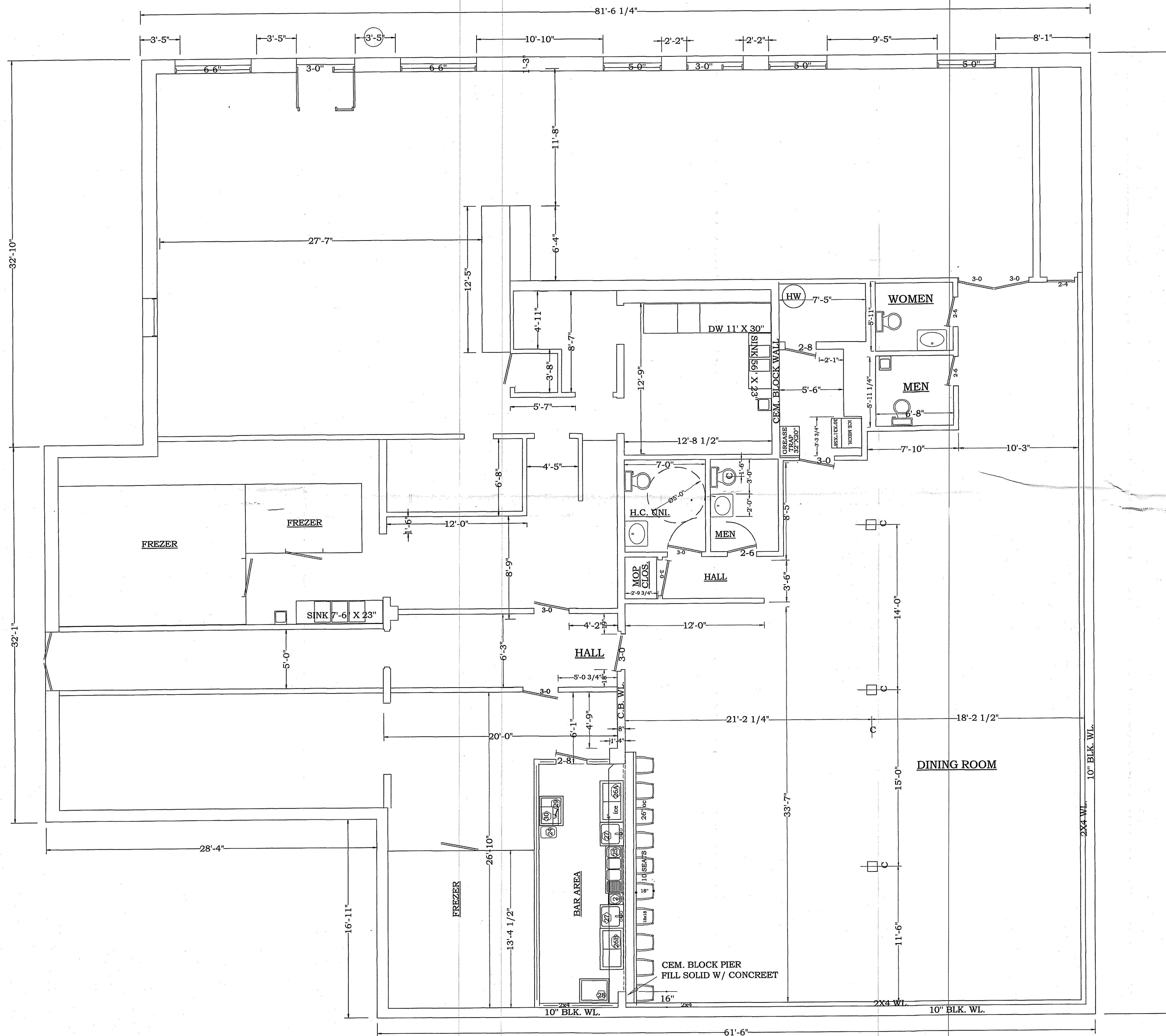
### Principals Details

Name/Title	Business Address	Residence Address
MANUEL OLIVARES MEMBER	215 FRANK ST, BRIDGEPORT, CT, 06604	27 BIRDSEY ST, BRIDGEPORT, CT, 06610

### Agent Summary

Agent Name **MANUEL OLIVARES**  
Agent Business Address **215 FRANK ST, BRIDGEPORT, CT, 06604, USA**  
Agent Residence Address **27 BIRDSEY ST, BRIDGEPORT, CT, 06610, USA**  
Agent Mailing Address **215 FRANK ST, BRIDGEPORT, CT, 06604, USA**

FRANK STREET



**ISSUE FOR**

REVIEW 9-25-19

PRICING

CONSTRUCTION

REVISED

>

>

>

**LEE J. DEMERS**  
 <> BUILDER <>  
 43 BEAR HILLS RD. NEWTOWN, CT, CT  
 RENOVATIONS <> RESTORATIONS  
 PLANNING & DEVELOPMENT  
 CELL: 203 521-1241 LJD@AOL.COM

CLIENT <> ADDRESS  
**MANNY PANATELA**  
 215 FRANK STREET BRIDGPORT, CONN.  
 PROJECT  
 EXISTING FLOOR PLAN @ PANATELA RESTAURANT  
 215 FRANK STREET BRIDGPORT, CONN.

**NOTES**

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>

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DATE 9-25-18

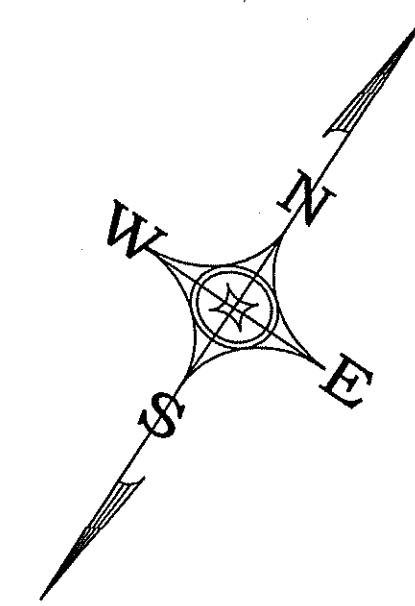
SCALE 1/4" = 1'

DWG BY LJD

TITLE  
**1ST FLOOR  
PLAN VIEW**

DRAWING #1

**PV-2**





April 15, 2021

Mr. Edward J. McLaine, Chairman  
ZONING BOARD of APPEALS  
City of Bridgeport  
City Hall  
45 Lyon Terrace, Room 210  
Bridgeport, Connecticut 06604

**Re: Application for Special Permit & Site Plan Approval**  
**850 Madison Avenue, Bridgeport**  
**(Block: 1 4 0 6, Lot: 07A, Zone: O R G)**

Dear Chairman McLaine & Honorable Members of the Zoning Board of Appeals,

As it relates to the aforementioned property, we appear before the Zoning Board this evening for the purpose of seeking a Special Permit and Site Plan Approval.

The property, previously used as a full-service Service Station with operational Auto Repair Bays, is currently vacant. Our Client, and new Owner of the property, *Bridgeport Gas Realty, LLC (Mr. Sami Jamal)* is looking to re-open the property and operate it as a Gas Station with Convenience Store.

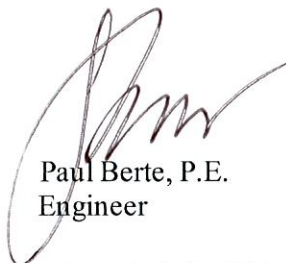
While no expansion of the existing structure is planned or intended, the Building will receive a complete interior renovation to include the addition of the aforementioned convenience area, complete with a functional Deli area with refrigeration and cooking equipment (i.e., Flat-top Grill, Deep Fryer, etc.), with allowance for possible use by an outside third-party service (i.e. Dunkin Donuts or similar).

Exterior renovations will include a new Building Façade and renovation/refurbishment to one(1) of the Two(2) existing Gas Pumps. The 2<sup>nd</sup> Pump station currently situated along Charles Street is to be removed allowing for additional parking and delivery of supplies at the rear of the Building via a proposed new Side Entrance from Charles Street. The remaining Pump Area will receive new Pumps and a new Canopy. NO expansion of the existing Building is planned


Opposed to the previous facility, the proposed renovated facility requires a modified property layout, will now only offer fueling services and introduce the convenience/Deli area for Customers. As such, a Special Permit and Site Plan Approval by your Board is required.

In consideration thereof, please accept our thanks and appreciation in advance for your consideration, and anticipated approval of this application. Should you have any questions, please contact this office at your earliest convenience.

Sincerely,



Paul Berte, P.E.  
Engineer



Jorge B. Hernandez, R.A., A.I.A.  
President



NO. \_\_\_\_\_

**ZONING COMPLIANCE APPLICATION**  
ZONING DEPARTMENT  
City of Bridgeport, CT

Applicant: Bridgeport Gas Realty, L.L.C. (Owner) Date: March 10, 2021  
Owner or Tenant Only

Address of Work: 850 Madison Avenue, Bridgeport, CT. Zone: ORG

On the East side of the street about 50 feet North  
North, South, East, West  
from Charles Street Block No. 1406 Lot No. 07A  
Street

CAM Area:  Yes / No  Wetlands:  Yes / No  Historical:  Yes / No

Dimensions of Lot: 57.0' (Front) x 114.46' (Side) x 110.0' (Rear) x 124.0' (Side) (Nearest Intersections Madison Av/Charles St/Jackson Av.)

Size of Proposed Addition or Building: N/A - Renovation to Existing Structure No. of Stories: One (1)

Other Work: Work to encompass complete interior & exterior renovation and to be maintained as a Gas Station. Interior work to include a convenience store area, functional Deli area with refrigeration, Flat Top Grill, Deep Fryer, etc., w/allowance for possible use by outside 3rd Party Service (i.e. Dunkin Donuts). Exterior work to include the installation of a new Gas Pump area with Canopy, renovation to existing pump area, and new facade to existing structure..

Proposed Use: Proposed continued use as a Gas Station with Convenience Store area.

Existing Use: Vacant Gas Station

Previous Use and Date Discontinued: Gas Station - 2018 (Approx.) Is Pre-Existing Right Claimed: Yes  
Yes-No

Signature: [Signature] Print Name: Paul Berte, PE.

If signed by agent, state title (attorney, builder, etc..) Engineer

Mailing Address: 100 Executive Boulevard, Ste. 204, Ossining, N.Y. 10562 Phone No.: (914) 944-3377

**INSTRUCTIONS**

**Fill Out This Application In Ink or Type**

*A detailed plot plan must be submitted with this application showing the proposed or existing lot and building dimensions and the location of all buildings in relation to the street line, side lot lines and rear lot line. NOTE: The occupancy and use of land, buildings and structures prior to the issuance of a Zoning Compliance Certificate is prohibited. This is not the said certificate. Fees, payable at the time of making application, are not refundable and are in an amount established by the City Council.*

*\*As of January 1, 2010 Per Section 14-1-10 of the City's Zoning Regulations, an "As-Built Survey" is required for new building construction or with changes to an existing footprint in order to receive a Certificate of Zoning Compliance.*

**EXPIRATION:** *The Zoning Compliance Certificate approval shall expire 12 months from the date of approval unless a building permit has been issued and construction has commenced and is being diligently pursued.*

Fee Received: \_\_\_\_\_ Date: \_\_\_\_\_ 20 \_\_\_\_\_ By: \_\_\_\_\_

Plan and Application	C.A.M Approval	Final Inspection

Pursuant to CGS-8-3f, the applicant may provide notice of this "Zoning Compliance Application" in the newspaper having substantial circulation serving the municipality of Bridgeport.  
Rev. 6/11/13



**ZONING BOARD OF APPEALS APPLICATION**

The undersigned presents the following application for:

(Check all that Apply)

- Variance
- Appeal from Zoning Officer
- Extension of Time Permit / Modification of Plan of Development
- Request for Re-hearing
- Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

850 Madison Avenue, Bridgeport, CT Zone OR G  
(Number) (Street) (Zone Classification)

On the East side of the street about 50 feet North from  
(North, South, East, West) (North, South, East, West)

Charles Street Block : 1406 Lot: 07A  
(Street)

Dimension of Lot in Question 57.0' (Front) x 114.46" (Side) x 110.0'(Rear) x 124.0'(side)  
(Specify)

1. NAME OF APPLICANT / BUSINESS Bridgeport Gas Realty, L.L.C.  
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT \_\_\_\_\_  
**PLEASE SEE ATTACHED SHEET FOR FULL DESCRIPTION**

5. THIS APPLICATION RELATES TO: Check all that Apply
- Setback
  - Coverage
  - Landscaping
  - Lot Area and Width
  - Floor Area
  - Height
  - Parking
  - Extension or Enlargement of Non-Conforming Use and/or Building
  - Coastal Area Management Approval
  - Liquor
  - Use
  - Other: Special Permit & Site Plan Approval.

6. USE TO BE MADE OF PROPERTY Gas Station w/Convenience Store (NO Auto Service)
7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? Not Applicable

APPLICANT \_\_\_\_\_ / \_\_\_\_\_ DATE March 30, 2021  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address ARQ Architecture, P.C., 100 Executive Blvd., Ste. 204, Ossining, New York 10562 (914) 944-3377  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT [Signature] Print Sami Jamal  
(If other than owner) (Signature)

Subscribe & Sworn to before me this 17<sup>th</sup> day of April 2021  
[Signature] Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**  
 All questions must be answered in detail (use separate sheet if necessary).  
 The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for Qualified in Nassau County  
**The Zoning Board of Appeals** to process this application. Commission Expires: Jan 31, 2022  
 NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.  
 PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
 (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_  
**FOR OFFICE USE ONLY (Rev. 6/22/16)**

**Project Location: 850 Madison Avenue, Bridgeport, CT.**

**Describe Proposed Development:**

Work to encompass complete interior & exterior renovation and to be maintained as a Gas Station. Interior work to include a convenience store area, functional Deli area with refrigeration, Flat-top Grill, Deep Fryer, etc., with allowance for possible use by outside 3<sup>rd</sup>-party service (i.e., Dunkin Donuts). Exterior work to include the installation of a new Gas Pump Area w/canopy, renovation to existing pump area, and new façade to existing structure.



**850 MADISON AVENUE, BRIDGEPORT, CT.**

**ADJOINING/BUFFER PROPERTY LISTING (WITHIN 100 Ft. AS REQUIRED)**

**Adjoining Property:**

**Property Owner(s):**

➤ 850 Madison Ave.

Bridgeport Gas Realty, L.L.C. **(Current)**  
C/O Royal Vision Management  
455 Central Avenue, Suite ~~311~~ 202  
Scarsdale, New York 10583

**(\*)Note: Transfer of Ownership not yet recorded  
with Bridgeport Tax Assessor Office**

Moulton, Doreen Et Al **(Previous)**  
221 Ranch Drive  
Bridgeport, Connecticut 06606

➤ 476 Charles Street

Villada, John J.  
Sanchez, Sandra P.  
476 Charles Street  
Bridgeport, Connecticut 06606

➤ 493 Charles Street

Bracaglia, Paolo  
495 Charles Street  
Bridgeport, Connecticut 06606

➤ 484 Charles Street

Shiloh Apostolic Church of Jesus Christ, Inc.  
475 Charles Street  
Bridgeport, Connecticut 06604





PAGE 2

- 291 Federal Street  
U S H C P Bridgeport, L.L.C.  
60 Browns Race, Suite 200  
Rochester, New York 14614
  
- 861 Madison Ave.  
Coelho, Manual & Maria  
861 Madison Avenue  
Bridgeport, Connecticut 06606
  
- 20 Mckinley Ave./823 Madison Ave.  
Madison Bridgeport, L.L.C.  
36 Orchard Street  
Cos Cob, Connecticut 06807
  
- 295 Federal Street #297  
U S H C P Bridgeport, L.L.C.  
60 Browns Race, Suite 200  
Rochester, New York 14614
  
- 303 Federal Street  
U S H C P Bridgeport, L.L.C.  
60 Browns Race, Suite 200  
Rochester, New York 14614
  
- 864 Madison Ave. #902  
U S H C P Bridgeport, L.L.C.  
60 Browns Race, Suite 200  
Rochester, New York 14614
  
- 849 Madison Ave.  
Assembly of God  
World Vision Ministries, Inc.  
855 Madison Avenue  
Bridgeport, Connecticut 06606



PAGE 3

➤ 474 Charles Street

Morales, Carlos A.  
474 Charles Street  
Bridgeport, Connecticut 06606

➤ 818 Madison Ave. #824

Santageli, Pietrina & Caterina Trustees  
Pasaquale Santangeli Rev Trust  
60 Banks Road  
Easton, Connecticut 06612

# 850 MADISON AV

Location 850 MADISON AV

Mblu 46/ 1406/ 7/A /

Acct# RF-0115510

Owner MOULTON DOREEN ET AL

Assessment \$225,630

Appraisal \$322,320

PID 12424

Building Count 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$109,060	\$213,260	\$322,320

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$76,350	\$149,280	\$225,630

## Owner of Record

Owner MOULTON DOREEN ET AL  
Co-Owner  
Address 221 RANCH DRIVE  
BRIDGEPORT, CT 06606

Sale Price \$0  
Certificate  
Book & Page 9872/0213  
Sale Date 08/20/2018  
Instrument 11

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
MOULTON DOREEN ET AL	\$0		9872/0213	11	08/20/2018
FUSCO VITO J	\$0		9775/0158	29	02/15/2018
FUSCO VITO J & CONCETTA C	\$0		6178/0210		12/28/2004

## Building Information

### Building 1 : Section 1

Year Built: 1950  
Living Area: 3,509  
Replacement Cost: \$195,298  
Building Percent Good: 50

# 476 CHARLES ST

Location 476 CHARLES ST

Mblu 46/ 1406/ 10/ /

Acct# RB-0044500

Owner VILLADA JOHN J

Assessment \$163,870

Appraisal \$234,100

PID 12427

Building Count 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$133,540	\$100,560	\$234,100

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$93,480	\$70,390	\$163,870

## Owner of Record

Owner VILLADA JOHN J  
Co-Owner SANCHEZ SANDRA P  
Address 476 CHARLES ST  
BRIDGEPORT, CT 06606

Sale Price \$190,000  
Certificate  
Book & Page 10235/327  
Sale Date 06/19/2020  
Instrument 00

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
VILLADA JOHN J	\$190,000		10235/327	00	06/19/2020
STENDBERGH GUNTHER	\$225,000		7026/0131	UNKQ	06/20/2006
INGRAM ROSAIDA	\$0		7026/0129		06/20/2006
INGRAM ROSAIDA	\$195,000		5783/0283	UNKQ	04/20/2004
BAUCO FRANK MARIA & PHILIP	\$0		2657/0244		05/08/1989

## Building Information

Building 1 : Section 1

Year Built: 1932

Building Photo

# 493 CHARLES ST

Location 493 CHARLES ST

Mblu 46/ 1407/ 28/ 1

Acct# RS-0059220

Owner BRACAGLIA PAOLO

Assessment \$107,420

Appraisal \$153,450

PID 12530

Building Count 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$3,680	\$149,770	\$153,450

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$2,580	\$104,840	\$107,420

## Owner of Record

Owner BRACAGLIA PAOLO  
Co-Owner  
Address 495 CHARLES ST  
BRIDGEPORT, CT 06606

Sale Price \$54,000  
Certificate  
Book & Page 4111/0104  
Sale Date 04/20/1999  
Instrument UNKQ

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
BRACAGLIA PAOLO	\$54,000		4111/0104	UNKQ	04/20/1999
	\$0		1400/0744		06/10/1969

## Building Information

### Building 1 : Section 1

Year Built:  
Living Area: 0  
Replacement Cost: \$0  
Building Percent Good:

# 484 CHARLES ST

**Location** 484 CHARLES ST

**Mblu** 46/ 1406/ 9/ /

**Acct#** RF-0115520

**Owner** SHILOH APOSTOLIC CH OF  
JESUS CHRIST INC

**Assessment** \$94,400

**Appraisal** \$134,850

**PID** 12426

**Building Count** 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$11,110	\$123,740	\$134,850

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$7,780	\$86,620	\$94,400

## Owner of Record

**Owner** SHILOH APOSTOLIC CH OF JESUS CHRIST INC  
**Co-Owner**  
**Address** 475 CHARLES STREET  
BRIDGEPORT, CT 06604

**Sale Price** \$21,000  
**Certificate**  
**Book & Page** 8646/0035  
**Sale Date** 07/24/2012  
**Instrument** 16

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
SHILOH APOSTOLIC CH OF JESUS CHRIST INC	\$21,000		8646/0035	16	07/24/2012
SHILOH APOSTOLIC CH OF JESUS CHRIST INC	\$21,000		8646/0033	16	07/24/2012
FUSCO VITO J & CONCETTA C	\$0		0000/0000		

## Building Information

### Building 1 : Section 1

**Year Built:**  
**Living Area:** 0  
**Replacement Cost:** \$0

# 291 FEDERAL ST

**Location** 291 FEDERAL ST

**Mblu** 46/ 1406/ 28/ 1

**Acct#** R--0110950

**Owner** USHCP BRIDGEPORT LLC

**Assessment** \$70,250

**Appraisal** \$100,370

**PID** 12500

**Building Count** 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$17,950	\$82,420	\$100,370

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$12,560	\$57,690	\$70,250

## Owner of Record

**Owner** USHCP BRIDGEPORT LLC

**Sale Price** \$0

**Co-Owner**

**Certificate**

**Address** 60 BROWNS RACE SUITE 200  
ROCHESTER, NY 14614

**Book & Page** 4242/0093

**Sale Date** 11/19/1999

**Instrument**

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
USHCP BRIDGEPORT LLC	\$0		4242/0093		11/19/1999

## Building Information

### Building 1 : Section 1

**Year Built:**

**Living Area:** 0

**Replacement Cost:** \$0

**Building Percent Good:**

**Replacement Cost**

**Less Depreciation:** \$0

**Building Attributes**

# 861 MADISON AV

**Location** 861 MADISON AV

**Mblu** 46/ 1434/ 24/A /

**Acct#** RC-0099006

**Owner** COELHO MANUEL & MARIA

**Assessment** \$635,120

**Appraisal** \$907,310

**PID** 13209

**Building Count** 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$725,150	\$182,160	\$907,310

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$507,610	\$127,510	\$635,120

## Owner of Record

**Owner** COELHO MANUEL & MARIA

**Sale Price** \$690,000

**Co-Owner**

**Certificate**

**Address** 861 MADISON AVE

**Book & Page** 4983/0084

BRIDGEPORT, CT 06606

**Sale Date** 07/29/2002

**Instrument**

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
COELHO MANUEL & MARIA	\$690,000		4983/0084		07/29/2002

## Building Information

### Building 1 : Section 1

**Year Built:** 1993  
**Living Area:** 9,744  
**Replacement Cost:** \$898,821  
**Building Percent Good:** 78  
**Replacement Cost  
Less Depreciation:** \$701,080

**Building Attributes**



# 20 MCKINLEY AV

**Location** 20 MCKINLEY AV

**Mblu** 46/ 1430/ 28/ 1

**Acct#** R--0019650

**Owner** MADISON BRIDGEPORT LLC

**Assessment** \$392,970

**Appraisal** \$561,390

**PID** 13028

**Building Count** 2

*823 Madison Av.*

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$370,990	\$190,400	\$561,390
Assessment			
Valuation Year	Improvements	Land	Total
2020	\$259,690	\$133,280	\$392,970

## Owner of Record

**Owner** MADISON BRIDGEPORT LLC  
**Co-Owner**  
**Address** 36 ORCHARD STREET  
 COS COB, CT 06807

**Sale Price** \$0  
**Certificate**  
**Book & Page** 6590/0004  
**Sale Date** 09/13/2005  
**Instrument**

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
MADISON BRIDGEPORT LLC	\$0		6590/0004		09/13/2005
REAL ESTATE INVESTMENT LLC	\$100		4045/0305		12/23/1998
THE NSS REALTY CORPORATION	\$0		3670/0324		02/07/1997
SANDALIDIS HARRY & NICK	\$475,000		2375/0319		09/23/1987
WAUPOTITSCH V & K & ETALS	\$0		2375/0318		09/23/1987

## Building Information

### Building 1 : Section 1

**Year Built:** 1920

**Building Photo**

# 295 FEDERAL ST #297

**Location** 295 FEDERAL ST #297

**Mblu** 46/ 1406/ 29/ 1

**Acct#** R--0110960

**Owner** USHCP BRIDGEPORT LLC

**Assessment** \$37,600

**Appraisal** \$53,710

**PID** 12501

**Building Count** 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$9,240	\$44,470	\$53,710

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$6,470	\$31,130	\$37,600

## Owner of Record

**Owner** USHCP BRIDGEPORT LLC

**Sale Price** \$0

**Co-Owner**

**Certificate**

**Address** 60 BROWNS RACE SUITE 200

**Book & Page** 4242/0093

ROCHESTER, NY 14614

**Sale Date** 11/19/1999

**Instrument**

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
USHCP BRIDGEPORT LLC	\$0		4242/0093		11/19/1999

## Building Information

### Building 1 : Section 1

**Year Built:**

**Living Area:** 0

**Replacement Cost:** \$0

**Building Percent Good:**

**Replacement Cost**

**Less Depreciation:** \$0

### Building Attributes

# 303 FEDERAL ST #305

**Location** 303 FEDERAL ST #305

**Mblu** 46/ 1406/ 32/ /

**Acct#** R--0110970

**Owner** USHCP BRIDGEPORT LLC

**Assessment** \$56,320

**Appraisal** \$80,460

**PID** 12504

**Building Count** 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$13,840	\$66,620	\$80,460

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$9,690	\$46,630	\$56,320

## Owner of Record

**Owner** USHCP BRIDGEPORT LLC

**Sale Price** \$0

**Co-Owner**

**Certificate**

**Address** 60 BROWNS RACE SUITE 200  
ROCHESTER, NY 14614

**Book & Page** 4242/0093

**Sale Date** 11/19/1999

**Instrument**

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
USHCP BRIDGEPORT LLC	\$0		4242/0093		11/19/1999

## Building Information

### Building 1 : Section 1

**Year Built:**

**Living Area:** 0

**Replacement Cost:** \$0

**Building Percent Good:**

**Replacement Cost**

**Less Depreciation:** \$0

**Building Attributes**

# 864 MADISON AV #902

**Location** 864 MADISON AV #902

**Mblu** 46/ 1406/ 1/A /

**Acct#** R-0110980

**Owner** USHCP BRIDGEPORT LLC

**Assessment** \$1,731,970

**Appraisal** \$2,474,240

**PID** 12423

**Building Count** 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$2,096,650	\$377,590	\$2,474,240

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$1,467,660	\$264,310	\$1,731,970

## Owner of Record

**Owner** USHCP BRIDGEPORT LLC

**Sale Price** \$1,159,000

**Co-Owner**

**Certificate**

**Address** 60 BROWNS RACE SUITE 200  
ROCHESTER, NY 14614

**Book & Page** 4242/0093

**Sale Date** 11/19/1999

**Instrument**

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
USHCP BRIDGEPORT LLC	\$1,159,000		4242/0093		11/19/1999

## Building Information

### Building 1 : Section 1

**Year Built:** 1980  
**Living Area:** 33,938  
**Replacement Cost:** \$3,105,829  
**Building Percent Good:** 63  
**Replacement Cost  
 Less Depreciation:** \$1,956,670

### Building Attributes

# 849 MADISON AV

**Location** 849 MADISON AV

**Mblu** 46/ 1430/ 29/B /

**Acct#** E--0099010

**Owner** ASSEMBLY OF GOD WORLD VISION

**Assessment** \$393,220

**Appraisal** \$561,740

**PID** 13029

**Building Count** 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$481,140	\$80,600	\$561,740

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$336,800	\$56,420	\$393,220

## Owner of Record

**Owner** ASSEMBLY OF GOD WORLD VISION  
**Co-Owner** MINISTRIES INC  
**Address** 855 MADISON AVE  
 BRIDGEPORT, CT 06606

**Sale Price** \$290,000  
**Certificate**  
**Book & Page** 4622/0205  
**Sale Date** 06/19/2001  
**Instrument**

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
ASSEMBLY OF GOD WORLD VISION	\$290,000		4622/0205		06/19/2001
CHAVES JOHN & TERESA CHAVES &	\$0		2907/0110		06/04/1991

## Building Information

### Building 1 : Section 1

**Year Built:** 1940  
**Living Area:** 4,004  
**Replacement Cost:** \$1,069,208  
**Building Percent Good:** 45

# 474 CHARLES ST

**Location** 474 CHARLES ST

**Mblu** 46/ 1406/ 8/ /

**Acct#** RA-0038500

**Owner** MORALES CARLOS A

**Assessment** \$179,190

**Appraisal** \$255,980

**PID** 12425

**Building Count** 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$160,190	\$95,790	\$255,980

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$112,140	\$67,050	\$179,190

## Owner of Record

**Owner** MORALES CARLOS A  
**Co-Owner**  
**Address** 474 CHARLES ST  
BRIDGEPORT, CT 06606

**Sale Price** \$390,000  
**Certificate**  
**Book & Page** 6562/0260  
**Sale Date** 08/29/2005  
**Instrument** UNKQ

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
MORALES CARLOS A	\$390,000		6562/0260	UNKQ	08/29/2005
AMBROSE RAYMOND L & BARBARA	\$0		3593/0165		08/06/1996

## Building Information

### Building 1 : Section 1

**Year Built:** 1887  
**Living Area:** 2,922  
**Replacement Cost:** \$238,140  
**Building Percent Good:** 62

# 818 MADISON AV #824

**Location** 818 MADISON AV #824

**Mblu** 46/ 1407/ 30/ /

**Acct#** RS-0023920

**Owner** SANTANGELI PIETRINA &  
CATERINA TRUSTEES

**Assessment** \$391,630

**Appraisal** \$559,470

**PID** 12532

**Building Count** 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$385,710	\$173,760	\$559,470

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$270,000	\$121,630	\$391,630

## Owner of Record

<b>Owner</b>	SANTANGELI PIETRINA & CATERINA TRUSTEES	<b>Sale Price</b>	\$0
<b>Co-Owner</b>	PASAQUALE SANTANGELI REV TRUST	<b>Certificate</b>	
<b>Address</b>	60 BANKS ROAD EASTON, CT 06612	<b>Book &amp; Page</b>	9181/0249
		<b>Sale Date</b>	02/17/2015
		<b>Instrument</b>	29

## Ownership History

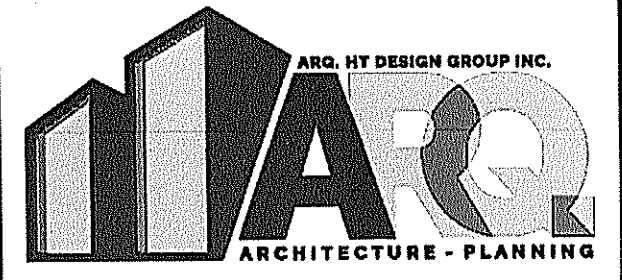
Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
SANTANGELI PIETRINA & CATERINA TRUSTEES	\$0		9181/0249	29	02/17/2015
SANTANGELI PIETRINA & CATERINA	\$0		9042/0346	10	05/08/2014
SANTANGELI PASQUALE	\$0		2428/0246		12/24/1987
CARUSONE FAUSTO TRUSTEE	\$0		2314/0082		06/16/1987

## Building Information

### Building 1 : Section 1

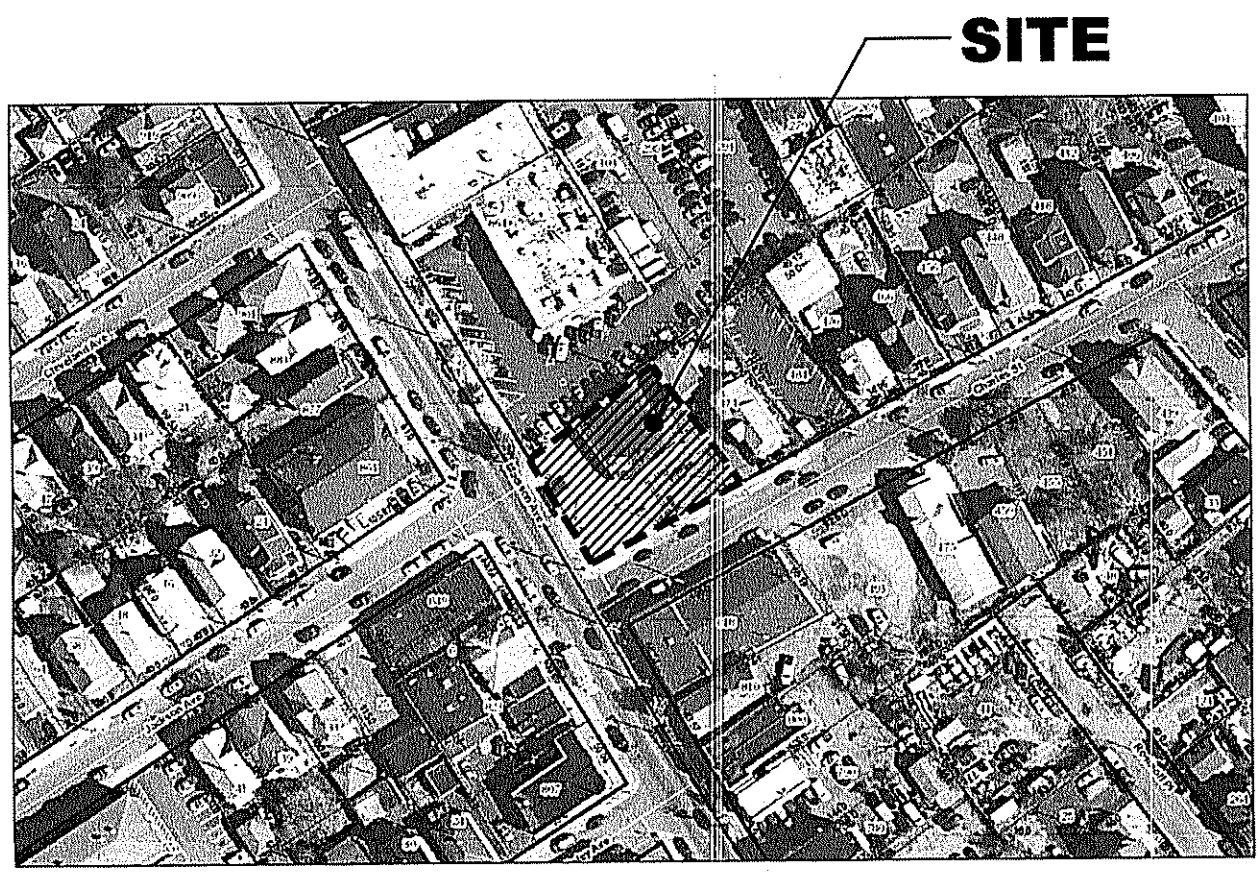
**Year Built:** 1930  
**Living Area:** 8,700

# ALTERATION & NEW Z MART STORE AT: 850 MADISON AVE. BRIDGEPORT, CT 06606



ARQ ARCHITECTURE - PLANNING  
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OSSINING, NY 10562  
PHONE: (914) 944-3377  
FAX: (866) 567-6240

**PAUL A. BERTE, P.E.**  
100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562



SITE

## GENERAL NOTES

**CODES:** ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND CODES OF AGENCIES HAVING JURISDICTION. ABSENT OTHER STANDARDS 2015 BC PORTION OF THE 2018 CT STATE BUILDING CODE, THE 2015 IEBC PORTION OF THE 2018 CT STATE BUILDING CODE, 2015 IPC PORTION OF THE 2018 CT STATE BUILDING CODE, 2015 IMC PORTION OF THE 2018 CT STATE BUILDING CODE, 2015 IECC PORTION OF THE 2018 CT STATE BUILDING CODE, 2018 CT STATE FIRE SAFETY CODE, 2018 CT STATE FIRE PREVENTION CODE, NFPA 70 NATIONAL ELECTRICAL CODE, AND THE 2010 ADA STANDARDS.

**VERIFICATION:** VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. REPORT DIFFERENCES FROM CONSTRUCTION DOCUMENTS TO OWNER AND ARCHITECT. CLAIMS FOR EXTRA PAYMENTS RESULTING FROM CONTRACTOR'S FAILURE TO DO SO WILL NOT BE APPROVED. ARCHITECT SHALL DECIDE ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS. A PRECONSTRUCTION MEETING SHALL BE SCHEDULED ON THE SITE WITH THE PROJECT MANAGER, OWNER, ARCHITECT, PRIOR TO THE COMMENCEMENT OF WORK.

**DRAWINGS:** BY SUBMITTING A BID OR STARTING WORK, CONTRACTOR AGREES THAT HE HAS EXAMINED THE DRAWINGS AND SPECIFICATIONS AND FOUND THEM ADEQUATE FOR PROPER COMPLETION OF PROJECT. CLAIMS FOR EXTRA CHARGES BECAUSE OF ALLEGED INADEQUATE DRAWINGS OR SPECIFICATIONS WILL NOT BE ALLOWED UNLESS NOTIFICATION WAS MADE IN WRITING TO ARCHITECT PRIOR TO SUBMISSION OR BEGINNING.

**UTILITY STAKEOUT:** PRIOR TO DEMOLITION OR EXCAVATION, CONTRACTOR SHALL REQUEST FOR UTILITY STAKE-OUT. CONTRACTOR WILL CONTACT THE UNDERGROUND LINES LOCATION SERVICES (CODE 753) PRIOR TO COMMENCING CONSTRUCTION.

**USE OF PREMISES:** CONTRACTOR SHALL STORE MATERIALS, DISPOSE OF DEBRIS, COORDINATE AND SCHEDULE ALL WORK IN COOPERATION WITH OWNER FOR MINIMUM DISRUPTION. MAINTAIN SAFE ACCESS TO ALL AREAS AT ALL TIMES.

**PERMITS:** OWNER SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND CERTIFICATES REQUIRED. ELECTRICAL AND PLUMBING CONTRACTORS SHALL APPLY FOR AND PAY FOR INDIVIDUAL PERMITS, INSPECTIONS AND APPROVALS AS REQUIRED. KEEP APPROVED PERMIT DRAWINGS ON JOB SITE.

CONTRACTOR WILL OBTAIN ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.

**LICENSE:** CONTRACTOR MUST BE LICENSED BY FAIRFIELD COUNTY AND PROVIDE OWNER AND BUILDING DEPARTMENT A COPY OF CERTIFICATE NUMBER.

**INSURANCE:** PRIOR TO STARTING WORK, CONTRACTOR SHALL SUPPLY OWNER AND BUILDING DEPARTMENT WITH CERTIFICATES OF WORKMEN'S COMPENSATION INSURANCE, LIABILITY INSURANCE FOR BODILY INJURY, PROPERTY DAMAGE, AUTOMOTIVE AND OTHER INSURANCES REQUIRED BY LAW OR BY OWNER IN THE AMOUNTS AND TERMS SATISFACTORY TO THE OWNER TO RENDER THE OWNER HARMLESS IN CASE OF ACCIDENT TO PERSONS OR PROPERTY INVOLVED IN THIS PROJECT. MAINTAIN SUCH INSURANCE IN FULL FORCE DURING ENTIRE TIME OF CONSTRUCTION.

**LATENT DEFECTS:** NO RESPONSIBILITY IS ASSUMED BY ARCHITECT FOR INFORMATION SUPPLIED BY OTHERS AND RELIED UPON BY ARCHITECT TO BE ACCURATE FOR LATENT DEFECTS IN STRUCTURE IMPOSSIBLE TO DETECT WITHOUT SUBSTANTIAL PROBING OR TESTING.

**SUPERVISION:** ARCHITECT HAS NOT BEEN RETAINED BY THE OWNER TO PROVIDE OBSERVATION AND SUPERVISION OF CONSTRUCTION OPERATIONS AND CERTIFICATION OF PAYMENTS.

**DEMOLITION:**  
PRIOR TO DEMOLITION COORDINATE AND STAKEOUT EXISTING UTILITIES AS REQUIRED. COORDINATE SHUT OFF AND REMOVALS WITH UTILITY COMPANIES AS REQUIRED.  
1. CLEAR SITE AS REQUIRED.  
2. REMOVE ALL DEBRIS FROM SITE TO A LEGAL DISPOSAL FACILITY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DUMPSTERS AND CARTING FEES.

**COOPERATION:** CONTRACTORS AND SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH ADJACENT WORK AND COOPERATE WITH OTHER TRADES TO FACILITATE PROGRESS OF WORK. EACH TRADE SHALL AFFORD OTHER TRADES REASONABLE OPPORTUNITY FOR INSTALLATION OF THEIR WORK AND FOR TEMPORARY STORAGE OF THEIR TOOLS AND MATERIALS.

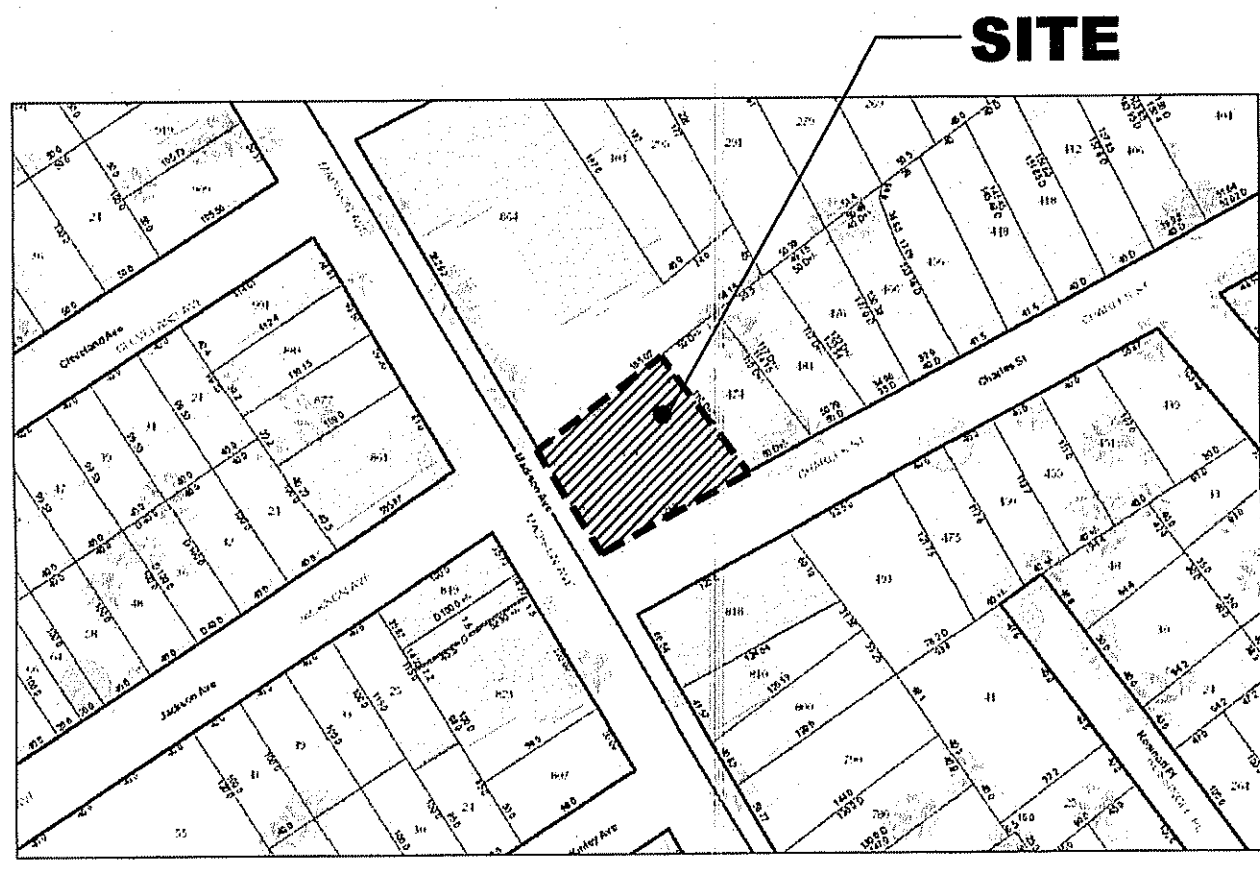
**LANDSCAPE:** ALL LAWN AREAS DAMAGED BY NEW CONSTRUCTION OR CONSTRUCTION OPERATIONS SHALL BE REPLACED AS ORIGINAL LAWNS MAY BE SODDED OR SEEDED WITH BLUEGRASS AND/OR RYEGRASS TO ESTABLISH 98% OR BETTER COVER. REVIEW TREES AND SHRUB REMOVAL REQUIRED FOR CONSTRUCTION WITH OWNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TYING UP PLANT MATERIAL IN THE WAY OF SITE ACCESS PRIOR TO CONSTRUCTION.

**SEDIMENT AND EROSION CONTROL:** SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN EACH AREA BEFORE ANY DEMOLITION AND ANY SUBSTANTIAL AMOUNT OF SITE PREPARATION, CLEARING AND GRUBBING, EXCAVATION AND FILLING SHALL BE STARTED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FAIRFIELD COUNTY PUBLICATION BEST MANAGEMENT PRACTICES MANUAL-CONSTRUCTION RELATED ACTIVITIES, LATEST EDITION. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO ENSURE THEIR PROPERLY FUNCTIONING. EROSION BLANKET SHALL BE 'WIENCO TEX' EROSION CONTROL MATS 6.3MM WT 400P OR EQUAL APPROVED. INSTALL AS PER MANUFACTURER SPECS

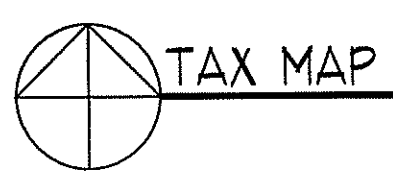


LOCATION MAP

NTS



SITE



TAX MAP

NTS

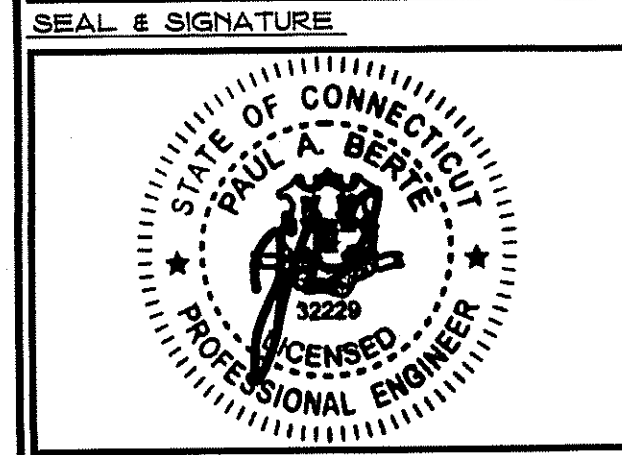
REVISIONS	DATE	BY

**PROJECT:**  
ALTERATIONS & NEW  
Z MART STORE

**PROJECT ADDRESS:**  
850 MADISON AVE  
BRIDGEPORT CT  
06606

**DOB EXAMINER SIGNATURE:**  
  
ZBA  
6-8-21

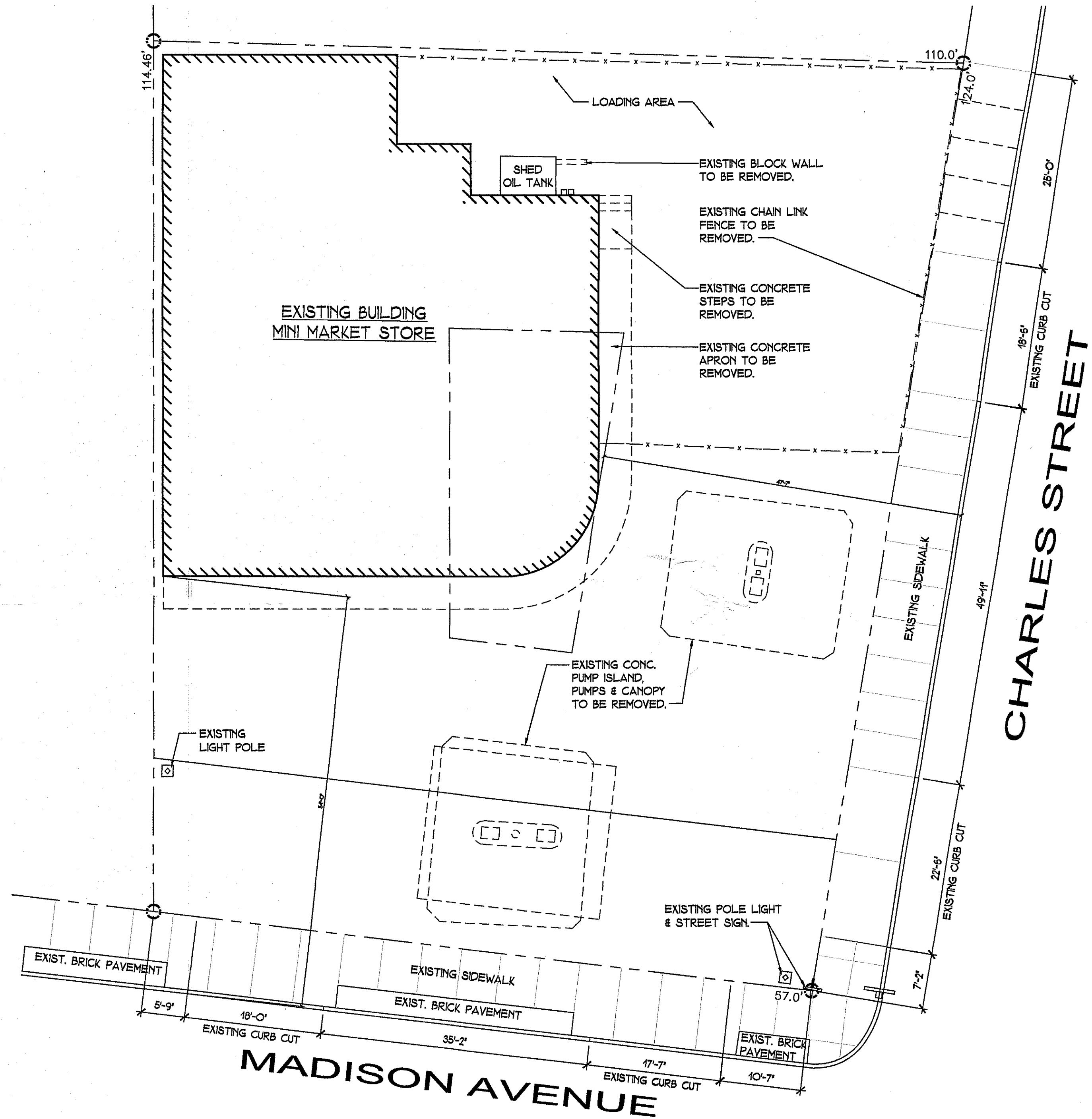
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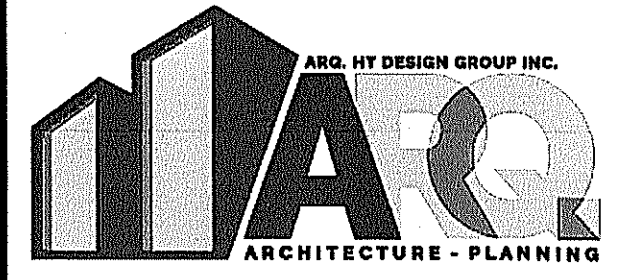
**DRAWING TITLE:**  
MAPS & GENERAL NOTES

<b>DATE:</b> 12/16/2020	<b>DWG. NO.:</b> T=1
<b>PROJECT NO.:</b> 20124	<b>CAD FILE NO.:</b> 1 OF 7
<b>DRAWING BY:</b> ARQ	
<b>CHECKED BY:</b> JBH	





**EXISTING & DEMOLITION SITE PLAN** 1" = 10'-0"  
 INFORMATION ON SITE PLAN (MEETS & BOUNDS, LOCATION, ETC.)  
 BASED ON SURVEY BY FULLER ENGINEERING & LAND SURVEYING ON  
 FEBRUARY 22, 2021



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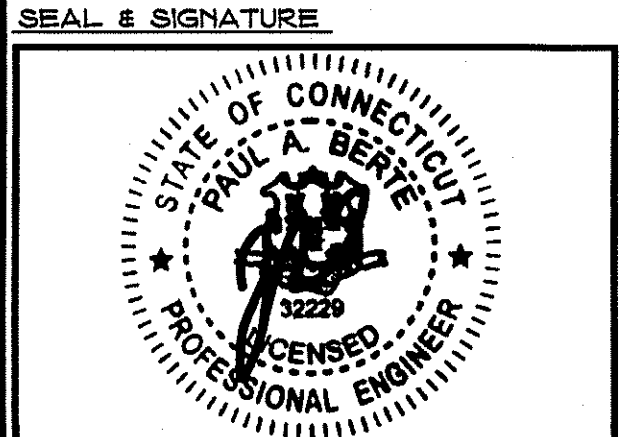
REVISIONS	DATE	BY

PROJECT:  
 ALTERATIONS & NEW  
 Z MART STORE

PROJECT ADDRESS:  
 850 MADISON AVE  
 BRIDGEPORT CT  
 06606

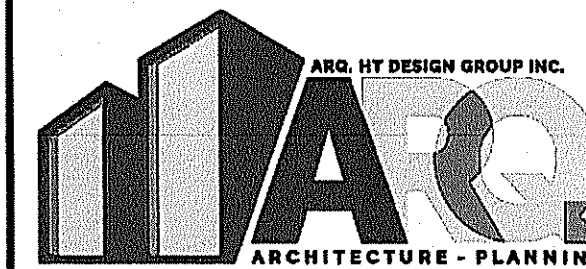
DOB EXAMINER SIGNATURE:

DOB BSCAN STICKER:



DRAWING TITLE:  
 EXISTING & DEMOLITION SITE  
 PLAN

DATE: 12/16/2020	DWG. NO.:
PROJECT NO.:	S-1
20124	CAD FILE NO.:
DRAWING BY: ARQ	2 OF 7
CHECKED BY: JBH	



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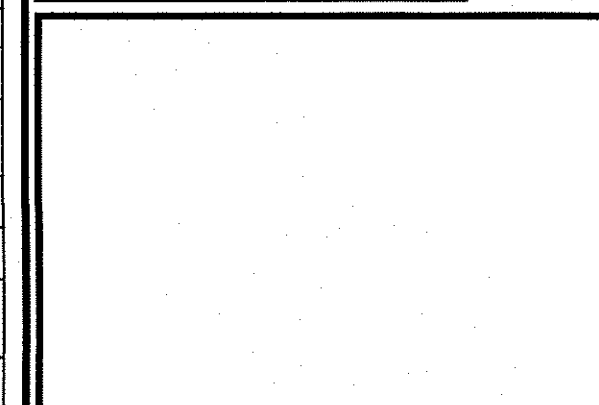
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REVISIONS	DATE	BY

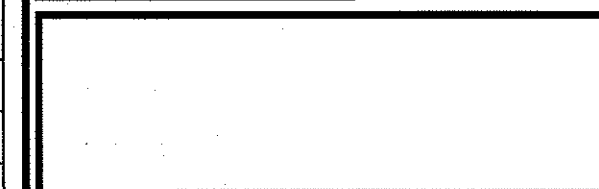
PROJECT:  
 ALTERATIONS & NEW  
 Z MART STORE

PROJECT ADDRESS:  
 850 MADISON AVE  
 BRIDGEPORT CT  
 06606

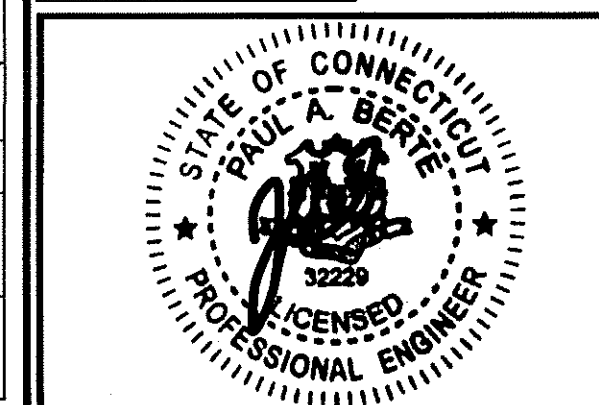
DOB EXAMINER SIGNATURE:



DOB BSCAN STICKER:

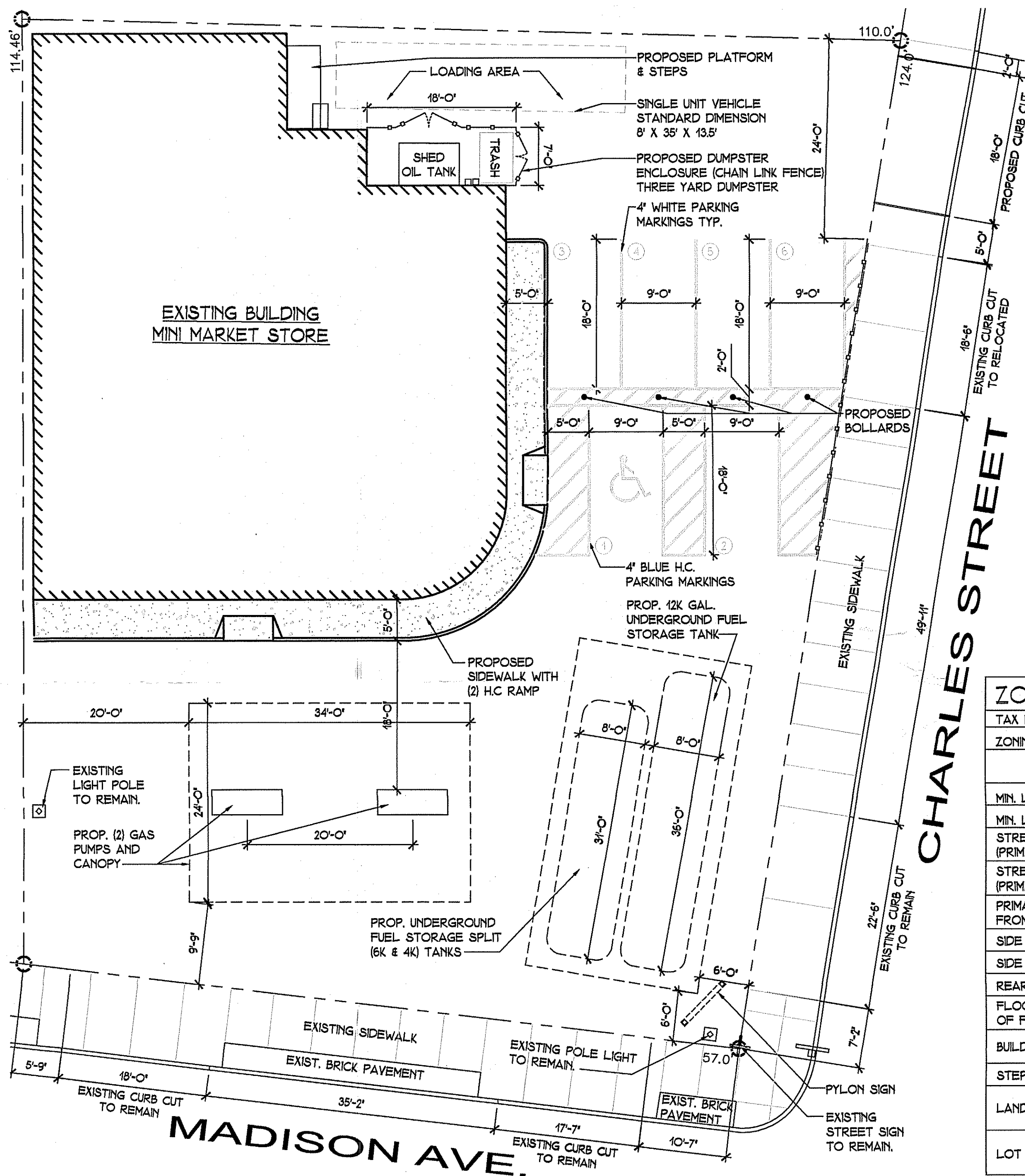


SEAL & SIGNATURE



DRAWING TITLE:  
 PROPOSED SITE PLAN &  
 ZONING DATA

DATE: 12/16/2020	DWG. NO.:
PROJECT NO: 20124	S-2
DRAWING BY: ARQ	CAD FILE NO.:
CHECKED BY: JBH	3 OF 7



**ZONING DATA - CITY OF BRIDGEPORT**

TAX MAP DESIGNATION: MAP: 46 BLOCK: 1406 LOT: 7 UNIT: A

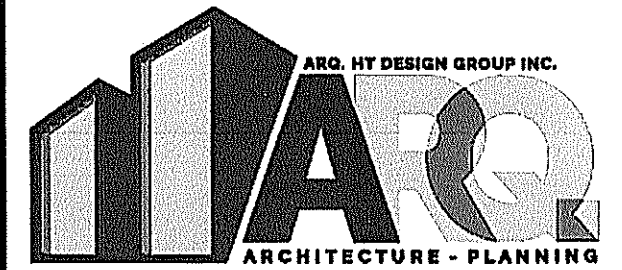
ZONING DISTRICT: OR-G OFFICE/RETAIL GENERAL ZONE

		PERMITTED	EXISTING	PROPOSED	VARIANCE
MIN. LOT AREA	SQ. FT.	10,000	11,401	N.C.	-
MIN. LOT WIDTH	FT.	60.0'	90.25'	N.C.	-
STREET WALL FRONTAGE (PRIMARY) @ MADISON AVE.	%	75% MIN. 100% MAX.	65.7%	N.C.	EXIST. NON-CONFORMING
STREET WALL FRONTAGE (PRIMARY) @ CHARLES ST.	%	75% MIN. 100% MAX.	40.7%	N.C.	EXIST. NON-CONFORMING
PRIMARY FRONTAGE SETBACK FROM STREET LOT LINE	FT.	0' MIN. 10' MAX.	43.7'	N.C.	EXIST. NON-CONFORMING
SIDE YARD @ MADISON AVE.	FT.	(NOTE #1)	1.1'	N.C.	-
SIDE YARD @ CHARLES ST.	FT.	(NOTE #1)	1.0'	N.C.	-
REAR YARD	FT.	(NOTE #2)	x	N.C.	-
FLOOR TO CEILING HEIGHT OF FIRST STORY	FT.	12' MIN.	12'	N.C.	-
BUILDING HEIGHT	FT.	25' MIN. 65' MAX.	EXIST.	N.C.	-
STEP BACK ABOVE 25 BUILT FT.	FT.	(NOTE #4)	N.R.	N.C.	-
LANDSCAPED AREA	%	15' MIN. 25' MAX.	2%	N.C.	EXISTING NON-CONFORMING
LOT COVERAGE	%	75% MIN.	98%	N.C.	EXISTING NON-CONFORMING

N.C. = NO CHANGE / N.R. = NOT REQUIRED  
 x = NO REAR YARD REQUIREMENT, CITY OF BRIDGEPORT CONNECTICUT ZONING & SUBDIVISION REGULATIONS (4-2-3) IN CASES WHERE A LOT HAS FRONTAGE ON TWO STREETS, THE LOT SHALL BE DEEMED A CORNER LOT AND SHALL HAVE TWO FRONTAGES AND TWO SIDES.

- NOTES:
- MINIMUM - 0' OR 5' IF SIDE YARD IS UTILIZED  
 MAXIMUM - 1' FOR EACH FLOOR OF BUILDING HEIGHT NOT TO EXCEED 14'
  - MINIMUM - 0' OR 20' IF FLOOR CONTAINS HABITABLE SPACE
  - A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON ANY NON-RESIDENTIAL PROPERTIES ABUTTING A WATERWAY. FROM THE TOP OF THE EMBARKMENT AND FOR 20' INLAND, A DEDICATED OPEN SPACE AREA SHALL BE ESTABLISHED.
  - MINIMUM - 20' FOR SIDES ABUTTING RESIDENTIAL ZONES

**PROPOSED SITE PLAN**  
 1" = 10'-0"  
 INFORMATION ON SITE PLAN (MEETS & BOUNDS, LOCATION ETC.) BASED ON SURVEY BY FULLER ENGINEERING & LAND SURVEYING ON FEBRUARY 22, 2021



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 OSSINING, NY 10562  
 PHONE: (914) 944-3377  
 FAX: (866) 567-6240

**PAUL A. BERTE, P.E.**

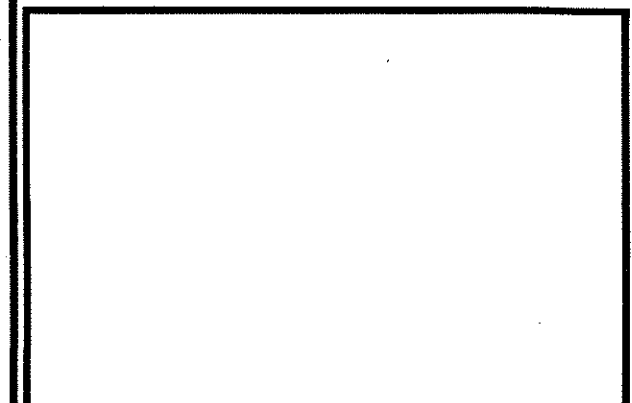
100 EXECUTIVE BLVD. SUITE 204  
 OSSINING, NY 10562

REVISIONS	DATE	BY

PROJECT:  
 ALTERATIONS & NEW  
 Z MART STORE

PROJECT ADDRESS:  
 850 MADISON AVE  
 BRIDGEPORT CT  
 06606

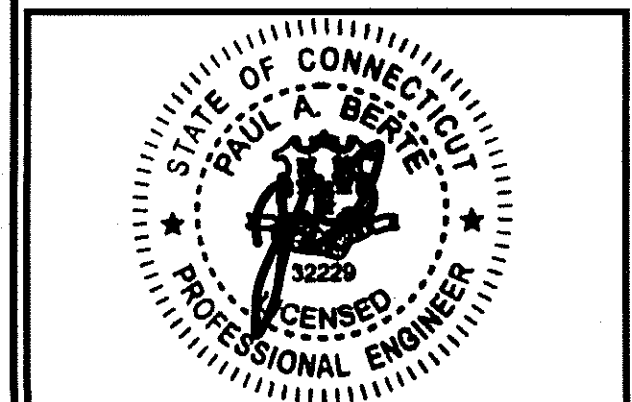
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DOB BSCAN STICKER:



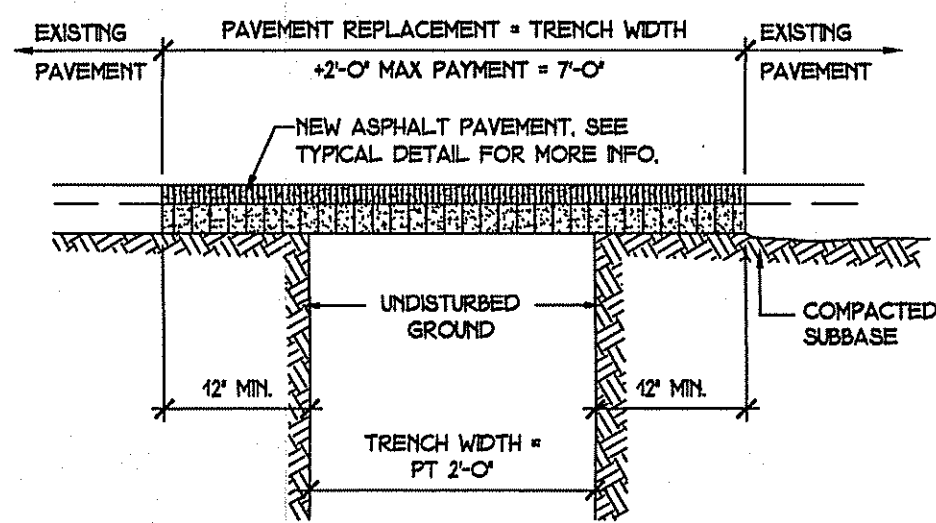
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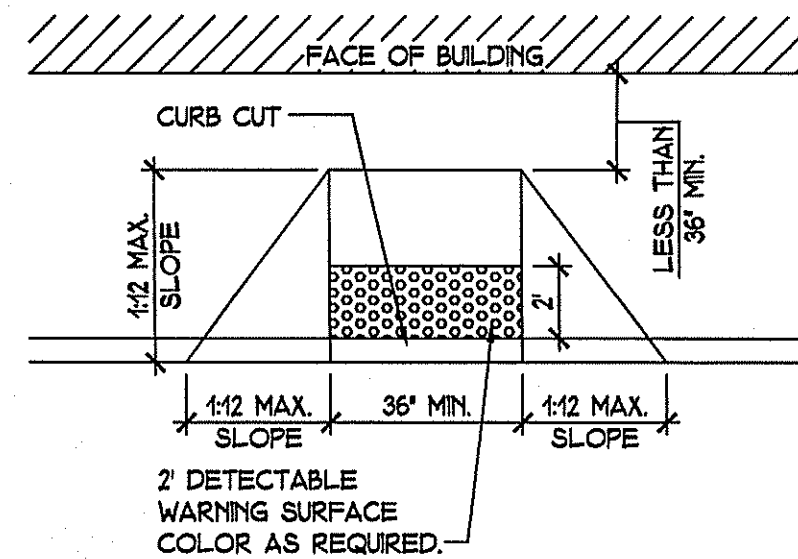
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 SITE DETAILS

DATE:  
 12/16/2020  
 PROJECT NO:  
 20124  
 DRAWING BY:  
 ARQ  
 CHECKED BY:  
 JBH

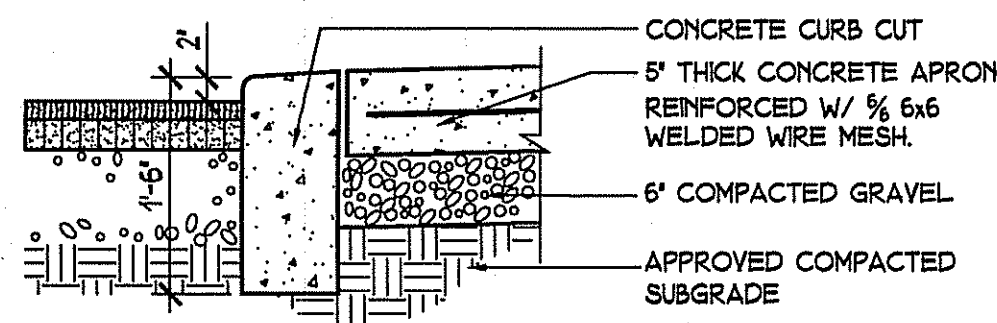
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 S-3  
 CAD FILE NO:  
 4 OF 7



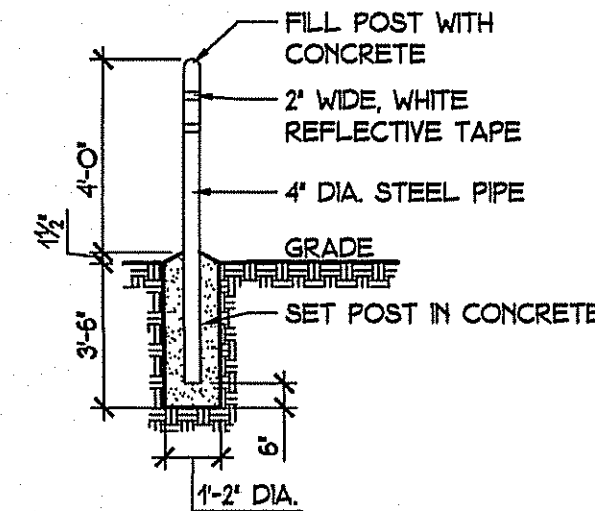
ASPHALT REPLACEMENT DETAIL 3/4"=1'-0"



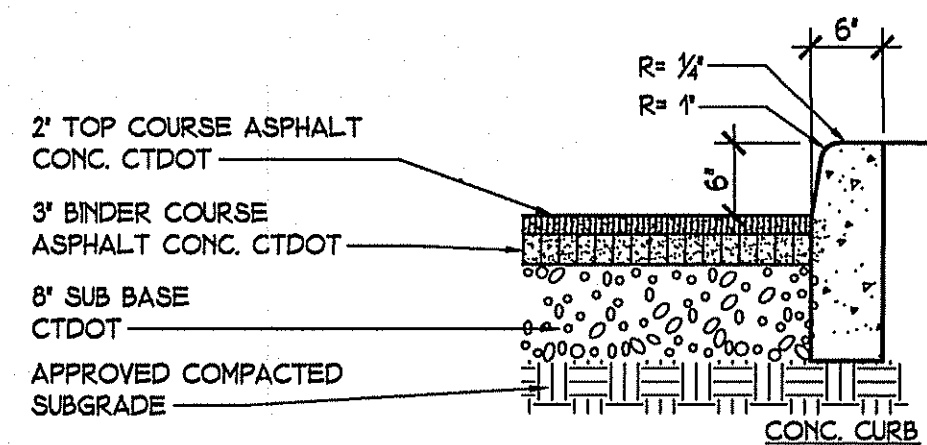
H.C. RAMP DETAIL 3/4"=1'-0"



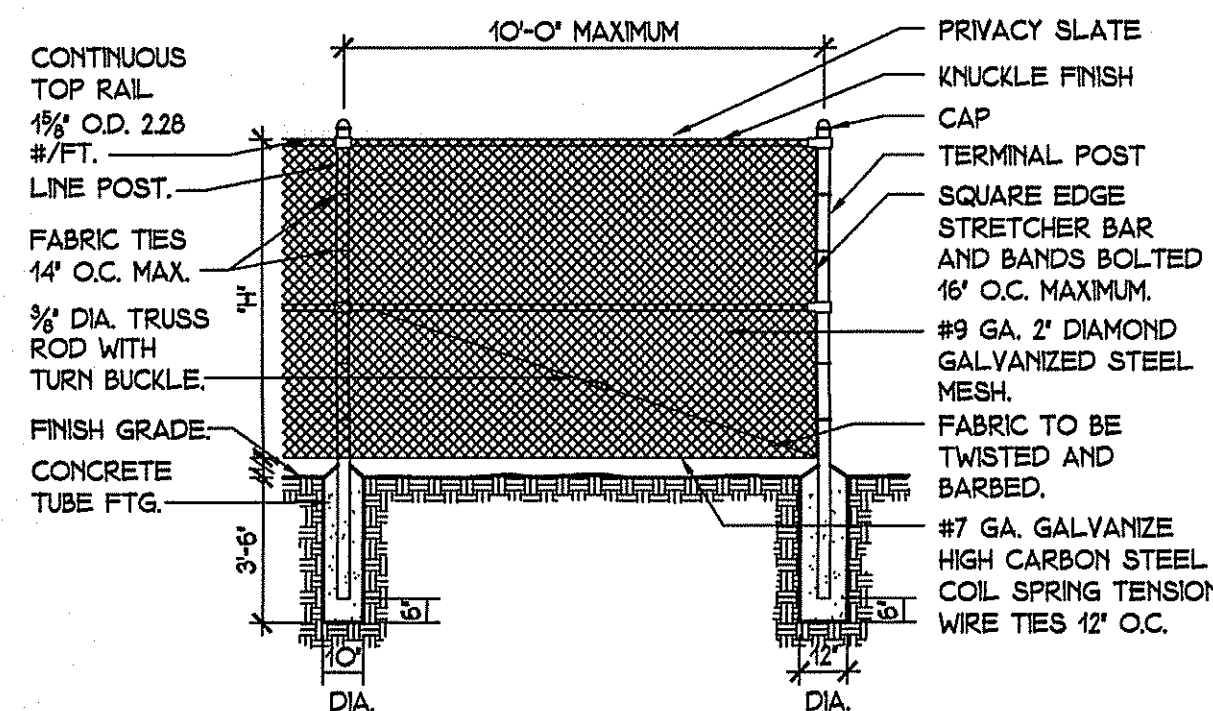
CURB CUT & APRON DETAIL 3/4"=1'-0"



BOLLARD DETAIL 1/4"=1'-0"

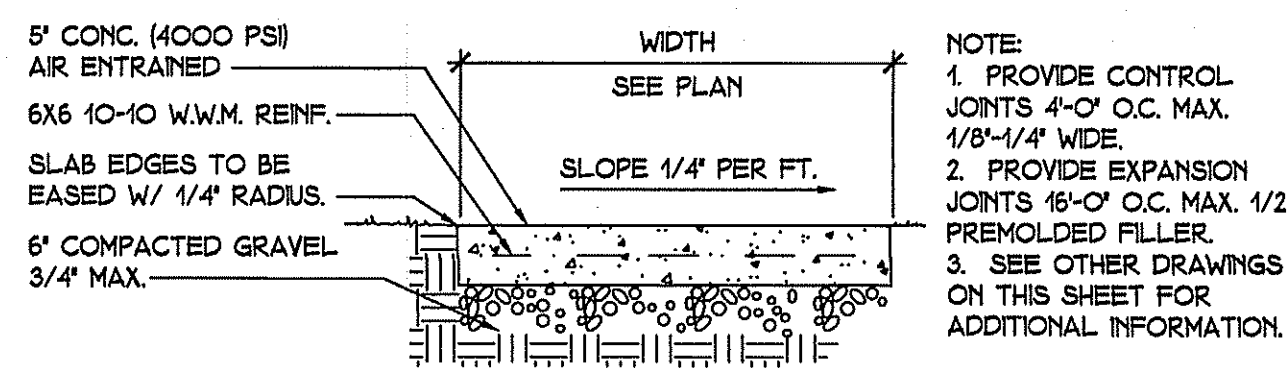


ASPHALT PAV. & CONC. CURB DETAIL 3/4"=1'-0"



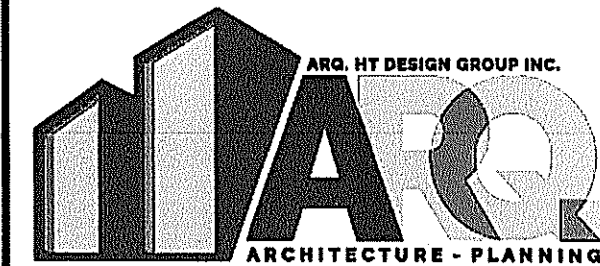
"H" (FT)	LINE POST	TERMINAL POST
6' OR LESS	2" O.D./2.72 #/FT	2.5" O.D./3.65 #/FT
≥ 6'-0"	2.5" O.D./3.65 #/FT	3" O.D./5.79 #/FT

FENCE DETAIL 1/4"=1'-0"



SIDEWALK DETAIL 3/4"=1'-0"

NOTE:  
 1. PROVIDE CONTROL JOINTS 4'-0" O.C. MAX. 1/8"-1/4" WIDE.  
 2. PROVIDE EXPANSION JOINTS 16'-0" O.C. MAX. 1/2" PREMOLDED FILLER.  
 3. SEE OTHER DRAWINGS ON THIS SHEET FOR ADDITIONAL INFORMATION.



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**PAUL A. BERTE, P.E.**

100 EXECUTIVE BLVD. SUITE 204  
 OSSINING, NY 10562

REVISIONS	DATE	BY

PROJECT:  
 ALTERATIONS & NEW  
 Z MART STORE

PROJECT ADDRESS:  
 850 MADISON AVE  
 BRIDGEPORT CT  
 06606

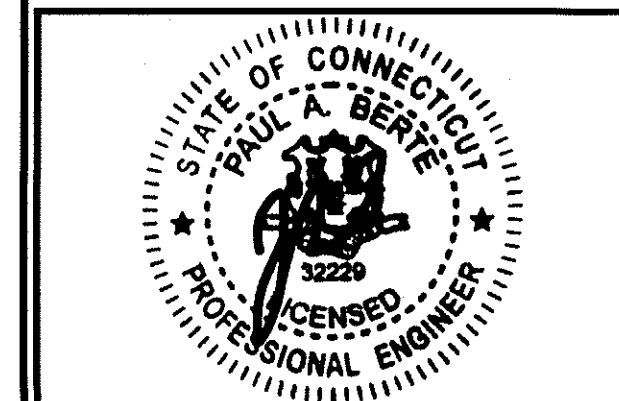
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DOB BSCAN STICKER:

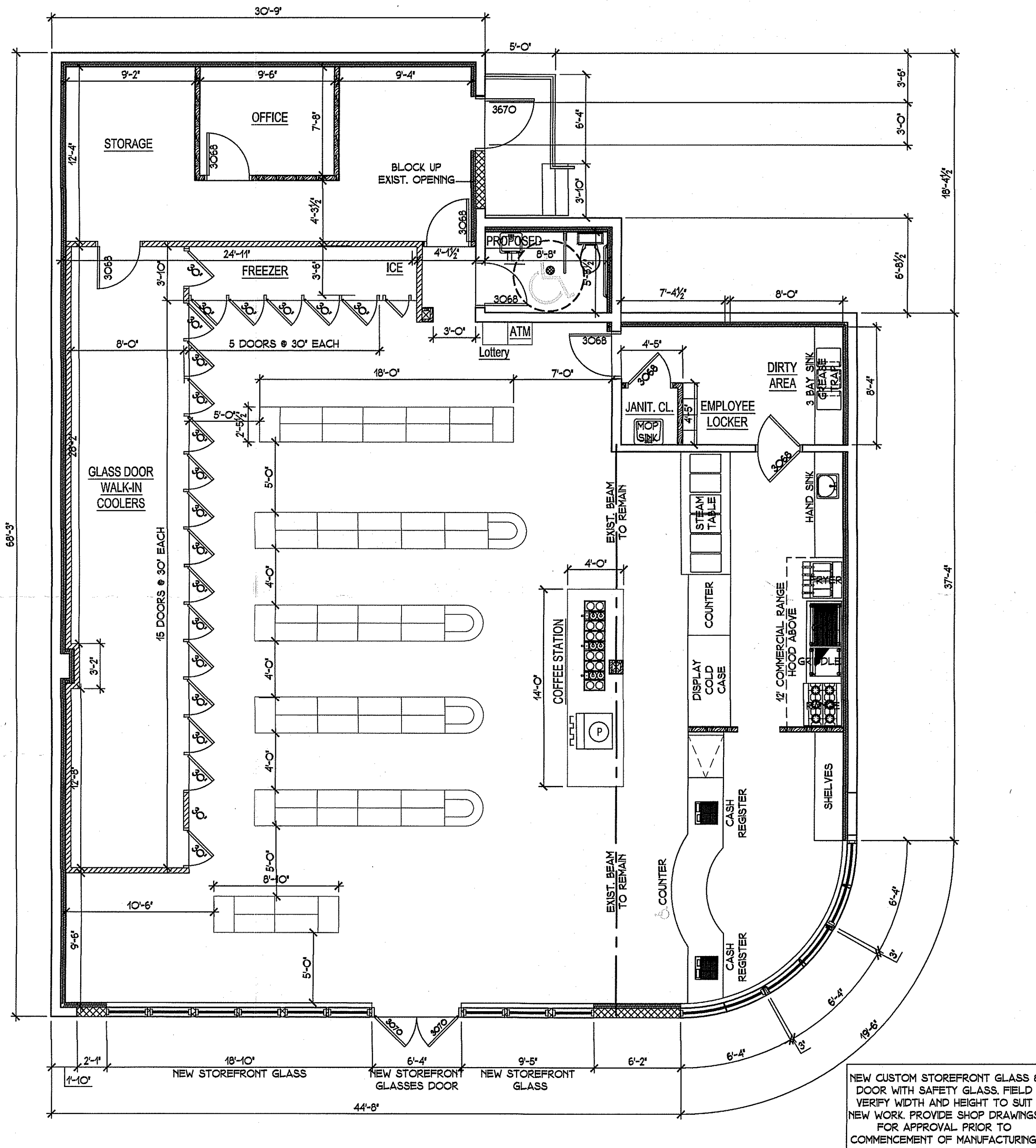
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SEAL & SIGNATURE



DRAWING TITLE:  
 PROPOSED FLOOR PLAN

DATE: 12/16/2020	DWG. NO.:
PROJECT NO.:	A-1
20124	
DRAWING BY: ARQ	CAD FILE NO.:
CHECKED BY: JBH	5 OF 7



**CONSTRUCTION LEGEND:**

SYMBOL	DESCRIPTION
[Solid line]	EXISTING WALL TO REMAIN
[Cross-hatched]	NEW WALL CMU WALL TO MATCH & ALIGN WITH EXISTING WALL
[Dashed line]	FURRING AT EXISTING WALL 6" METAL STUD W/(R-21 BATT INSULATION) & 5/8" GYP. BD ONE SIDE OPTIONAL: 3/8" METAL FURRING SPRAYED INSULATION
[Diagonal lines]	NEW WALL 3/8" METAL STUDS @ 16" O.C. WITH 5/8" GYP BD EACH SIDE
[Diagonal lines]	WALK-IN BOX SEE MANUFACTURERS
[Door symbol]	NEW DOOR INDICATES DOOR SIZE
[Window symbol]	NEW WINDOW INDICATES WINDOW SIZE
[Dashed lines]	REMOVE EXISTING CONSTRUCTION FROM STRUCTURAL SLAB TO UNDERSIDE OF FLOOR DECKING ABOVE. 2. REMOVE / RELOCATE EXISTING ELECTRICAL OUTLETS, SWITCHES ETC. AS REQUIRED. REWORK WIRING AS NECESSARY FOR CONTINUED POWER TO REMAINING OUTLETS, SWITCHES OR IF OUTLETS NOT REQUIRED REMOVE WIRING BACK TO NEAREST JUNCTION BOX TO REMAIN. 3. REMOVE / RELOCATE EXISTING PLUMBING AS REQUIRED. REWORK PLUMBING AS NECESSARY TO MAINTAIN INTEGRITY OF EXISTING SYSTEM TO REMAIN. CAP ALL UNUSED PIPING IN WALLS, FLOOR OR CEILINGS TO REMAIN. NOTIFY ARCHITECT IF ANY OBSTACLES APPEAR DURING DEMOLITION.

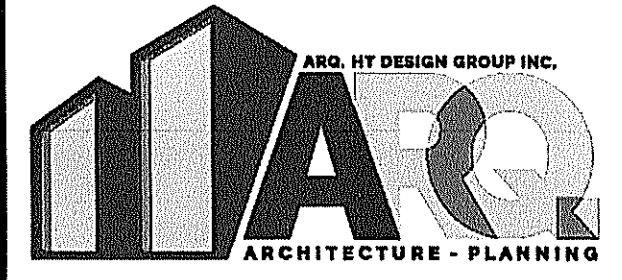
NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED.

MIN. INSULATION REQUIREMENTS BY:  
 2018 CT STATE B.C.  
 2015 IECC TABLE C402.1.3  
 CLIMATE ZONE 5A (FAIRFIELD COUNTY, CT)

FLOOR  
 SLAB R-VALUE & DEPTH = R-10(2" AT PERIMETER)  
 WALL  
 EXTERIOR WALL BELOW GRADE = R-7.5 (CONTINUOUS)  
 EXTERIOR WALL ABOVE GRADE = R-21 (METAL FRAMED)  
 ROOF  
 ROOF/CEILING = R-38 (INSIDE R.R.)

PROPOSED FLOOR PLAN

3/16"=1'-0"



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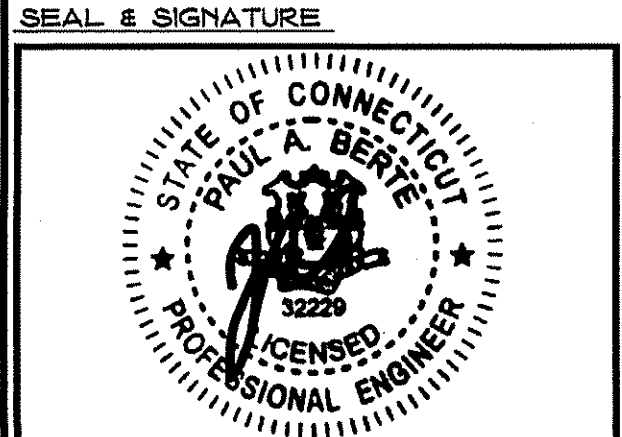
REVISIONS	DATE	BY

PROJECT:  
 ALTERATIONS & NEW  
 Z MART STORE

PROJECT ADDRESS:  
 850 MADISON AVE  
 BRIDGEPORT CT  
 06606

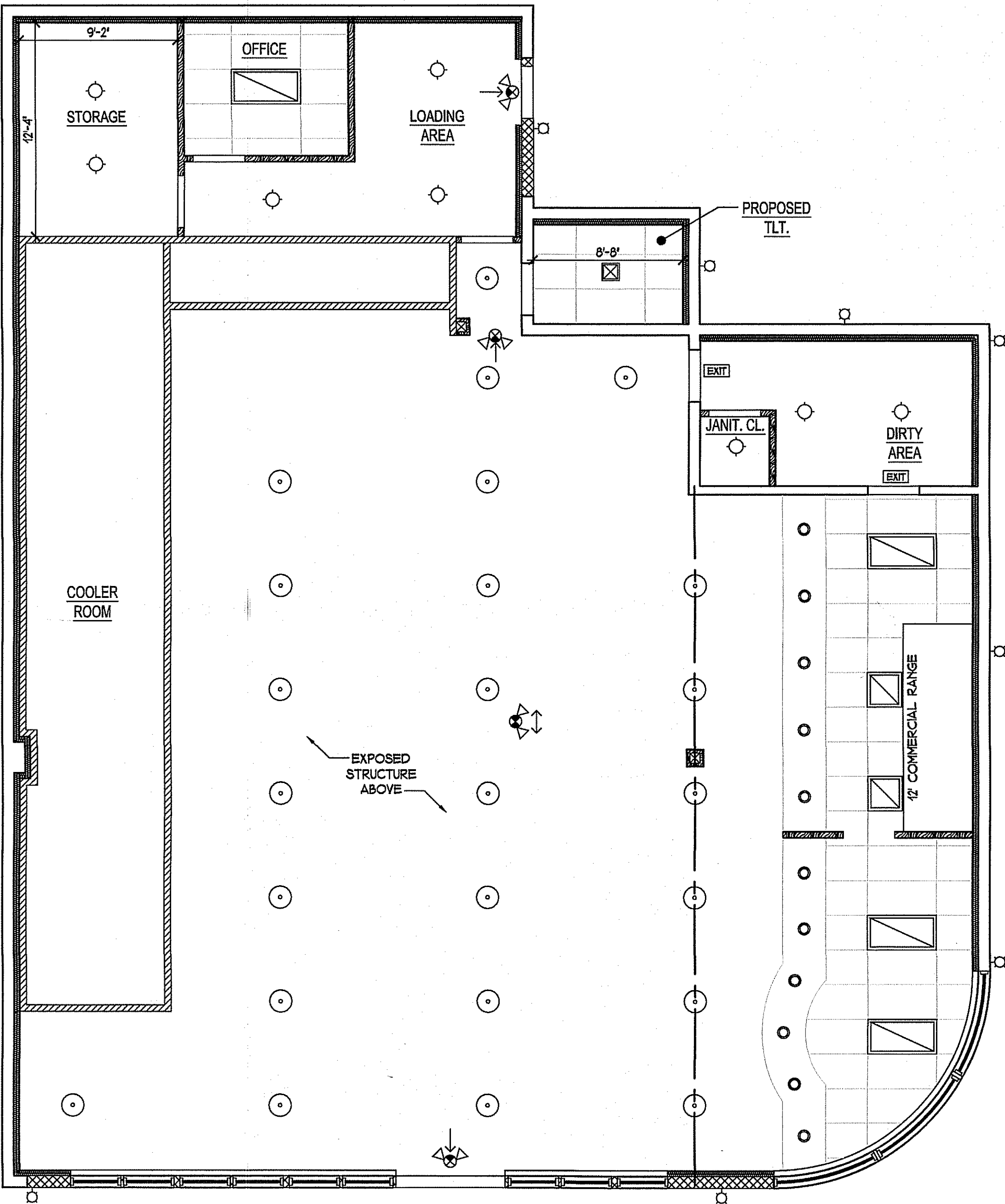
DOB EXAMINER SIGNATURE:  
 \_\_\_\_\_

DOB BSCAN STICKER:  
 \_\_\_\_\_



DRAWING TITLE:  
 PROPOSED REFLECTED  
 CEILING PLAN

DATE: 12/16/2020	DWG. NO.:
PROJECT NO.:	A-2
20124	
DRAWING BY:	CAD FILE NO.:
ARQ	6 OF 7
CHECKED BY:	
JBH	

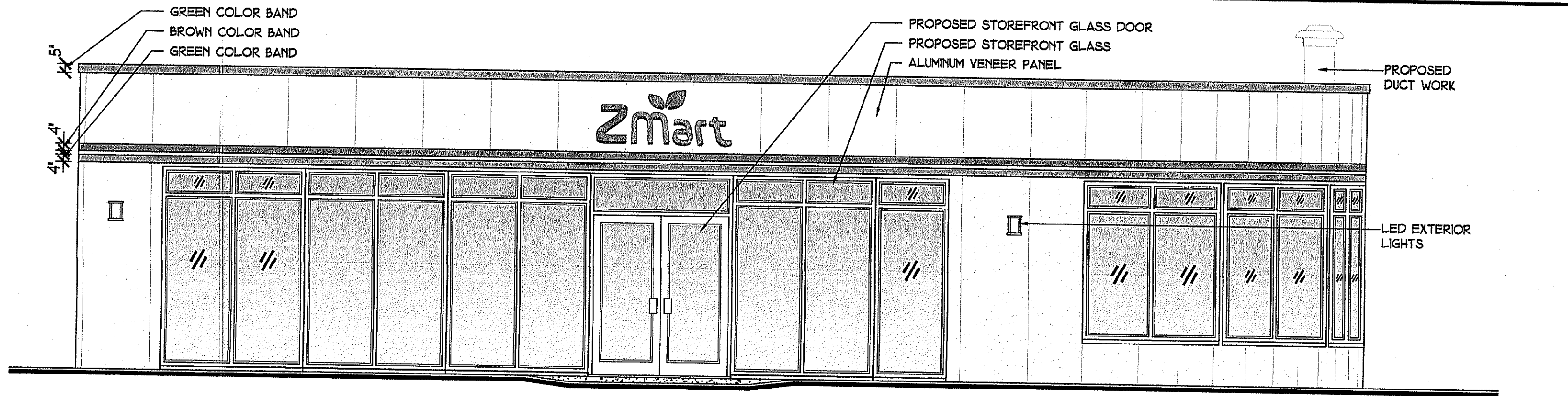


**CEILING LEGEND:**

- CEILING TILES WITH CORRUGATED METAL TILES. PROVIDE A SAMPLE FOR APPROVAL BY OWNER & ARCHITECT PRIOR TO INSTALLATION.
- 2X4 TROFFER LED MODULE
- 2X2 TROFFER LED MODULE
- RECESSED LIGHT FIXTURE
- LIGHT FIXTURE
- PENDANTS LIGHT
- LED EXTERIOR LIGHT
- BATHROOM EXHAUST FAN DUCTED TO EXTERIOR W/ CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS
- EXIT SIGN W/ EMERGENCY LIGHT: W/ 90 MIN. BATTERY BACKUP SHADED AREAS INDICATE LIGHTED FACE ARROWS INDICATE DIRECTION OF TRAVEL
- NEW HARDWIRED INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTOR.
- N DENOTES NEW DEVICES
- E DENOTES EXISTING DEVICES

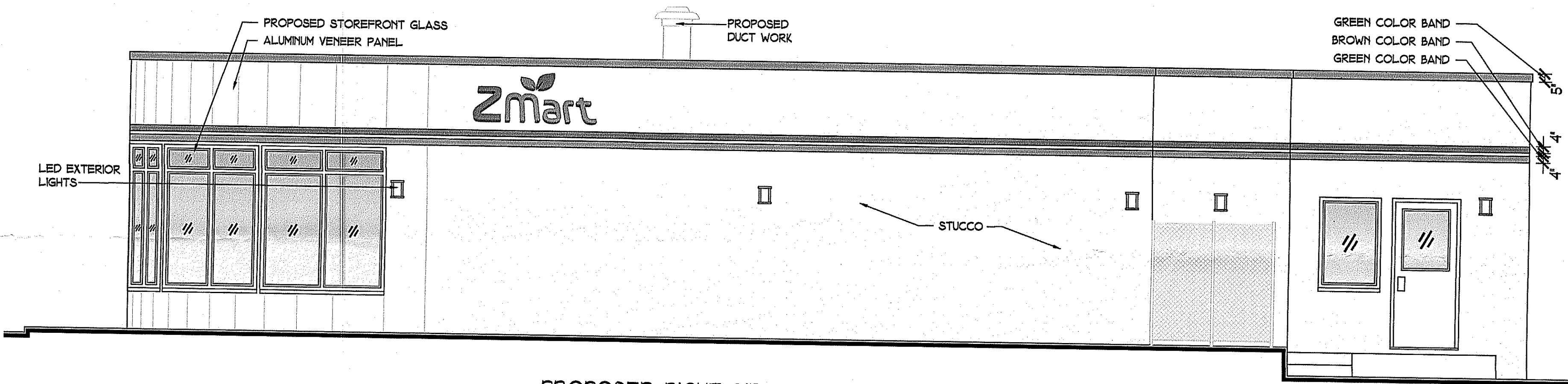
ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR UNDER A SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.

**PROPOSED REFLECTED CEILING PLAN** 3/16"=1'-0"



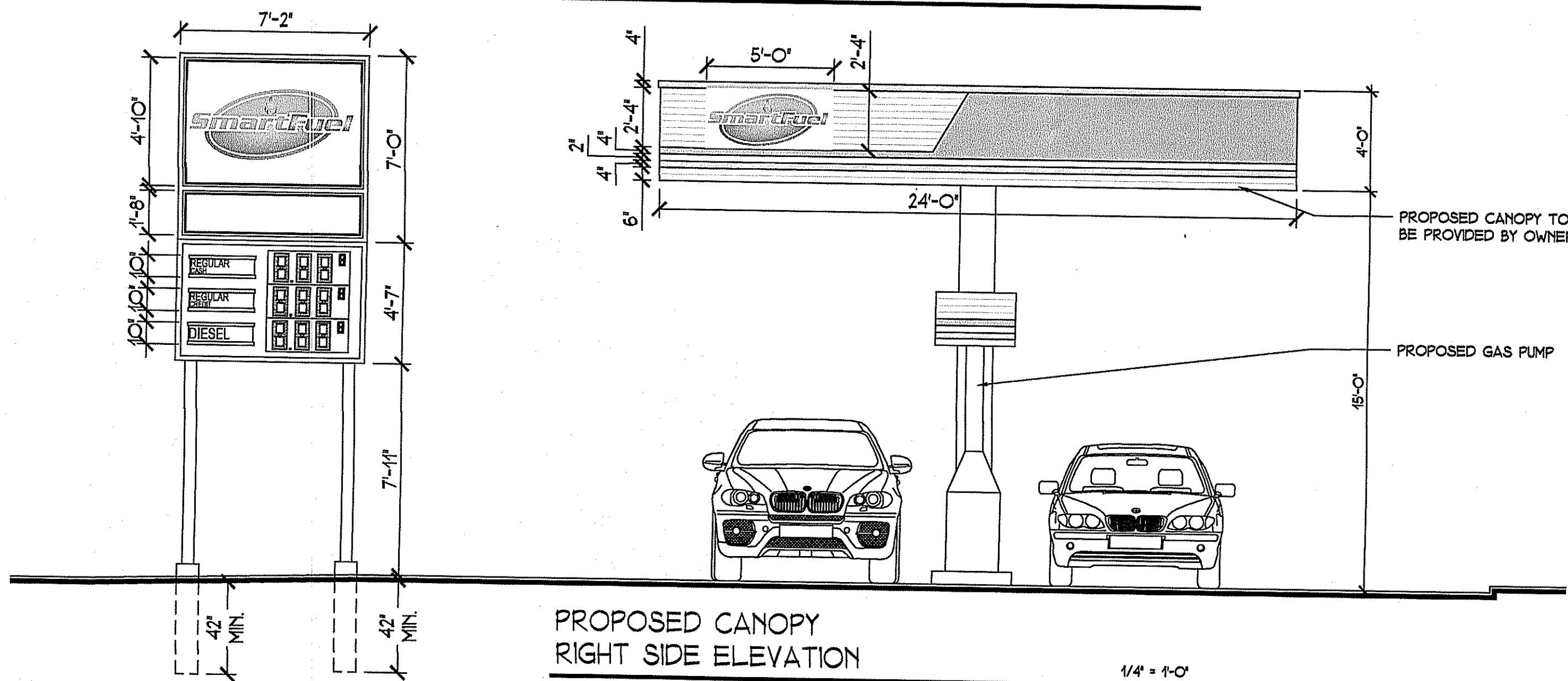
PROPOSED FRONT ELEVATION

1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION

1/4" = 1'-0"



PROPOSED CANOPY  
RIGHT SIDE ELEVATION

1/4" = 1'-0"

  
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 ARCHITECTURE - PLANNING  
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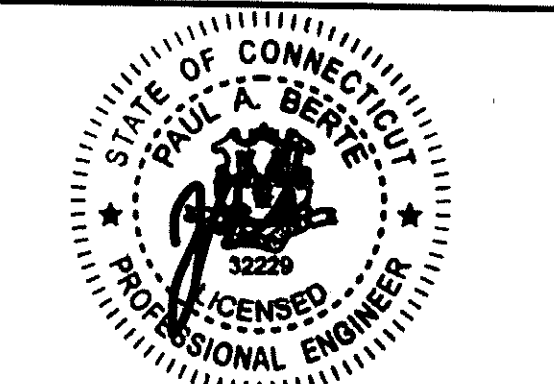
REVISIONS	DATE	BY

PROJECT:  
**ALTERATIONS & NEW  
Z MART STORE**

PROJECT ADDRESS:  
**850 MADISON AVE  
BRIDGEPORT CT  
06606**

DOB EXAMINER SIGNATURE:  
  
 DOB BSCAN STICKER:

SEAL & SIGNATURE



DRAWING TITLE:  
**PROPOSED ELEVATIONS**

DATE: 12/16/2020	DWG. NO.:
PROJECT NO.:	A-3
20124	
DRAWING BY: ARQ	CAD FILE NO.:
CHECKED BY: JBH	

**PETITION TO THE BOARD OF APPEALS**  
**City of Bridgeport, Connecticut**

The undersigned presents the following petition for:

*(Check all that Apply)*

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

855 Housatonic Avenue Zone I-L  
(Number) (Street) (Zone Classification)

On the West side of the street about 0 feet North from  
(North, South, East, West) (North, South, East, West)

Wells Street Block : 1512 Lot: 4/B  
(Street)

Dimension of Lot in Question 132.48' x 347.94' x 114.83' x 271.80'  
(Specify)

1. NAME OF PETITIONER / BUSINESS Carmazing, LLC

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Lessee  
(Print)

3. HAS ANY PREVIOUS PETITION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT To permit the detailing and servicing of the Petitioner's vehicles within the existing building in connection with the approved vehicle sales use.

5. THIS PETITION RELATES TO: *Check all that Apply*

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management  
Approval  Liquor  Use  Other: Modification of Condition of Approval for Certificate of Location for Vehicle Sales

6. USE TO BE MADE OF PROPERTY Vehicle Sales with detailing and servicing of Petitioner's vehicles

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See Attached

PETITIONER [Signature] / [Print] DATE 05/14/2021  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc. \_\_\_\_\_ / \_\_\_\_\_)

Mailing Address Chris Russo, Esq., Russo & Rizio, LLC, 10 Sasco Hill Rd., Fairfield, CT 06824 203-528-0590  
(Zip Code) (Email) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION**

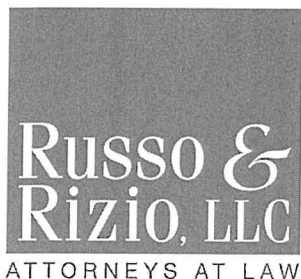
All questions must be answered in detail (use separate sheet if necessary).

The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this petition.

**NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.**

**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_



Colin B. Connor  
Robert G. Golger  
David K. Kurata  
Katherine M. Macol  
Leah M. Parisi  
William M. Petroccio\*  
Raymond Rizio\*  
Christopher B. Russo  
Robert D. Russo  
John J. Ryan  
Vanessa R. Wambolt  
(\*Also Admitted in NY)

May 14, 2021

Dennis Buckley  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Modification of Approval for Certificate of Location of Vehicle Sales – 855 Housatonic Avenue**

Dear Mr. Buckley:

Please accept, on behalf of Carmazing, LLC, (the “Petitioner”), the following narrative and enclosed application materials as part of an application to modify a Condition of Approval for a Certificate of Location for Vehicle Sales granted by the Zoning Board of Appeals on April 21, 2020, under the Bridgeport Zoning Regulations (the “Regulations”) for the property located at 855 Housatonic Avenue (the “Site”) to permit the Petitioner to service and detail its own vehicles within an existing industrial warehouse building in the I-L Zone.

**Narrative**

The Site is located at the corner of Housatonic Avenue and Wells Street and contains Thirty-four thousand seven hundred and eight square feet (34,708 SF). It is in the I-L Zone, where vehicle sales is permitted. It lies just east of the Route 8 Connector and is located in a large industrial area.

The Petitioner obtained approval to convert Twelve thousand square feet (12,000 SF) within the interior of the existing Twenty-seven thousand four hundred and forty-seven square foot (27,447 SF) one-story brick masonry building. The Site has traditionally utilized a parking area to the west of the existing building adjacent to the Route 8 connector, which contains Thirty-six (36) off-street parking spaces. However, the Petitioner is also providing Seventeen (17) parking spaces within the existing building. Customers will enter through overhead doors facing Wells Street to park in spaces conforming to the Regulations. The sales area will be in the middle of the western portion of the building.

The Petitioner requests a removal of a condition of approval to allow service and detailing within the building for the Petitioner’s own vehicles. The Petitioner was approved to sell used vehicles, which may require some detailing and servicing. The Petitioner requests the ability to detail and service those vehicles. The Petitioner would accept a modification of this condition that the Petitioner not be permitted to perform any detailing or servicing for third-party vehicles. This

10 Sasco Hill Road  
Fairfield, CT 06824

Tel 203-255-9928  
Fax 203-255-6618



proposed modification will not have any real impact on the Site and certainly won't increase any parking demand as the Petitioner is simply detailing and servicing its own vehicles.

The building will continue to contain an office area, bathroom and new ADA ramp. The Petitioner does not propose any additions to the buildings or changes to the Site. For the reasons stated above, the Petitioner respectfully requests this modification to a condition of approval for a Certificate of Location for Vehicle Sales.

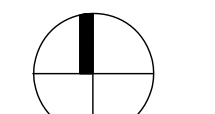
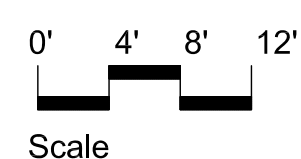
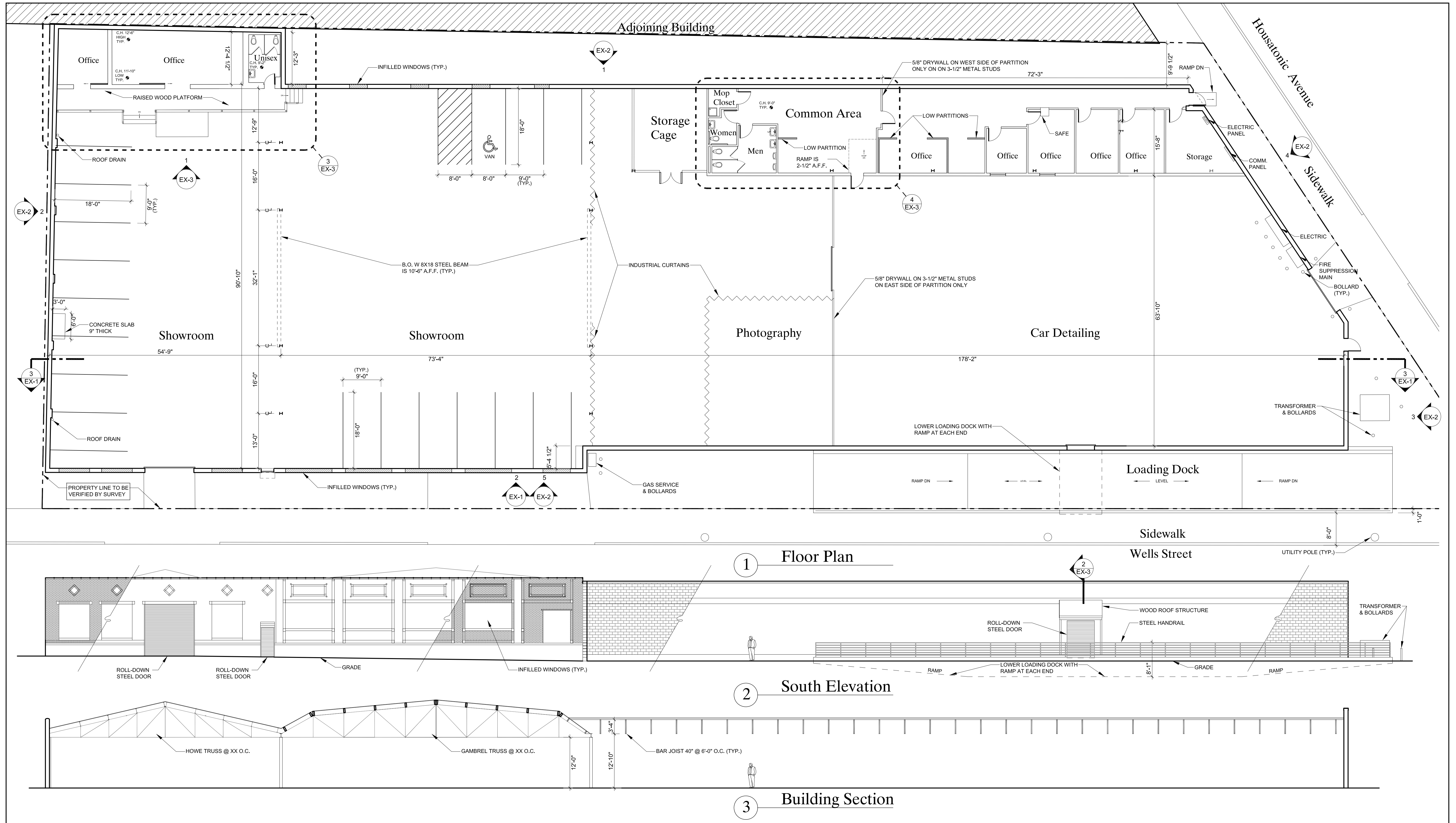
Sincerely,



Raymond Rizio

**PROPERTIES WITHIN 100' OF 855 HOUSATONIC AVENUE**

<b>PROPERTY ADDRESS</b>	<b>OWNER NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
25 WELLS ST	MOHAWK PROPERTIES LLC	25 WELLS ST	BRIDGEPORT	CT	06604
855 HOUSATONIC AV	WELLS STREET LLC C/O HAWLEY AVENUE ASSOC	375 MOUNTAIN GROVE ST	BRIDGEPORT	CT	06605
5 WELLS ST	WELLS STREET LLC C/O HAWLEY AVENUE ASSOC	375 MOUNTAIN GROVE ST	BRIDGEPORT	CT	06605
25 GARLAND ST	DADDARIO F FRANCIS EST & JOAN D BENEDETTO	PO BOX 7056	BRIDGEPORT	CT	06601
41 WELLS ST	STRONG JOHN W JR	15 LIVINGSTON ST	BRIDGEPORT	CT	06605



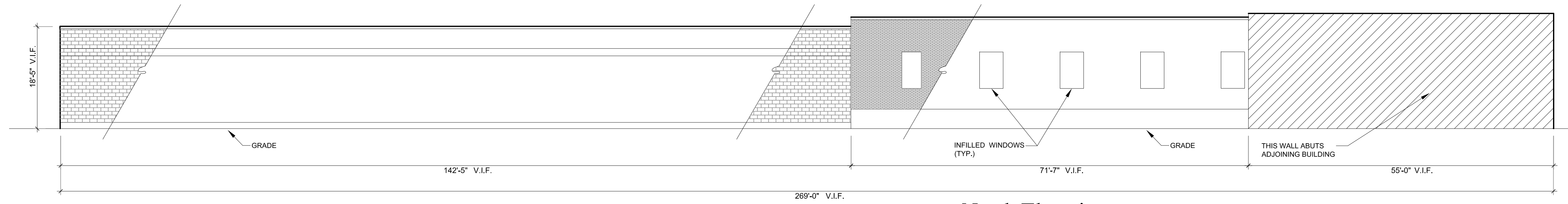
Project North

Date:	Issued:
10.14.20	As-Built Drawings

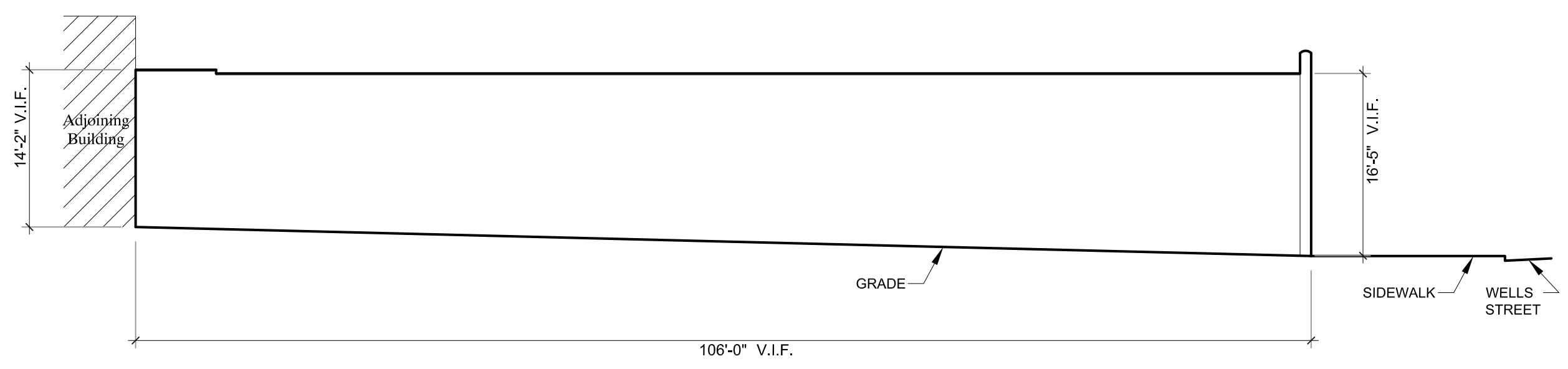
David Barbour Architects  
 202 Pearsall Place  
 Bridgeport, CT 06605  
 t 203 335 4474  
 www.DavidBarbourArchitects.com

Carmazing  
 855 Housatonic Avenue  
 Bridgeport, Connecticut 06604

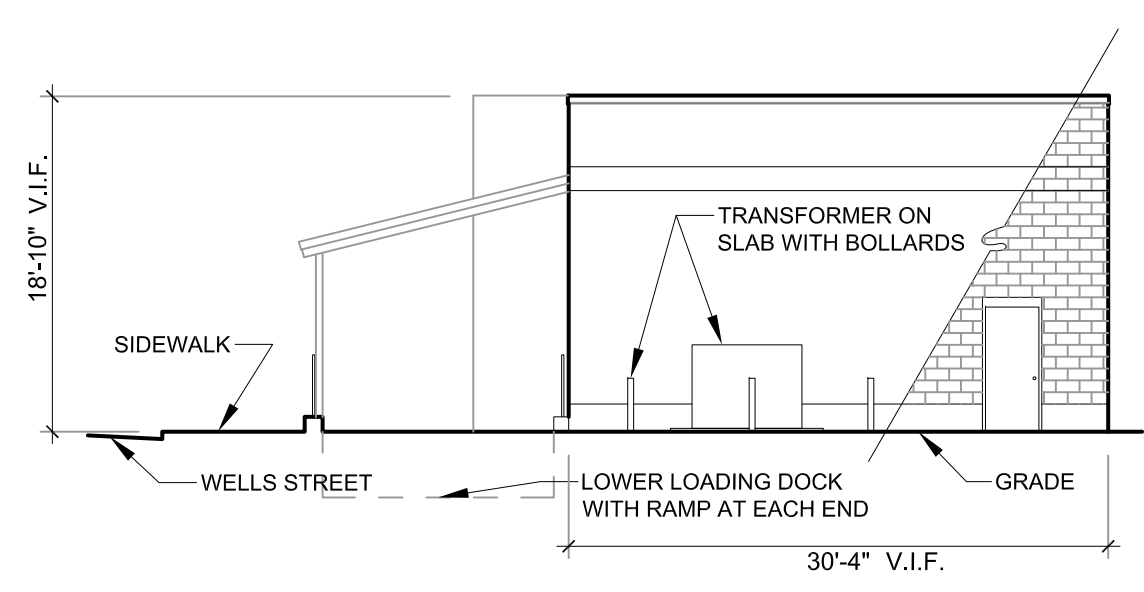
As Built Drawings  
 Project Start Date: 09.30.2020  
 Drawing No. EX-1



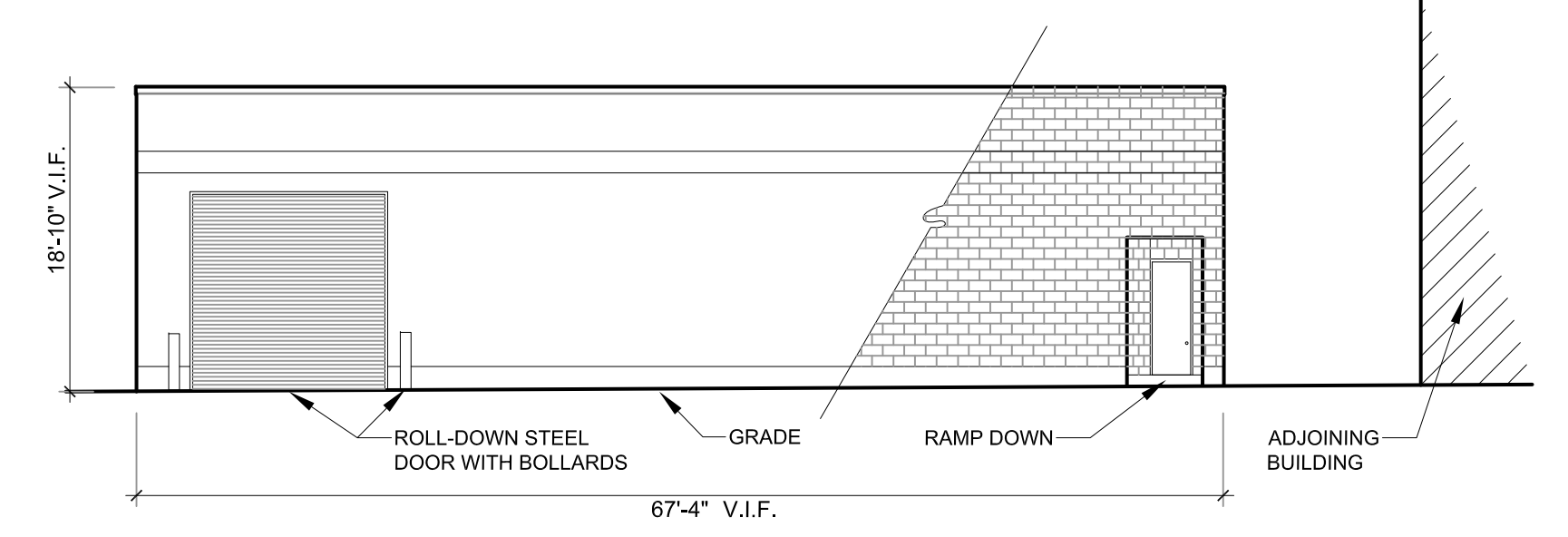
① North Elevation



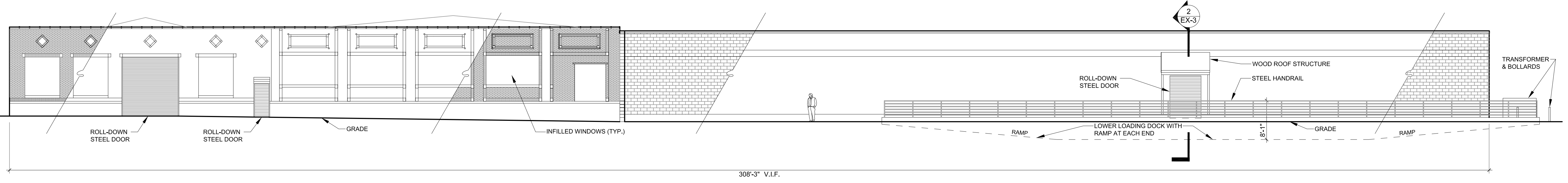
② West Elevation



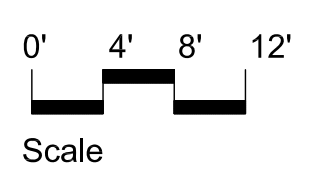
③ East Elevation



④ North-East Elevation



⑤ South Elevation

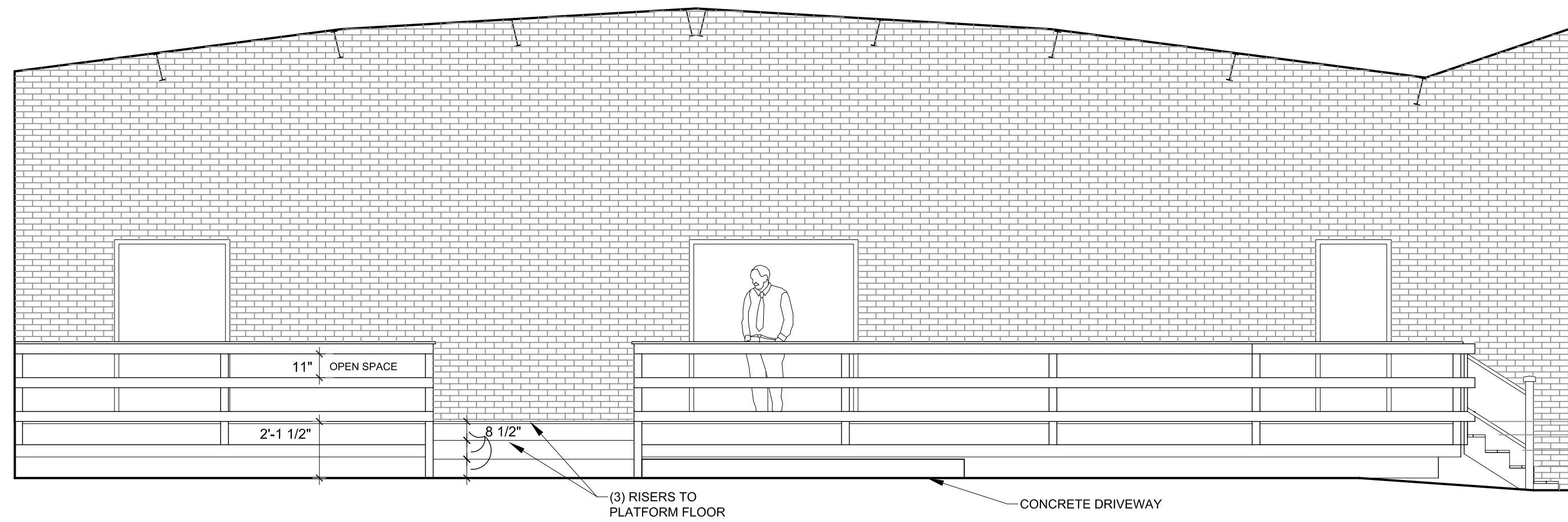


Date:	Issued:
10.14.20	As-Built Drawings

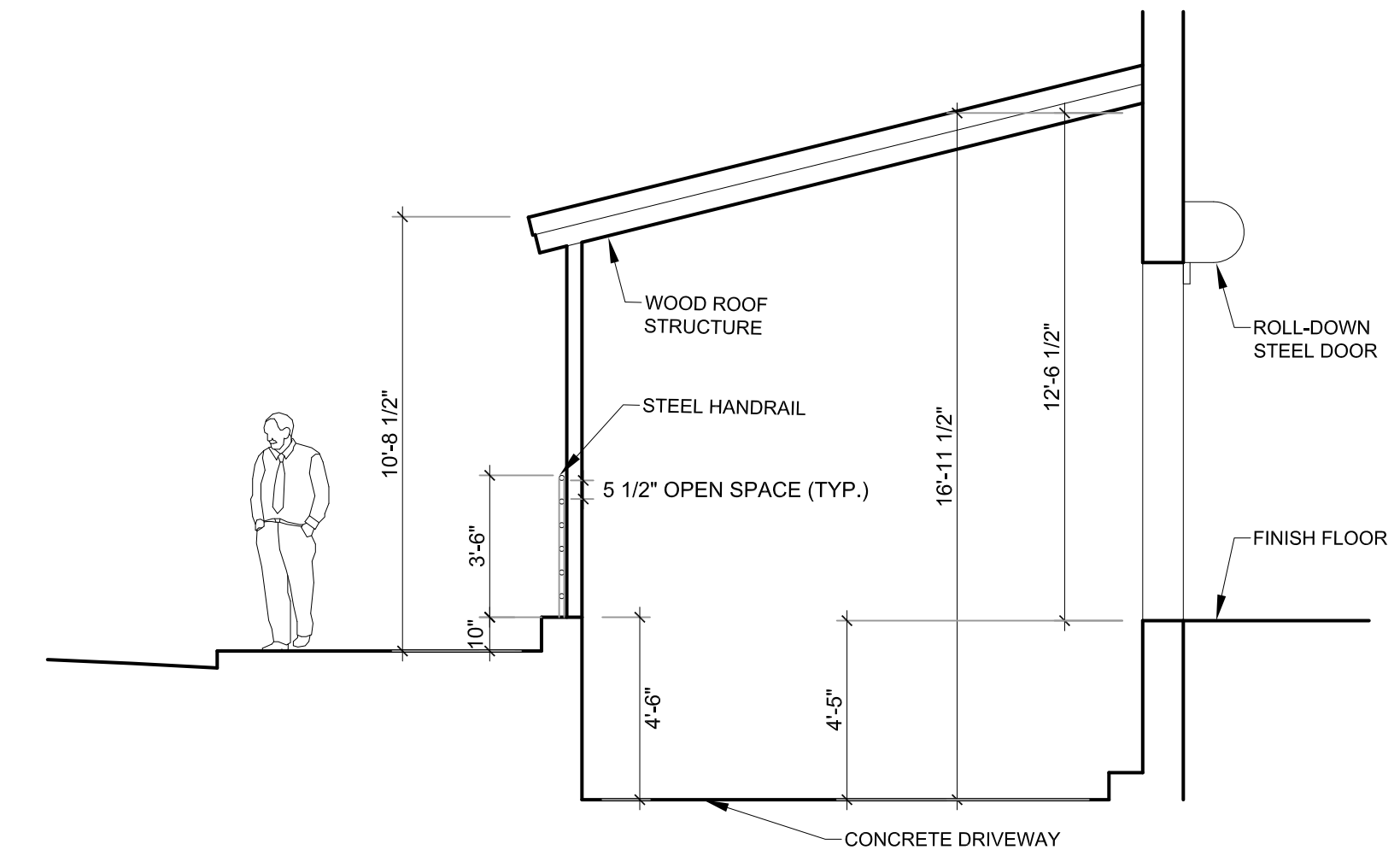
David Barbour Architects  
 202 Pearsall Place  
 Bridgeport, CT 06605  
 t 203 335 4474  
 www.DavidBarbourArchitects.com

Carmazing  
 855 Housatonic Avenue  
 Bridgeport, Connecticut 06604

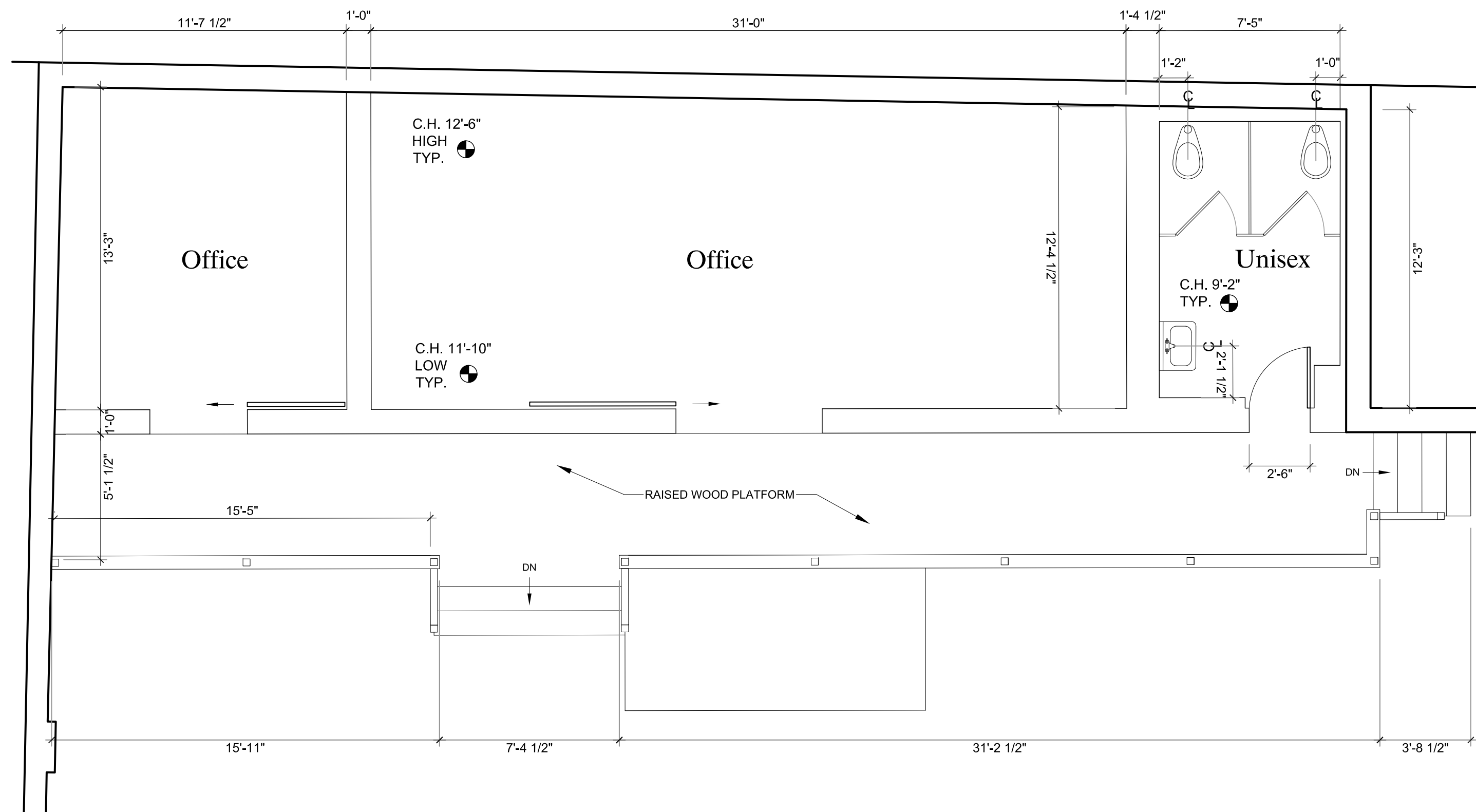
As Built Drawings  
 Project Start Date: 09.30.2020  
 Drawing No. EX-2



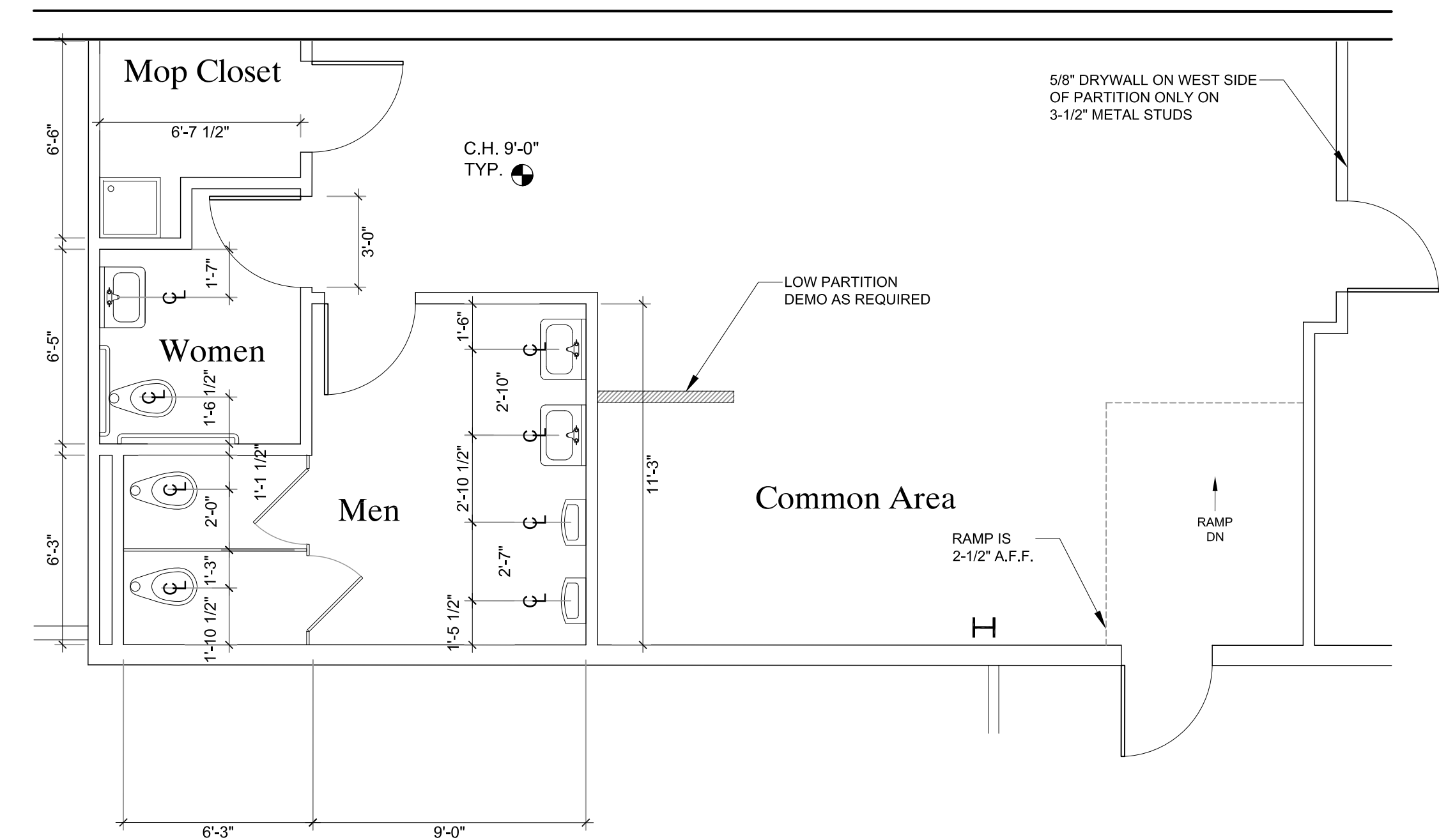
1 North Elevation of Existing Platform Showing North Interior Wall



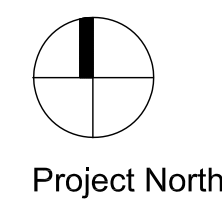
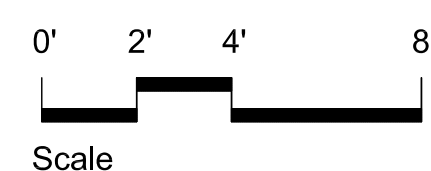
2 Section: North Loading Area



3 Plan of Existing Platform and West Bathroom



4 Plan of Existing East Bathrooms

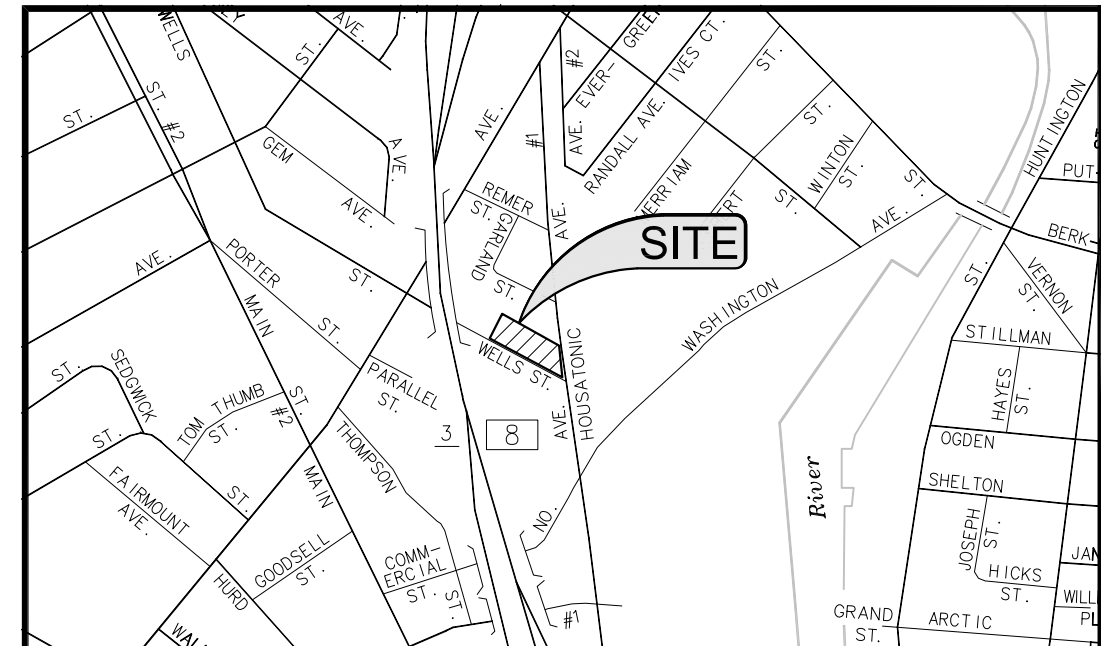


Date:	Issued:
10.14.20	As-Built Drawings

David Barbour Architects  
 202 Pearsall Place  
 Bridgeport, CT 06605  
 t 203 335 4474  
 www.DavidBarbourArchitects.com

Carmazing  
 855 Housatonic Avenue  
 Bridgeport, Connecticut 06604

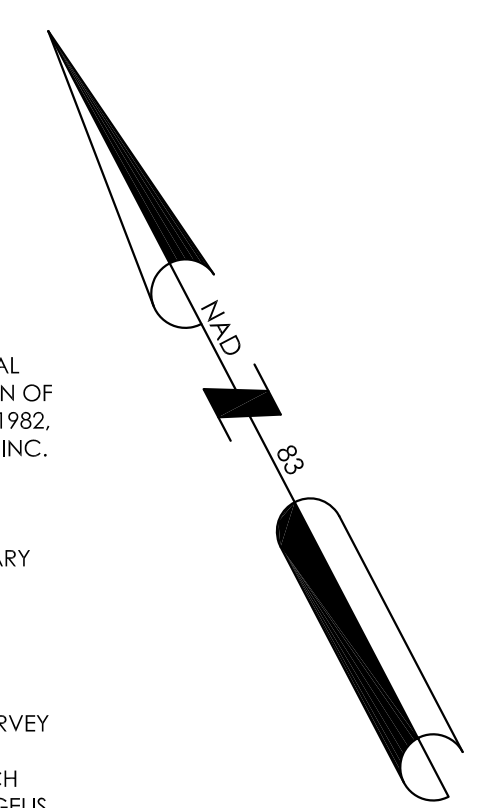
As Built Drawings  
 Project Start Date: 09.30.2020  
 Drawing No. EX-3

**NOTES**

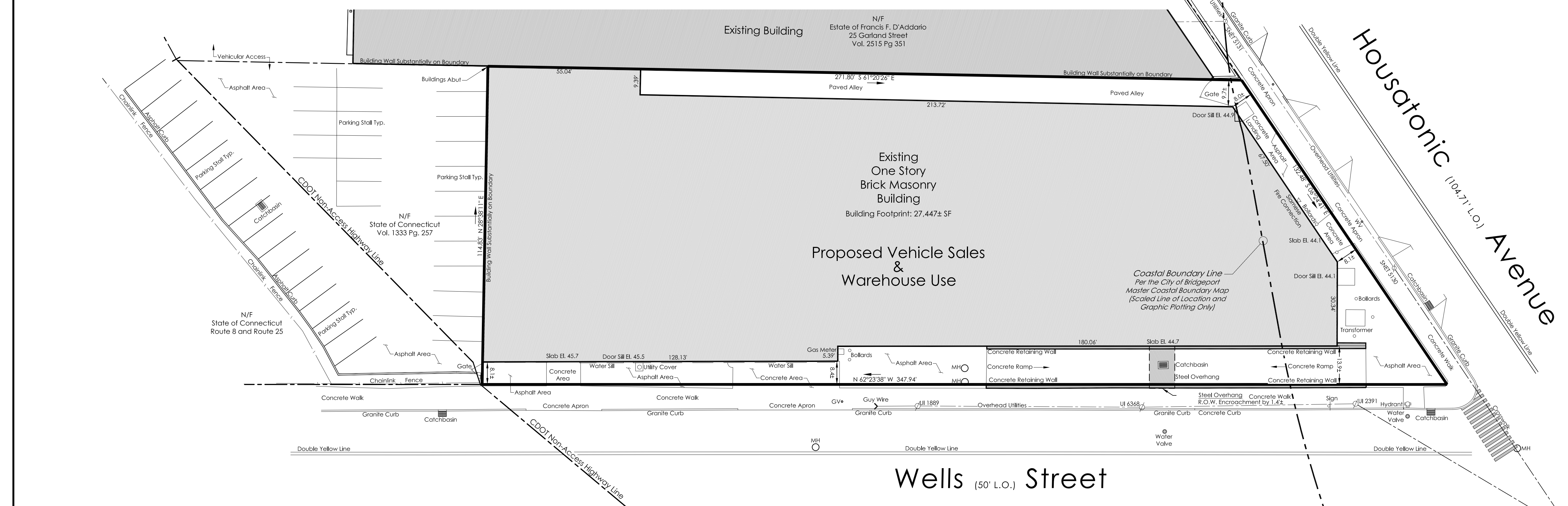
1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS AN **IMPROVEMENT LOCATION SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS **A-2** AND VERTICAL ACCURACY CLASS **V-2** AND IS INTENDED FOR **MUNICIPAL COMPLIANCE** PURPOSES.
2. THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
3. ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.
4. ELEVATIONS ARE BASED ON THE CITY OF BRIDGEPORT DATUM. LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (COR89). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON **JULY 11, 2012** IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM (LAND SURVEYS IN CONNECTICUT)" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:  
**STATION-ORANGE,**  
**NORTHING 653,555.9292, EASTING 927,267.5499,**  
**LATITUDE 41°15'5.87404", LONGITUDE 73°00'52.60263",**  
**ELLIPSOID -4.143.**
5. REFERENCE IS MADE TO THE FOLLOWING MAPS:  
A. MAP ENTITLED "MAP OF LOTS BELONGING TO HENRY R. PARROTT, MARY F. WHITNEY IN BRIDGEPORT, CT," SCALE 1"=80' DATED MARCH 1895, PREPARED BY SCOFIELD & STARR AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 3 PG. 31.**  
B. MAP ENTITLED "MAP OF PROPERTY BELONGING TO HENRY R. PARROTT BRIDGEPORT, CONN.," SCALE 1"=40' DATED MARCH 1897, PREPARED BY SCOFIELD & STARR AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 3 PG. 51.**  
C. MAP ENTITLED "CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS RIGHT OF WAY MAP, TOWN OF BRIDGEPORT - COLONEL HENRY MUCCI HIGHWAY - FROM CENTER STREET NORTHERLY TO LINDLEY STREET," SCALE 1"=80' DATED MAY 1, 1974, PREPARED BY ANDREA C. SCHULLI AND FOUND ON FILE IN THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION DISTRICT 3 SURVEYS AS **MAP NO. 15-05, SHEET NO. 2 OF 3 AND SHEET NO. 3 OF 3.**  
D. SEWER MAPS ENTITLED "HOUSATONIC AVE. SHEET NO. 1 **MAP NO. 5528A;** HOUSATONIC AVE. **MAP NO. 5022** AND WELLS ST. **MAP NO. 5341** - FOUND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.  
E. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 1512.**

**NOTES CONT**

6. RECORD OWNER: WELLS STREET LLC  
VOL. 8993 PG. 256
7. ASSESSOR'S REFERENCE: MAP 47 | BLOCK 1512 | LOT 4B.
8. PARCEL AREA: 34,708± SQ. FT., OR 0.797± AC.
9. PARCEL IS LOCATED WITHIN THE **I-L**' ZONING DISTRICT.
10. SEE FLOOD INSURANCE RATE MAP; FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL **429** OF 626, COMMUNITY **BRIDGEPORT**, CITY OF, NUMBER **09002** PANEL **0429** SUFFIX **G**, MAP NUMBER **09001C0429G**, MAP REVISED **JULY 8, 2013.** THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS **ZONE X (UNSHADED).**
11. THE SUBJECT PARCEL IS LOCATED WITHIN THE PEQUONNOK RIVER COASTAL BOUNDARY - SECONDARY COMMERCIAL ZONE. SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT SHEET 4 OF 4, SCALE: 1"=500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.
12. BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
13. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).

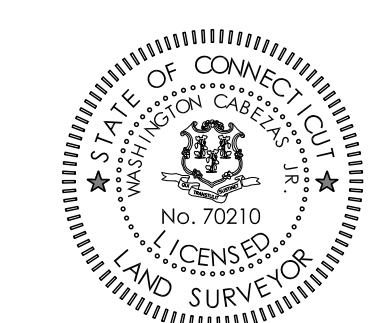
**LOCATION MAP**

SCALE: 1" = 80'

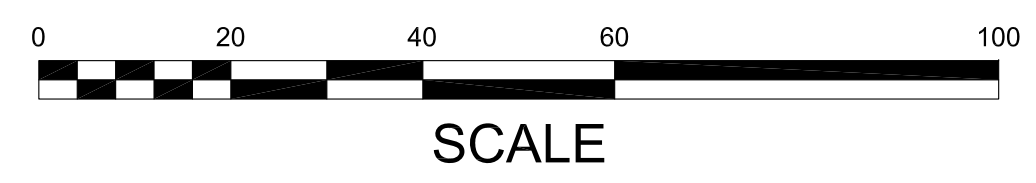
**LEGEND**

N/F	NOW OR FORMERLY	CB	CATCH BASIN
MON.	MONUMENT	WM	WATER METER
IP.	IRON PIPE	WV	WATER VALVE
FND.	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET.	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
UG	UNDER GROUND	INT.	INTERSECTION
MH	MANHOLE	INV.	INVERT
ELEC.	ELECTRIC	C.I.	CAST IRON
2'	UTILITY POLE	V.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EQP	EDGE OF PAVEMENT	+ 8.65	EXISTING SPOT GRADE
RET.	RETAINING	---100---	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
FFE	FINISHED FLOOR ELEVATION	N (C)	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
CT	EXISTING CONIFER TREE		EXISTING DECIDUOUS TREE

SCALE: 1"=20'  
FIELD FILE: housatonic.survey.rws  
PROJECT NO.: CD1359  
DATE: March 5, 2020  
FILE: 855 Housatonic Ave\_ILS.dwg  
SHEET 1 OF 1  
REV:



TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON  
WASHINGTON CABEZIAS, JR.  
PEL 70210



78 ELM STREET, BRIDGEPORT, CT 06604  
P:203 330 8700 • F:203 330 8701

**I-L Zone Development Standards**

	REQUIRED	EXISTING	PROPOSED
<b>LOT</b>			
LOT AREA, MINIMUM	N/A	34,708± SF	34,708± SF
FRONTAGE, MINIMUM	25 FT	480.42 FT	480.42 FT
FLOOR AREA RATIO, MAXIMUM	N/A	N/A	N/A
PRINCIPLE BUILDING SIZE, MAXIMUM	N/A	N/A	N/A
<b>PRINCIPLE BUILDING SETBACK</b>			
FRONT LOT LINE, MINIMUM FROM	N/A	N/A	N/A
STREET LOT LINE, MINIMUM FROM	15 FT	8.0± FT & 8.1± FT	8.0± FT & 8.1± FT
MAXIMUM SETBACK	N/A	N/A	N/A
SIDE LOT LINE, MINIMUM FROM	N/A	N/A	N/A
REAR LOT LINE, MINIMUM FROM	N/A	N/A	N/A
NOT TO EXCEED	N/A	N/A	N/A
<b>MINIMUM SETBACK FROM:</b>			
OTHER HEAVY INDUSTRIAL USE	10 FT	0.0 FT	0.0 FT
OTHER USE	0	0.0 FT	0.0 FT
LOT LINE ABUTTING AN 'R' ZONE	15 FT	N/A	N/A
SIDE	N/A	N/A	N/A
REAR	N/A	N/A	N/A
LOT LINE ABUTTING AN 'M' OR 'T' ZONE	0	0.0 FT	0.0 FT
CORNER LOT YARDS	NOTE 2	PROVIDED	PROVIDED
MEAN HIGH WATER, MINIMUM FROM	N/A	N/A	N/A
<b>ACCESSORY STRUCTURE</b>			
SETBACKS	NOTE 9	NOTE 9	NOTE 9
<b>COVERAGE</b>			
BUILDING COVERAGE, MAXIMUM	85%	80%	80%
SITE COVERAGE, MAXIMUM	85%	100%	100%
<b>LANDSCAPED AREA</b>			
MINIMUM	15%	0%	0%
IN SETBACK ABUTTING AN 'R' ZONE, MIN.	10 FT DEEP @ L4	N/A	N/A
<b>HEIGHT</b>			
<b>PRINCIPAL BUILDING</b>			
MAXIMUM FOR PRINCIPAL BUILDING	75 FT	20± FT	20± FT
PROJECTIONS AND FEATURES	NOTE 5	NOTE 5	NOTE 5
<b>ACCESSORY STRUCTURE, MAXIMUM</b>			
HEIGHT, MAXIMUM	NOTE 7	N/A	N/A
FLOOR AREA, GROSS MAXIMUM	NOTE 8	N/A	N/A
PUBLIC ACCESS EASEMENT	NOTE 10	N/A	N/A

- NOTES:**
1. NO MAXIMUM BUILDING SETBACK FROM A STREET LOT LINE SHALL BE REQUIRED FOR ANY PARCEL OF LAND BOUNDED ON THREE OR MORE SIDES BY CITY STREETS AND OWNED BY A CITY GOVERNMENT AGENCY.
  2. ON A CORNER LOT IN ANY ZONE, THERE SHALL BE TWO FRONT YARDS AND TWO SIDE YARDS.
  3. THE MINIMUM SETBACK FROM MEAN HIGH WATER SHALL BE THIRTY (30) FEET EXCEPT FOR BUILDINGS SUPPORTING WATER-DEPENDENT USES THAT MAY REQUIRE LOCATION IMMEDIATELY ADJACENT TO THE WATER.
  4. SEE SECTION 11-3. LANDSCAPING AND SCREENING - THE MINIMUM AREAS REQUIRED TO BE LANDSCAPED ARE LISTED IN TABLE 3. ZONE DEVELOPMENT STANDARDS FOR RESIDENTIAL ZONES AND TABLE 4.A AND 4.B. ZONE DEVELOPMENT STANDARDS FOR NON-RESIDENTIAL ZONES. ANY REQUIRED LANDSCAPING AS FOR REQUIRED SETBACKS OR PARKING LOTS, MAY BE APPLIED TOWARD THE MINIMUM LANDSCAPED AREA PERCENTAGE REQUIREMENT. REQUIRED LANDSCAPING AND SCREENING MUST MEET THE LEVELS REFERENCED IN EACH APPLICABLE ZONE DEVELOPMENT STANDARDS TABLE AND APPLICABLE STANDARDS SET FORTH ELSEWHERE IN THESE REGULATIONS. LANDSCAPING AND SCREENING STANDARDS ARE SET FORTH IN SECTION 11-3-1.
  5. SEE SECTION 4-4. HEIGHT - MAXIMUM HEIGHTS FOR STRUCTURES ARE LISTED IN THE ZONE DEVELOPMENT STANDARDS TABLES. EXCEPTIONS TO THE MAXIMUM HEIGHTS ARE SET FORTH IN SECTION 4-4-1 (PROJECTIONS ALLOWED) AND 4-4-2 (ARCHITECTURAL FEATURES).
  6. BUILDINGS PROPOSED FOR MORE THAN THREE (3) STORES SHALL REQUIRE A SPECIAL PERMIT.
  7. ANY ACCESSORY STRUCTURE WITH A FLAT OR ROUNDED ROOF SHALL BE NO HIGHER AT ITS HIGHEST POINT THAN TWELVE (12) FEET AND ANY ACCESSORY STRUCTURE WITH A PITCHED ROOF SHALL BE NO HIGHER THAN FIFTEEN (15) FEET, MEASURED FROM THE AVERAGE LEVEL OF THE GROUND ALONG ALL WALLS OF THE STRUCTURE. IN 'H' AND 'L' ZONES, THE MAXIMUM HEIGHT FOR ANY ACCESSORY STRUCTURE SHALL NOT EXCEED (5) OF THE MAXIMUM HEIGHT FOR PRINCIPAL STRUCTURES IN THAT ZONE.
  8. SEE SECTION 4-9. ACCESSORY STRUCTURES - CUSTOMARY ACCESSORY STRUCTURES ARE ALLOWED IN ALL ZONES AS SPECIFICALLY REGULATED IN THAT ZONE UNDER THE PROVISIONS OF A. LOCATION; B. COMPLIANCE C. SIZE AND D. PROHIBITED USE.
  9. SETBACKS FOR ACCESSORY STRUCTURES SHALL BE THE SAME AS SETBACKS FOR PRINCIPAL STRUCTURES.
  10. A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON ANY NON-RESIDENTIAL PROPERTY ABUTTING A WATERWAY. IN SUCH A CASE, A DEDICATED OPEN SPACE AREA SHALL BE ESTABLISHED FROM THE TOP OF THE EMBANKMENT AND FOR TWENTY (20) FEET INLAND.
  11. PARKING GARAGES SHALL BE EXEMPT FROM THE FLOOR AREA RATIO (FAR) REQUIREMENT AND SHALL NOT BE INCLUDED IN THE CALCULATION OF THE GROSS FLOOR AREA IN AN 'M'-EM ZONE.
  12. MAXIMUM HEIGHT FOR A PASSENGER TERMINAL SHALL BE 60 FT.
- N/A - NOT APPLICABLE  
N/C - NO CHANGE

PREPARED FOR  
**BROOKSIDE MOTORS LLC**  
(D.B.A. BMW OF BRIDGEPORT)  
**855 HOUSATONIC AVENUE**  
**BRIDGEPORT, CONNECTICUT**  
ASSESSOR'S REFERENCE: MAP 47 | BLOCK 1512 | LOT 4B

SHEET 1 OF 1  
MARCH 5, 2020 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 20'



# ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1037 Sylvan Avenue (Career Resources, Inc.) Zone RA  
(Number) (Street) (Zone Classification)

On the West side of the street about 100 feet South from  
(North, South, East, West) (North, South, East, West)

Ortega Avenue Block : 2747 Lot: 19  
(Street)

Dimension of Lot in Question 125'-0 x 131'-0"  
(Specify)

1. NAME OF APPLICANT / BUSINESS Alliance for Community Empowerment, Inc. (Alliance @ Sylvan Ave)  
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Renting Space
3. HAS A PREVIOUS APPLICATION BEEN FILED? NO IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT To provide group care services for the residents living in the building

5. THIS APPLICATION RELATES TO: Check all that Apply

- Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY The rental space will be used to provide group care to 9 children 6 weeks to 5 years old

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? The group care is necessary for female residents obtaining support services provided by the owner

APPLICANT *Dr. Monette Ferguson* / Dr. Monette Ferguson DATE 05/10/2021  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) C/O Bonita Perry / bperry@allianrect.org  
A.B.C.D. (Email)

Mailing Address 1070 Park Avenue Bridgeport, CT 06604  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT *Scott K. Wilderman* Print Scott K. Wilderman  
(If other than owner) (Signature)

Subscribe & Sworn to before me this 10 day of May 2021  
*Paula Hays* Notary Public in & for the County of Fairfield, State of Connecticut.

my Commission Expires 5/31/2026

## Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).  
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this application.

**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

#6



Alliance for Community Empowerment Inc. (formerly known as ABCD, Inc.) is a federally and state funded Community Action Agency whose sole mission is to assist the underserved. Alliance concentrates its efforts and resources on identifying and eliminating the causes of poverty rather than only dealing with its effects. Alliance Inc. has a successful 57-year reputation for changing lives through the social service programs we operate, including Energy Assistance, Supportive Services, and Early Learning Division.

Alliance Inc.'s actions are directed towards promoting appropriate institutional change and enabling the underserved to become self-sufficient contributors to society. Through providing quality early childhood education and supportive services to the entire family, we make great strides toward achieving our mission.

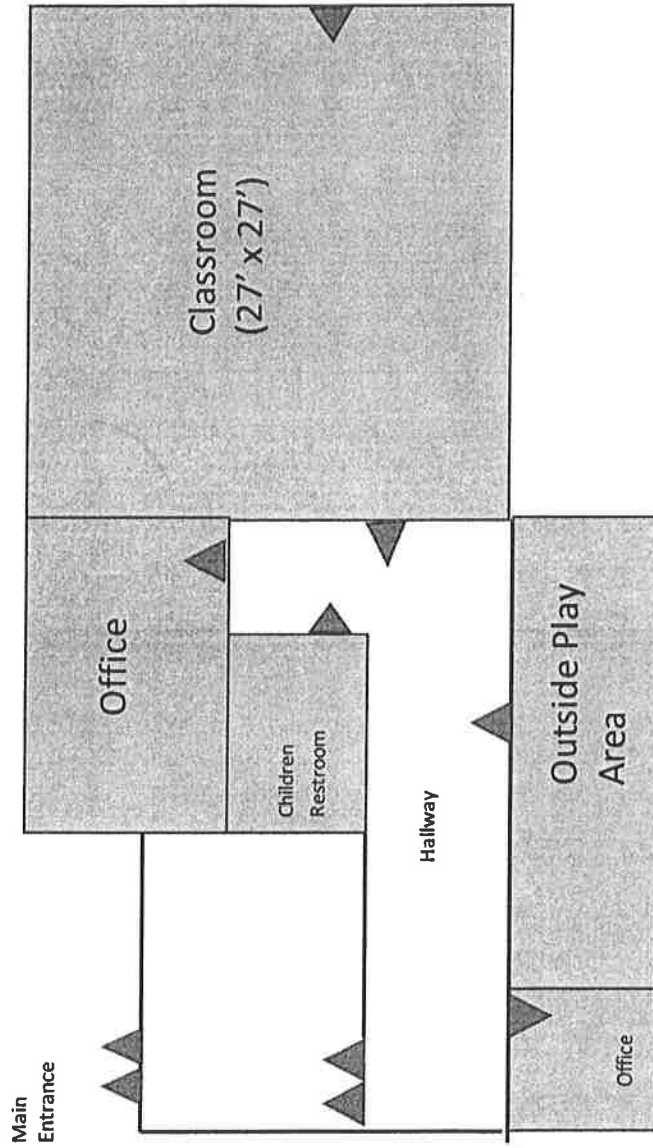
Alliance Inc.'s Early Learning Division has been a cornerstone of early childhood education in the greater Bridgeport area. The Early Learning Division prides itself on creating and maintain quality school readiness experiences for children birth to 5 and also services to pregnant women.

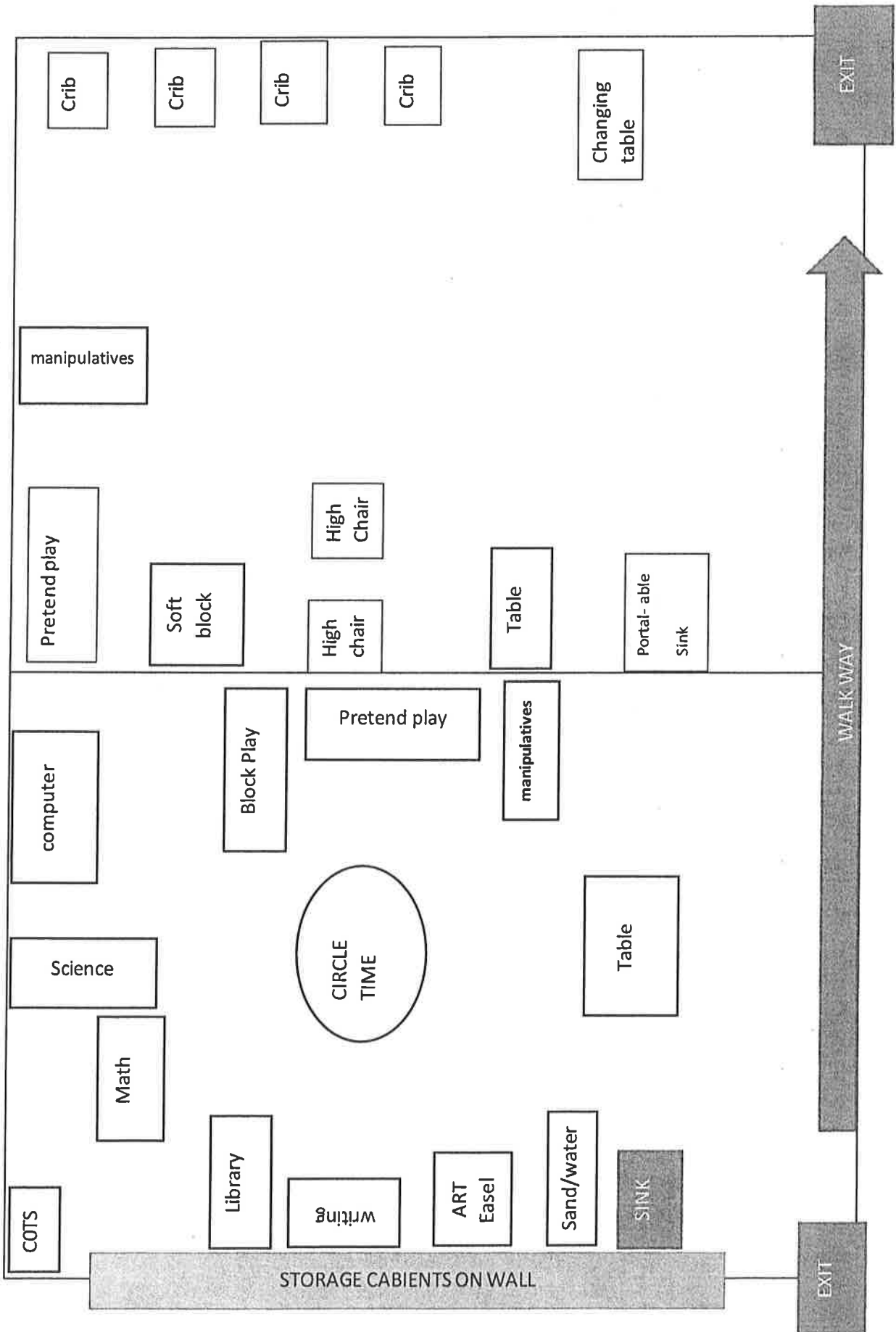
Alliance has partnered with Career Resources, Inc. and will operate two early childhood classrooms within the women's reentry program located at 1037 Sylvan Avenue, Bridgeport. Group care will be provided onsite to 9 children ranging in age from 6 weeks to 5 years old. Each classroom will be equipped with appropriate child development materials and staffed by Early Childhood Educators under the guidance and licensure as awarded by the state's Office of Early Childhood. Services will be offered on a full-day schedule (7:30 am to 5:30 pm), allowing parents the opportunity to seek employment and/or training opportunities, or further their education. Each family will be assigned a Family Advocate who will connect the family to community resources that will assist the family in alleviating the cycle of poverty.



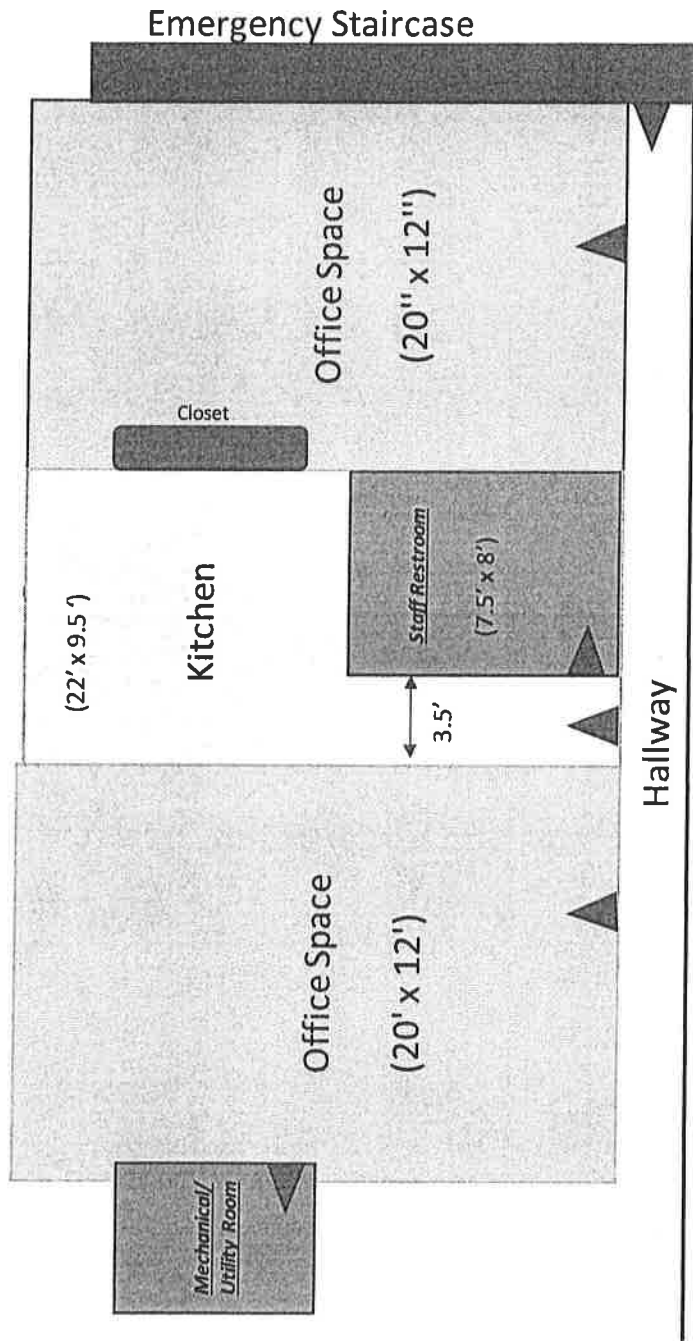
Alliance@Sylvan Avenue  
Child Care Center 1st Floor

Layout

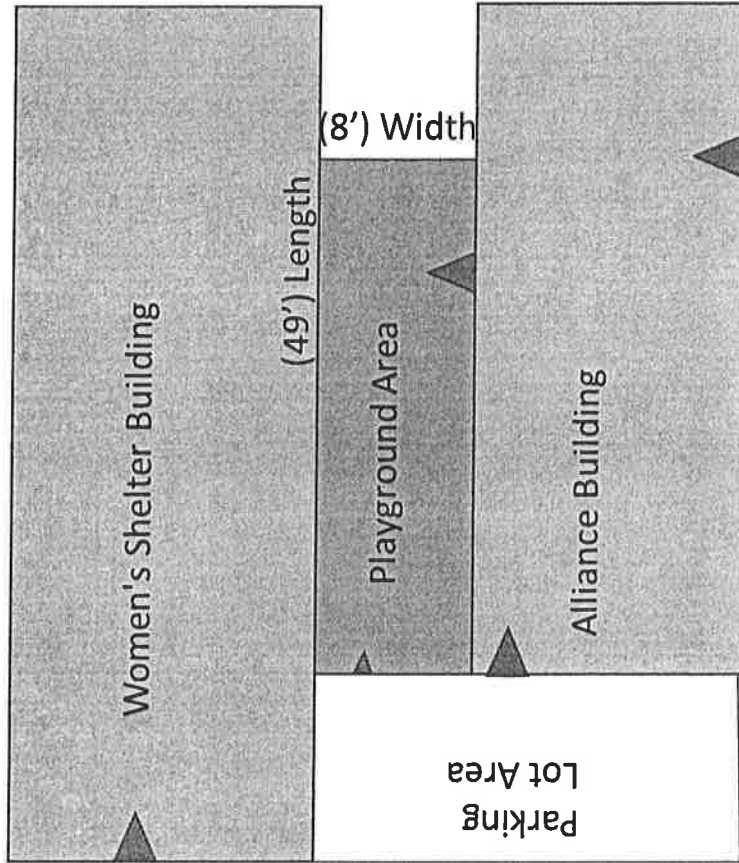


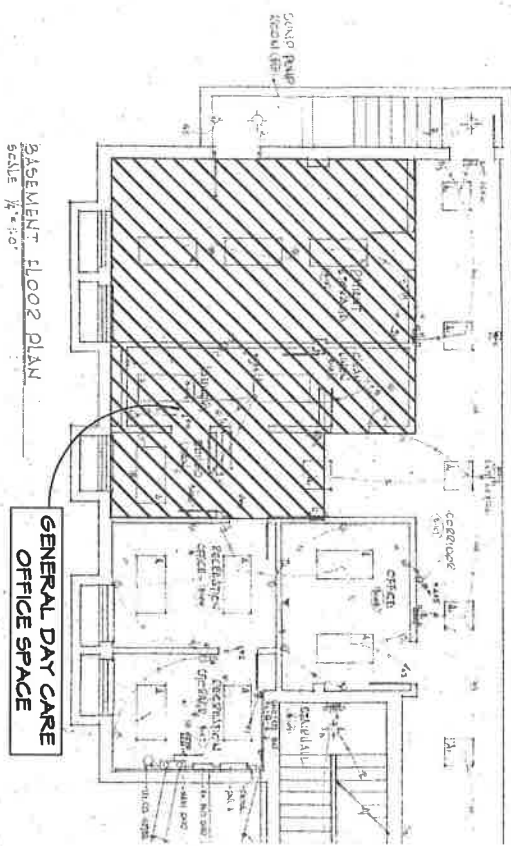


Alliance@Sylvan Avenue  
Child Care Center  
Lower Level Layout



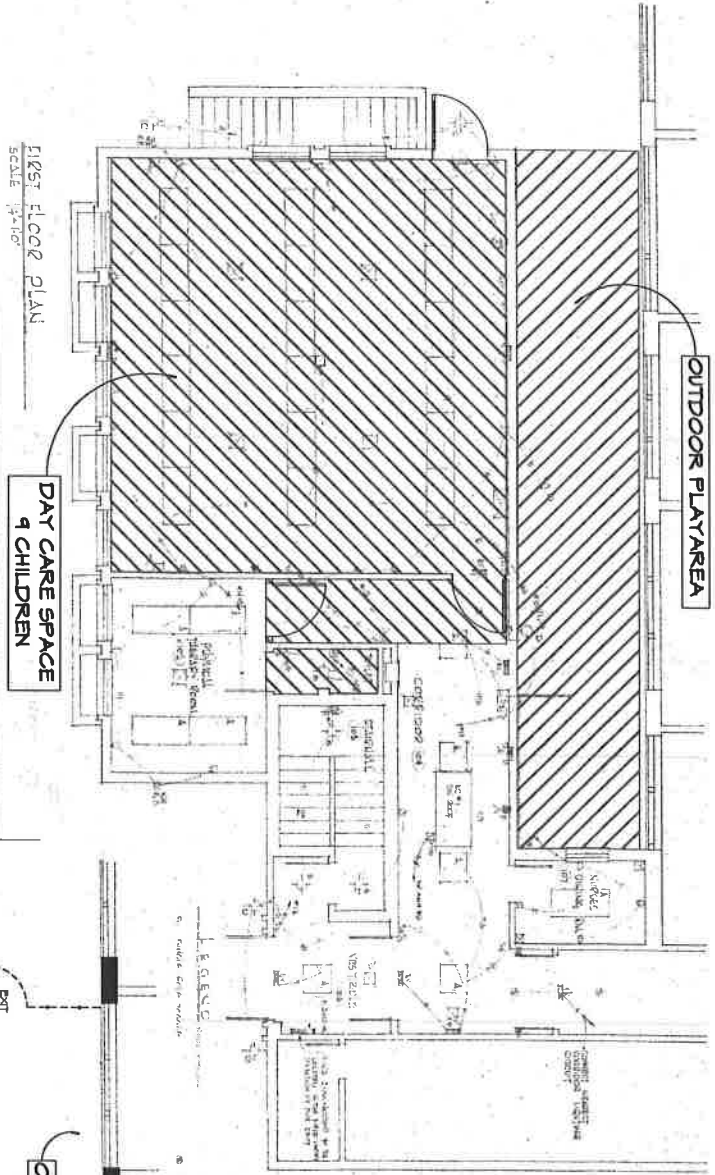
Alliance @ Sylvan Ave  
Playground Area





**BASEMENT FLOOR PLAN**  
SCALE 1/4" = 1'-0"

**GENERAL DAY CARE OFFICE SPACE**



**FIRST FLOOR PLAN**  
SCALE 1/4" = 1'-0"

**DAY CARE SPACE 9 CHILDREN**

**OUTDOOR PLAYAREA**

**LEGEND**

1. EXTERIOR WALL

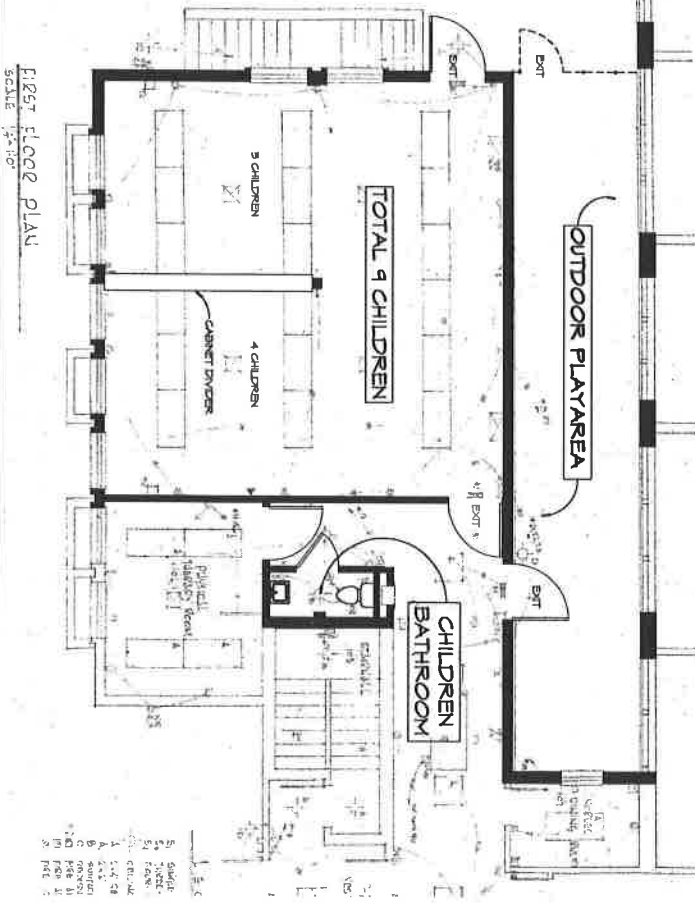
2. EXTERIOR WINDOW

3. EXTERIOR DOOR

4. EXTERIOR STAIR

5. EXTERIOR RAMP

6. EXTERIOR TERRACE



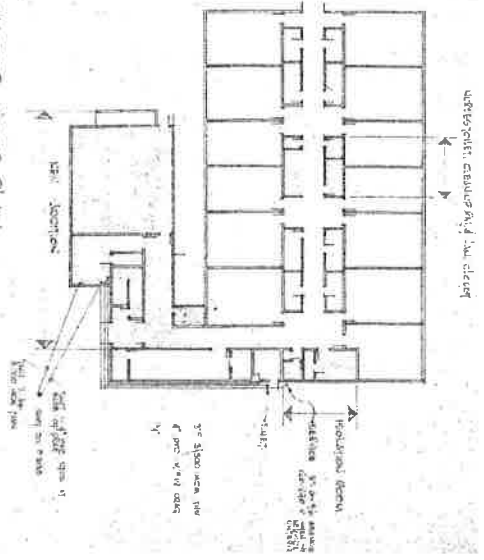
**FIRST FLOOR PLAN**  
SCALE 1/4" = 1'-0"

**TOTAL 9 CHILDREN**

**CHILDREN BATHROOM**

**OUTDOOR PLAYAREA**

**MASTER FLOOR PLAN**  
SCALE 1/4" = 1'-0"



UPPER PORTION CONTAINS FIN. 1/4" = 1'-0"

**A-101**

**FLOOR PLAN**

DATE ISSUED:  
MAY 5, 2021

SCALE  
1/4" = 1'-0"

NO. REV. DATE

**ALLIANCE AT SYLVAN AVE**

1031 Sylvan Ave. Bridgeport, CT



**Schadler Seinau associates, p.c.**  
architecture - planning - interiors  
5 waterville road, Farmington, CT 06032  
(860) 677-9620  
http://www.architecta.com

LAB No. 00000000

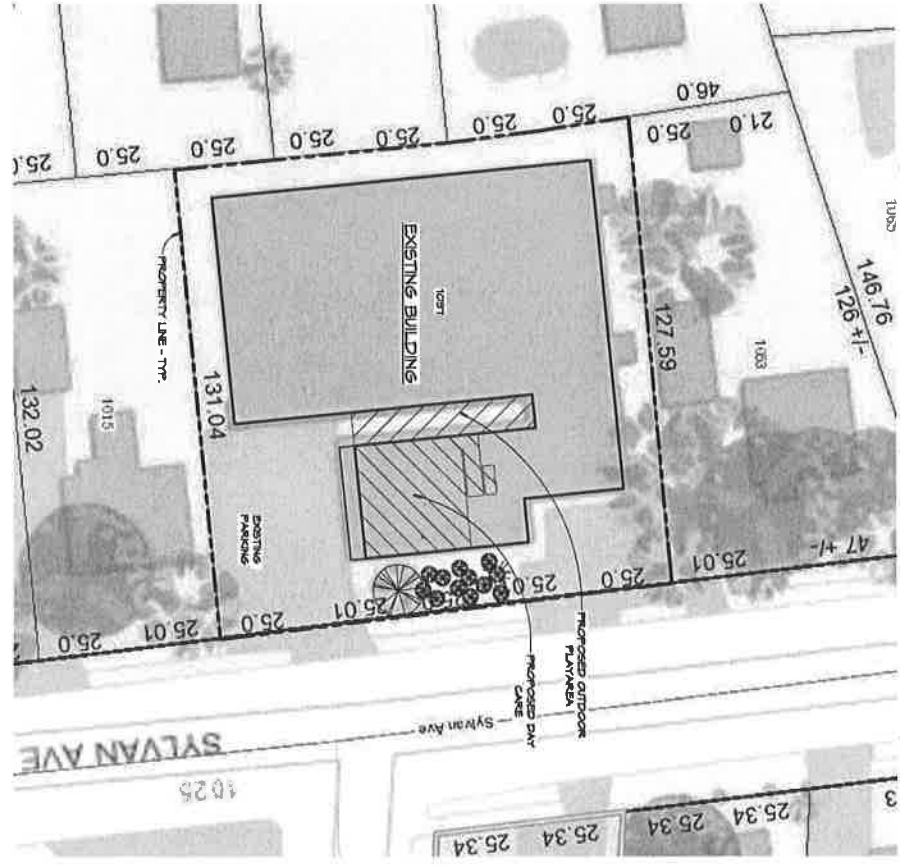


PHOTO TAKEN FROM SOUTH SIDE



PHOTO TAKEN FROM NORTH SIDE

1 SITE PLAN  
1/8" = 1'-0"



JOHNSON VERNEL A  
001060 SYLVAN AVE  
BRIDGEPORT, CT 06606

JONES RICARDO & RAQUEEL  
001053 SYLVAN AVE  
BRIDGEPORT, CT 06606

UMPIERRE CARMEN L  
1000 SYLVAN AVE  
BRIDGEPORT, CT 06606

MELENDEZ MAGDALYS  
78 HOUSTON AVE  
BRIDGEPORT, CT 06606

PIRES GLORIA  
1065 SYLVAN AVE  
BRIDGEPORT, CT 06606

DICKS THEODORE & MILDRED E  
1064 SYLVAN AVE  
BRIDGEPORT, CT 06606-3059

WARGO RAYMOND & KATHERINE  
995 SYLVAN AVE  
BRIDGEPORT, CT 06606

BETHEL RECOVERY CENTER INC  
001021 SYLVAN AVE  
BRIDGEPORT, CT 06606

THOMAS CHERISE  
000070 HOUSTON AVE  
BRIDGEPORT, CT 06606

OLIVA LUIS & MARIA  
001003 SYLVAN AVE  
BRIDGEPORT, CT 06606

CARDENAS VICTOR  
001036 SYLVAN AVE  
BRIDGEPORT, CT 06606

CABRERA RAFAEL  
245 REEDS LN  
STRATFORD, CT 06615

UNDERWOOD CHAZ & SHIVAUN L  
140 HOUSTON AVE  
BRIDGEPORT, CT 06606

PLATERO JOSE M & GLADYS M  
1046 SYLVAN AVE  
BRIDGEPORT, CT 06606

CABRERA DIMARYS  
245 REEDS LANE  
STRATFORD, CT 06614

CONDE NADIA  
000090 HOUSTON ST  
BRIDGEPORT, CT 06606

UMPIERRE CARMEN L  
35 NASH PL  
NORWALK, CT 06854-1404

EPPES KEVIN & ALICYONE EPF  
000146 CLEARVIEW DR  
BRIDGEPORT, CT 06606



**ZONING BOARD OF APPEALS APPLICATION**

The undersigned presents the following application for:

(Check all that Apply)

- Variance
- Appeal from Zoning Officer
- Extension of Time Permit / Modification of Plan of Development
- Request for Re-hearing
- Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1370 Park Avenue Zone R-B  
(Number) (Street) (Zone Classification)

On the East side of the street about          feet          Corner of          from  
(North, South, East, West) (North, South, East, West)

Olive Street Block : 1032 Lot: 1  
(Street)

Dimension of Lot in Question 97' x 70' x 71.6' x 85'  
(Specify)

1. NAME OF APPLICANT / BUSINESS Believers Auto Repairs & Sales  
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Lessee
3. HAS A PREVIOUS APPLICATION BEEN FILED? Yes IF SO, GIVE DATE OF HEARING 4/13/2021  
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT No New Development

5. THIS APPLICATION RELATES TO: Check all that Apply
- Setback
  - Coverage
  - Landscaping
  - Lot Area and Width
  - Floor Area
  - Height
  - Parking
  - Extension or Enlargement of Non-Conforming Use and/or Building
  - Coastal Area Management Approval
  - Liquor
  - Use
  - Other:

6. USE TO BE MADE OF PROPERTY Continuation of Used Car Repair and Sales

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? Not Applicable

APPLICANT  Charles J. Wilinger, Jr. DATE 2/9/21  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc)         

Mailing Address 1000 Bridgeport Ave., Suite 501, Shelton, CT 06484 203-366-3939  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT          Print           
(If other than owner) (Signature)

Subscribe & Sworn to before me this          day of          20          
 Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**  
 All questions must be answered in detail (use separate sheet if necessary).  
 The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
 The Zoning Board of Appeals to process this application.  
**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**



**City of Bridgeport**  
**Zoning Board of Appeals**  
**Request for Rehearing**  
**Believers Auto Repair & Sales**  
**1370 Park Avenue**

The petitioner is the lessee of 1370 Park Avenue. The petitioner sought approval for a certificate of location from the Zoning Board of Appeals ("ZBA") pursuant to Connecticut General Statutes §14-54 and was denied approval on April 13, 2021. Petitioner was not represented by an attorney at the time of the April 13, 2021, hearing and did not fully understand the standards and requirements concerning his application and did not fully explain his proposed use and the benefits to the neighborhood.

The denial by the ZBA was stated as an overuse of the property. However, the ZBA was not informed of the fact that since 1964, for over 57 years, the 1370 Park Avenue location has been used for automotive purposes.

In 1964 the site, located in the Residence B zoning district, was approved by the ZBA for use as a gasoline station with automotive repair garage bays. This use was the subject of additional variances to expand the automotive uses on January 14, 1971, June 8, 1972, and December 12, 1989.

The ZBA granted two (2) approvals of a certificate of location to add a repairer's license to the gas station use. One was granted on April 11, 1983, and the other was granted on February 9, 1988. Upon information and belief, the sale of gasoline was discontinued sometime in the 1990's.

Thereafter, the Planning & Zoning Commission also granted four (4) certificated of approval of location for a general repairer's license on November 24, 2008, November 29, 2010, March 30, 2015, and April 24, 2017. Each of the foregoing six (6) approvals were for the same use as is being proposed by the petitioner.

Based on the above, the petitioner requests a rehearing to properly present his application.



ZONING BOARD OF APPEALS APPLICATION

APR 30 '21 PM 2:29

The undersigned presents the following application for:

(Check all that Apply)

- Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1400 Madison Ave Zone R-B

On the Northwest side of the street about CRW feet from

Amsterdams Block: 2219 Lot: 5

Dimension of Lot in Question 108' x 105' x 136'

1. NAME OF APPLICANT / BUSINESS Jose Aviles

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS A PREVIOUS APPLICATION BEEN FILED? NO IF SO, GIVE DATE OF HEARING

4. DESCRIBE PROPOSED DEVELOPMENT 27' Dia Above Ground Pool

5. THIS APPLICATION RELATES TO: Check all that Apply Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other:

6. USE TO BE MADE OF PROPERTY Two Family

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? Unique property does not allow other location for pool

APPLICANT Jose A. Aviles Jose A. Aviles DATE 04/30/21

If signed by agent, state capacity (lawyer, builder, etc) javiles0782@yahoo.com

Mailing Address 1400 Madison Ave Apt, CT 06606 (203) 520-7788

PROPERTY OWNERS ENDORSEMENT Jose A. Aviles Print Jose A. Aviles

Subscribe & Sworn to before me this 30th day of April 20 21

Notary Public in & for the County of Fairfield, State of Connecticut

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary). The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application. NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED. PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)



FEE RECEIVED: 305 DATE: 4/30 20 20 Clerk: [Signature]

My name is Jose Aviles. I am the homeowner and occupant of 1400 Madison Ave., Bridgeport, CT 06606. I am asking for permission and applying for a zone permit to build a swimming pool at the front/side of the house. Summer is right around the corner and I would like to build a swimming pool for my kids to stay cool. The way the property line is, I am restricted to putting a swimming pool in the backyard where there is only about 15 feet from my deck to the next property line. Where the pool is going to be located, there is a double fence, a link fence and a 6 foot wooden fence. The whole property is fenced and secure. If you have any questions please feel free to contact me as my information is located on the application.

Thank You  
Jose Aviles

Property Line

1402

1400

BACK  
DECK  
OVER  
GARAGE

5' x 10'

Gate  
has a  
lock

27' DIA

8'

Madison Ave

Property

10' retaining wall around the

Amsterdam Ave

Jose A. Aviles  
1400-1402 Madison Ave  
April 30, 2021

■ = 2 sq ft.

All fenced in with a sidewalk on Amsterdam Ave

CIL REALTY INCORPORATED  
30 JORDAN LN  
WETHERSFIELD, CT 06109

PEREZ FRANCHESKA &  
000044 LOCUST ST  
BRIDGEPORT, CT 06607

TEIXEIRA ARLINDO & EMILIA  
90 FOLINO DR  
BRIDGEPORT, CT 06606

GONZALES ABIMEL  
001405 MADISON AVE  
BRIDGEPORT, CT 06606

FRONSAGLIA LUIGI & DINA  
1406 MADISON AVE  
BRIDGEPORT, CT 06606

ROPIZA ROBERT & LINDA  
6609 JENNIFER DR  
TEMPLE TERRACE, FL 33617

PAUSHTER ELEANOR TRUSTEE  
PO BOX 6382 ST  
BRIDGEPORT, CT 06606

MOCARSKI ZENON & JADWIGA  
PO BOX 1204 AVE  
FAIRFIELD, CT 06825-6204

*Jose Aviles*  
~~DICOCOMO ALESSIO~~  
1400 MADISON AVE  
BRIDGEPORT, CT 06606

FRANCIS PERCIVAL & MYRA  
1411 MADISON AVE  
BRIDGEPORT, CT 06606

MOLINA MIGUEL  
001445 MADISON AVE  
BRIDGEPORT, CT 06606

FICH ASSOCIATES LLC  
6 NORMANDY RD  
TRUMBULL, CT 06611



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

[X] Variance [ ] Appeal from Zoning Officer [ ] Extension of Time Permit / Modification of Plan of Development [ ] Request for Re-hearing [ ] Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1705 Fairfield Avenue Zone I-L

On the East side of the street about 0 feet South from

Mountain Grove Street Block : 1223 Lot: 2/B

Dimension of Lot in Question 227.89' x 194.78' x 208.53' x 22.90' x 275.69'

1. NAME OF APPLICANT / BUSINESS RJYZ Bridgeport, LLC

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING

4. DESCRIBE PROPOSED DEVELOPMENT The Applicant proposes to construct a 1,880 SF coffee shop fast food restaurant with drive-through facility and associated site improvements in the I-L Zone.

5. THIS APPLICATION RELATES TO: Check all that Apply [ ] Setback [ ] Coverage [ ] Landscaping [ ] Lot Area and Width [ ] Floor Area [ ] Height [ ] Parking [ ] Extension or Enlargement of Non-Conforming Use and/or Building [ ] Coastal Area Management Approval [ ] Liquor [ ] Use [X] Other: Section 12-5

6. USE TO BE MADE OF PROPERTY Fast food restaurant coffee shop with drive-through facility

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached.

APPLICANT [Signature] / [Print] DATE 05/07/2021

If signed by agent, state capacity (lawyer, builder, etc) / Mailing Address Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824 203-528-0590

PROPERTY OWNERS ENDORSEMENT (If other than owner) (Signature) Print

Subscribe & Sworn to before me this day of 20 Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary). The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application. NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED. PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: DATE: 20 Clerk

Lisa S. Broder\*  
L.Broder@russorizio.com

Amanda C. Burns\*  
Amanda@russorizio.com

Colin B. Connor  
Colin@russorizio.com

Elizabeth A. Falkoff\*  
Betsy@russorizio.com

Robert G. Golger  
Bob@russorizio.com

David K. Kurata  
DKurata@russorizio.com

Katherine M. Macol  
Kathy@russorizio.com



10 Sasco Hill Road, Fairfield, CT 06824  
Tel 203-254-7579 / 203-255-9928  
Fax 203-576-6626

5 Brook St., Suite 2B, Darien, CT 06820  
Tel 203-309-5500

[www.russorizio.com](http://www.russorizio.com)

Leah M. Parisi  
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William M. Petroccio\*  
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Robert D. Russo  
Rob@russorizio.com

John J. Ryan  
John@russorizio.com

Vanessa R. Wambolt  
Vanessa@russorizio.com

*\*Also Admitted in NY*

May 7, 2021

Dennis Buckley  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Petition for Variances – 1705 Fairfield Avenue**

Dear Mr. Buckley:

Please accept, on behalf of my client, RJYZ Bridgeport, LLC, (the “Petitioner”), the following narrative and enclosed application materials as part of an application for variances of the Bridgeport Zoning Regulations (the “Regulations”) for the property located at 1705 Fairfield Avenue (the “Site”) to construct a One thousand eight hundred and eighty square foot (1,880 SF) fast food restaurant and associated Site improvements in the I-L Zone.

#### **Variances Requested**

Variance of Section 12-5 of the Regulations to locate the principal entrance of the proposed restaurant facing a secondary street, locate stacking lanes in view of the public street and sidewalk, and setback the proposed restaurant from the public street and sidewalk.

#### **Narrative**

The Petitioner requests the above-stated variances from the Regulations. The Site is located on the corners of State Street and Fairfield Avenue with Mountain Grove Street. Its only abutting neighbor is a park owned by the City of Bridgeport. The Site is in the I-L Zone. The combined lot area consists of Fifty-one thousand eight hundred square feet (51,800 SF).

The Petitioner proposes to construct a One thousand eight hundred and eighty square foot (1,880 SF) Starbucks fast food restaurant. The Site will be accessed from two (2) full access driveways on State Street and Fairfield Avenue. Fairfield Avenue is a one-way street heading south and State Street is a one-way street heading north. Mountain Grove Street, which also abuts the Site, is a two-way street. If a vehicle is traveling south on Fairfield Avenue, the vehicles will enter through the Fairfield Avenue driveway. Any vehicles leaving the Site to continue south on Fairfield Avenue would use the same driveway. Any vehicles traveling north on State Street would enter through the

State Street driveway. Any vehicles leaving the Site to continue north on State Street would use the same driveway.

While the Site is located in the I-L Zone, it is located on State Street and Fairfield Avenue, which has a retail character. The Site has already received the necessary approvals for a 7,619 SF retail building, which is oriented towards State Street. The State Street frontage also features a “pocket park” between the building and State Street. This design encourages pedestrian customers to enter the Site and provides a harmonious connection with the existing park abutting the Site to the south.

The proposed Starbucks restaurant will be located along the Fairfield Avenue side of the Site. The proposed stacking lane would begin on the western side of the restaurant and wrap around the building to the other side. This design provides the ability to accommodate Eleven (11) vehicles in the stacking lane, which exceeds the requirements under the Regulations. The restaurant will also feature an interior area where customers can sit and work as is commonly seen in Starbucks restaurants. The proposed restaurant will feature extensive windows on its primary and secondary frontages in conformity with the Regulations. Its attractive design, including multiple materials and colors, meet the urban design guidelines.

The Site will contain Fifty-four (54) off-street parking spaces, which satisfies the Regulations. The Site will also contain a loading space and a dumpster pad that will be screened. The Site will also contain extensive landscaping, including a continuous fence and landscape screening along the shared property line with the park as well as the necessary lighting under the Regulations.

### Hardship

Granting the Petitioner the above-stated variance will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as the Site contains Three (3) street frontages. Therefore, it is very difficult to locate the stacking lane out of the view of a public sidewalk and street. Even though the restaurant is only a 1,880 SF building, a stacking lane could not be accommodated in the middle of the Site that would comply with the Regulations and Building Code standards. The Site conditions require the stacking lane to wrap the proposed building. This design obviously prevents the proposed building from being located directly on the sidewalk. However, it should be noted that the Site is located in the I-L Zone and conforms to its setback standards, which are not compatible with the drive-through facility standards under Section 12-5 of the Regulations. To achieve the standards under Section 12-5 of the Regulations, the Petition would require variances for setback. The Petitioner still has achieved the urban design goals of the Regulations as the proposed plans provide extensive window coverage with multiple building materials and colors. In addition, while the principal entrance is oriented towards a secondary street, it is located towards the largest portion of the parking area, which was already approved in a prior Petition.

For the reasons stated above, the Petitioner respectfully requests approval of the Petition for the above-stated variances.

Sincerely,



Christopher Russo



**PROPERTIES LOCATED 100' OF 1705 FAIRFIELD AVE**

<b>PROPERTY ADDRESS</b>	<b>OWNER NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
1759 COMMERCE DR	BOSTWICK PARTNERS LLC	294 BRONXVILLE RD	BRONXVILLE	NY	10708
1671 FAIRFIELD AV	MONY TITH ET AL	21 DAYTONA AVENUE	MILFORD	CT	06461
1755 FAIRFIELD AV	CITY OF BRIDGEPORT PARK DEPT	7 QUARRY ROAD	TRUMBULL	CT	06611
1705 FAIRFIELD AV	RJYZ BRIDGEPORT LLC	30 QUAIL HOLLOW	WEST HARTFORD	CT	06117
120 MOUNTAIN GROVE ST	110 MOUNTAIN GROVE STREET LLC				
1726 FAIRFIELD AV	C/O FISCHER PROPERTIES	501 KINGS HWY EAST	FAIRFIELD	CT	06825
	ASR MANAGEMENT LLC	1726 FAIRFIELD AVE	BRIDGEPORT	CT	06605
1550 STATE ST	110 MOUNTAIN GROVE STREET LLC				
1575 STATE ST	C/O FISCHER PROPERTIES	501 KINGS HWY EAST	FAIRFIELD	CT	06825
1720 FAIRFIELD AV	BOSTWICK PARTNERS LLC	294 BRONXVILLE RD	BRONXVILLE	NY	10708
1676-1678 FAIRFIELD AV	FAIRFIELD AVENUE BRIDGEPORT LLC	375 MOUNTAIN GROVE ST	BRIDGEPORT	CT	06605
	RUIRU ZHENG	78 LEXINGTON WAY NORTH	MILFORD	CT	06461

## Business Inquiry

### Business Details

Business Name: **RJYZ BRIDGEPORT LLC**

Citizenship/State Inc: **Domestic/CT**

Business ID: **1252720**

Last Report Filed Year: **2021**

Business Address: **30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117, USA**

Business Type: **Domestic Limited Liability Company**

Mailing Address: **30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117, USA**

Business Status: **Active**

Date Inc/Registration: **Oct 16, 2017**

Annual Report Due Date: **03/31/2022**

NAICS Code: **Real Estate and Rental and Leasing (53 )**

NAICS Sub Code: **Other Activities Related to Real Estate (531390 )**

### Principals Details

Name/Title	Business Address	Residence Address
RICHARD KORRIS MANAGER	30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117	30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117
RICHARD KORRIS MEMBER	30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117, USA	30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117, USA
ROBERT SACHS MANAGER	30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117, USA	39 NORTHFORD ROAD, BRANFORD, CT, 06405, USA

**IMPORTANT:** There are more principals for this business that are not shown here.

[View All Principals\(4\)](#)

### Agent Summary

Agent Name **ROME , CLIFFORD, KATZ & KOERNER LLP**

Agent Business Address **214 MAIN STREET, HARTFORD, CT, 06106, USA**

Agent Residence Address **NONE**

Agent Mailing Address **214 MAIN STREET, HARTFORD, CT, 06106, USA**

**ZONING INFORMATION**

LOCATION: BRIDGEPORT, CONNECTICUT				
ZONE: IL (INDUSTRIAL LIGHT ZONE)				
USE: RETAIL TRADE AND DRIVE THROUGH (SPECIAL PERMIT)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	NONE REQUIRED	51,800 S.F. (1.19 AC.)	NO
2	MINIMUM LOT FRONTAGE	25 FEET	208.5 FEET	NO
3	MINIMUM FRONT SETBACK	15 FEET	5.0 FEET	YES
4	MINIMUM SIDE SETBACK	N/A (15 FEET RESIDENTIAL)	24.8 FEET	NO
5	MINIMUM REAR SETBACK	N/A	N/A	NO
6	MAXIMUM BUILDING HEIGHT	75 FEET	< 75 FEET	NO
7	MAXIMUM BUILDING COVERAGE	85 PERCENT	18.3 PERCENT	NO
8	MAXIMUM SITE COVERAGE	85 PERCENT	75.3 PERCENT	NO

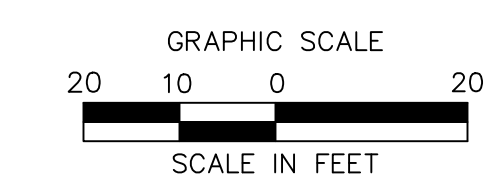
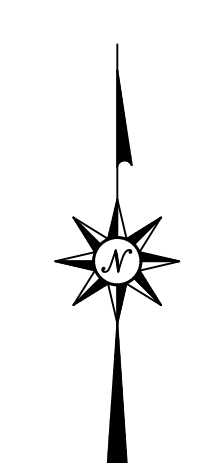
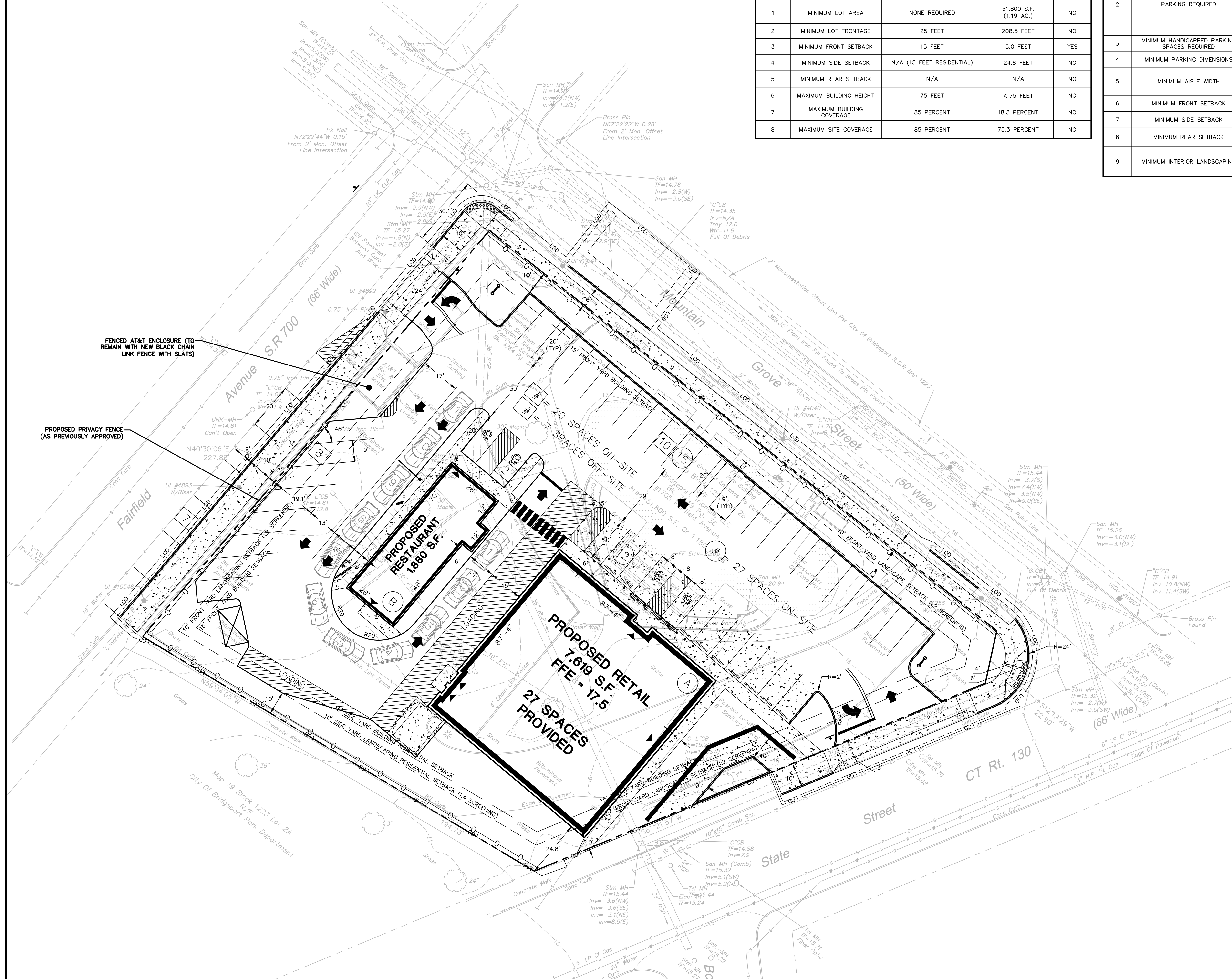
**PARKING INFORMATION**

ITEM #	ITEM	REQUIREMENTS	LEASE AREA 1	VARIANCE
1	BUILDING SIZE	NONE REQUIRED	BUILDING A: 7,619 S.F. BUILDING B: 1,880 S.F.	NO
2	PARKING REQUIRED	RETAIL TRADE: 3.5 SPACES PER EVERY 1,000 S.F. OF GROSS FLOOR AREA (7,619 / 1,000*3.5 = 26.7) FAST FOOD RESTAURANT: 12 SPACES PER EVERY 1,000 S.F. OF GROSS FLOOR AREA (1,880 / 1,000*12 = 22.6) TOTAL REQUIRED = 49.3 SPACES	27 SPACES 54 TOTAL SPACES	NO
3	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	3 SPACES	4 SPACES	NO
4	MINIMUM PARKING DIMENSIONS	9 FEET X 20 FEET	9 FEET X 20 FEET	NO
5	MINIMUM AISLE WIDTH	24 FEET - 2-WAY	28 FEET - 2-WAY	NO
6	MINIMUM FRONT SETBACK	10 FEET	1.1 FEET	YES
7	MINIMUM SIDE SETBACK	N/A (10 FEET RESIDENTIAL)	10.0 FEET	NO
8	MINIMUM REAR SETBACK	N/A	N/A	NO
9	MINIMUM INTERIOR LANDSCAPING	ONE (1) S.F. PER 15 S.F. PARKING AREA (28,282 S.F.) TOTAL REQUIRED = 1,886 S.F.	1,050 S.F.	YES

**SIGN LEGEND**

SIGN NO.	C-DOT NO.	LEGEND
A	31-0552Z	30"
B	31-0629	
C	31-0648	
D	31-1188	

NOTE: HANDICAPPED SIGNS TO BE INSTALLED IN PIPE BOLLARDS (SEE DETAIL). ALL HANDICAP SIGNAGE TO CONFORM TO LATEST BUILDING CODE.



Mar 23, 2021 2:43pm bmaloney, G:\0088181\18C6624\DWG\SK18C6624.dwg  
 Layout: SK-22, 24, 25, 25SC



355 Research Parkway  
Meriden, CT 06450  
(203) 630-1406  
(203) 630-2615 Fax

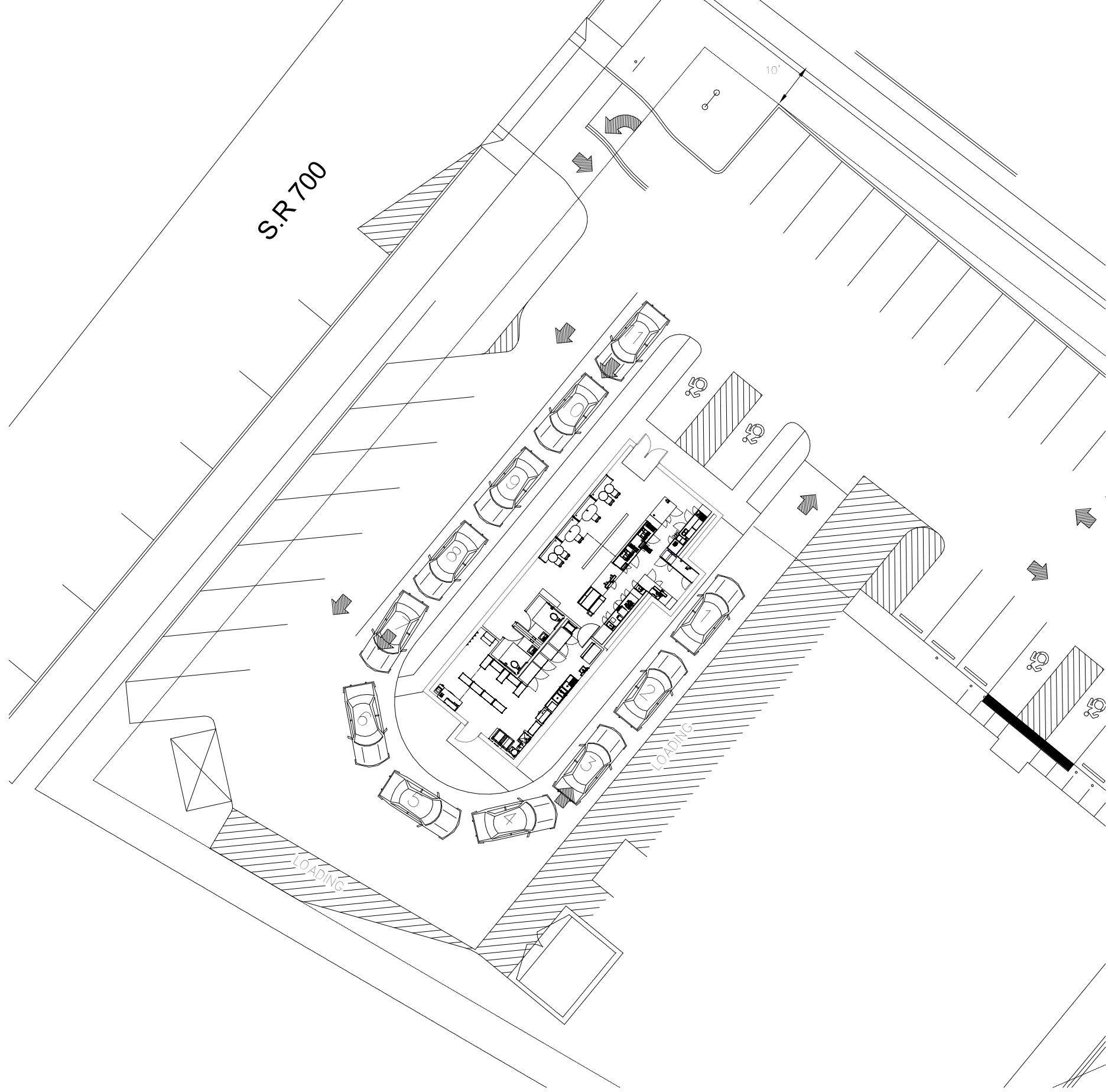


**PROPOSED DEVELOPMENT**  
1705 FAIRFIELD AVENUE  
BRIDGEPORT, CONNECTICUT

DESIGNED	J.O.M.
DRAWN	B.C.M.
REVIEWED	
SCALE	1"=20'
PROJECT NO.	18C6624
DATE	03/18/2021
CAD FILE	SK18C662422

**SITE PLAN**

Sheet No.  
**SP-1**



REV#	DATE	DESCRIPTION / COMMENTS
A	04.29.21	CLIENT REVIEW & REVISIONS

ISSUED FOR: CLIENT REVIEW  
 ISSUED DATE: 04.29.21

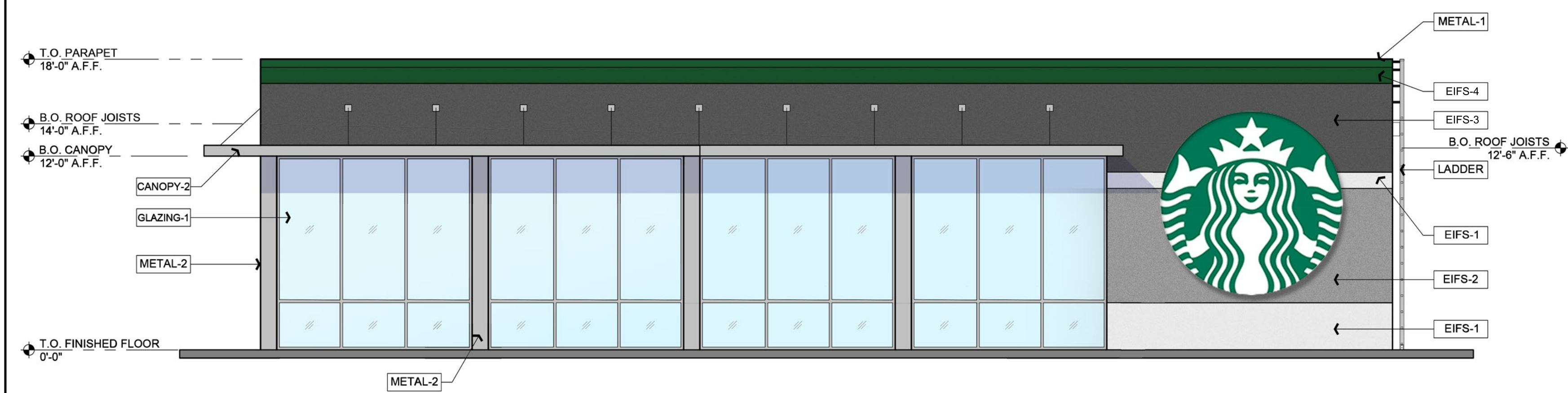
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 CHECKED BY: MW  
 PROJECT NUMBER:

DRAWING NAME  
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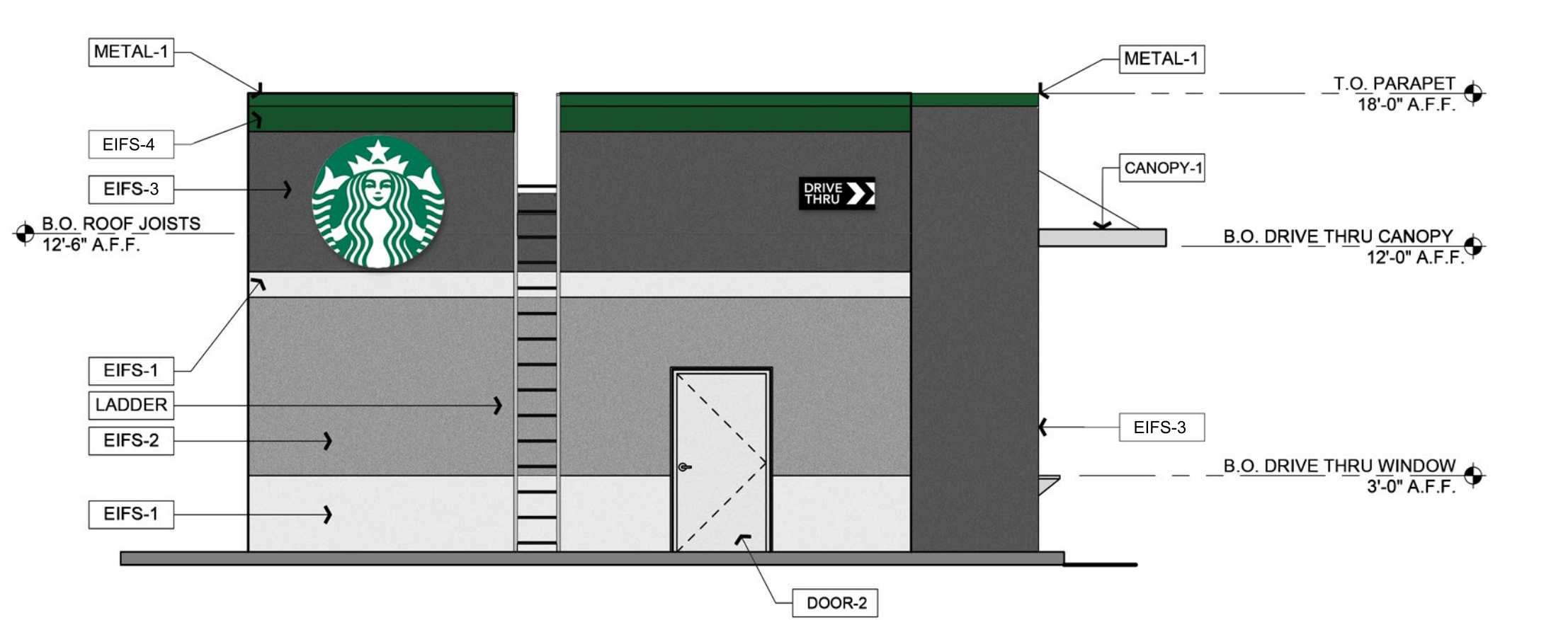
DRAWING NO.  
**A201A**

**EXTERIOR FINISHES & MATERIALS LEGEND**

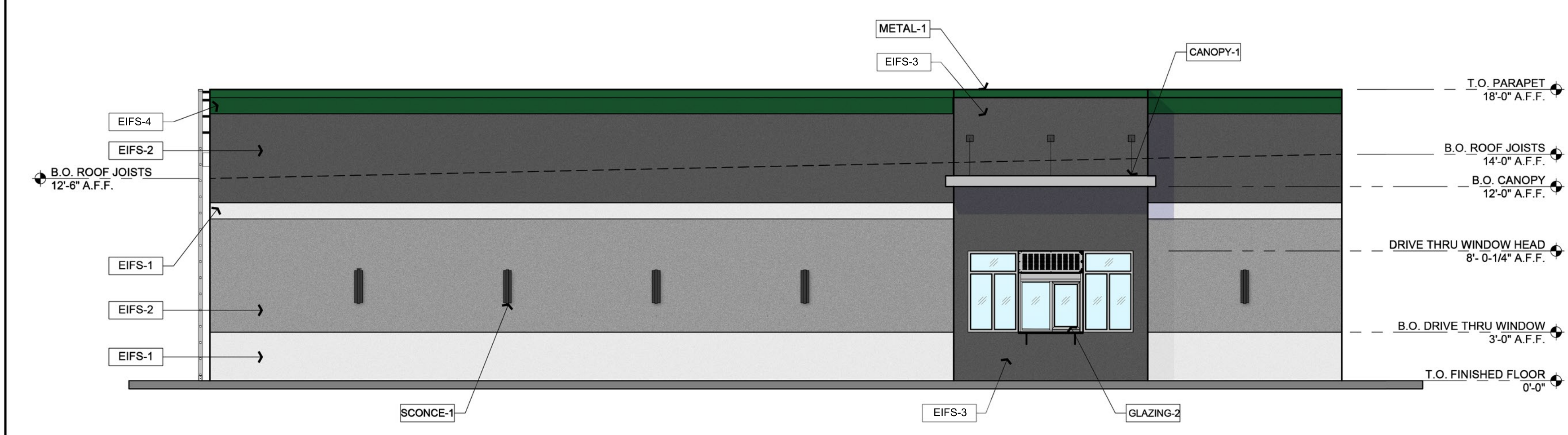
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- EIFS-2** PROVIDE EIFS FINISHES, COLOR TO BE SELECTED BY ARCHITECT
- EIFS-3** PROVIDE EIFS FINISHES, COLOR TO BE SELECTED BY ARCHITECT
- EIFS-4** PROVIDE EIFS FINISHES, COLOR TO BE SELECTED BY ARCHITECT
- METAL-1** 6" METAL COPING, PREFINISHED, COLOR TO BE SELECTED BY ARCHITECT
- METAL-2** BREAK METAL AT FRAMING BETWEEN STOREFRONT GLAZING, COLOR TO MATCH STOREFRONT
- CANOPY-1** METAL CANOPY AT STOREFRONT, COLOR: CLEAR ANODIZED FINISH
- CANOPY-2** METAL CANOPY AT DRIVE-THRU BUMP-OUT, COLOR: CLEAR ANODIZED FINISH
- GLAZING-1** ALUMINUM STOREFRONT, 2" X 4-1/2", CENTER SET, THERMALLY BROKEN, COLOR: CLEAR ANODIZED FINISH
- GLAZING-2** DRIVE-THRU WINDOW, MANUFACTURED BY READY ACCESS, MODEL 275 SINGLE PANEL SLIDER WITH SIDELITES AND TRANSOM WINDOWS, COLOR: CLEAR ANODIZED FINISH
- GLAZING-3** COVID PICK-UP WINDOW, MANUFACTURED BY READY ACCESS, MODEL 275 SINGLE PANEL SLIDER WITH SIDELITES, COLOR: CLEAR ANODIZED FINISH
- SCONCE-1** EXTERIOR LED WALL MOUNTED LIGHT FIXTURE BY LBL LIGHTING, MODEL: WINDFALL OUTDOOR WALL, COLOR: BLACK
- DOOR-1** ALUMINUM ENTRANCE DOOR, 3'-0" X 8'-0" HEAVY DUTY ALUMINUM STOREFRONT DOOR WITH 10" BOTTOM RAIL, DOORS ARE TO BE HURRICANE RESISTANT FRAMES AND ANCHORAGE. COLOR: CLEAR ANODIZED FINISH
- DOOR-2** COMMERCIAL GRADE 3'-6" X 7'-0" HOLLOW METAL DOOR, MIN. 16 GA. WITH POLYSTYRENE CORE.



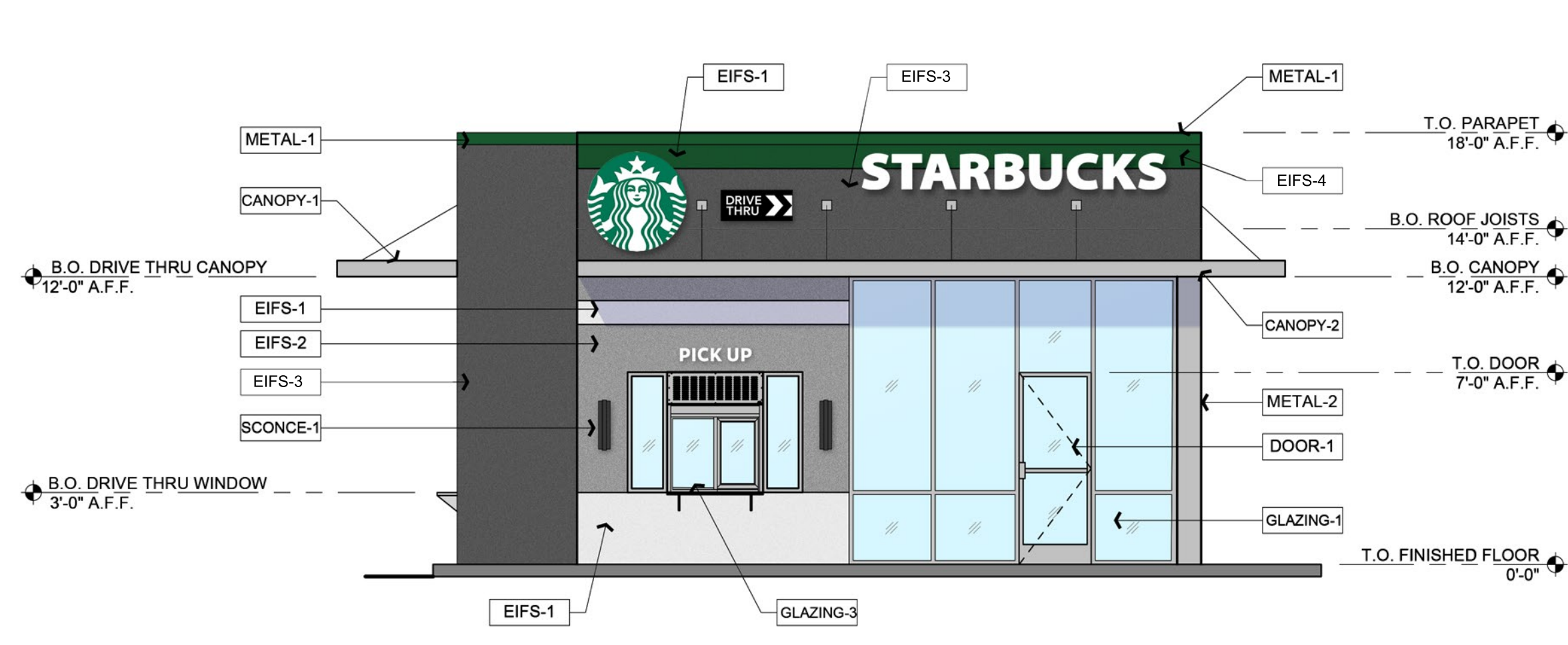
**3 WEST ELEVATION AT LEFT SIDE OF BUILDING**  
 SCALE: 3/16" = 1'-0"



**4 SOUTH ELEVATION AT REAR OF BUILDING**  
 SCALE: 3/16" = 1'-0"



**1 EAST ELEVATION AT DRIVE-THRU WINDOW**  
 SCALE: 3/16" = 1'-0"



**2 NORTH ELEVATION AT STOREFRONT**  
 SCALE: 3/16" = 1'-0"

**PETITION TO THE BOARD OF APPEALS**  
**City of Bridgeport, Connecticut**

The undersigned presents the following petition for:

*(Check all that Apply)*

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1905 Barnum Avenue Zone O-R  
(Number) (Street) (Zone Classification)  
On the North side of the street about 0 feet West from  
(North, South, East, West) (North, South, East, West)  
Sage Avenue Block : 1841 Lot: 21  
(Street)

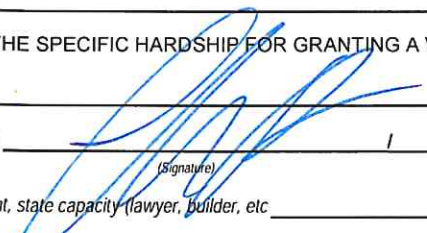
Dimension of Lot in Question 106.83' x 73.26' x 13.98' x 24.75' x 14.37' x 80.32' x 93.81'  
(Specify)

1. NAME OF PETITIONER / BUSINESS Muhammad Ali Zulekfal  
(Print)
2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
3. HAS ANY PREVIOUS PETITION BEEN FILED? Yes IF SO, GIVE DATE OF HEARING 7/14/2020  
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT Approval of Certificate of Location for a vehicle repair facility

5. THIS PETITION RELATES TO: *Check all that Apply*  
 Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY Vehicle repair facility

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? N/A

PETITIONER  / DATE 2/5/21  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc.) \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address C/O Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION**  
All questions must be answered in detail (use separate sheet if necessary).  
The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for  
**The Zoning Board of Appeals** to process this petition.  
**NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_



Colin B. Connor  
Elizabeth A. Falkoff\*  
Robert G. Golger  
Michael C. Jankovsky  
David K. Kurata  
Katherine M. Macol  
Leah M. Parisi  
William M. Petroccio\*  
Raymond Rizio\*  
Christopher B. Russo  
Robert D. Russo  
John J. Ryan  
Vanessa R. Wambolt  
(\*Also Admitted in NY)

September 30, 2020

Dennis Buckley  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Petition for Rehearing – 1905 Barnum Avenue**

Dear Mr. Buckley:

Please accept the following narrative and enclosed application materials as part of the Variance application requesting a rehearing to the Bridgeport Zoning Board of Appeals (“ZBA”) for the property located at 1905 Barnum Avenue (the “Site”):

**Narrative**

The Petitioner requests an approval for a Certificate of Location for a vehicle repair facility with general repairer’s license at the Site. The Applicant had previously submitted to ZBA for a general repairer’s license in addition to the existing vehicle repair facility at the Site as well as approval as a used vehicle sales dealership. The Applicant was denied by the ZBA in this request. Subsequently, the Applicant has taken a number of steps to address the comments made by the ZBA at the previous hearing. First, the Applicant, whom purchased the property in August of 2019, has obtained a judgment to evict the existing tenant at the facility, so the existing tenant will no longer occupy the property by the time of hearing. Therefore, this application will be to replace the existing vehicle repair facility, not as an addition to the existing facility. Second, the ZBA had expressed concern with the current condition of the Site. The Applicant has considerably cleaned the Site and removed some damaged vehicles. Once the existing tenant is fully evicted, the Applicant will be able to complete the cleanup of the Site and ensure the Site is in accordance with the submitted site plans. Finally, the Applicant has removed the request for a used car dealership from this Application. This Application is for a single vehicle repair facility with general repairer’s license on the Site that will be owner-operated. It is significantly different from the prior application.

As the ZBA may recall, the Site is located at the corner of Barnum Avenue and Sage Avenue and contains Nine thousand three hundred and sixty-two square feet (9,362 SF). The Site is located both in the City of Bridgeport and Town of Stratford. It is within the OR Zone and has been traditionally used as a vehicle repair facility. The Applicant proposes no alterations to the existing building. Nine (9) off-street parking spaces will be provided and no vehicles will be in any other location outside once the Applicant has full control of the Site. The Site will be accessed from its

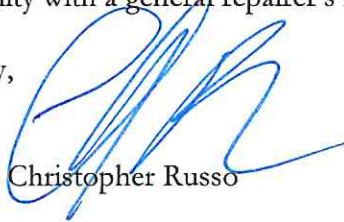
10 Sasco Hill Road  
Fairfield, CT 06824

Tel 203-255-9928  
Fax 203-255-6618

curb cut on Sage Avenue and then it will be exited from its curb cut onto Barnum Avenue. Obviously, this Site has already been approved as a location for a vehicle repair facility. The Applicant merely requests that that they obtain a Certificate of Location themselves to be the sole operator out of the Site.

For the reasons stated above, the Petitioner respectfully requests approval of a Certificate of Location as a vehicle repair facility with a general repairer's license.

Sincerely,

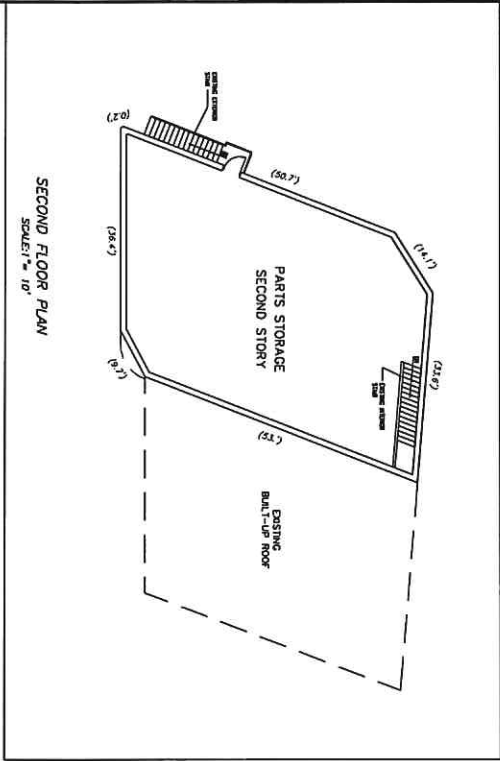
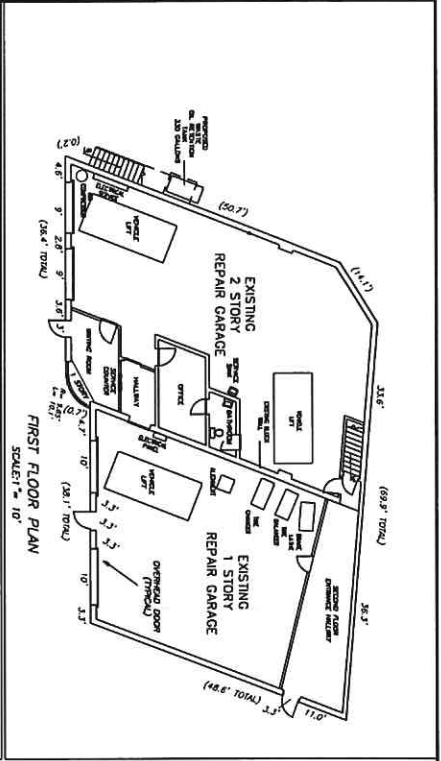


Christopher Russo



**PROPERTY OWNERS WITHIN 100' OF 1905 BARNUM AVENUE**

<b>LOCATION</b>	<b>OWNER NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
30 KENT AV	TAYLOR MELODY	30 KENT AVE	BRIDGEPORT	CT	06610
1854 BARNUM AV	ROBERIC PROPERTIES LLC	134-21 CHERRY AVE #3C	FLUSHING	NY	11355
1880 BARNUM AV	CALVERY NEW TESTAMENT CHURCH OF GOD INC	207 ASYLUM ST	BRIDGEPORT	CT	06610
41 SAGE AV	2440 BARNUM AVENUE LLC	31 SAGE AVE	BRIDGEPORT	CT	06610
43 SAGE AV	43 SAGE LLC	51 PINEBROOK RD	NEW ROCHELLE	NY	10801
42 KENT AV	BALDWIN HOLDINGS INC	150 HIGHLAND AVE	BRIDGEPORT	CT	06604
1905 BARNUM AV	HOSSAIN AHAMED & MUHAMMAD ALI ZULEKFAL	48 STEVENS ST, 1ST FL	NORWALK	CT	06850
40 KENT AV	RICKETTS LATOYA	40 KENT AVE	BRIDGEPORT	CT	06610
32 KENT AV	GEORGE LESTER S	325 PLATT ST	BRIDGEPORT	CT	06610
1869 BARNUM AV	1869 BARNUM AVE LLC	109 SEQUOIA RD	BRIDGEPORT	CT	06606
1859 BARNUM AV #1865	JGV BARNUM LLC	PO BOX 110384	TRUMBULL	CT	06611
52 KENT AV	COLON IVELLIS	52 KENT AVE	BRIDGEPORT	CT	06610
50 KENT AV	MASTRONI ANTHONY L	50 KENT AVE	BRIDGEPORT	CT	06610
50 SAGE AVE	J & B PROPERTY LLC	31 SAGE AVE	BRIDGEPORT	CT	06610
2450 BARNUM AVE	ASHLEY KOST IRREV TRUST, SCHIRALDI BENEDICT A TRUSTEE	741 BOSTON POST RD, STE 304	GUILFORD	CT	06437



**NOTICE:** THE PLAN OF PROPERTY 1905 BARNUM AVENUE, BRIDGEPORT, CONNECTICUT, HEREIN IS A REISSUE OF THE PLAN OF PROPERTY 1905 BARNUM AVENUE, BRIDGEPORT, CONNECTICUT, DATED 12/18/18 BY THE REGISTERED PROFESSIONAL ENGINEER, ROBERT K. LEWIS, P.E., LICENSE NO. 20148.

**2. OWNER OF PROPERTY:** ALEX AUTO SALES AND REPAIR, 1905 BARNUM AVENUE, BRIDGEPORT, CONNECTICUT 06605.

**3. OWNER OF PROPERTY:** ALEX AUTO SALES AND REPAIR, 1905 BARNUM AVENUE, BRIDGEPORT, CONNECTICUT 06605.

**4. DATE OF PREPARATION:** 5-23-2020.

**5. SCALE:** 1" = 10'.

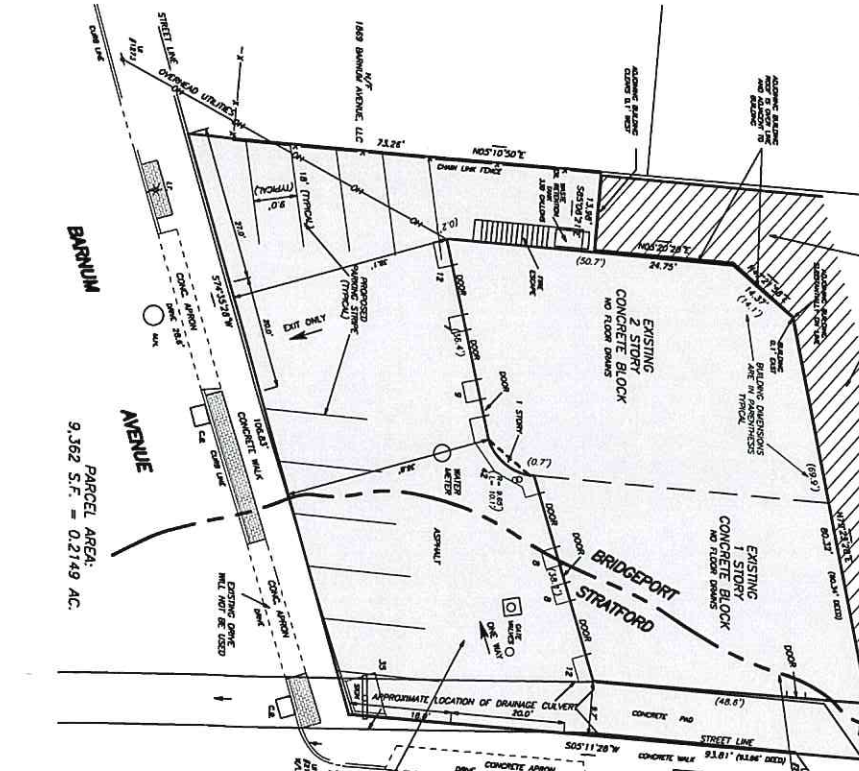
**NOTICE:** THIS PLAN OF THE LOCATION HAS BEEN PREPARED AND APPROVED BY THE REGISTERED PROFESSIONAL ENGINEER, ROBERT K. LEWIS, P.E., LICENSE NO. 20148.

**DATE:** 5-23-2020

**SCALE:** 1" = 10'



STANDARD	REQUIRED	EXISTING	PROPOSED
Maximum FAR	0.25	0.47	0.47
Minimum FAR	0.15	0.15	0.15
Maximum Building Height	35 FT.	35 FT.	35 FT.
Minimum Building Height	10 FT.	10 FT.	10 FT.
Maximum Lot Area	100,000 SQ. FT.	100,000 SQ. FT.	100,000 SQ. FT.
Minimum Lot Area	10,000 SQ. FT.	10,000 SQ. FT.	10,000 SQ. FT.
Maximum Building Coverage	0.15	0.15	0.15
Minimum Building Coverage	0.05	0.05	0.05
Maximum Setback	15 FT.	15 FT.	15 FT.
Minimum Setback	5 FT.	5 FT.	5 FT.
Maximum Height	35 FT.	35 FT.	35 FT.
Minimum Height	10 FT.	10 FT.	10 FT.
Maximum Density	100 PER ACRE	100 PER ACRE	100 PER ACRE
Minimum Density	10 PER ACRE	10 PER ACRE	10 PER ACRE



**SITE DEVELOPMENT PLAN**

**ZONING LOCATION SURVEY**

**UPGRADE TO USED CAR DEALERSHIP**

**ALEX AUTO SALES AND REPAIR**

**LICENSED LOCATION: 1905 BARNUM AVENUE**

**BRIDGEPORT/STRATFORD, CONNECTICUT**

**SCALE: 1" = 10'**

**DATE: 5-23-2020**

**UNPLANNED 5-23-2020**

**APPROVED BY: ROBERT K. LEWIS, P.E.**

**LEWIS ASSOCIATES**

**1905 BARNUM AVENUE, BRIDGEPORT, CONNECTICUT 06605**

**PHONE: 203-281-4848**

