



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

103 Douglas Street Zone R-A
(Number) (Street) (Zone Classification)

On the South side of the street about 134.30 feet East from
(North, South, East, West) (North, South, East, West)

Indian Avenue Block : 2732 Lot: 19A
(Street) (Specify)

Dimension of Lot in Question 125.00' x 100.05' x 125.00' x 100.05'
(Specify)

1. NAME OF APPLICANT / BUSINESS Jay Construction, LLC
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
(Print)

3. HAS A PREVIOUS APPLICATION BEEN FILED? NO IF SO, GIVE DATE OF HEARING N/A
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Proposed subdivision of Premises in Two (2) buildings lots with existing single-family dwelling to remain on proposed Lot 'B' with proposed additions and proposed new single family dwelling at proposed Lot 'A' with associated site improvements

5. THIS APPLICATION RELATES TO: Check all that Apply:
 Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other:

6. USE TO BE MADE OF PROPERTY Proposed subdivision of Premises in Two (2) buildings lots to each contain a single-family dwelling

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT [Signature] / [Print] DATE 09/03/2021

If signed by agent, state capacity (lawyer, builder, etc) [Signature] / Chris@russorizio.com (Email)

Mailing Address Attn: Chris Russo, Russo & Rizio, 10 Sasco Hill Road, Fairfield, CT 06824 (203) 528 0590
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20 _____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: _____ DATE: _____, 20 _____ Clerk _____



Colin B. Connor
Colin@russorizio.com

Robert G. Golger
Bob@russorizio.com

David K. Kurata
DKurata@russorizio.com

Katherine M. Macol
Kathy@russorizio.com

Leah M. Parisi
Leah@russorizio.com

William M. Petroccio*
WPetro@russorizio.com

Raymond Rizio*
Ray@russorizio.com

Christopher B. Russo
Chris@russorizio.com

Robert D. Russo
Rob@russorizio.com

John J. Ryan
John@russorizio.com

Vanessa R. Wambolt
Vanessa@russorizio.com

(*Also Admitted in NY)

September 3, 2021

Dennis Buckley
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: ZBA Application at 103 Douglas Street

Dear Mr. Buckley:

Please accept the following narrative and enclosed application materials as part of the Variance application to the Bridgeport Zoning Board of Appeals (“ZBA”) for the property located at 103 Douglas Street (the “Site”):

Variations Requested

1. Variance of Section 5-1-3 and Table 3 to reduce the minimum lot area and residential density for the proposed Lot A to 5,002 SF in an R-A Zone; and
2. Variance of Section 5-1-3 and Table 3 to reduce the minimum lot frontage for the proposed Lot ‘A’ to reduce the minimum lot frontage to 50.00’ in an R-A Zone.

Proposed Development & Use

The Petitioner proposes to subdivide the Site into Two (2) building lots with each lot proposed to contain a single-family dwelling, including the existing dwelling on the Site. The proposed Lot ‘B’ on the eastern side of the Site fully conforms to the Regulations. The proposed Lot ‘A’ fully conforms to the R-A Pre-Existing Lot zone development standards and is in complete conformity with the surrounding neighborhood, including the abutting lots to the Site on Douglas Street. The Site was originally Five (5) separate lots under its original map on the Bridgeport Land Records, which shows the Site divided into 25’ x 100’ lots. It currently contains an existing single-family one-story dwelling. This dwelling is proposed to be located within the fully conforming Lot ‘B’. The Petitioner proposes to convert the existing dwelling to a two-story residence with a proposed addition and deck, which all conform to the Regulations. It will remain a single-family dwelling with its own compliant parking area.

The lot area and frontage of the proposed Lot ‘A’ is fully conforming with the overwhelming majority of building lots on Douglas Street, including the Site’s abutting

10 Sasco Hill Road
Fairfield, CT 06824
www.russorizio.com
Tel 203-254-7579
Fax 203-576-6626

properties on Douglas Street. The neighborhood was established by the same original map that contained 25' x 100' lots. Most of the dwellings on the street are built on lots that merged two of these original lots together. The Petitioner proposes the same type of building lot with the proposed Lot 'A'. However, unlike many of the dwellings on Douglas Street, the Petitioner proposes to construct a single-family dwelling which will be fully compliant with the bulk building standards, particularly with regards to side setback. Many existing dwellings in the neighborhood are nonconforming as to side setback. Not only is the proposed dwelling on Lot 'A' conforming as to side setback, but the Petition proposes a side setback of 10' on each side of the dwelling, which is well in excess of the 6' side setback from a single property line requirement in the R-A Zone. Each of these proposed dwellings and their parking areas are fully conforming under the Regulations. The first floor of the proposed dwelling on Lot 'A' will contain a living room, dining room, open concept kitchen, full bath, a bedroom, front porch and rear deck. The second floor will contain a master bedroom with walk-in closet and master bath, Two (2) bedrooms, a full bath and laundry room. Each proposed lot will contain an extensive amount of landscaping well in excess of the requirements under the Regulations.

Hardship

Granting the Petitioner the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as the Petitioner has proposed to create a fully conforming Lot 'B' under the Regulations and a proposed Lot 'A,' which is fully conforming to the R-A Pre-Existing Lot Standards and the neighborhood. In addition, the proposed dwelling on Lot 'A' will be more conforming, particularly with regards to side setback, than many of the existing dwelling on Douglas Street. The Site was originally Five (5) separate lots under its original map on the Bridgeport Land Records, which shows the Site divided into 25' x 100' lots. Most of the neighborhood was developed by the combination of Two (2) of those original lots exactly as proposed for Lot 'A'. Recognizing this history and character of the neighborhood, the Planning and Zoning Commission is reviewing proposed Regulations for the City of Bridgeport that will locate the Site in the N2 Mid-Century Neighborhood that will permit a proposed "House B" Building Type. Said Building Type will permit a minimum lot width of 45' with no minimum lot area. The proposed Lot 'A' exceeds this requirement. The Petition will bring new construction single-family dwellings improving the neighborhood and property values. Each proposed dwelling will fully conform to the bulk building standards under the Regulations

For the reasons stated above, the Petitioner respectfully requests approval of the Petition for the above-stated variances.

Sincerely,


Raymond Rizio

PROPERTIES WITHIN 100' OF 103 DOUGLAS STREET

PROPERTY ADDRESS	OWNER	MAILING ADDRESS	CITY	STATE	ZIP CODE
121 DOUGLAS ST	SMALLS LOUIS ESTATE OF & FLOSSIE	121 DOUGLAS ST	BRIDGEPORT	CT	06606
85 DOUGLAS ST	LUIGI V DICOSTANZO & NANCY DICOSTANZO	85 DOUGLAS ST	BRIDGEPORT	CT	06606
240 WOODROW AV	PIERRE JEAN BERNARD	240 WOODROW AVE	BRIDGEPORT	CT	06606
136 DOUGLAS ST	BLAKE MILTON W & PIXIE	136 DOUGLAS ST	BRIDGEPORT	CT	06606
260 WOODROW AV	MOROCHO ANGEL ET AL	260 WOODROW AVE	BRIDGEPORT	CT	06606
103 DOUGLAS ST	JAY CONSTRUCTION, LLC	857 POST RD, #206	FAIRFIELD	CT	06824
126 DOUGLAS ST	REYES STEPHANIE & POLANCO ANDY D	126 DOUGLAS ST	BRIDGEPORT	CT	06606
230 WOODROW AV	SOLER LUCAS	230 WOODROW AVE	BRIDGEPORT	CT	06606
76 DOUGLAS ST	SMITH RAYAH	76 DOUGLAS ST	BRIDGEPORT	CT	06606
90 DOUGLAS ST	ONDIRA ROBERT JOHN	90 DOUGLAS ST	BRIDGEPORT	CT	06606
196 WOODROW AV	ISEPI SHEILA	196 WOODROW AVE	BRIDGEPORT	CT	06606
104 DOUGLAS ST	BERRIOS JUSTIN G & ROBERTO S MAZIOLI	104 DOUGLAS ST	BRIDGEPORT	CT	06606
75 DOUGLAS ST	ROCKWELL ORVILLE K	75 DOUGLAS ST	BRIDGEPORT	CT	06606
210 WOODROW AV	DINKINS MELISSA A	210 WOODROW AVE	BRIDGEPORT	CT	06606
135 DOUGLAS ST	QUINTANILLA ELSIE & SAUL	135 DOUGLAS ST	BRIDGEPORT	CT	06606
220 WOODROW AV	JENKINS KENNY W	220 WOODROW AVE	BRIDGEPORT	CT	06606
266 WOODROW AV	ALHBAL HISHAM (EST OF) & LISA ALHABAL	266 WOODROW AVE	BRIDGEPORT	CT	06606

JAY CONSTRUCTION LLC

 ACTIVE

857 POST RD., #206, FAIRFIELD, CT, 06824, United States

BUSINESS DETAILS



Business Details



General Information

**Business Name**

JAY CONSTRUCTION LLC

Business status

ACTIVE

Citizenship/place of formation

Domestic/Connecticut

Business address

857 POST RD., #206, FAIRFIELD, CT, 06824, United States

Annual report due

3/31/2022

NAICS code

All Other Specialty Trade Contractors (238990)

Business ALEI

1106876

Date formed

5/15/2013

Business type

LLC

Mailing address

857 POST RD., #206, FAIRFIELD, CT, 06824, United States

Last report filed

2021

NAICS sub code

Principal Details



Principal Name

GEDILSON BELMIRO GONCALVES

Principal Title

MEMBER

Principal Business address

857 POST RD., #206, FAIRFIELD, CT, 06824, United States

Principal Residence address

150 PINE POINT DRIVE, BRIDGEPORT, CT, 06606, United States

Agent details



Agent name

GEDILSON B. GONCALVES

Agent Business address

857 POST RD., #206, FAIRFIELD, CT, 06824, United States

Agent Mailing address

857 POST RD., #206, FAIRFIELD, CT, 06824, United States

Agent Residence addresss

495 HAWLEY AVE. , BRIDGEPORT, CT, 06606, United States

Filing History



Name History



None

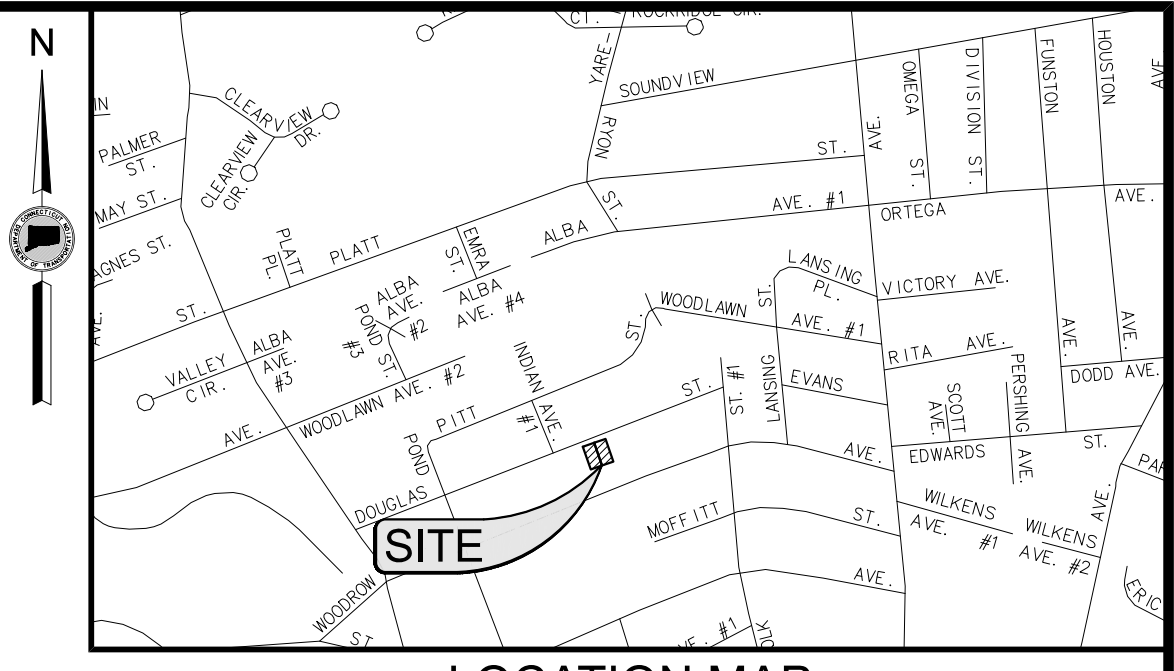
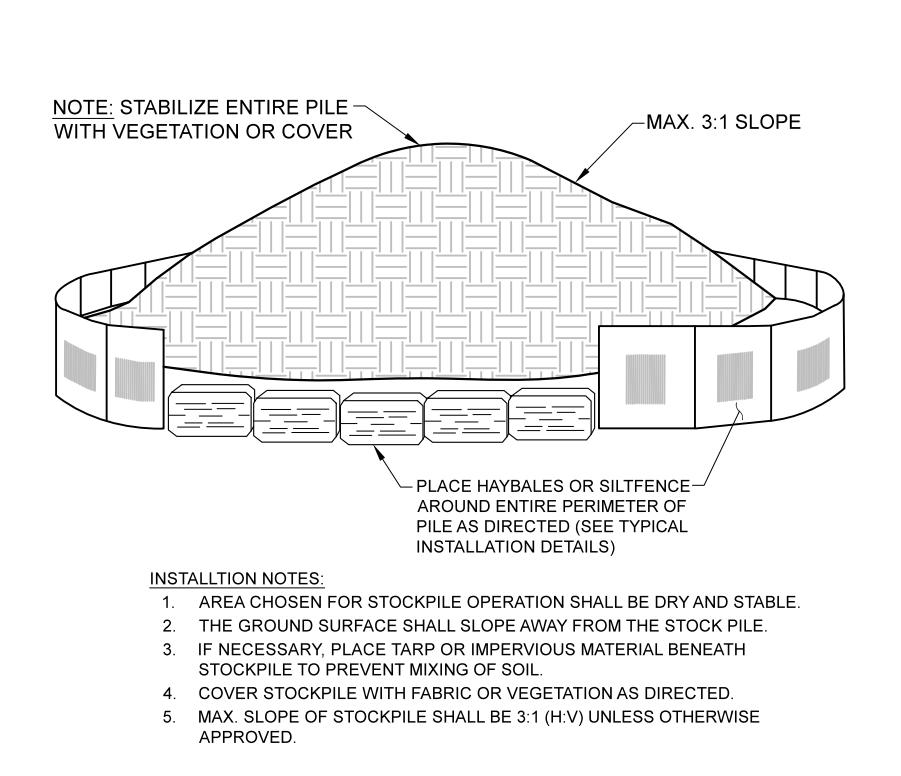
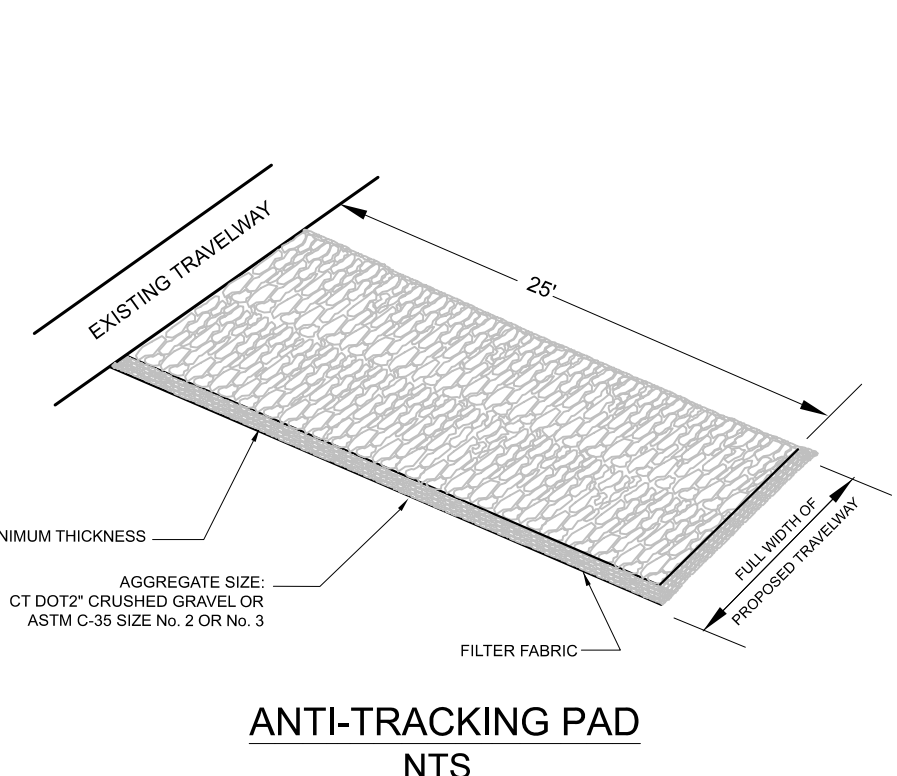
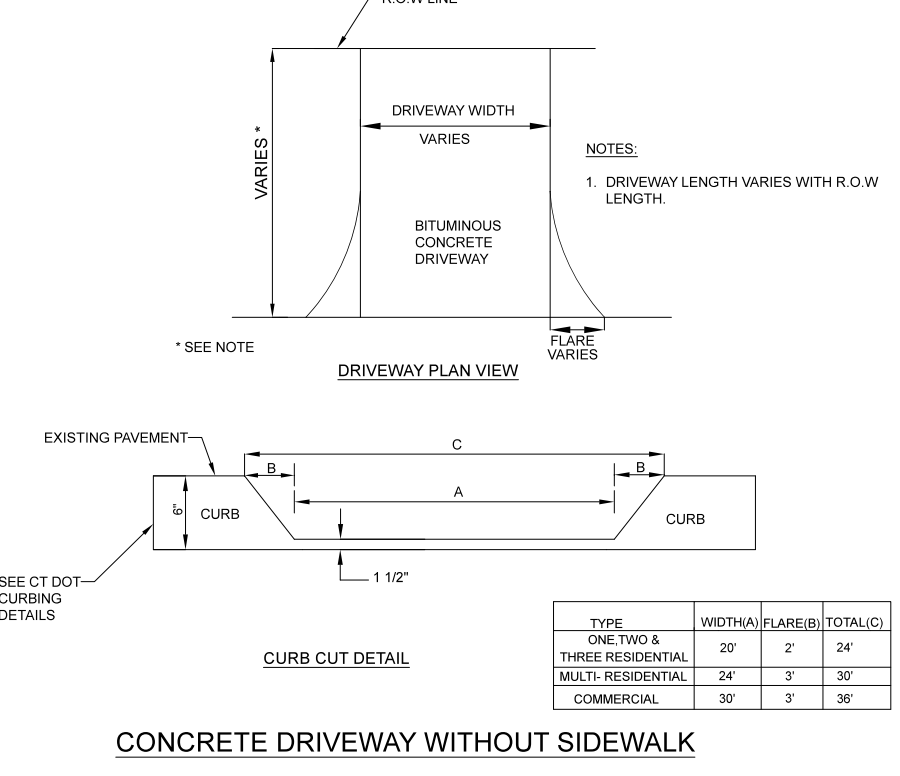
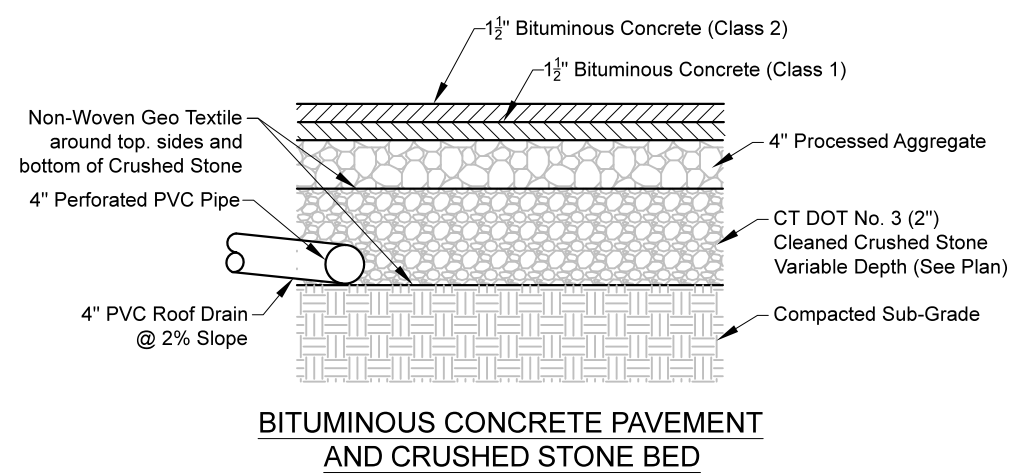


Shares

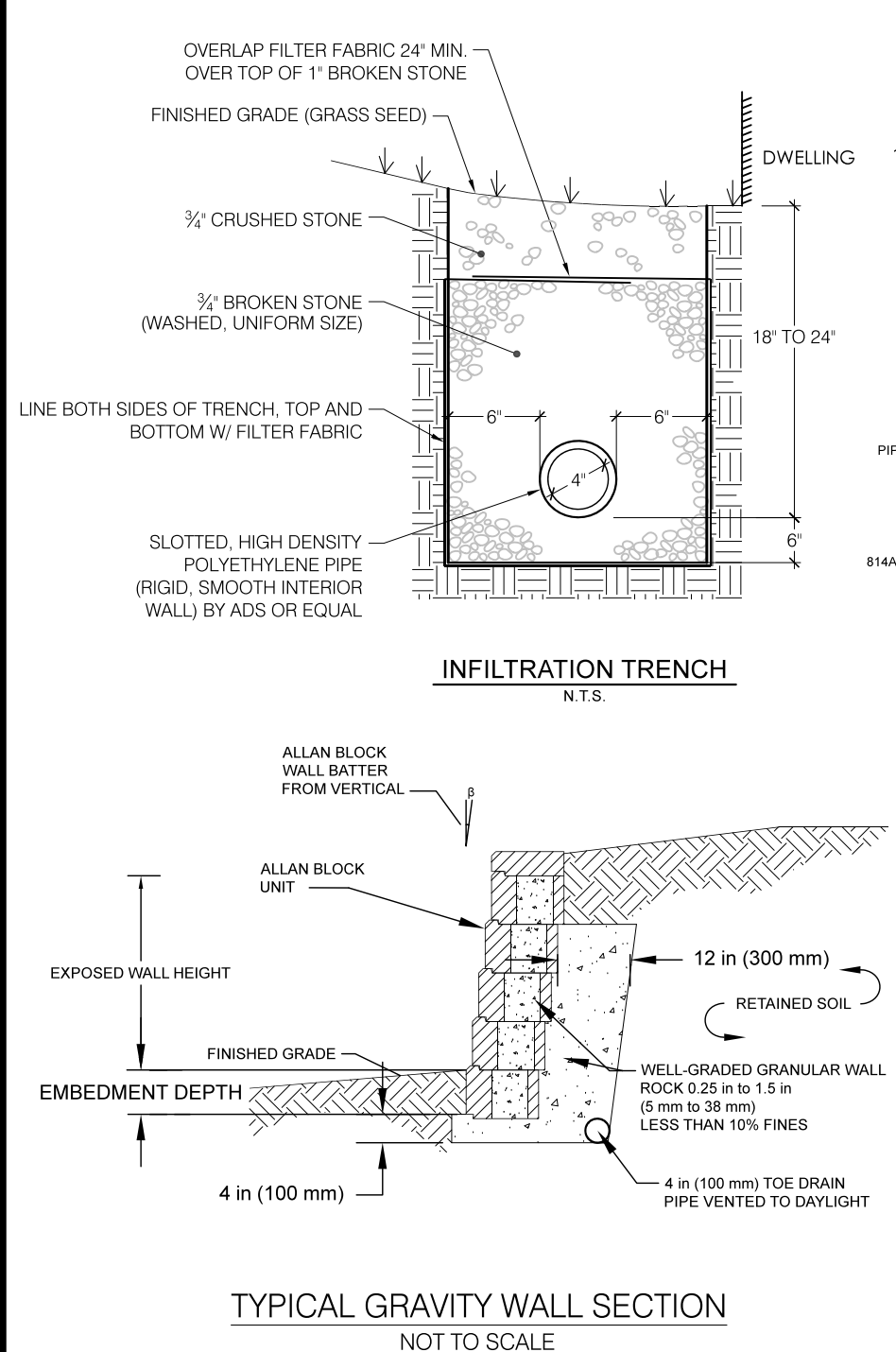
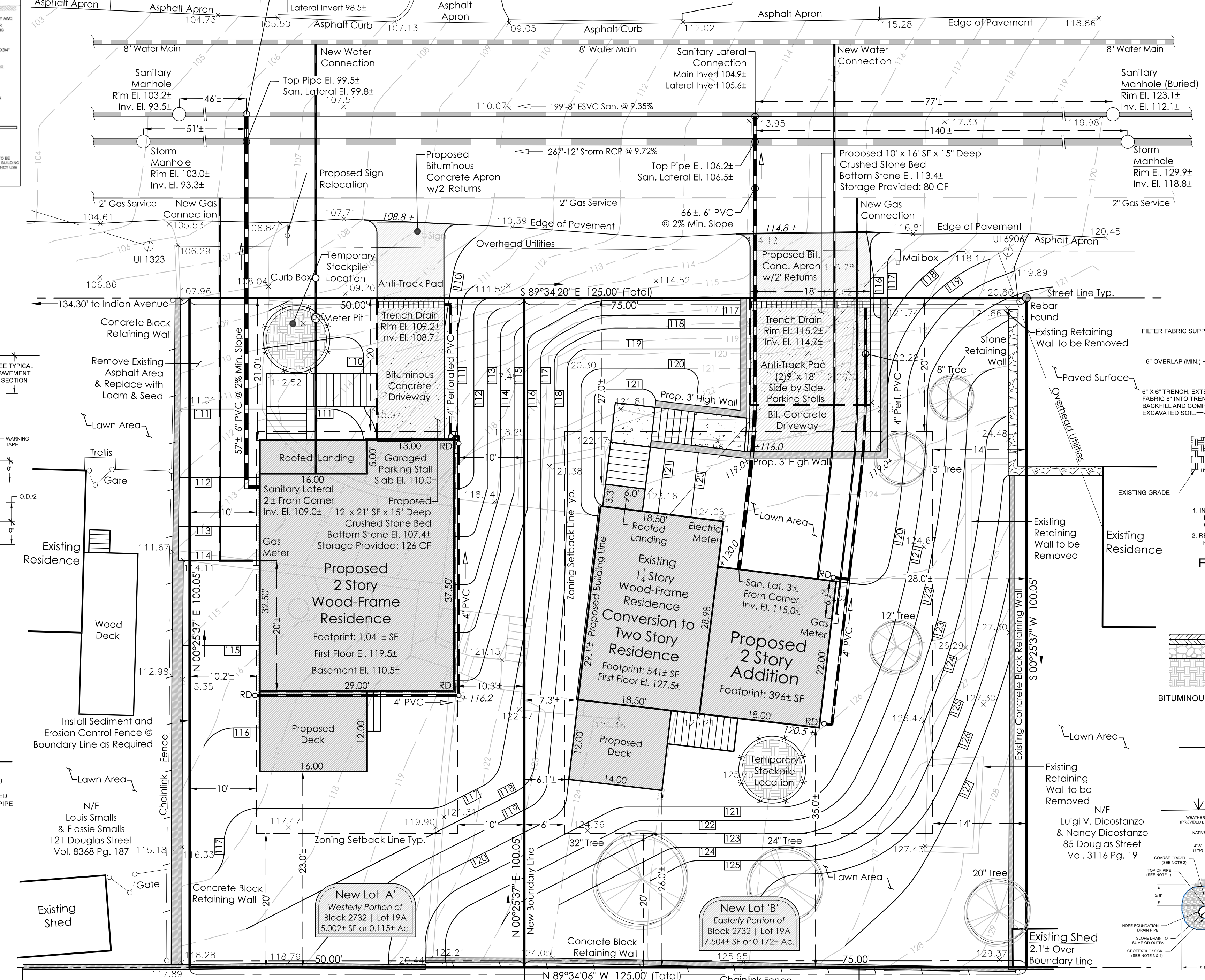
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NOTES

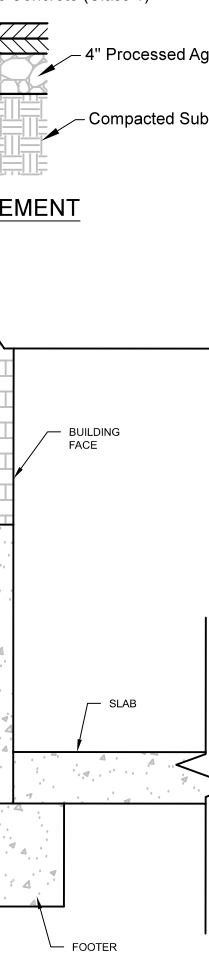
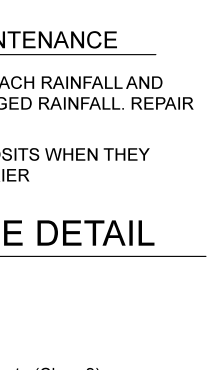
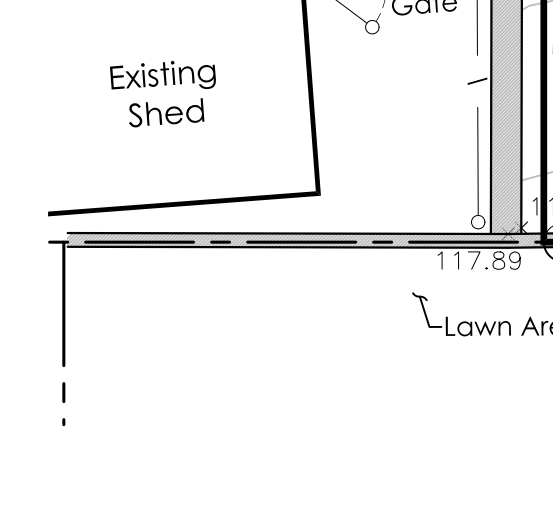
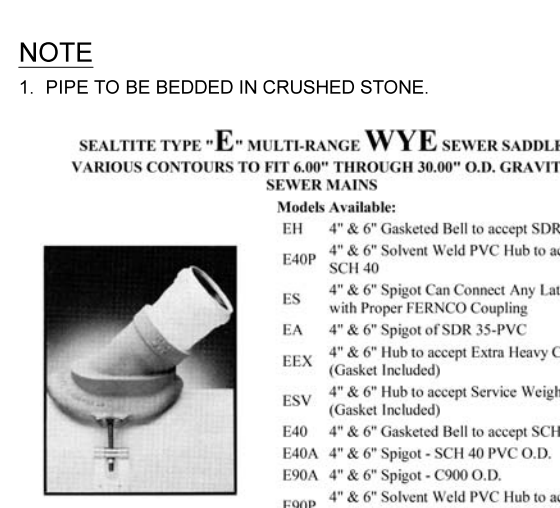
- 1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300D-1 THROUGH 20-300D-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT...



Douglas (50' L.O.) Street



LEGEND table with symbols for various features: NF (Now or Formerly), MON (Monument), I.P. (Iron Pipe), FND. (Foundation), S.F. (Square Feet), CONC. (Concrete), BIT. (Bituminous), OHL (Overhead Utilities), UG (Under Ground), MH (Manhole), ELEC. (Electric), UTY (Utility Pole), DYL. (Double Yellow Line), SWL (Single White Line), BWL (Broken White Line), EOP (Edge of Pavement), RET. (Retaining), CLF (Chain Link Fence), FFE (Finished Floor Elevation), C.O. (Chain Offset), LP (Light Post), CB (Catch Basin), VM (Water Meter), WV (Water Valve), GW (Gas Valve), RET. (Retaining), SNET (Southern New England Telephone), INT. (Intersection), INV. (Invert), C.I. (Cast Iron), W.C. (Vitreous Clay), RCP (Reinforced Concrete Pipe), RD (Roof Drain), MW (Monitor Well), EX (Existing Spot Grade), EX (Existing Contour Elevation), L.O. (Layout of Street Width), P.S. (Pavement Spacing), HDPE (High Density Polyethylene), PVC (Polyvinyl Chloride), EX (Existing Conifer Tree), EX (Existing Deciduous Tree).



R-A Zone Development Standards

Table of R-A Zone Development Standards with columns for Required, New Lot 'A', and New Lot 'B' standards for LOT AREA, FRONTAGE, DEPTH, setbacks, coverage, and height.

- NOTES: 1. SIDE SETBACK SHALL BE EITHER TEN (10) FT MINIMUM OR FORTY (40) PERCENT OF THE PRINCIPAL BUILDING HEIGHT, WHICHEVER IS GREATER.

Percolation Test Results table with columns for Time, Measurement to Water Surface, Drop in Water Level (0.01'), and Rate (Min./Inch). Includes overall percolation rate of 4.41.

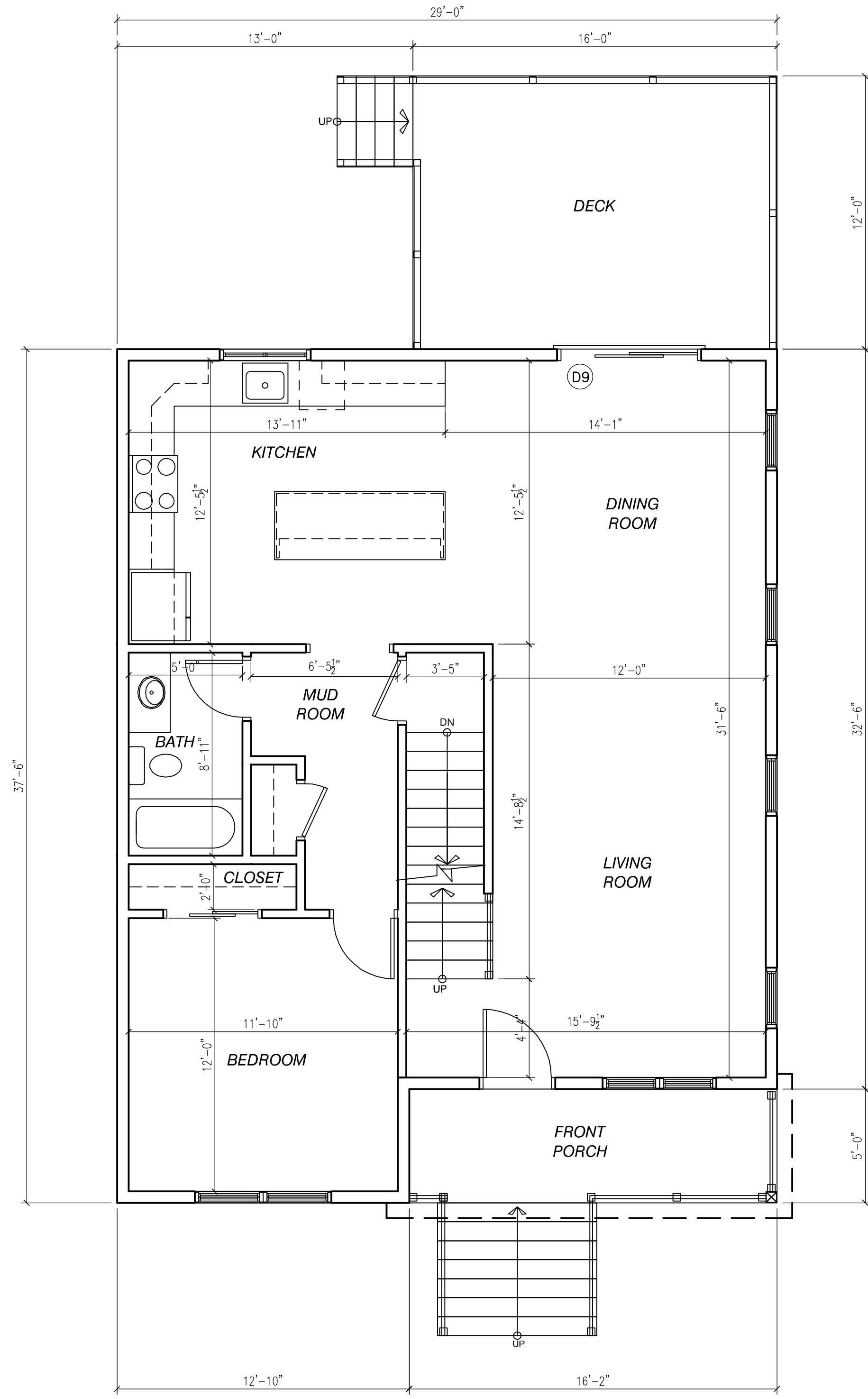
Cabezas DeAngelis logo and contact information: 78 ELM STREET, BRIDGEPORT, CT 06604 P:203 330 8700 F:203 330 8701

Professional Engineer seals for Washington Cabezas, Jr., No. 70210, State of Connecticut.

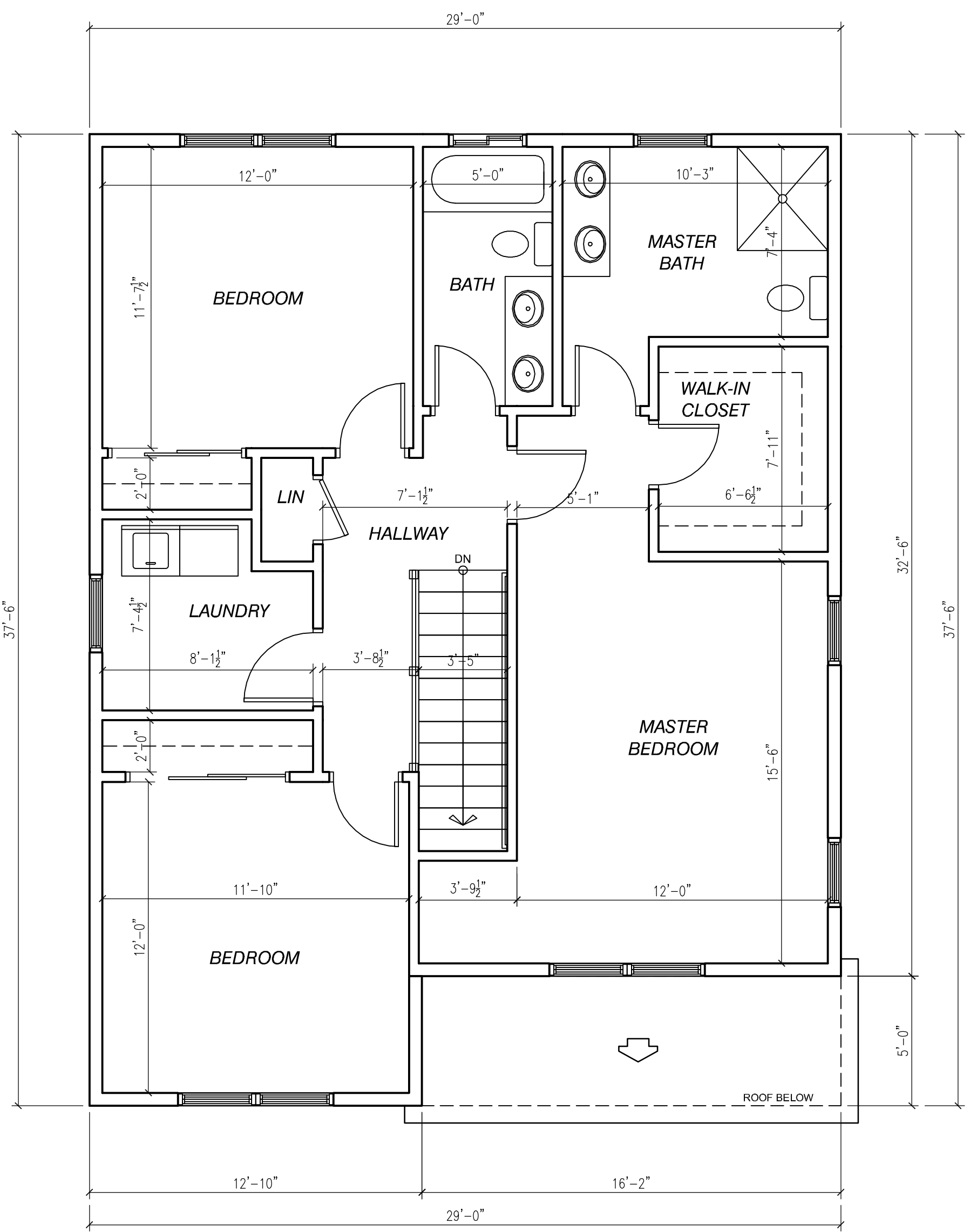
TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. WASHINGTON CABEZAS, JR. WASHINGTON CABEZAS, JR. FEL 70210

IMPROVEMENT LOCATION SURVEY - AND - TOPOGRAPHIC SURVEY. PREPARED FOR JAY CONSTRUCTION, LLC, 103 DOUGLAS STREET, BRIDGEPORT, CONNECTICUT. SHEET 1 OF 1. SEPTEMBER 1, 2021. WASHINGTON CABEZAS, JR., P.E. LS. SCALE: 1\"/>





1ST FLOOR PLAN
SCALE 1/4" = 1'-0"
1ST FL LIVING SPACE = 1005 SF
GARAGE = 295 SF
TOTAL LIVING SPACE = 1,975 SF



2ND FLOOR PLAN
SCALE 1/4" = 1'-0"
2ND FL LIVING SPACE = 970 SF
TOTAL LIVING SPACE = 1,975 SF

DOOR SCHEDULE		
	SIZE	REMARKS
D1	3'-0" x 6'-8" x 1-3/4" INSULATED FULLY WEATHERSTRIPPED, ALUM. SILL	
D2	2'-8" x 6'-8" x 1-3/4"	20-MIN. FIRE RATED INSULATED
D3	2'-8" x 6'-8" x 1-3/4"	INSULATED
D4	2'-8" x 6'-8" x 1-3/8"	
D5	2'-6" x 6'-8" x 1-3/8"	
D6	2'-4" x 6'-8" x 1-3/8"	
D7	4'-0" x 6'-8"	SLIDING CLOSET DOOR
D8	5'-0" x 6'-8"	SLIDING CLOSET DOOR
D9	6'-0" x 6'-8"	EXTERIOR SLIDING PATIO DOOR
D10	9'-0" x 8'-0" INSULATED OVERHEAD GARAGE DOOR	
D11	3'-0" x 6'-8"	BI-FOLD LAUNDRY DOOR
D12	2'-0" x 6'-8" x 1-3/8"	

WINDOW SCHEDULE			
	ROUGH OPENING	NOMINAL SIZE	REMARKS
W1	SEE MFR.'S SPECIFICATIONS	3'-0" x 5'-0"	D.H. (EGRESS)
W2	SEE MFR.'S SPECIFICATIONS	2'-6" x 4'-0"	D.H.
W3	SEE MFR.'S SPECIFICATIONS	6'-0" x 5'-0"	DOUBLE D.H. (EGRESS)
W4	SEE MFR.'S SPECIFICATIONS	2'-8" x 5'-0"	D.H.
W5	SEE MFR.'S SPECIFICATIONS	5'-0" x 5'-0"	DOUBLE D.H.
W6	SEE MFR.'S SPECIFICATIONS	3'-0" x 1'-6"	SLIDING
W7	SEE MFR.'S SPECIFICATIONS	4'-0" x 4'-0"	DOUBLE CASEMENT
W8	SEE MFR.'S SPECIFICATIONS	3'-0" x 3'-6"	DOUBLE D.H.
W9	SEE MFR.'S SPECIFICATIONS	6'-0" x 3'-4"	DOUBLE D.H.

WINDOW NOTES

1 - AS PER 2015 IRC- SECTION R310.1.1: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING WITH A MINIMUM NET CLEAR OPENING OF 5.7 SF. EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SF. WITH A MINIMUM NET REQUIRED CLEARANCE OF 20" WIDTH AND 24" HEIGHT. IN EXISTING BUILDINGS UNDERGOING ALTERATION OR INSTALLATION OF REPLACEMENT WINDOWS IT SHALL BE PERMITTED TO UTILIZE REMOVABLE SASH WINDOWS TO ACHIEVE THE REQUIRED MIN. CLEAR OPENINGS FOR EGRESS.

2 - EMERGENCY ESCAPES AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE

3 - WINDOWS PERFORMANCE DATA:
U-FACTOR: LoE = 0.32 W/ ARGON GAS FILL SHGC: LoE = 0.32
DP-RATING = DP-50

4 - AS PER 2015 IRC SECTION R312.2 - WINDOW SILL SHALL NOT BE LESS THAN 24" ABOVE FIN. FLOOR IF WINDOW SILL IS MORE THAN 72" ABOVE EXTERIOR FINISH GRADE.
EXCEPTIONS:
A) THE OPERABLE SECTION OF THE WINDOW SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE.
B) OPENING IS PROVIDED WITH FALL PREVENTION DEVICE THAT COMPLIES WITH ASTM F 2090
C) WINDOW IS PROVIDED WITH OPENING CONTROL DEVICE THAT COMPLIES WITH 2015 IRC R312.2.2

5 - WINDOWS AND EXTERIOR DOORS SHALL BE TESTED AND LABELED TO WITHSTAND A MIN. OF 130 MPH WIND LOAD.

6 - SPACE BETWEEN WINDOW & DOOR JAMBS AND FRAMING SHALL BE SEALED WITH NON-EXPANDING INSULATION AND CAULK OR BACKER ROOD AND CAULK.

- GENERAL NOTES**
- #1 - AS PER 2015 IRC SECTION R302.7 - UNDER STAIR PROTECTION: ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - #2 - ALL WINDOWS AND EXTERIOR DOORS INCLUDING GARAGE OVERHEAD DOOR TO BE CERTIFIED AND LABELED BY MANUFACTURE WITH DESIGN PRESSURE RATING TO WITHSTAND 125 MPH WINDS.
 - #3 - AS PER "2015 IRC" SECTION R319 - PREMISES IDENTIFICATION: APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
 - #4 - PRE-ENGINEERED LUMBER COMPANY SHALL PROVIDE SHOP DRAWINGS WITH ALL LOAD CALCULATIONS FOR PERMIT PRIOR TO INSTALLATION. (IF APPLICABLE)
 - #5 - PROVIDE METAL JOIST HANGER AT ALL FLUSH CONNECTIONS

- #6 - ANY SPACE BETWEEN WINDOW & DOOR JAMBS AND FRAMING, AT EXTERIOR WALLS, ARE REQUIRED TO BE SEALED BY EITHER CAULK OR BACKER ROD.
- #7 - SHOWER/TUB ON EXTERIOR WALL - EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWER AND TUBS. INSTALL DRAFT STOP SHEATHING BEHIND SHOWER AND TUBS ON EXTERIOR WALLS.
- #8 - CHEMICAL TERMITICIDE TREATMENT SHALL BE PROVIDED AND SHALL INCLUDE SOIL AND OR FIELD APPLIED WOOD TREATMENT. APPLICATION AND METHOD OF TREATMENT OF THE CHEMICAL TERMITICIDE SHALL BE IN STRICT ACCORDANCE WITH THE TERMITICIDE MFR.'S LABEL.

GARAGE NOTES -

ALL INTERIOR WALLS OF EXTERIOR WALLS TO BE FIN. W/ 5/8" FIRECODE TYPE "X" GYPSUM BOARD

PROVIDE 1-HR. RATED PARTITIONS BETWEEN GARAGE AND DWELLING WITH 5/8" FIRECODE TYPE "X" GYPSUM BOARD APPLIED TO EACH SIDE OF 2X4 WOOD STUDS AT 16" O.C.

ALL GARAGE CEILINGS TO BE INSTALLED W/ 5/8" FIRECODE TYPE "X" GYPSUM BOARD

PLUMBING GENERAL NOTES -

PROVIDE VACUUM BREAKER VALVE STOP VALVE HB - HOSE BIB FROST-FREE , LOOSE KEY DISHWASHER - PROVIDE EMERGENCY BALL STOP VALVE IN CABINET

WASHING MACHINE - PROVIDE "DUO-CLOZ" SHUT-OFF VALVE AT INTERIOR WALL OF LAUNDRY CLOSET NEAR TO THE DOOR.

PROVIDE WATER HAMMER ARRESTOR WHERE REQUIRED

- BATHROOM NOTES**
- #1 - INTERIOR WALLS FOR CERAMIC TILE INSTALLATION, TUB SURROUNDS , SUCH AS SHOWER IN DRY AREAS USE 1/2" W/R GYPSUM BOARD.
 - #2 - FLOOR FOR CERAMIC TILE INSTALLATION - FLOOR + WONDERBOARD OVER PLYWOOD SUB-FLOOR.
 - #3 - BATHROOM EXHAUST FAN DUCTED TO OUTSIDE PROVIDE WEATHER CAP.
 - #4 - SHOWER LIGHT AND LIGHTING ABOVE WHIRLPOOL SHALL BE VAPOR PROOF.(IF APPLICABLE)
 - #5 - PROVIDE WHIRLPOOL MOTOR SERVICE PANEL. (IF APPLICABLE)

MECHANICAL NOTES

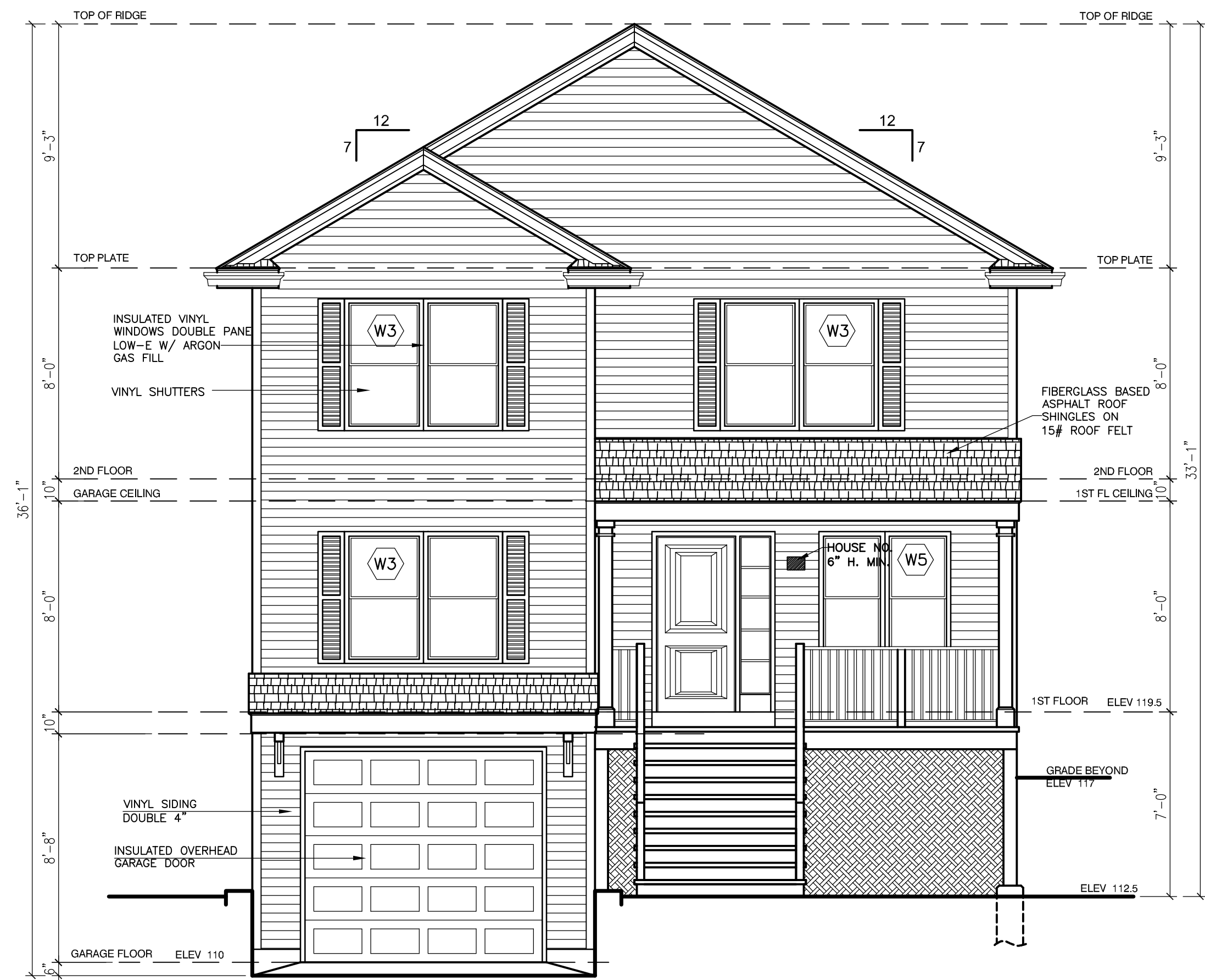
- #1 - NEW FURNACE TO BE HIGH EFFICIENCY GAS DIRECTED VENTED UNIT, AND SHALL BE INSTALLED AS PER MFR.'S RECOMMENDATIONS
- #2 - GAS DIRECTED VENTED WATER HEATER TO BE INSTALLED AS PER MFR.'S RECOMMENDATIONS

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

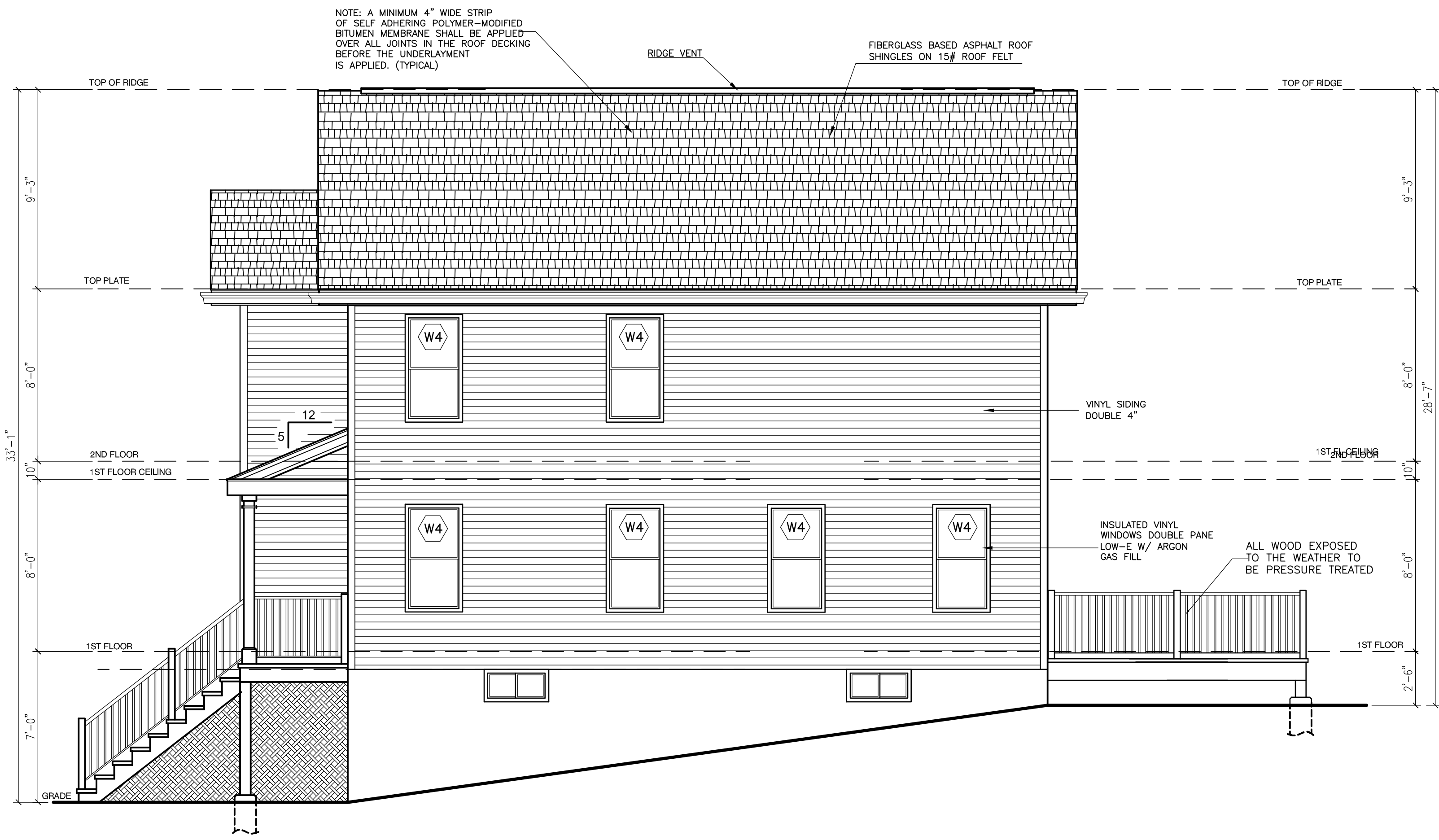
REVISIONS					
NO.	DATE	BY	DESCRIPTION	APP.	CHK.
1					
2					
3					
4					
5					
6					

NEW SINGLE FAMILY HOME PLANS
PREPARED FOR PROPERTY LOCATED AT
103 DOUGLAS ST., NEW LOT "A", BRIDGEPORT, CT

1ST & 2ND FLOOR PLANS SCHEDULES AND NOTES	date: 08-28-2021	scale: AS NOTED
	drawn: M. REINHEIMER 203-449-6137	project #: MCR-2021-158
	E-Mail: marcosprimrose@yahoo.com	



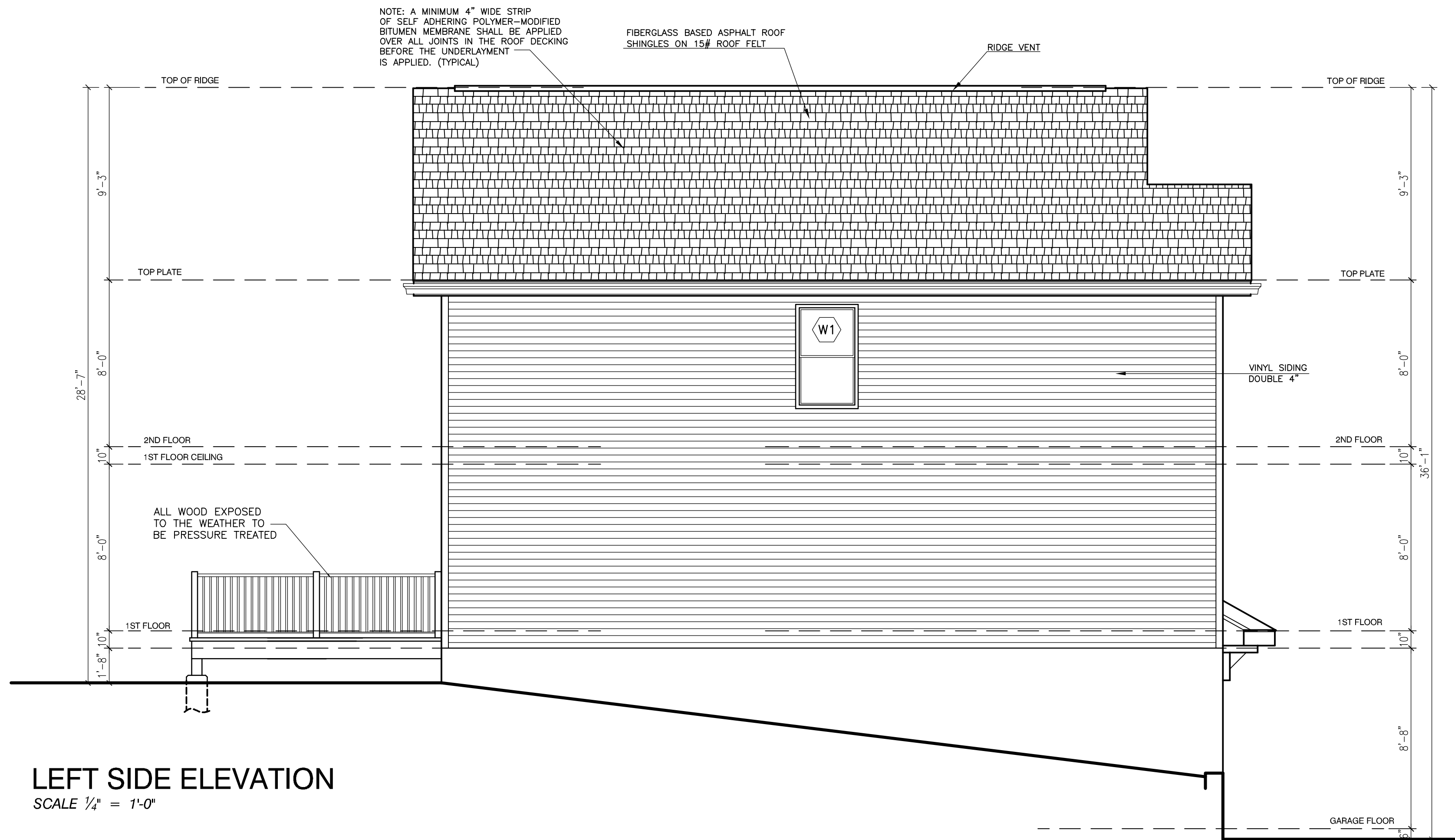
FRONT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"

1	2	3	4	5	6
REVISIONS					

NEW SINGLE FAMILY HOME PLANS
 PREPARED FOR PROPERTY LOCATED AT
 103 DOUGLAS ST., NEW LOT "A", BRIDGEPORT, CT

ELEVATIONS	
date:	08-28-2021
drawn:	M. REINHEIMER 203-449-6137
scale:	AS NOTED
project #:	MCR-2021-158
E-Mail:	marcosprimrose@yahoo.com

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

134 Albion St and 2093-2097 Fairfield Avenue Zone I-L
(Number) (Street) (Zone Classification)

On the East side of the street about 0 feet South from
(North, South, East, West) (North, South, East, West)

Fairfield Avenue Block : 19/308 Lot: 1 & 2/A
(Street)

Dimension of Lot in Question 84.15' x 100.00' x 50.00' x 90.00' x 50.00' x 95.81' x 100.00' x
(Specify)

1. NAME OF APPLICANT / BUSINESS Barros Motors Auto Sales LLC
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner and Lessee

3. HAS A PREVIOUS APPLICATION BEEN FILED? Yes IF SO, GIVE DATE OF HEARING 12/8/21
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT

A certificate of approval of location of a motor vehicle repair facility and general repairer's license

5. THIS APPLICATION RELATES TO: Check all that Apply

Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: Motor Vehicle - Consent Agenda

6. USE TO BE MADE OF PROPERTY Motor vehicle repair facility and General Repairer's license

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT [Signature] / DATE 09/03/2021
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) / Chris@russoizio.com
(Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20_____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

_____ FEE RECEIVED: _____ DATE: _____ 20____ Clerk _____



Colin B. Connor
 Elizabeth A. Falkoff*
 Robert G. Golger
 Michael C. Jankovsky
 David K. Kurata
 Katherine M. Macol
 Leah M. Parisi
 William M. Petroccio*
 Raymond Rizio*
 Christopher B. Russo
 Robert D. Russo
 John J. Ryan
 Vanessa R. Wambolt
 (*Also Admitted in NY)

September 3, 2021

Dennis Buckley
 Zoning Administrator
 Zoning Department
 45 Lyon Terrace
 Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for Certificate of Location and General Repairer’s License for Motor Vehicle Repair Facility – 134 Albion Street & 2093-2097 Fairfield Avenue

Dear Mr. Buckley:

Please accept the following narrative and enclosed application materials as part of the application for a certificate of approval of location for a motor vehicle repair facility with general repairer’s license to the Bridgeport Zoning Board of Appeals (“ZBA”) for the properties located at 134 Albion Street & 2093-2097 Fairfield Avenue (the “Site”) in the I-L Zone:

Narrative

The Petitioner requests an approval for a Certificate of Location for a motor vehicle repair facility with general repairer’s license at the Site. The Applicant had previously submitted to ZBA for a general repairer’s license as well as approval to operate a used car dealership. While the Site can accommodate a dealership, the Petitioner only seeks approval for a motor vehicle repair facility with this current Petition.

The Site currently contains a single approximately 2,350 SF single-story building with Three (3) bay doors. The Site has previously been approved for the existing alarm & stereo installation business within the bay area on the south side of the building as well as both a motor vehicle repair and sales facility for the entire Site dating all the way back to 1988. So, the Site has a long history with the proposed use and beyond. Again, the Petitioner is not seeking approval as a used car dealership with this Petition, but merely to continue to operate as a small motor vehicle repair facility. As directed by the Zoning Board of Appeals at a prior hearing, the Petitioner is no longer operating the repair facility as he awaits approval from the ZBA.

The Site’s only access is from Albion Street, which allows the Petitioner the ability to screen the Site from Fairfield Avenue. The Petitioner intends to landscape along the Fairfield Avenue property line to provide an attractive front to the Site. The Site features a very large parking area, which provides well in excess of the off-street parking requirements under the Regulations. The Regulations require Ten (10) off-street parking spaces for the first 5,000 SF of a motor vehicle repair

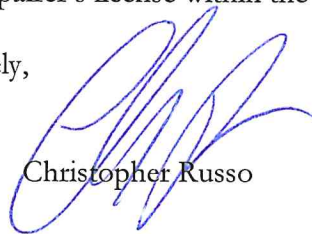
10 Sasco Hill Road
 Fairfield, CT 06824

Tel 203-255-9928
 Fax 203-255-6618

facility and the existing building is only around 2,350 SF. It should also be noted, these prior zoning approvals relied solely on the parking available at 134 Albion Street. However, the Petitioner also owns the property at 2093-2097 Fairfield Avenue, which provides even more parking for the Site, well in excess of the parking required for a building double the size of the existing building.

This Site has been approved as a motor vehicle repair facility for decades. For the reasons stated above, the Petitioner respectfully requests approval of a Certificate of Location as a vehicle repair facility with a general repairer's license within the existing building.

Sincerely,

A handwritten signature in blue ink, appearing to read "Chris Russo", is written over the typed name. The signature is fluid and cursive, with a large initial "C" and "R".

Christopher Russo

Business Inquiry

Business Details

Business Name: **BARROS MOTORS AUTO SALES LLC** Citizenship/State Inc: **Domestic/CT**
 Business ID: **1309270** Last Report Filed Year: **2021**
 Business Address: **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA** Business Type: **Domestic Limited Liability Company**
 Mailing Address: **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA** Business Status: **Active**
 Date Inc/Registration: **May 13, 2019**
 Annual Report Due Date: **03/31/2022**
 NAICS Code: **Other Services (except Public Administration) (81)** NAICS Sub Code: **All Other Automotive Repair and Maintenance (811198)**

Principals Details

Name/Title	Business Address	Residence Address
DANIEL H BARROS MANAGING MEMBER	134 ALBION STREET, BRIDGEPORT, CT, 06605, USA	10 KNOLL PLACE, 10 KNOLL PLACE, BRIDGEPORT, CT, 06610, USA

Agent Summary

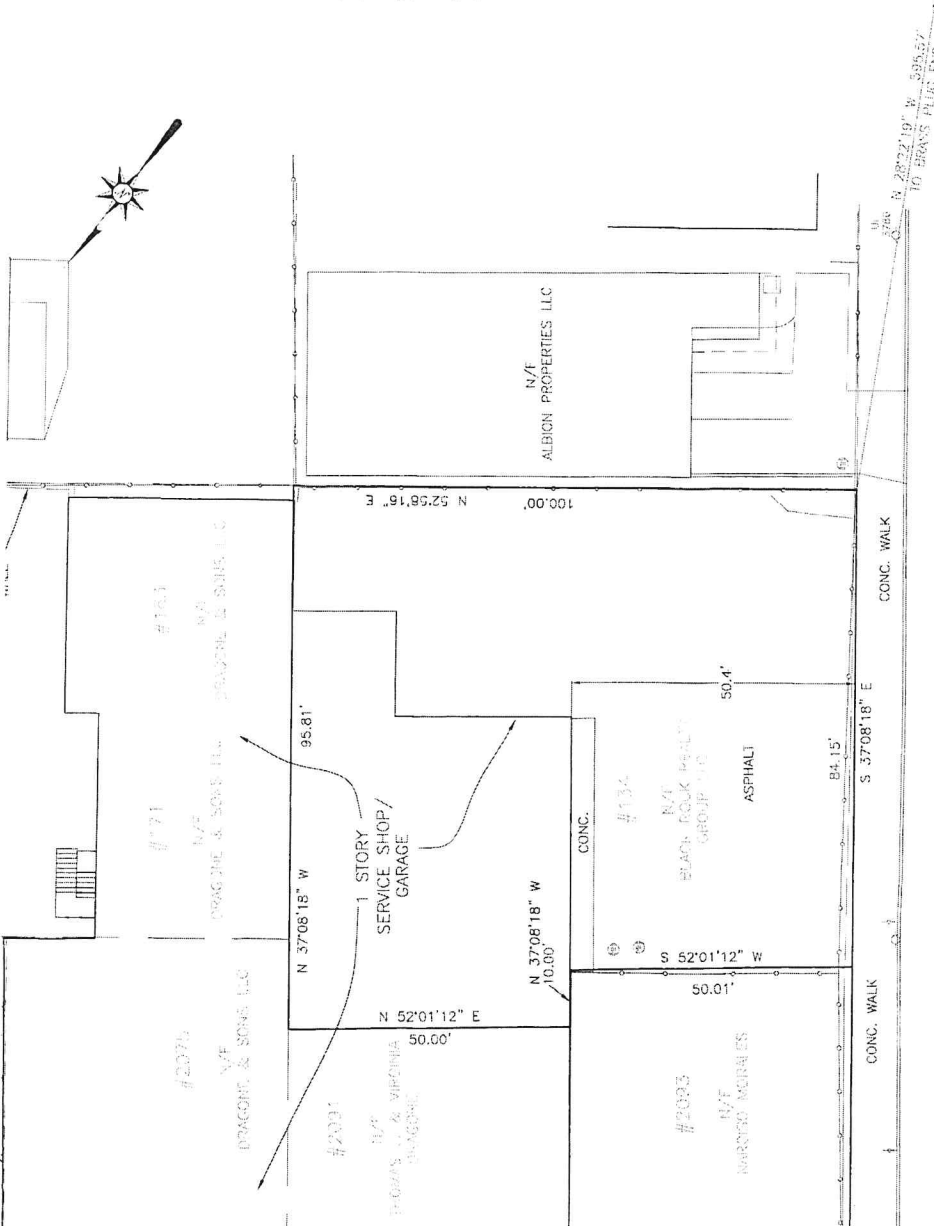
Agent Name **DANIEL H BARROS**
 Agent Business Address **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA**
 Agent Residence Address **10 KNOLL PLACE, CT, BRIDGEPORT, CT, 06610, USA**
 Agent Mailing Address **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA**

PROPERTY ADDRESS WITHIN 100' OF 134 ALBION ST AND 2093-2097 FAIRFIELD AVE

PROPERTY ADDRESS	OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
110 ALBION ST	REID CEPHAS N N	234 OAKSIDE ST	LEHIGH ACRES	FL	33936
134 ALBION ST	BLACK ROCK REALTY GROUP LLC	801 ELLSWORTH ST	BRIDGEPORT	CT	06605
145 ANDOVER ST #151	BAR BRIDGEPORT LLC	145 ANDOVER ST #151	BRIDGEPORT	CT	06605
137 ANDOVER ST #143	NEDELJKOVIC DARA	669 WHITE PLAINS RD	TRUMBULL	CT	06611
2115 FAIRFIELD AV	ALBION PLAZA LLC	62 STONEY RIDGE RD	SADDLE RIDGE	NJ	07458
118 ALBION ST	ALBION PROPERTIES LLC	97 STROBEL RD	TRUMBULL	CT	06611
171 ANDOVER ST	DRAGONE & SONS LLC	16 PAR LN	TRUMBULL	CT	06611
163 ANDOVER ST	TROJILLO JOSE E	1452 WOOD AVE	BRIDGEPORT	CT	06604
2093 FAIRFIELD AV #2097	BARROS DANIEL	10 KNOLL PL	BRIDGEPORT	CT	06610
165 ANDOVER ST	WALDORF PROPERTIES LLC	478 ALBANY AVE #1	BROOKLYN	NY	11203
102 ALBION ST	ALPHA BLACK ROCK LLC	1700 DIXWELL AVE, BLD D, STE K	HAMDEN	CT	06473
2145 FAIRFIELD AV	RDS NATIONAL GROUP LLC	9675 AUTRY FALLS DR	ALPHARETTA	GA	30022
2075 FAIRFIELD AV	DRAGONE & SONS LLC	16 PAR LN	TRUMBULL	CT	06611
2091 FAIRFIELD AV	BLACK ROCK REALTY GROUP LLC	2091 FAIRFIELD AVE	BRIDGEPORT	CT	06605
2073 FAIRFIELD AV	DRAGONE & SONS LLC	16 PAR LN	TRUMBULL	CT	06611
2098 FAIRFIELD AV	POWER TEST REALTY CO LTD PARTNERSHIP C/O GETTY REALTY CORP	292 MADISON AVE, 9TH FL	NEW YORK	NY	10017

NOTES:

- THIS SURVEY FOR MAP 3 HAS BEEN RECORDED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-206a-1 THRU 20-206a-20 AND THE "STANDARDS FOR THE PRACTICE OF SURVEYING" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1986. IT CLASS #1-7 AND IS INTENDED TO BE USED FOR REGULATORY APPROVAL.
- REFERENCE IS MADE TO THE FOLLOWING DEEDS:
 - A. VOL.2450 P.5179
 - B. VOL.2140 P.5278
 - C. VOL.2583 P.5033
 - D. VOL.2583 P.5033
 - E. VOL.5572 P.8039
 - F. VOL.7717 P.8258
 - G. VOL.10119 P.5247
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - A. MAP NO. 1 OF PROPERTY TO BE KNOWN AS "BRANNUM LAND," BRIDGEPORT, CONN., SCALE 100 FT. TO 1 IN., PREPARED BY JACOB W. BRIDGES, JR., CIVIL ENGINEER, 1915 BRANNUM STREET, BRIDGEPORT, CONNECTICUT, SEPTEMBER 10, 2009.
 - B. "IMPROVEMENT LOCATION SURVEY OF PROPERTY LOCATED AT 146 ANDOVER STREET, BRIDGEPORT, CONNECTICUT, PREPARED FOR BRIDGEPORT BRIDGES, LLC, SCALE 1"=20', PREPARED BY PETERA ENGINEERING, LLC, SEPTEMBER 10, 2009.
 - C. "BOUNDARY & TOPOGRAPHIC SURVEY, BRIDGEPORT HOUSING AUTHORITY, 146 ALBION STREET, BRIDGEPORT, CONNECTICUT, PREPARED BY PETERA ENGINEERING & ENVIRONMENTAL SERVICES, OCTOBER 10, 2009.
 - D. OWNER OF RECORD: BLACK ROCK REALTY GROUP, LLC.
 - E. LOT CORNER MARKERS LOCATED HEREON WERE FOUND AND/OR SET DURING COMPLETION OF THIS SURVEY. ALL TO THE 100' DIMENSION FOR THIS LOT ARE TO BE PLACED AS PART OF SUBSEQUENT IMPROVEMENTS AND HAVE BEEN BRANDED TO THE 100' DIMENSION.
 - F. BRANDS MARKED ON REFERENCE MAP 3.C.
 - G. COMPASSION FOR ANIMALS (CFA) HAS ADVISED THAT THE EXISTING CONDITIONS CAN BE MODIFIED AS OF THE ORIGINAL DATE OR REVISED DATE DERIVED HEREON. IT IS RECOMMENDED TO ACCURATELY REFLECT THE CURRENT CONDITIONS.
 - H. TAX ASSESSOR INDICATES OWNER OF #171 ANDOVER STREET TO BE ALL COUNTY AUTO, LLC.
 - I. AREA = 3,993 SQUARE FEET.



IMPROVEMENT LOCATION SURVEY
 134 ALBION STREET
 BRIDGEPORT, CONNECTICUT

SCALE 1"=20'
 AUGUST 11, 2020

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
 THIS MAP IS NOT VALID UNLESS ENDORSED WITH THE SEAL OR AFFIXED WITH
 THE LIVE SIGNATURE OF THE SURVEYOR.

J. EDWARDS & ASSOCIATES, LLC
 Engineering and Surveying
 1000 Main Street, Suite 200
 Bridgeport, CT 06610
 www.jedwards.com

JACOB EDWARDS, L.S. No. 70598

ZONING COMPLIANCE FIELD CARD

No.: 160033

Date: 10/16/19

Applicant: Sounds Good

Location: 134 Albion St

North 100' East of Fairfield Ave

Dimension of Lot: 88'x100'

Proposed Construction and/or Use: No work, new tenant utilizing single right-side bay inc. to an alarm & stereo installation business.

Notes:

By:



Date: 10-16-19

IL-Zone
308-2A

134 Albion St

CA-2

PLANNING & ZONING COMMISSION

Seeking under Sec. 14-54 of the CT General Statutes an amended certificate approval of location for a used car dealer's license under new ownership in an I-L zone.

WOOD AVE AUTO SALES, LLC
C/O JOSE SANTOS CARCAMO
134 ALBION STREET
BRIDGEPORT, CT 06605

PUBLIC HEARING: August 25, 2014

DECISION: Consented Approval

CONDITIONS: DMV CONDITIONS "D"

134 Albion St. Velez Service Center, Inc. 5/2
east side 100' south owner
of Fairfield Ave.
Lot: 84.15' x 100'
x 185.81' x 50' x 50' x 50'

WAIVER OF HEARING REQUIREMENTS FOR MOTOR VEHICLE
LICENSING - grant under Sec. 14-54 of the C.G.S. an
amended Cert. of App. of Loc. for a Used Car Dealer
& Repair license in a BUS. NO. 1 ZONE & LT. IND.
Zone to permit the display, sale & repair of Used
Motor Vehicles in connec. with an exist. repair garage
facility under new ownership.

WAIVER OF HEARING REQUIREMENTS FOR MOTOR VEHICLE
LICENSING, Tuesday, March 8, 1988 GRANTED CONDITIONALLY
subject to the following conditions: (over)

134 Albion St. Mimi Dragone, Inc.,
east side 100' south Lessee
of Fairfield Ave.
Lot: 84.15' x 100' x
185.81' x 50' x 50'
x 50'

WAIVER OF HEARING REQUIREMENTS FOR MOTOR VEHICLE
LICENSING - grant under Sec. 14-54 of the C.G.S. an
amended Certificate of Approval of Location for a Used
Car Dealer License in a BUS. NO. 1 & LT. IND. ZONE to
permit the display, sale & repair of used motor
vehicles in connec. with an exist. dealership under
new ownership.

WAIVER OF HEARING REQUIREMENTS FOR MOTOR VEHICLE
LICENSING - Tuesday, June 13, 1989 GRANTED under

PETITION TO THE BOARD OF APPEALS
City of Bridgeport, Connecticut

8/30/21 11:15

1

ORIGINAL

The undersigned presents the following petition for:

(Check all that Apply)

- Variance
- Appeal from Zoning Officer
- Extension of Time Permit / Modification of Plan of Development
- Request for Re-hearing
- Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

339 HARRALL AVENUE Zone R-C
(Number) (Street) (Zone Classification)

On the NORTH side of the street about 120 feet WEST from
(North, South, East, West) (North, South, East, West)

JAMES STREET Block: 1037 Lot: 15
(Street)

Dimension of Lot in Question 49.01' X 134.80' X 50.60' X 134.55'
(Specify)

1. NAME OF PETITIONER / BUSINESS PRO TECH HOMES LLC
(Print)
2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) OWNER
3. HAS ANY PREVIOUS PETITION BEEN FILED? NO IF SO, GIVE DATE OF HEARING N/A
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT
CONSTRUCT A NEW TWO (2) STORY TWO (2) FAMILY RESIDENCE

5. THIS PETITION RELATES TO: Check all that Apply
- Setback
 - Coverage
 - Landscaping
 - Lot Area and Width
 - Floor Area
 - Height
 - Parking
 - Extension or Enlargement of Non-Conforming Use and/or Building
 - Coastal Area Management Approval
 - Liquor
 - Use
 - Other:

6. USE TO BE MADE OF PROPERTY TWO (2) FAMILY RESIDENCE

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? APPROVED BUILDING
 LOT PREDATES CURRENT ZONING REGULATIONS

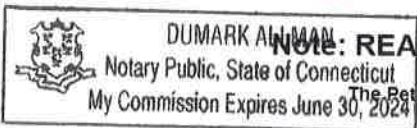
PETITIONER *[Signature]* / Trigo Silva DATE 8/24/2021
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc.) /

Mailing Address 640 SHELTON ROAD, TRUMBULL CT 06611 (954) 471-8059
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print _____
(If other than owner)

Subscribe & Sworn to before me this 30th day of August 20 21
[Signature] Notary Public in & for the County of Fairfield, State of Connecticut.



NOTE: READ CAREFULLY BEFORE FILLING OUT THIS PETITION
 All questions must be answered in detail (use separate sheet if necessary).
 The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for
 The Zoning Board of Appeals to process this petition.
 NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.
 PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
 (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED \$1 545 DATE 8/30 20 21 Clerk *[Signature]*

PRO TECH HOMES
640 Shelton Road
Trumbull, CT 06611

RE: STATEMENT OF VARIANCE

The applicant, Pro Tech Homes LLC, owns property located at 339 Harrall Avenue, Bridgeport located in an R-C Zone. This approved building lot predates the current zoning regulations.

The applicant now seeks to construct a two (2) story two (2) family residence on this property but is restricted due to the existing area & width of the building lot.

In order to put this property to a reasonable use and to construct the 2 story 2 family residence, a variance is required and sought for the following:

Principal Building:

1. Lot area, minimum. (change from min. 9,000s.f. to min. 6,707.49 s.f.)
2. Lot frontage, minimum. (change from min 60 feet to min. 49.01 feet)
3. Side lot line setback (change from min. 11'-4" to min. 10'-0")

Your assistance in this matter will be greatly appreciated.

Sincerely yours,



Ann M. Brown P.E.
For Pro Tech Homes
September 24, 2021

1037-18
219 JAMES ST
GOSPEL MISSION BAPTIST CHURCH
000219 JAMES ST
BRIDGEPORT
06604
5184

1037-3
56 CALHOUN AV
OSBORNE GUY LINDEN
140 PINWOOD TRL
TRUMBULL
06611

1037-19
355 HARRAL AV
SILVA RONALDO
000355 HARRAL AVE
BRIDGEPORT
06604
2984

1051-2
332 HARRAL AV
PARK CITY INVESTMENTS LLC
30 OAK ST
STAMFORD
06905

1051-1A
344 HARRAL AV
BENCHMARK PROPERTIES LLC
30 OAK ST
STAMFORD
06905

1037-4
44 CALHOUN AV
ESTEVEZ VALDEMAR & ADELAIDE
000115 HARRAL AVE
BRIDGEPORT
06604

//

1051-3
180 MILNE ST
CORDEIRO ROSANGELA
000182 MILNE ST
BRIDGEPORT
06604

1037-13
319 HARRAL AV
MIRANDA YORDAN, ET AL
82 EVELYN STREET
TRUMBULL
06606

//

1037-2
58 CALHOUN AV #60
GONZALEZ & GONZALEZ LLC
PO BOX 9226 ST
BRIDGEPORT
06601

1037-16
349 HARRAL AV
SILVA RONALDO
000349 HARRAL AVE
BRIDGEPORT
06604

1051-1
352 HARRAL AV #358
PARK CITY INVESTMENTS LLC
30 OAK ST
STAMFORD
06905

//

1037-15
1037-15
339 HARRAL AV
MCCARTHY ROBERT
65 GLENBROOK RD
STAMFORD
06902

//

1037-14
1037-14
323 HARRAL AV
HOUSING AUTHORITY OF THE
150 HIGHLAND AVE
BRIDGEPORT
06604

//

1037-5
1037-5
32 CALHOUN AV #38
FOSTER JERMAINE & LYNVAL FOSTER
187-17 LINDEN BOULEVARD
ST ALBANS
11412

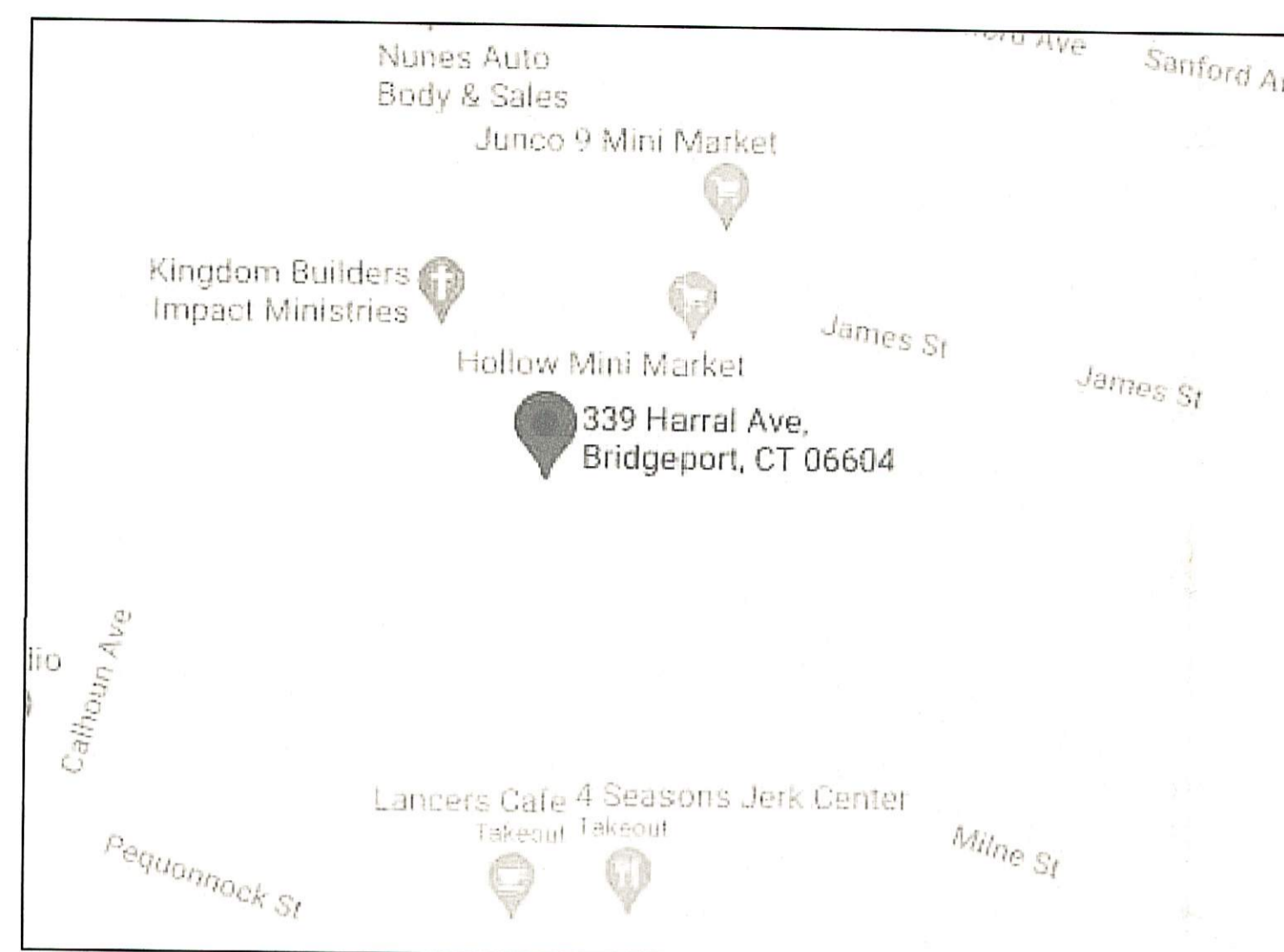
1037-1
235 JAMES ST #239
CARRENA ELIZABETH & LUIS O
8 LAKEWOOD DR
TRUMBULL
06611

1037-17
357 HARRAL AV
WU DAN-JING
532 WEST 111TH ST
NEW YORK
10025

ADJOINING PROPERTY
56 CALHOUN AVENUE
(4 FAMILY RESIDENCE)
R-C ZONE

ADJOINING PROPERTY
219 JAMES STREET
(RELIGIOUS-CHURCH)
R-C ZONE

LOCATION MAP NTS



SHEET #

AO.0

REV. NOTES

DATE :

8/24/2021

DRAWN BY:

WIMACK
DESIGNS

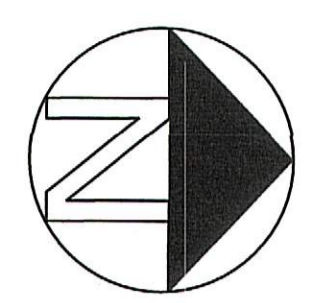


APPROVED BY:

ANN BROWN P.E.
9 LAUREL LANE
SHERMAN CT
(PH) 203-770-7870

APPLICATION TO CONSTRUCT
2 FAMILY RESIDENCE AT 339
HARRAL AVENUE, BRIDGEPORT
MBLU 48/17/13

PRO TECH HOMES LLC
640 SHELTON ROAD
TRUMBULL CT
Ph. (954) 471-8059



OPTIONAL EVERGREEN TREES

PROP. LANDSCAPED
AREA (TYP)

PROP. BILKO DOOR

ADJOINING PROPERTY
323 HARRAL AVENUE
(2 FAMILY RESIDENCE)
R-C ZONE

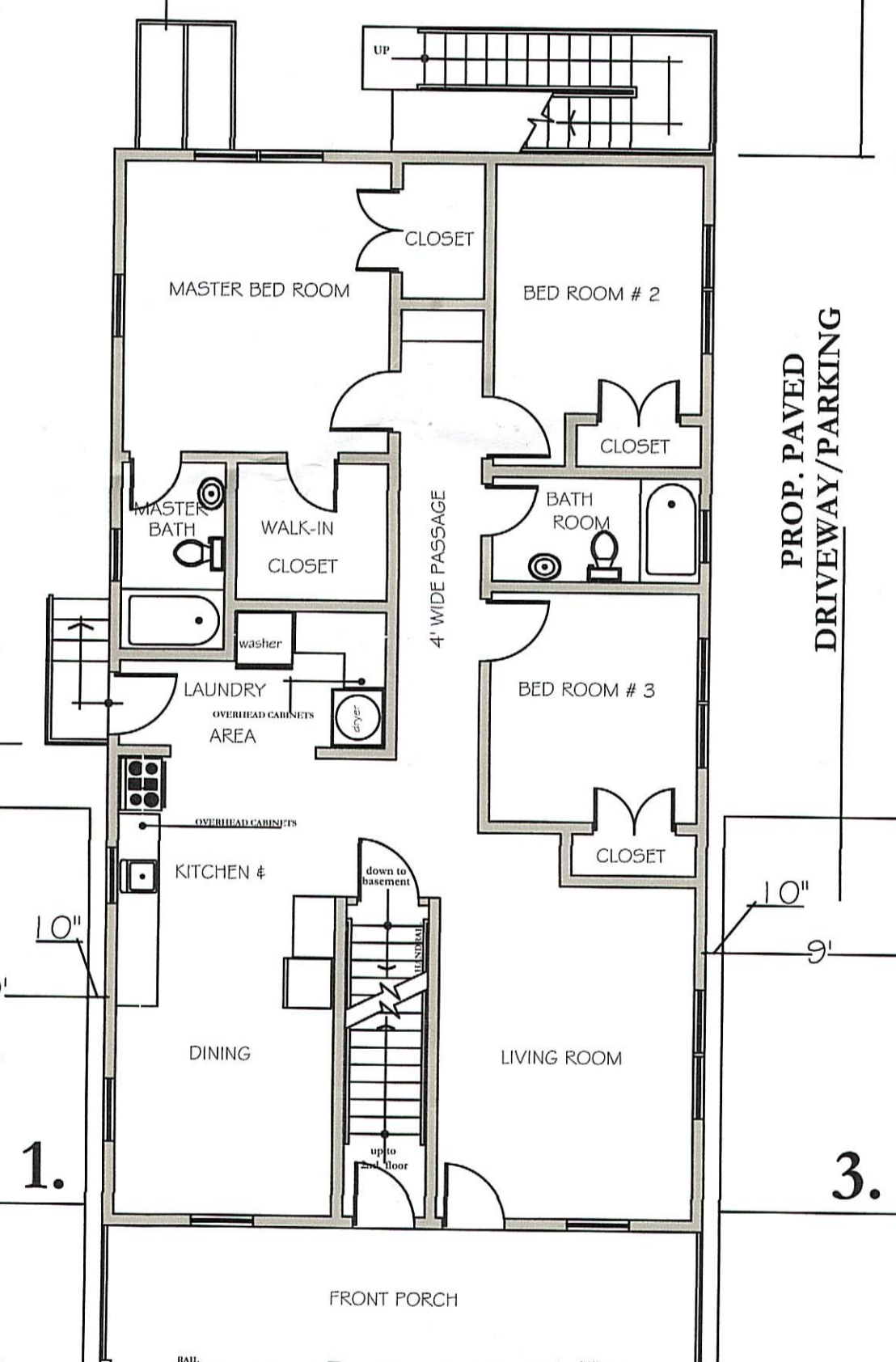
ADJOINING PROPERTY
349 HARRAL AVENUE
(2 FAMILY RESIDENCE)
R-C ZONE

LOT 134.80' LINE

LOT 134.55' LINE

PROP. PAVED
DRIVEWAY/PARKING

PROP. PAVED
DRIVEWAY/PARKING



EX. CONC. CURB

PROP. CONC.
DRIVEWAY APRON

LOT 49.01' LINE

EX. CONC. SIDEWALK

PROP. CONC.
DRIVEWAY APRON

PEQUONNOCK STREET

HARRAL AVENUE

JAMES STREET

SITE PLAN SCALE 1" = 20'

R-C ZONE DEVELOPMENT STANDARDS

STANDARDS	REQUIRED	EXISTING	PROPOSED
LOT			
lot area, minimum	9,000 s.f.	6,707.49 s.f.	6,707.49 s.f. *
Frontage, minimum	60 ft.	49.01ft	49.01ft *
Depth, minimum	n.a.		n.a.
Lot area per dwelling unit, min.	2,700sf		3,353.74 sf
PRINCIPAL BLD'G SETBACK			
Front lot line, min. from	15 ft. or Prevailing		15'-0"
Side lot line, min. from	10 ft. (1) (28.5'X0.4) 11'-4"		10'-1" *
One Side	Note 1 11'-4"		10'-0" *
Both sides shall add up to	Note 1 (11'-4" X2) 22'-8"		20'-1" *
Rear lot line Maximum	Lesser of 20% of lot depth or 50ft(27.9')		60'-10"
ACCESSORY STRUCTURE SETBACK			
Setback Minimums			
From lot line	3 ft.		N/A
Side Lot Line	3 ft.		N/A
Rear Lot Line	Note 2(50')		N/A
Floor Area Maximum	Note 4		N/A
COVERAGE			
Building Coverage, Max.	60%		25.86%
Site Coverage, Max.	70%		39.90%
LANDSCAPED AREA			
Minimum	30.00%		74.14%
HEIGHT			
Principal building Maximum	4 Stories or 45'		2 Stories / 28'-6"
Accessory Structure			
Flat or Rounded Roof	12ft		n/a
To Ridge	15ft		n/a
Off Street Parking Requirement	1.5 spaces/RU (3 spaces required)		4 spaces

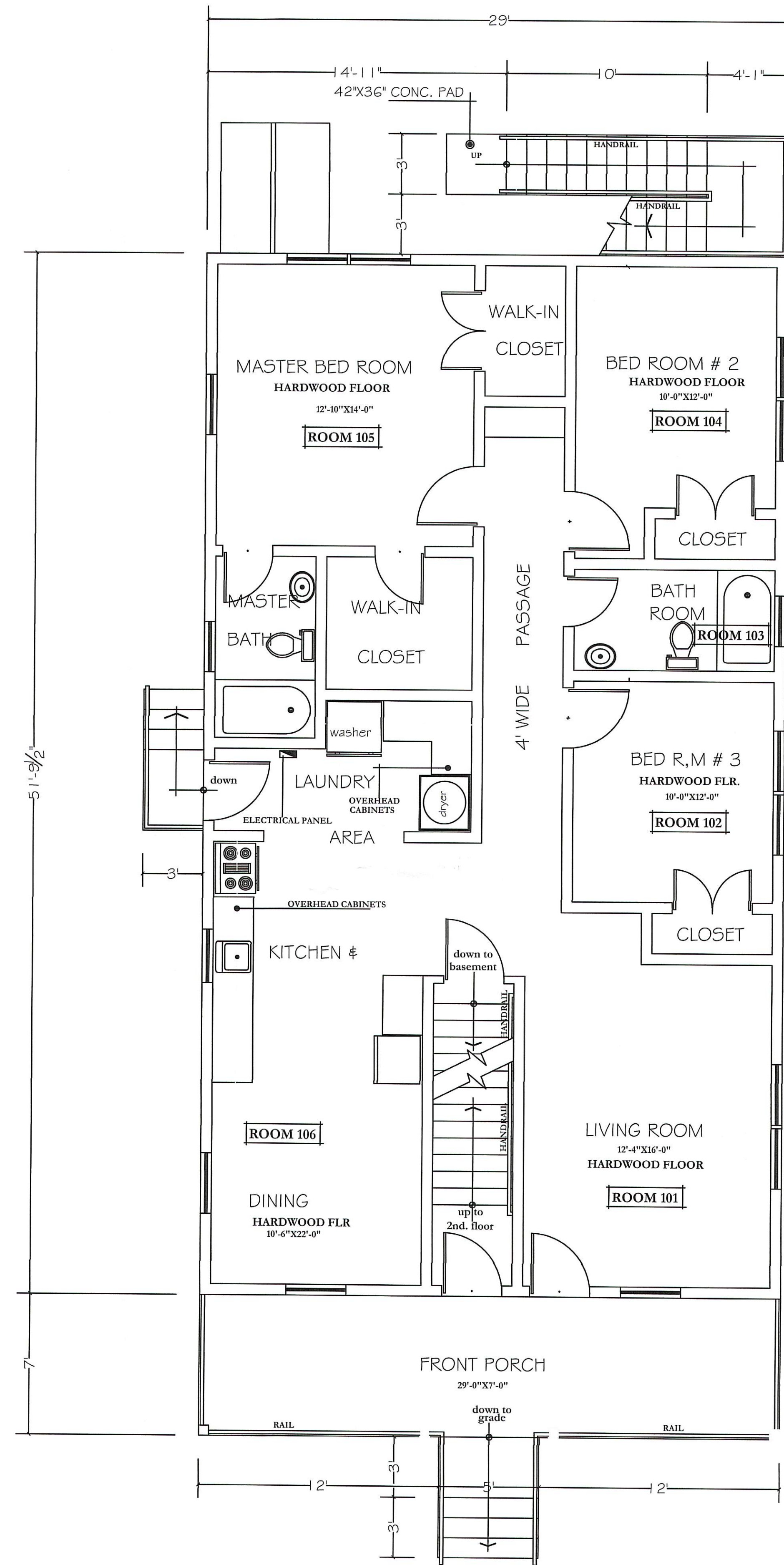
Special Note :

* DENOTES VARIANCE REQUIRED

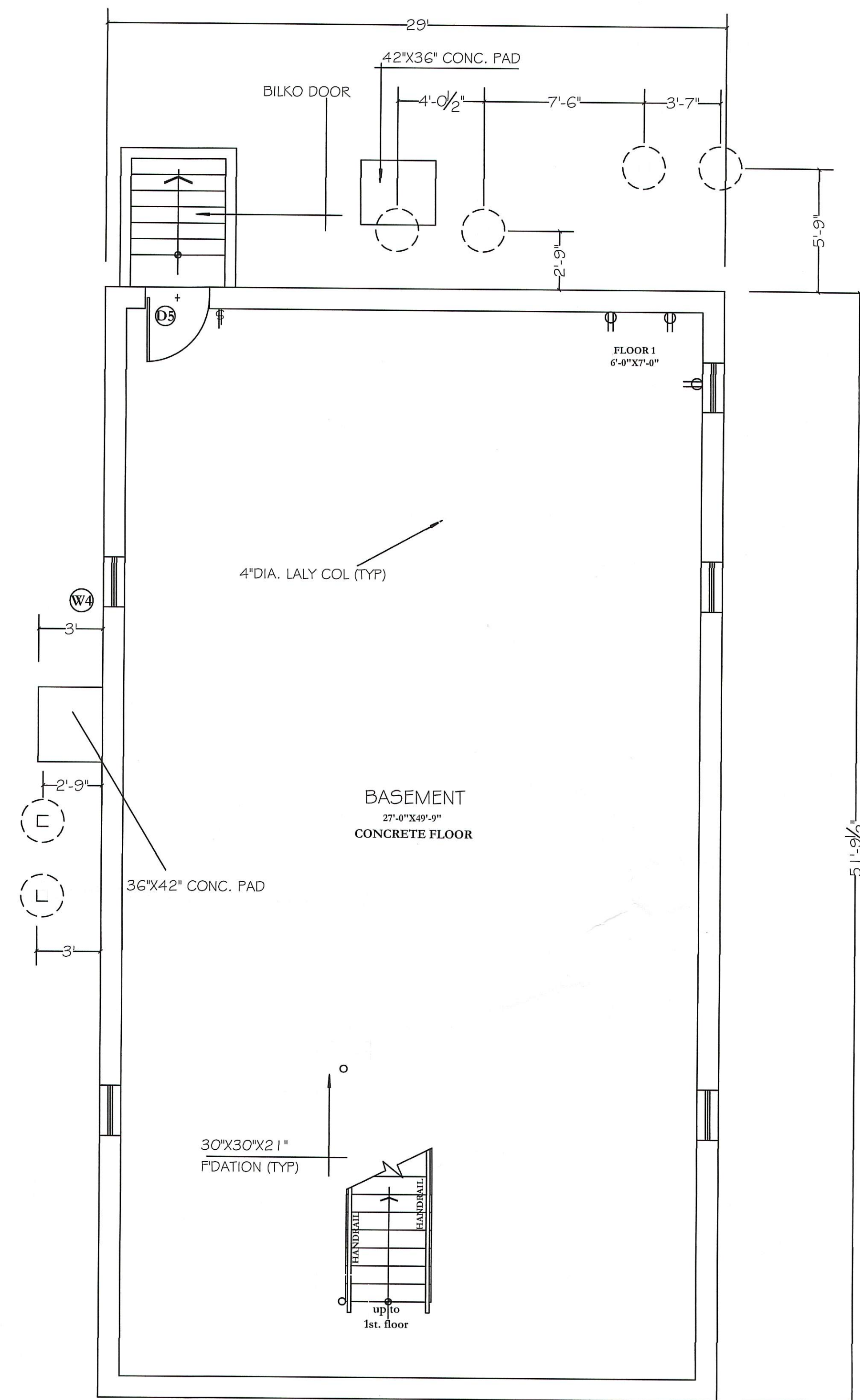
Note 1

Side setback shall be either ten(10)ft min. or forty (40) percent of building height, whichever is greater.

ZBA
10-12-21



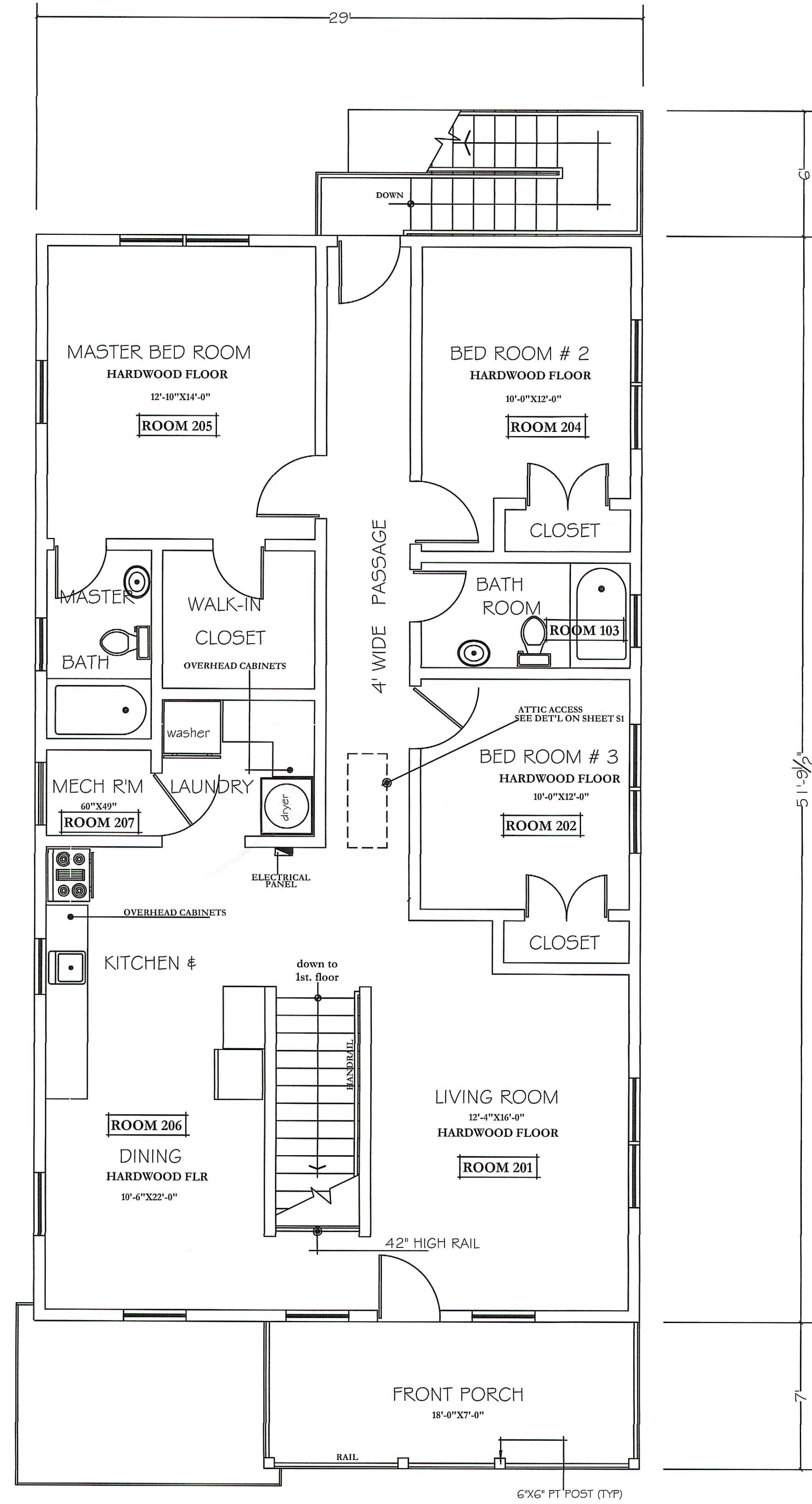
FIRST FLOOR PLAN
SCALE 3/16"=1'-0"



BASEMENT FLOOR PLAN
SHOWING ELECTRICAL
SCALE 3/16"=1'-0"



SHEET A1.0
REV. NOTES
DATE: 12/31/20
DRAWN BY: WIMACK
APPROVED BY: ANN M. BROWN P.E. 9 LAUREL LANE SHERMAN CT (PH) 203-770-7870
APPLICATION TO CONSTRUCT TO 2 FAMILY RESIDENCE AT 339 HARRAL AVENUE, BRIDGEPORT MBLU 35/1037115
PRO TECH HOMES LLC 640 SHELTON ROAD TRUMBULL CT Ph. (954) 471-8059



SECOND FLOOR PLAN

SCALE 3/16"=1'-0"

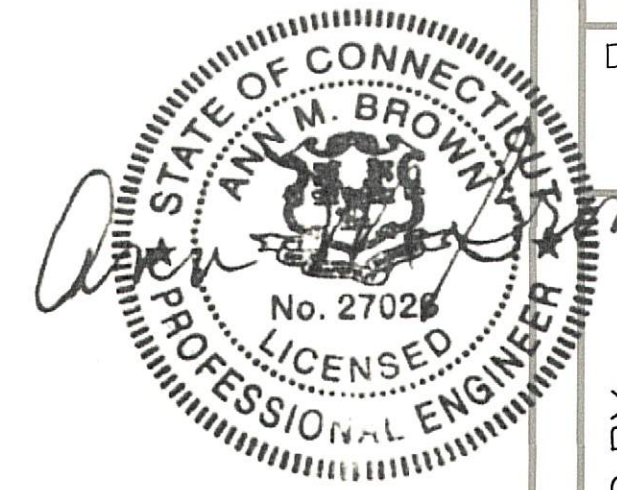
SHEET

A2.0

REV. NOTES

DATE:
12/31/20

DRAWN BY:
WIMACK

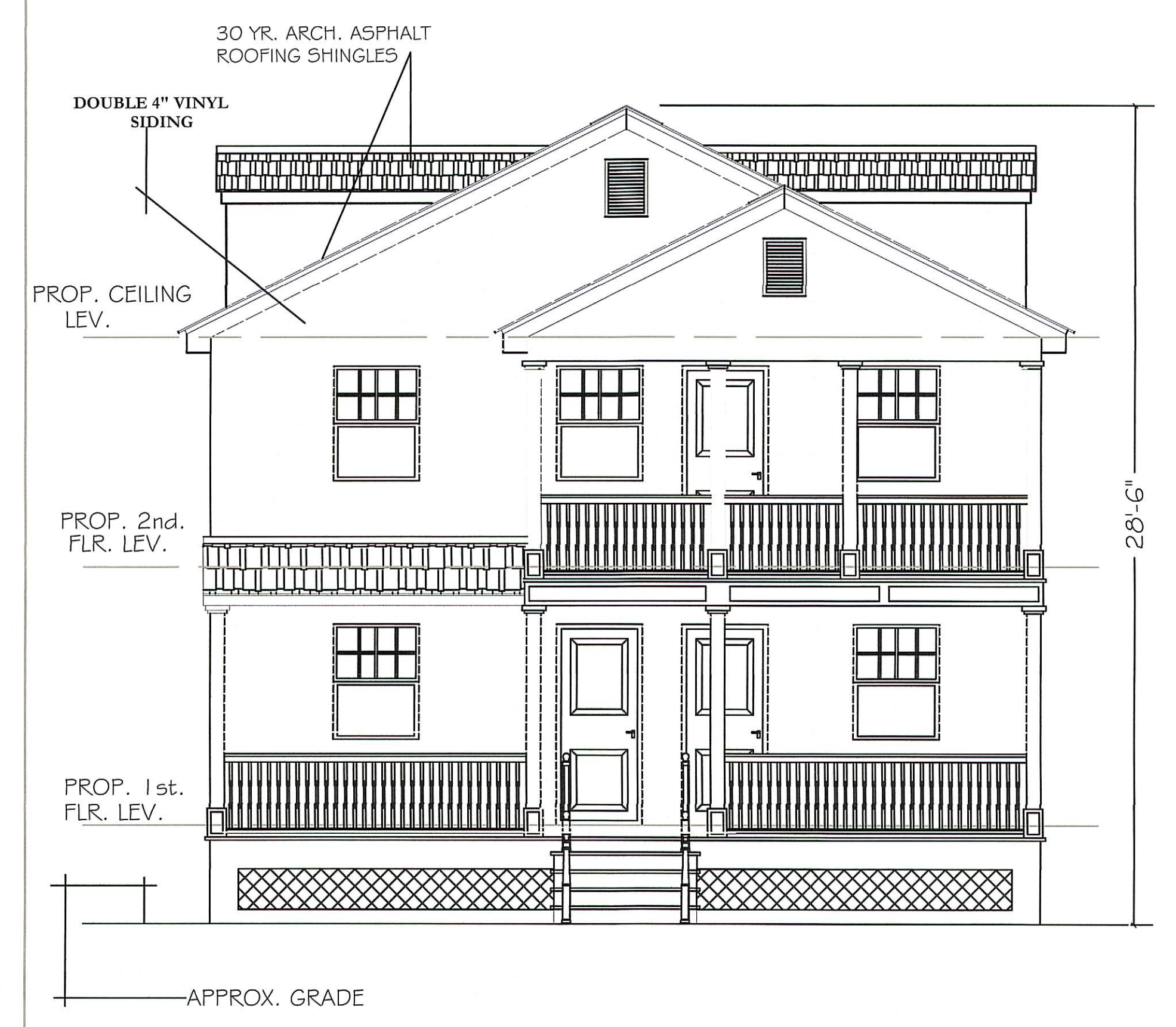


APPROVED BY:
ANN M. BROWN P.E.
9 LAUREL LAINE
SHERMAN CT
(PH) 203-770-7870

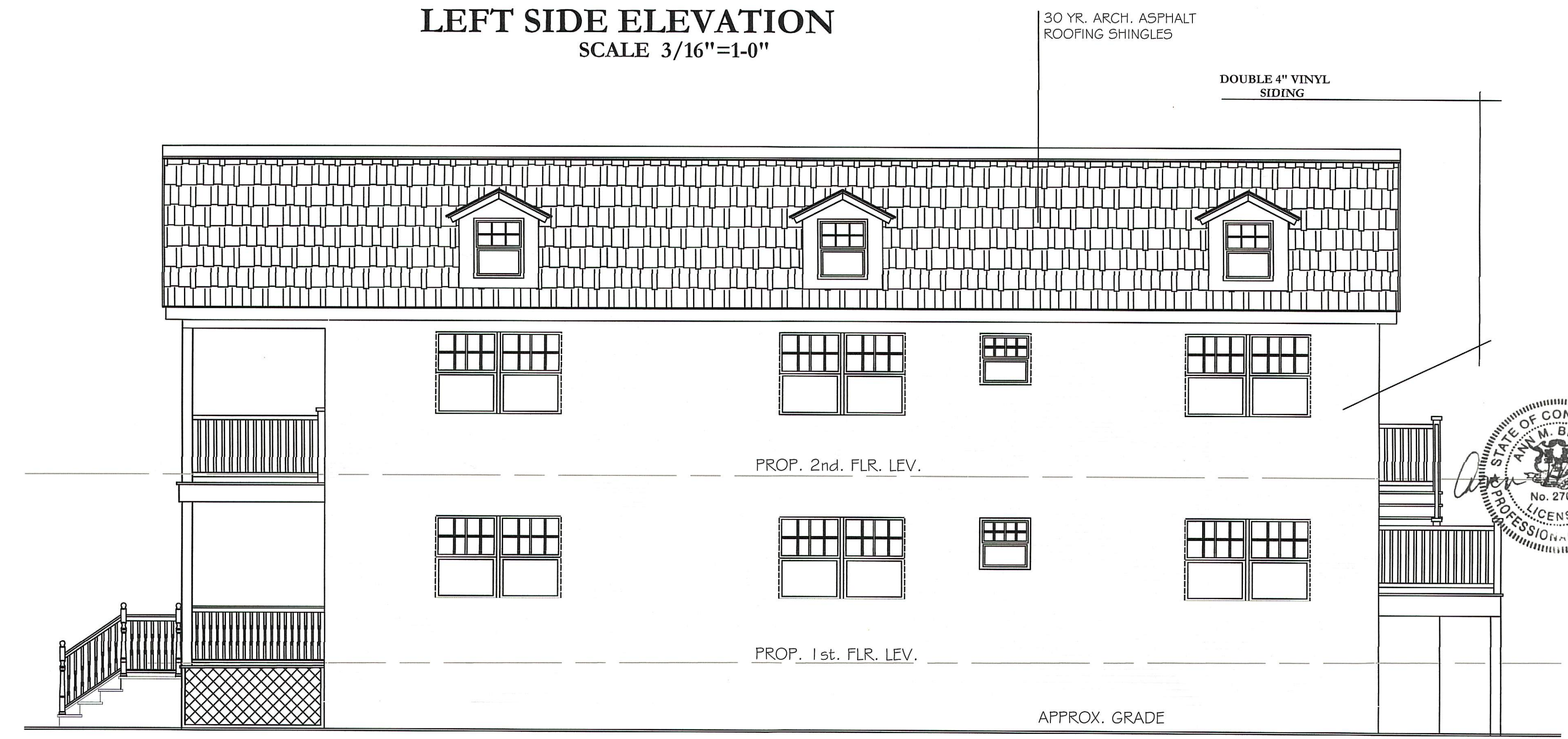
APPLICATION TO CONSTRUCT
TO 2 FAMILY RESIDENCE AT 339
HARRAL AVENUE, BRIDGEFORD
MBLU 35/1037/15

PRO TECH HOMES LLC
640 SHELTON ROAD
TRUMBULL CT
Ph. (954) 471-8059

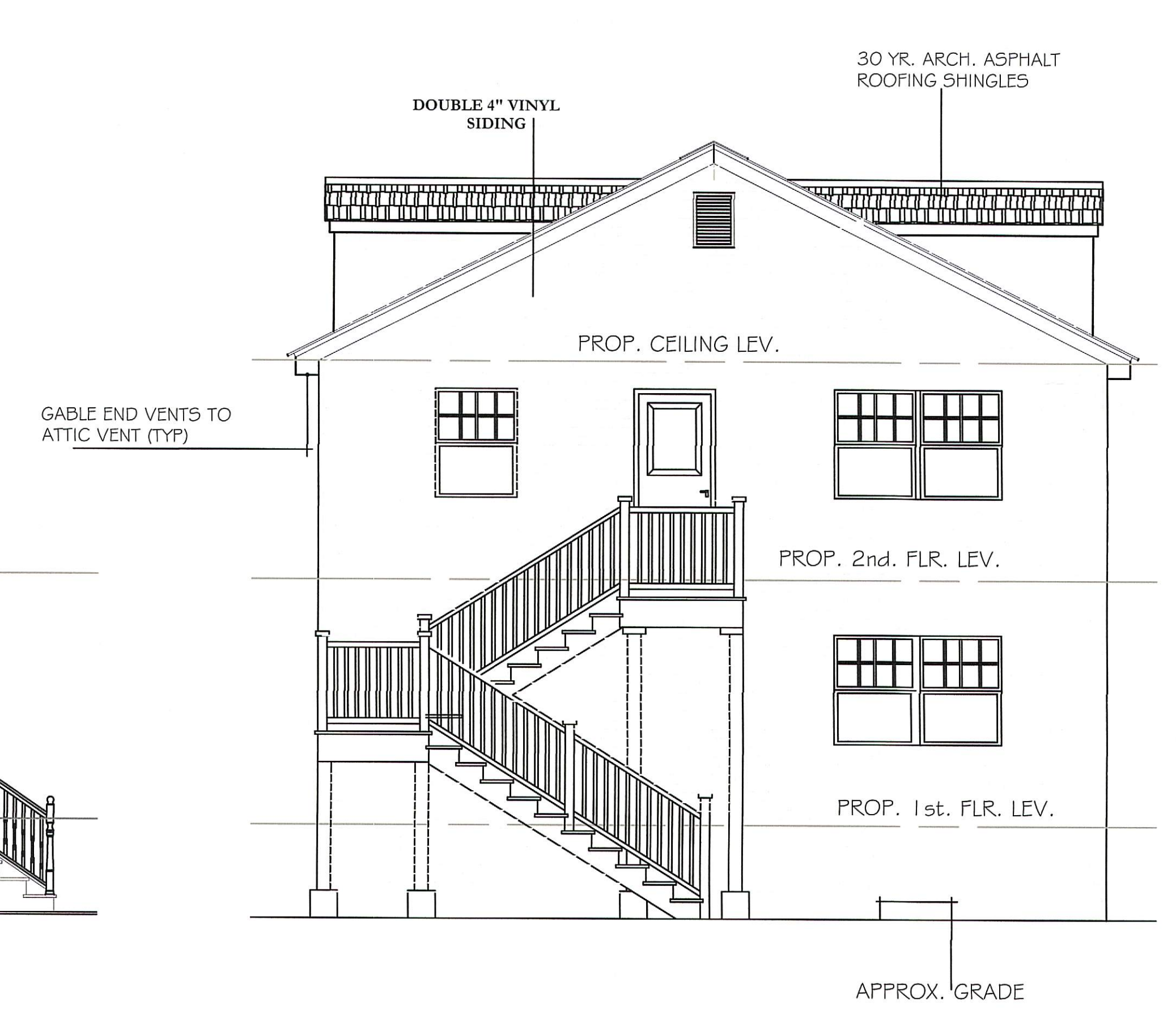
FRONT ELEVATION
SCALE 3/16"=1-0"



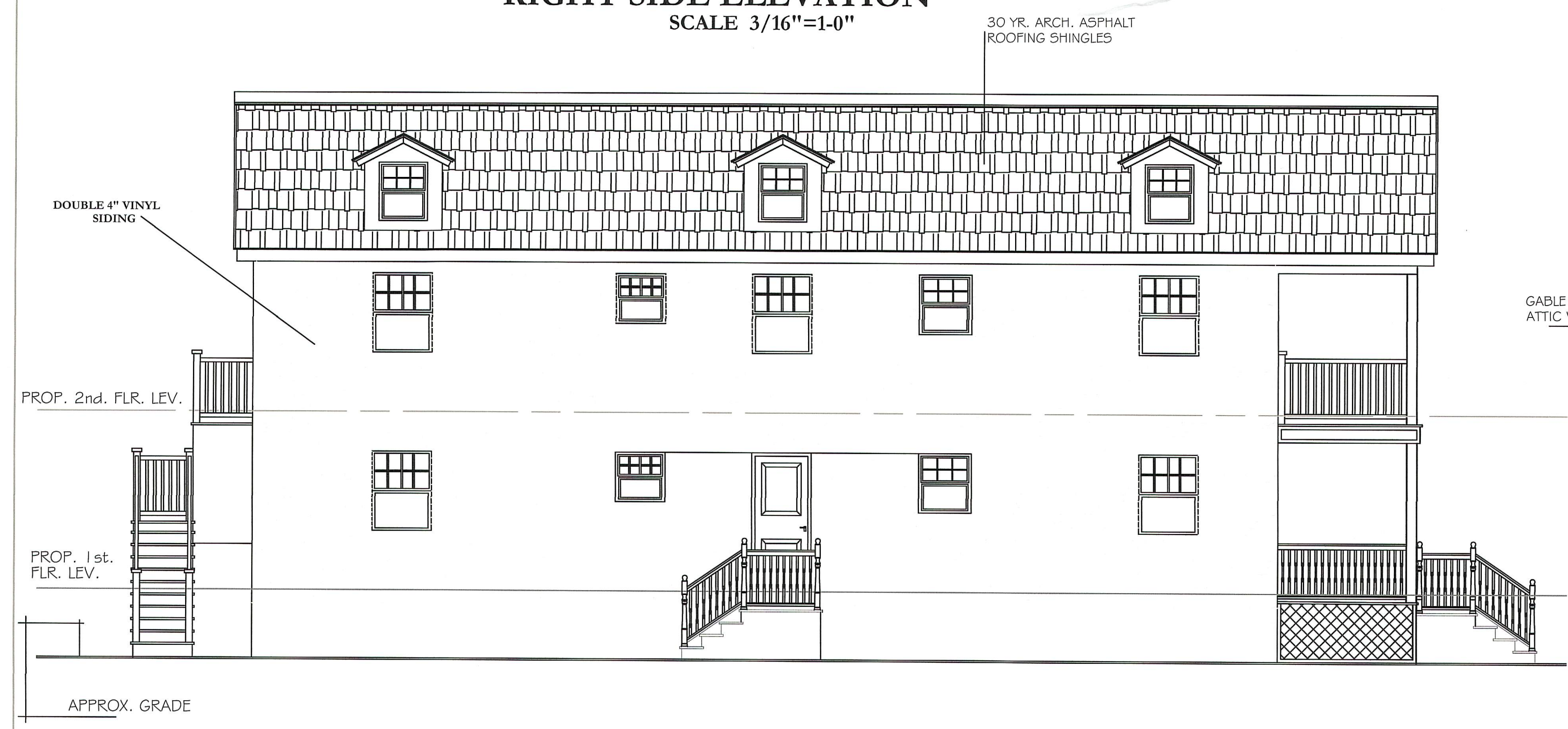
LEFT SIDE ELEVATION
SCALE 3/16"=1-0"



RIGHT ELEVATION
SCALE 3/16"=1-0"



RIGHT SIDE ELEVATION
SCALE 3/16"=1-0"





April 15, 2021

Mr. Edward J. McLaine, Chairman
ZONING BOARD of APPEALS
City of Bridgeport
City Hall
45 Lyon Terrace, Room 210
Bridgeport, Connecticut 06604

Re: Application for Special Permit & Site Plan Approval
850 Madison Avenue, Bridgeport
(Block: 1 4 0 6, Lot: 07A, Zone: O R G)

Dear Chairman McLaine & Honorable Members of the Zoning Board of Appeals,

As it relates to the aforementioned property, we appear before the Zoning Board this evening for the purpose of seeking a Special Permit and Site Plan Approval.

The property, previously used as a full-service Service Station with operational Auto Repair Bays, is currently vacant. Our Client, and new Owner of the property, *Bridgeport Gas Realty, LLC (Mr. Sami Jamal)* is looking to re-open the property and operate it as a Gas Station with Convenience Store.

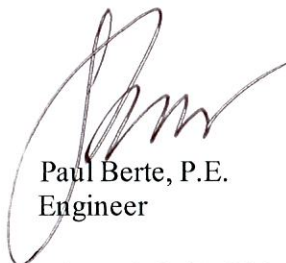
While no expansion of the existing structure is planned or intended, the Building will receive a complete interior renovation to include the addition of the aforementioned convenience area, complete with a functional Deli area with refrigeration and cooking equipment (i.e., Flat-top Grill, Deep Fryer, etc.), with allowance for possible use by an outside third-party service (i.e. Dunkin Donuts or similar).

Exterior renovations will include a new Building Façade and renovation/refurbishment to one(1) of the Two(2) existing Gas Pumps. The 2nd Pump station currently situated along Charles Street is to be removed allowing for additional parking and delivery of supplies at the rear of the Building via a proposed new Side Entrance from Charles Street. The remaining Pump Area will receive new Pumps and a new Canopy. NO expansion of the existing Building is planned


Opposed to the previous facility, the proposed renovated facility requires a modified property layout, will now only offer fueling services and introduce the convenience/Deli area for Customers. As such, a Special Permit and Site Plan Approval by your Board is required.

In consideration thereof, please accept our thanks and appreciation in advance for your consideration, and anticipated approval of this application. Should you have any questions, please contact this office at your earliest convenience.

Sincerely,



Paul Berte, P.E.
Engineer



Jorge B. Hernandez, R.A., A.I.A.
President



NO. _____

ZONING COMPLIANCE APPLICATION
ZONING DEPARTMENT
City of Bridgeport, CT

Applicant: Bridgeport Gas Realty, L.L.C. (Owner) Date: March 10, 2021
Owner or Tenant Only

Address of Work: 850 Madison Avenue, Bridgeport, CT. Zone: ORG

On the East side of the street about 50 feet North
North, South, East, West
from Charles Street Block No. 1406 Lot No. 07A
Street

CAM Area: Yes / No Wetlands: Yes / No Historical: Yes / No

Dimensions of Lot: 57.0' (Front) x 114.46' (Side) x 110.0' (Rear) x 124.0' (Side) (Nearest Intersections Madison Av/Charles St/Jackson Av.)

Size of Proposed Addition or Building: N/A - Renovation to Existing Structure No. of Stories: One (1)

Other Work: Work to encompass complete interior & exterior renovation and to be maintained as a Gas Station. Interior work to include a convenience store area, functional Deli area with refrigeration, Flat Top Grill, Deep Fryer, etc., w/allowance for possible use by outside 3rd Party Service (i.e. Dunkin Donuts). Exterior work to include the installation of a new Gas Pump area with Canopy, renovation to existing pump area, and new facade to existing structure..

Proposed Use: Proposed continued use as a Gas Station with Convenience Store area.

Existing Use: Vacant Gas Station

Previous Use and Date Discontinued: Gas Station - 2018 (Approx.) Is Pre-Existing Right Claimed: Yes
Yes-No

Signature: [Signature] Print Name: Paul Berte, PE.

If signed by agent, state title (attorney, builder, etc..) Engineer

Mailing Address: 100 Executive Boulevard, Ste. 204, Ossining, N.Y. 10562 Phone No.: (914) 944-3377

INSTRUCTIONS

Fill Out This Application In Ink or Type

A detailed plot plan must be submitted with this application showing the proposed or existing lot and building dimensions and the location of all buildings in relation to the street line, side lot lines and rear lot line. NOTE: The occupancy and use of land, buildings and structures prior to the issuance of a Zoning Compliance Certificate is prohibited. This is not the said certificate. Fees, payable at the time of making application, are not refundable and are in an amount established by the City Council.

**As of January 1, 2010 Per Section 14-1-10 of the City's Zoning Regulations, an "As-Built Survey" is required for new building construction or with changes to an existing footprint in order to receive a Certificate of Zoning Compliance.*

EXPIRATION: *The Zoning Compliance Certificate approval shall expire 12 months from the date of approval unless a building permit has been issued and construction has commenced and is being diligently pursued.*

Fee Received: _____ Date: _____ 20 _____ By: _____

Plan and Application	C.A.M Approval	Final Inspection

Pursuant to CGS-8-3f, the applicant may provide notice of this "Zoning Compliance Application" in the newspaper having substantial circulation serving the municipality of Bridgeport.
Rev. 6/11/13



ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

- Variance
- Appeal from Zoning Officer
- Extension of Time Permit / Modification of Plan of Development
- Request for Re-hearing
- Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

850 Madison Avenue, Bridgeport, CT Zone OR G
(Number) (Street) (Zone Classification)

On the East side of the street about 50 feet North from
(North, South, East, West) (North, South, East, West)

Charles Street Block : 1406 Lot: 07A
(Street)

Dimension of Lot in Question 57.0' (Front) x 114.46" (Side) x 110.0'(Rear) x 124.0'(side)
(Specify)

1. NAME OF APPLICANT / BUSINESS Bridgeport Gas Realty, L.L.C.
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING _____
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT _____
PLEASE SEE ATTACHED SHEET FOR FULL DESCRIPTION

5. THIS APPLICATION RELATES TO: Check all that Apply
- Setback
 - Coverage
 - Landscaping
 - Lot Area and Width
 - Floor Area
 - Height
 - Parking
 - Extension or Enlargement of Non-Conforming Use and/or Building
 - Coastal Area Management Approval
 - Liquor
 - Use
 - Other: Special Permit & Site Plan Approval.

6. USE TO BE MADE OF PROPERTY Gas Station w/Convenience Store (NO Auto Service)
7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? Not Applicable

APPLICANT _____ / _____ DATE March 30, 2021
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____ / _____
(Email)

Mailing Address ARQ Architecture, P.C., 100 Executive Blvd., Ste. 204, Ossining, New York 10562 (914) 944-3377
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT [Signature] Print Sami Jamal
(If other than owner) (Signature)

Subscribe & Sworn to before me this 17th day of April 2021
[Signature] Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION
 All questions must be answered in detail (use separate sheet if necessary).
 The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for **The Zoning Board of Appeals** to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

Barry S. Kaiser
 Notary Public, State of New York
 No: 02KA4654130
 Qualified in Nassau County
 Commission Expires: Jan 31, 2022

Project Location: 850 Madison Avenue, Bridgeport, CT.

Describe Proposed Development:

Work to encompass complete interior & exterior renovation and to be maintained as a Gas Station. Interior work to include a convenience store area, functional Deli area with refrigeration, Flat-top Grill, Deep Fryer, etc., with allowance for possible use by outside 3rd-party service (i.e., Dunkin Donuts). Exterior work to include the installation of a new Gas Pump Area w/canopy, renovation to existing pump area, and new façade to existing structure.



850 MADISON AVENUE, BRIDGEPORT, CT.

ADJOINING/BUFFER PROPERTY LISTING (WITHIN 100 Ft. AS REQUIRED)

Adjoining Property:

Property Owner(s):

➤ 850 Madison Ave.

Bridgeport Gas Realty, L.L.C. **(Current)**
C/O Royal Vision Management
455 Central Avenue, Suite ~~311~~ 202
Scarsdale, New York 10583

**(*)Note: Transfer of Ownership not yet recorded
with Bridgeport Tax Assessor Office**

Moulton, Doreen Et Al **(Previous)**
221 Ranch Drive
Bridgeport, Connecticut 06606

➤ 476 Charles Street

Villada, John J.
Sanchez, Sandra P.
476 Charles Street
Bridgeport, Connecticut 06606

➤ 493 Charles Street

Bracaglia, Paolo
495 Charles Street
Bridgeport, Connecticut 06606

➤ 484 Charles Street

Shiloh Apostolic Church of Jesus Christ, Inc.
475 Charles Street
Bridgeport, Connecticut 06604



PAGE 2

- 291 Federal Street
U S H C P Bridgeport, L.L.C.
60 Browns Race, Suite 200
Rochester, New York 14614

- 861 Madison Ave.
Coelho, Manual & Maria
861 Madison Avenue
Bridgeport, Connecticut 06606

- 20 Mckinley Ave./823 Madison Ave.
Madison Bridgeport, L.L.C.
36 Orchard Street
Cos Cob, Connecticut 06807

- 295 Federal Street #297
U S H C P Bridgeport, L.L.C.
60 Browns Race, Suite 200
Rochester, New York 14614

- 303 Federal Street
U S H C P Bridgeport, L.L.C.
60 Browns Race, Suite 200
Rochester, New York 14614

- 864 Madison Ave. #902
U S H C P Bridgeport, L.L.C.
60 Browns Race, Suite 200
Rochester, New York 14614

- 849 Madison Ave.
Assembly of God
World Vision Ministries, Inc.
855 Madison Avenue
Bridgeport, Connecticut 06606



PAGE 3

➤ 474 Charles Street

Morales, Carlos A.
474 Charles Street
Bridgeport, Connecticut 06606

➤ 818 Madison Ave. #824

Santageli, Pietrina & Caterina Trustees
Pasaquale Santangeli Rev Trust
60 Banks Road
Easton, Connecticut 06612

850 MADISON AV

Location 850 MADISON AV

Mblu 46/ 1406/ 7/A /

Acct# RF-0115510

Owner MOULTON DOREEN ET AL

Assessment \$225,630

Appraisal \$322,320

PID 12424

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$109,060	\$213,260	\$322,320

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$76,350	\$149,280	\$225,630

Owner of Record

Owner MOULTON DOREEN ET AL
Co-Owner
Address 221 RANCH DRIVE
BRIDGEPORT, CT 06606

Sale Price \$0
Certificate
Book & Page 9872/0213
Sale Date 08/20/2018
Instrument 11

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
MOULTON DOREEN ET AL	\$0		9872/0213	11	08/20/2018
FUSCO VITO J	\$0		9775/0158	29	02/15/2018
FUSCO VITO J & CONCETTA C	\$0		6178/0210		12/28/2004

Building Information

Building 1 : Section 1

Year Built: 1950
Living Area: 3,509
Replacement Cost: \$195,298
Building Percent Good: 50

476 CHARLES ST

Location 476 CHARLES ST

Mblu 46/ 1406/ 10/ /

Acct# RB-0044500

Owner VILLADA JOHN J

Assessment \$163,870

Appraisal \$234,100

PID 12427

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$133,540	\$100,560	\$234,100

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$93,480	\$70,390	\$163,870

Owner of Record

Owner VILLADA JOHN J
Co-Owner SANCHEZ SANDRA P
Address 476 CHARLES ST
BRIDGEPORT, CT 06606

Sale Price \$190,000
Certificate
Book & Page 10235/327
Sale Date 06/19/2020
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
VILLADA JOHN J	\$190,000		10235/327	00	06/19/2020
STENDBERGH GUNTHER	\$225,000		7026/0131	UNKQ	06/20/2006
INGRAM ROSAIDA	\$0		7026/0129		06/20/2006
INGRAM ROSAIDA	\$195,000		5783/0283	UNKQ	04/20/2004
BAUCO FRANK MARIA & PHILIP	\$0		2657/0244		05/08/1989

Building Information

Building 1 : Section 1

Year Built: 1932

Building Photo

493 CHARLES ST

Location 493 CHARLES ST

Mblu 46/ 1407/ 28/ 1

Acct# RS-0059220

Owner BRACAGLIA PAOLO

Assessment \$107,420

Appraisal \$153,450

PID 12530

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$3,680	\$149,770	\$153,450

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$2,580	\$104,840	\$107,420

Owner of Record

Owner BRACAGLIA PAOLO
 Co-Owner
 Address 495 CHARLES ST
 BRIDGEPORT, CT 06606

Sale Price \$54,000
 Certificate
 Book & Page 4111/0104
 Sale Date 04/20/1999
 Instrument UNKQ

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
BRACAGLIA PAOLO	\$54,000		4111/0104	UNKQ	04/20/1999
	\$0		1400/0744		06/10/1969

Building Information

Building 1 : Section 1

Year Built:
 Living Area: 0
 Replacement Cost: \$0
 Building Percent Good:

484 CHARLES ST

Location 484 CHARLES ST

Mblu 46/ 1406/ 9/ /

Acct# RF-0115520

Owner SHILOH APOSTOLIC CH OF
JESUS CHRIST INC

Assessment \$94,400

Appraisal \$134,850

PID 12426

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$11,110	\$123,740	\$134,850

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$7,780	\$86,620	\$94,400

Owner of Record

Owner SHILOH APOSTOLIC CH OF JESUS CHRIST INC
Co-Owner
Address 475 CHARLES STREET
BRIDGEPORT, CT 06604

Sale Price \$21,000
Certificate
Book & Page 8646/0035
Sale Date 07/24/2012
Instrument 16

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
SHILOH APOSTOLIC CH OF JESUS CHRIST INC	\$21,000		8646/0035	16	07/24/2012
SHILOH APOSTOLIC CH OF JESUS CHRIST INC	\$21,000		8646/0033	16	07/24/2012
FUSCO VITO J & CONCETTA C	\$0		0000/0000		

Building Information

Building 1 : Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0

291 FEDERAL ST

Location 291 FEDERAL ST

Mblu 46/ 1406/ 28/ 1

Acct# R--0110950

Owner USHCP BRIDGEPORT LLC

Assessment \$70,250

Appraisal \$100,370

PID 12500

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$17,950	\$82,420	\$100,370

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$12,560	\$57,690	\$70,250

Owner of Record

Owner USHCP BRIDGEPORT LLC

Sale Price \$0

Co-Owner

Certificate

Address 60 BROWNS RACE SUITE 200
ROCHESTER, NY 14614

Book & Page 4242/0093

Sale Date 11/19/1999

Instrument

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
USHCP BRIDGEPORT LLC	\$0		4242/0093		11/19/1999

Building Information

Building 1 : Section 1

Year Built:

Living Area: 0

Replacement Cost: \$0

Building Percent Good:

Replacement Cost

Less Depreciation: \$0

Building Attributes

861 MADISON AV

Location 861 MADISON AV

Mblu 46/ 1434/ 24/A /

Acct# RC-0099006

Owner COELHO MANUEL & MARIA

Assessment \$635,120

Appraisal \$907,310

PID 13209

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$725,150	\$182,160	\$907,310

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$507,610	\$127,510	\$635,120

Owner of Record

Owner COELHO MANUEL & MARIA

Sale Price \$690,000

Co-Owner

Certificate

Address 861 MADISON AVE

Book & Page 4983/0084

BRIDGEPORT, CT 06606

Sale Date 07/29/2002

Instrument

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
COELHO MANUEL & MARIA	\$690,000		4983/0084		07/29/2002

Building Information

Building 1 : Section 1

Year Built: 1993
Living Area: 9,744
Replacement Cost: \$898,821
Building Percent Good: 78
**Replacement Cost
Less Depreciation:** \$701,080

Building Attributes

20 MCKINLEY AV

Location 20 MCKINLEY AV

Mblu 46/ 1430/ 28/ 1

Acct# R--0019650

Owner MADISON BRIDGEPORT LLC

Assessment \$392,970

Appraisal \$561,390

PID 13028

Building Count 2

823 Madison Av.

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$370,990	\$190,400	\$561,390
Assessment			
Valuation Year	Improvements	Land	Total
2020	\$259,690	\$133,280	\$392,970

Owner of Record

Owner MADISON BRIDGEPORT LLC
Co-Owner
Address 36 ORCHARD STREET
 COS COB, CT 06807

Sale Price \$0
Certificate
Book & Page 6590/0004
Sale Date 09/13/2005
Instrument

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
MADISON BRIDGEPORT LLC	\$0		6590/0004		09/13/2005
REAL ESTATE INVESTMENT LLC	\$100		4045/0305		12/23/1998
THE NSS REALTY CORPORATION	\$0		3670/0324		02/07/1997
SANDALIDIS HARRY & NICK	\$475,000		2375/0319		09/23/1987
WAUPOTITSCH V & K & ETALS	\$0		2375/0318		09/23/1987

Building Information

Building 1 : Section 1

Year Built: 1920

Building Photo

295 FEDERAL ST #297

Location 295 FEDERAL ST #297

Mblu 46/ 1406/ 29/ 1

Acct# R--0110960

Owner USHCP BRIDGEPORT LLC

Assessment \$37,600

Appraisal \$53,710

PID 12501

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$9,240	\$44,470	\$53,710

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$6,470	\$31,130	\$37,600

Owner of Record

Owner USHCP BRIDGEPORT LLC

Sale Price \$0

Co-Owner

Certificate

Address 60 BROWNS RACE SUITE 200

Book & Page 4242/0093

ROCHESTER, NY 14614

Sale Date 11/19/1999

Instrument

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
USHCP BRIDGEPORT LLC	\$0		4242/0093		11/19/1999

Building Information

Building 1 : Section 1

Year Built:

Living Area: 0

Replacement Cost: \$0

Building Percent Good:

Replacement Cost

Less Depreciation: \$0

Building Attributes

303 FEDERAL ST #305

Location 303 FEDERAL ST #305

Mblu 46/ 1406/ 32/ /

Acct# R--0110970

Owner USHCP BRIDGEPORT LLC

Assessment \$56,320

Appraisal \$80,460

PID 12504

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$13,840	\$66,620	\$80,460

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$9,690	\$46,630	\$56,320

Owner of Record

Owner USHCP BRIDGEPORT LLC

Sale Price \$0

Co-Owner

Certificate

Address 60 BROWNS RACE SUITE 200
ROCHESTER, NY 14614

Book & Page 4242/0093

Sale Date 11/19/1999

Instrument

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
USHCP BRIDGEPORT LLC	\$0		4242/0093		11/19/1999

Building Information

Building 1 : Section 1

Year Built:

Living Area: 0

Replacement Cost: \$0

Building Percent Good:

Replacement Cost

Less Depreciation: \$0

Building Attributes

864 MADISON AV #902

Location 864 MADISON AV #902

Mblu 46/ 1406/ 1/A /

Acct# R-0110980

Owner USHCP BRIDGEPORT LLC

Assessment \$1,731,970

Appraisal \$2,474,240

PID 12423

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$2,096,650	\$377,590	\$2,474,240

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$1,467,660	\$264,310	\$1,731,970

Owner of Record

Owner USHCP BRIDGEPORT LLC

Sale Price \$1,159,000

Co-Owner

Certificate

Address 60 BROWNS RACE SUITE 200
ROCHESTER, NY 14614

Book & Page 4242/0093

Sale Date 11/19/1999

Instrument

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
USHCP BRIDGEPORT LLC	\$1,159,000		4242/0093		11/19/1999

Building Information

Building 1 : Section 1

Year Built: 1980
Living Area: 33,938
Replacement Cost: \$3,105,829
Building Percent Good: 63
**Replacement Cost
 Less Depreciation:** \$1,956,670

Building Attributes

849 MADISON AV

Location 849 MADISON AV

Mblu 46/ 1430/ 29/B /

Acct# E--0099010

Owner ASSEMBLY OF GOD WORLD VISION

Assessment \$393,220

Appraisal \$561,740

PID 13029

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$481,140	\$80,600	\$561,740

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$336,800	\$56,420	\$393,220

Owner of Record

Owner ASSEMBLY OF GOD WORLD VISION
Co-Owner MINISTRIES INC
Address 855 MADISON AVE
BRIDGEPORT, CT 06606

Sale Price \$290,000
Certificate
Book & Page 4622/0205
Sale Date 06/19/2001
Instrument

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
ASSEMBLY OF GOD WORLD VISION	\$290,000		4622/0205		06/19/2001
CHAVES JOHN & TERESA CHAVES &	\$0		2907/0110		06/04/1991

Building Information

Building 1 : Section 1

Year Built: 1940
Living Area: 4,004
Replacement Cost: \$1,069,208
Building Percent Good: 45

474 CHARLES ST

Location 474 CHARLES ST

Mblu 46/ 1406/ 8/ /

Acct# RA-0038500

Owner MORALES CARLOS A

Assessment \$179,190

Appraisal \$255,980

PID 12425

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$160,190	\$95,790	\$255,980

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$112,140	\$67,050	\$179,190

Owner of Record

Owner MORALES CARLOS A
Co-Owner
Address 474 CHARLES ST
BRIDGEPORT, CT 06606

Sale Price \$390,000
Certificate
Book & Page 6562/0260
Sale Date 08/29/2005
Instrument UNKQ

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
MORALES CARLOS A	\$390,000		6562/0260	UNKQ	08/29/2005
AMBROSE RAYMOND L & BARBARA	\$0		3593/0165		08/06/1996

Building Information

Building 1 : Section 1

Year Built: 1887
Living Area: 2,922
Replacement Cost: \$238,140
Building Percent Good: 62

818 MADISON AV #824

Location 818 MADISON AV #824

Mblu 46/ 1407/ 30/ /

Acct# RS-0023920

Owner SANTANGELI PIETRINA &
CATERINA TRUSTEES

Assessment \$391,630

Appraisal \$559,470

PID 12532

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$385,710	\$173,760	\$559,470

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$270,000	\$121,630	\$391,630

Owner of Record

Owner SANTANGELI PIETRINA & CATERINA TRUSTEES

Sale Price \$0

Co-Owner PASAQUALE SANTANGELI REV TRUST

Certificate

Address 60 BANKS ROAD
EASTON, CT 06612

Book & Page 9181/0249

Sale Date 02/17/2015

Instrument 29

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
SANTANGELI PIETRINA & CATERINA TRUSTEES	\$0		9181/0249	29	02/17/2015
SANTANGELI PIETRINA & CATERINA	\$0		9042/0346	10	05/08/2014
SANTANGELI PASQUALE	\$0		2428/0246		12/24/1987
CARUSONE FAUSTO TRUSTEE	\$0		2314/0082		06/16/1987

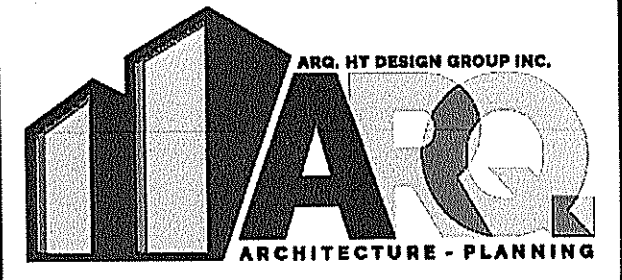
Building Information

Building 1 : Section 1

Year Built: 1930

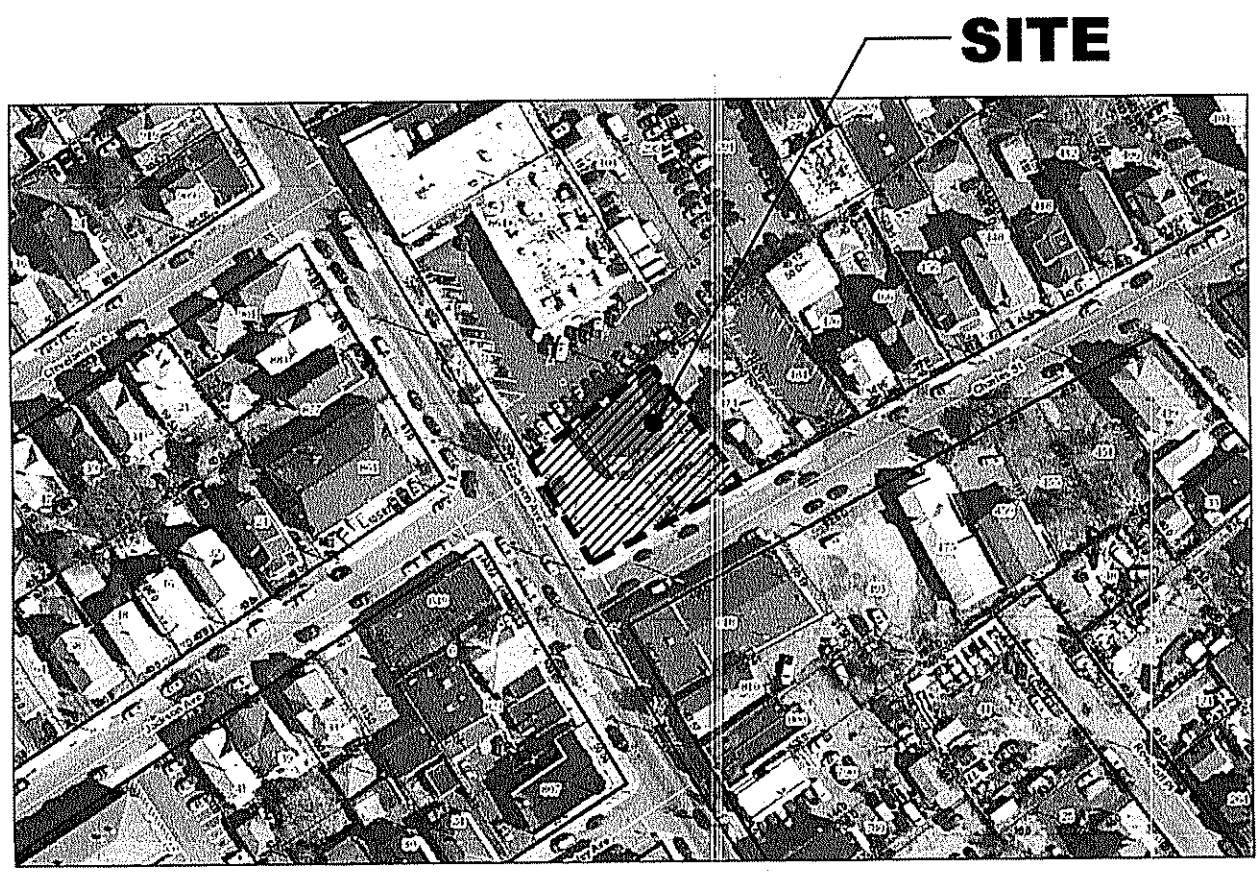
Living Area: 8,700

ALTERATION & NEW Z MART STORE AT: 850 MADISON AVE. BRIDGEPORT, CT 06606



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OSSINING, NY 10562
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FAX: (866) 567-6240

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100 EXECUTIVE BLVD. SUITE 204
OSSINING, NY 10562



SITE

GENERAL NOTES

CODES: ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND CODES OF AGENCIES HAVING JURISDICTION. ABSENT OTHER STANDARDS 2015 BC PORTION OF THE 2018 CT STATE BUILDING CODE, THE 2015 IEBC PORTION OF THE 2018 CT STATE BUILDING CODE, 2015 IPC PORTION OF THE 2018 CT STATE BUILDING CODE, 2015 IMC PORTION OF THE 2018 CT STATE BUILDING CODE, 2015 IECC PORTION OF THE 2018 CT STATE BUILDING CODE, 2018 CT STATE FIRE SAFETY CODE, 2018 CT STATE FIRE PREVENTION CODE, NFPA 70 NATIONAL ELECTRICAL CODE, AND THE 2010 ADA STANDARDS.

VERIFICATION: VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. REPORT DIFFERENCES FROM CONSTRUCTION DOCUMENTS TO OWNER AND ARCHITECT. CLAIMS FOR EXTRA PAYMENTS RESULTING FROM CONTRACTOR'S FAILURE TO DO SO WILL NOT BE APPROVED. ARCHITECT SHALL DECIDE ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS. A PRECONSTRUCTION MEETING SHALL BE SCHEDULED ON THE SITE WITH THE PROJECT MANAGER, OWNER, ARCHITECT, PRIOR TO THE COMMENCEMENT OF WORK.

DRAWINGS: BY SUBMITTING A BID OR STARTING WORK, CONTRACTOR AGREES THAT HE HAS EXAMINED THE DRAWINGS AND SPECIFICATIONS AND FOUND THEM ADEQUATE FOR PROPER COMPLETION OF PROJECT. CLAIMS FOR EXTRA CHARGES BECAUSE OF ALLEGED INADEQUATE DRAWINGS OR SPECIFICATIONS WILL NOT BE ALLOWED UNLESS NOTIFICATION WAS MADE IN WRITING TO ARCHITECT PRIOR TO SUBMISSION OR BEGINNING.

UTILITY STAKEOUT: PRIOR TO DEMOLITION OR EXCAVATION, CONTRACTOR SHALL REQUEST FOR UTILITY STAKE-OUT. CONTRACTOR WILL CONTACT THE UNDERGROUND LINES LOCATION SERVICES (CODE 753) PRIOR TO COMMENCING CONSTRUCTION.

USE OF PREMISES: CONTRACTOR SHALL STORE MATERIALS, DISPOSE OF DEBRIS, COORDINATE AND SCHEDULE ALL WORK IN COOPERATION WITH OWNER FOR MINIMUM DISRUPTION. MAINTAIN SAFE ACCESS TO ALL AREAS AT ALL TIMES.

PERMITS: OWNER SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND CERTIFICATES REQUIRED. ELECTRICAL AND PLUMBING CONTRACTORS SHALL APPLY FOR AND PAY FOR INDIVIDUAL PERMITS, INSPECTIONS AND APPROVALS AS REQUIRED. KEEP APPROVED PERMIT DRAWINGS ON JOB SITE.

CONTRACTOR WILL OBTAIN ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.

LICENSE: CONTRACTOR MUST BE LICENSED BY FAIRFIELD COUNTY AND PROVIDE OWNER AND BUILDING DEPARTMENT A COPY OF CERTIFICATE NUMBER.

INSURANCE: PRIOR TO STARTING WORK, CONTRACTOR SHALL SUPPLY OWNER AND BUILDING DEPARTMENT WITH CERTIFICATES OF WORKMENS COMPENSATION INSURANCE, LIABILITY INSURANCE FOR BODILY INJURY, PROPERTY DAMAGE, AUTOMOTIVE AND OTHER INSURANCES REQUIRED BY LAW OR BY OWNER IN THE AMOUNTS AND TERMS SATISFACTORY TO THE OWNER TO RENDER THE OWNER HARMLESS IN CASE OF ACCIDENT TO PERSONS OR PROPERTY INVOLVED IN THIS PROJECT. MAINTAIN SUCH INSURANCE IN FULL FORCE DURING ENTIRE TIME OF CONSTRUCTION.

LATENT DEFECTS: NO RESPONSIBILITY IS ASSUMED BY ARCHITECT FOR INFORMATION SUPPLIED BY OTHERS AND RELIED UPON BY ARCHITECT TO BE ACCURATE FOR LATENT DEFECTS IN STRUCTURE IMPOSSIBLE TO DETECT WITHOUT SUBSTANTIAL PROBING OR TESTING.

SUPERVISION: ARCHITECT HAS NOT BEEN RETAINED BY THE OWNER TO PROVIDE OBSERVATION AND SUPERVISION OF CONSTRUCTION OPERATIONS AND CERTIFICATION OF PAYMENTS.

DEMOLITION:
PRIOR TO DEMOLITION COORDINATE AND STAKEOUT EXISTING UTILITIES AS REQUIRED. COORDINATE SHUT OFF AND REMOVALS WITH UTILITY COMPANIES AS REQUIRED.
1. CLEAR SITE AS REQUIRED.
2. REMOVE ALL DEBRIS FROM SITE TO A LEGAL DISPOSAL FACILITY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DUMPSTERS AND CARTING FEES.

COOPERATION: CONTRACTORS AND SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH ADJACENT WORK AND COOPERATE WITH OTHER TRADES TO FACILITATE PROGRESS OF WORK. EACH TRADE SHALL AFFORD OTHER TRADES REASONABLE OPPORTUNITY FOR INSTALLATION OF THEIR WORK AND FOR TEMPORARY STORAGE OF THEIR TOOLS AND MATERIALS.

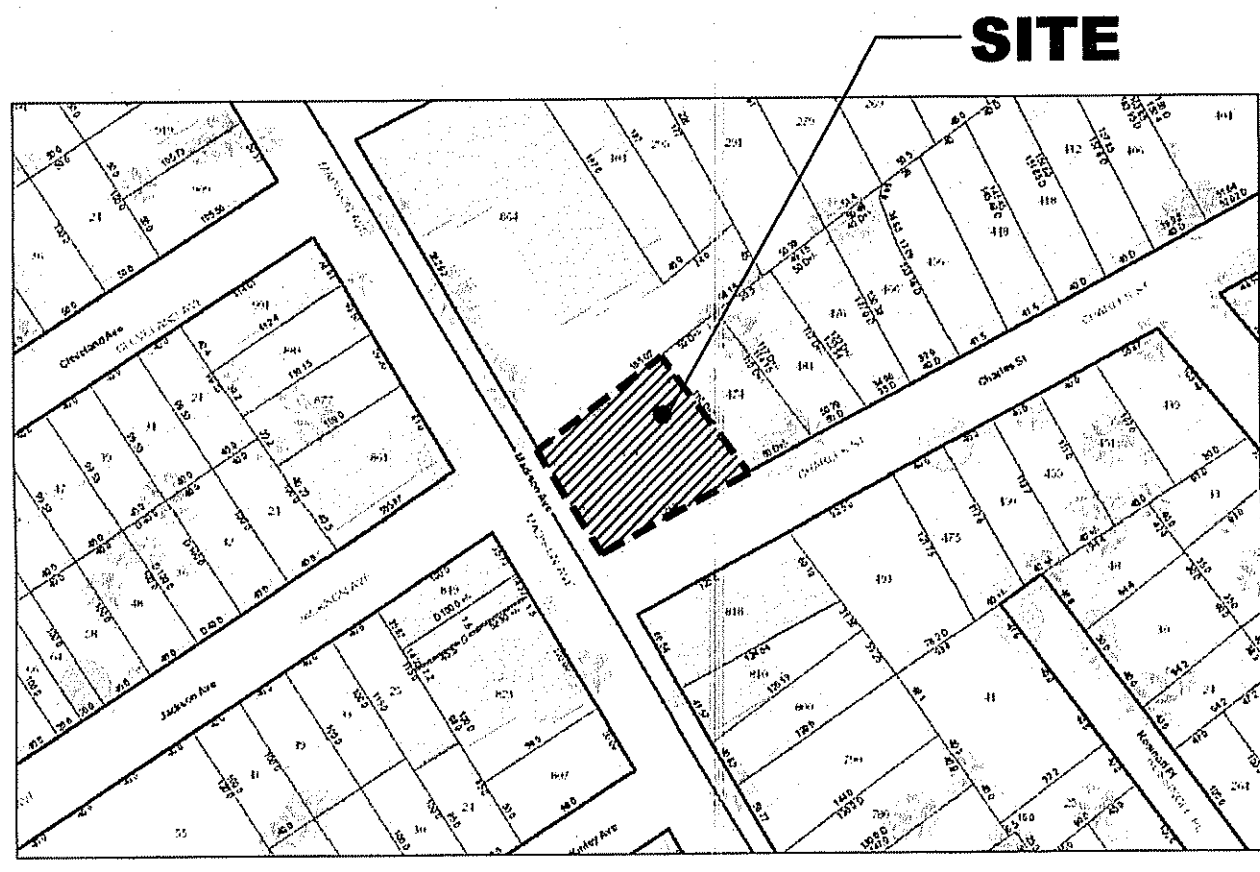
LANDSCAPE: ALL LAWN AREAS DAMAGED BY NEW CONSTRUCTION OR CONSTRUCTION OPERATIONS SHALL BE REPLACED AS ORIGINAL LAWNS MAY BE SODDED OR SEEDED WITH BLUEGRASS AND/OR RYEGRASS TO ESTABLISH 98% OR BETTER COVER. REVIEW TREES AND SHRUB REMOVAL REQUIRED FOR CONSTRUCTION WITH OWNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TYING UP PLANT MATERIAL IN THE WAY OF SITE ACCESS PRIOR TO CONSTRUCTION.

SEDIMENT AND EROSION CONTROL: SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN EACH AREA BEFORE ANY DEMOLITION AND ANY SUBSTANTIAL AMOUNT OF SITE PREPARATION, CLEARING AND GRUBBING, EXCAVATION AND FILLING SHALL BE STARTED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FAIRFIELD COUNTY PUBLICATION BEST MANAGEMENT PRACTICES MANUAL-CONSTRUCTION RELATED ACTIVITIES, LATEST EDITION. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO ENSURE THEIR PROPERLY FUNCTIONING.

EROSION BLANKET SHALL BE 'WIENCO TEX' EROSION CONTROL MATS 6.3MM WT 400P OR EQUAL APPROVED. INSTALL AS PER MANUFACTURER SPECS

LOCATION MAP

NTS



SITE

TAX MAP

NTS

REVISIONS	DATE	BY

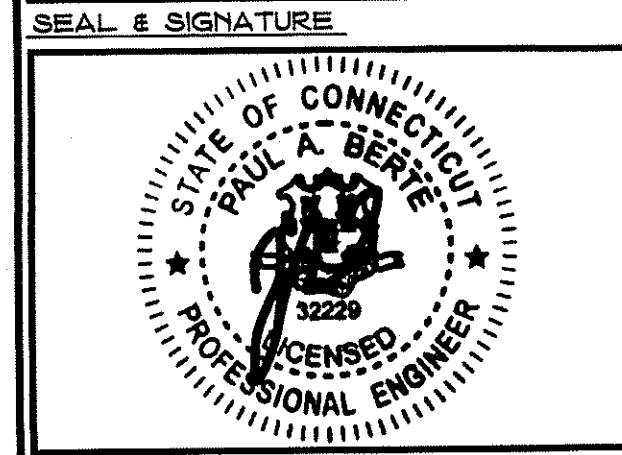
PROJECT:
ALTERATIONS & NEW
Z MART STORE

PROJECT ADDRESS:
850 MADISON AVE
BRIDGEPORT CT
06606

DOB EXAMINER SIGNATURE:

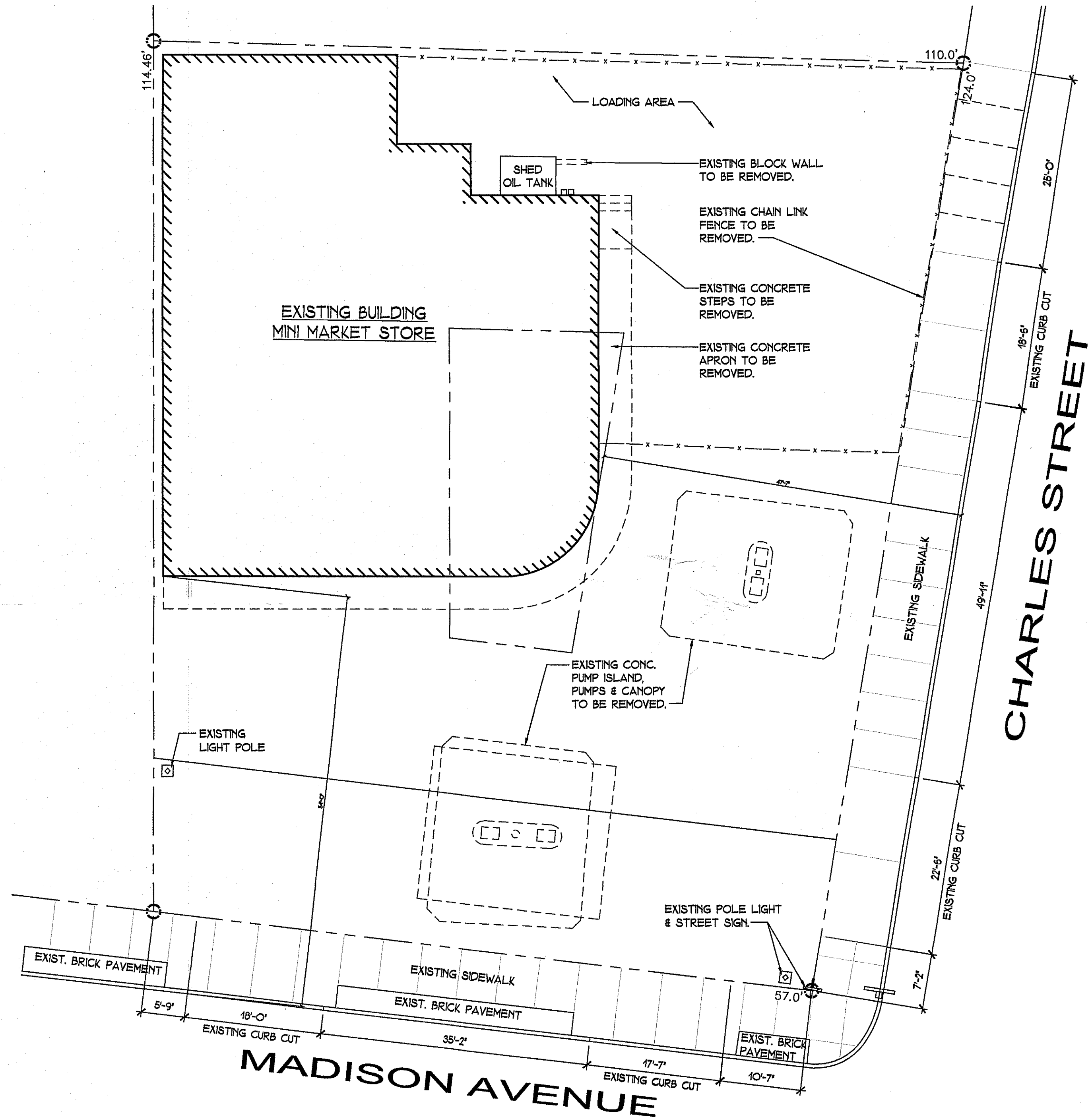
ZBA
6-8-21

DOB BSCAN STICKER:

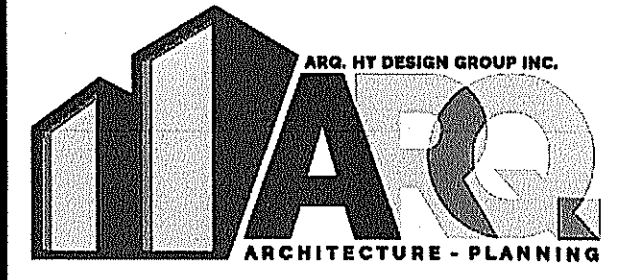


DRAWING TITLE:
MAPS & GENERAL NOTES

DATE: 12/16/2020	DWG. NO.: T-1
PROJECT NO.: 20124	CAD FILE NO.: 1 OF 7
DRAWING BY: ARQ	
CHECKED BY: JBH	



EXISTING & DEMOLITION SITE PLAN 1" = 10'-0"
 INFORMATION ON SITE PLAN (MEETS & BOUNDS, LOCATION, ETC.)
 BASED ON SURVEY BY FULLER ENGINEERING & LAND SURVEYING ON
 FEBRUARY 22, 2021



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 OSSINING, NY 10562
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 FAX: (866) 567-6240

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 OSSINING, NY 10562

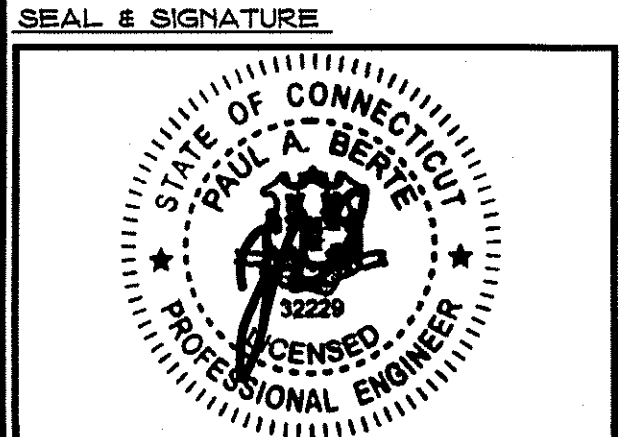
REVISIONS	DATE	BY

PROJECT:
 ALTERATIONS & NEW
 Z MART STORE

PROJECT ADDRESS:
 850 MADISON AVE
 BRIDGEPORT CT
 06606

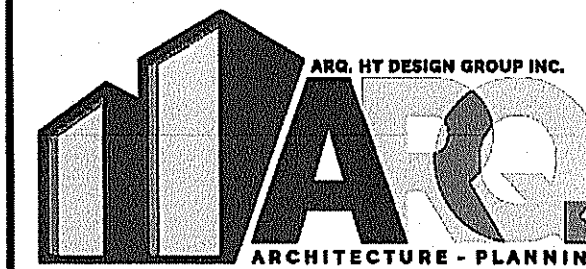
DOB EXAMINER SIGNATURE:

DOB BSCAN STICKER:



DRAWING TITLE:
 EXISTING & DEMOLITION SITE
 PLAN

DATE: 12/16/2020	DWG. NO.:
PROJECT NO.:	S-1
DRAWING BY: ARQ	CAD FILE NO.:
CHECKED BY: JBH	2 OF 7



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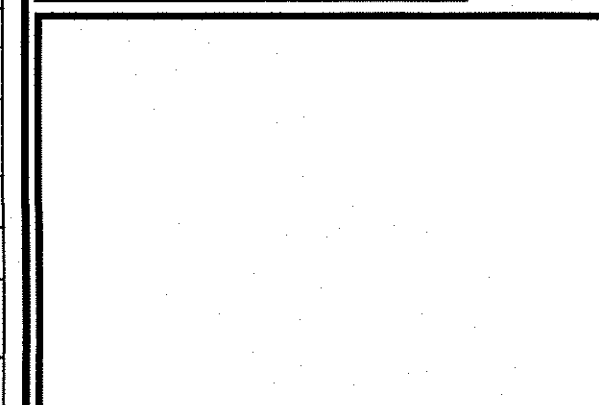
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REVISIONS	DATE	BY

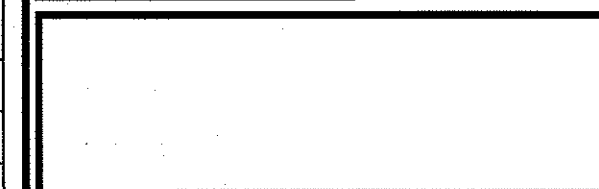
PROJECT:
 ALTERATIONS & NEW
 Z MART STORE

PROJECT ADDRESS:
 850 MADISON AVE
 BRIDGEPORT CT
 06606

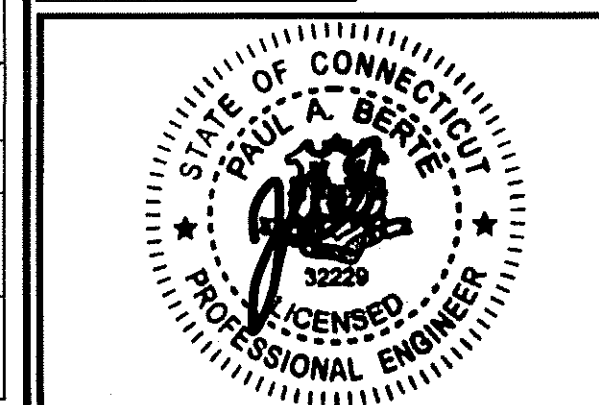
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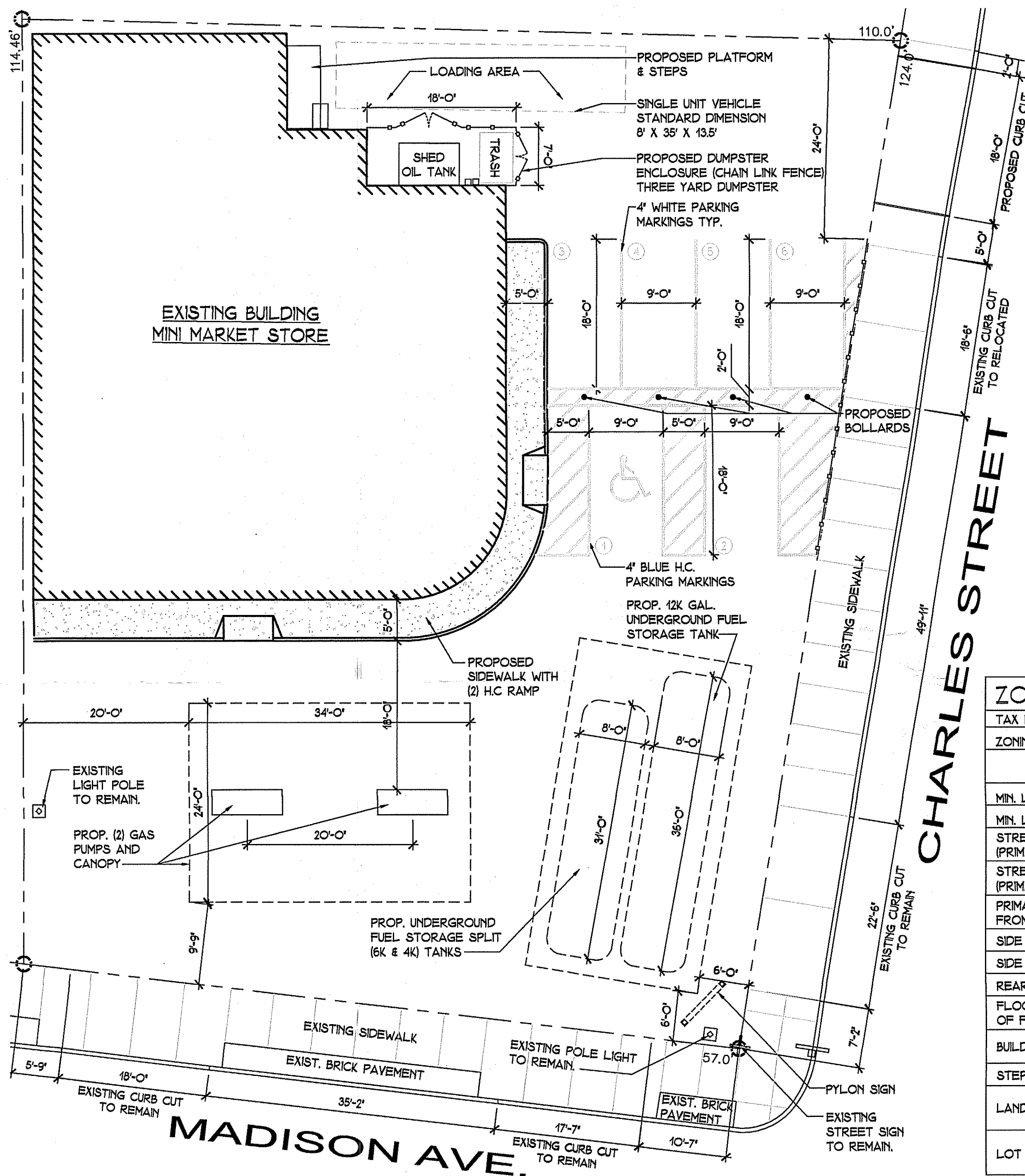


SEAL & SIGNATURE



DRAWING TITLE:
 PROPOSED SITE PLAN &
 ZONING DATA

DATE: 12/16/2020	DWG. NO.:
PROJECT NO: 20124	S-2
DRAWING BY: ARQ	CAD FILE NO.:
CHECKED BY: JBH	3 OF 7

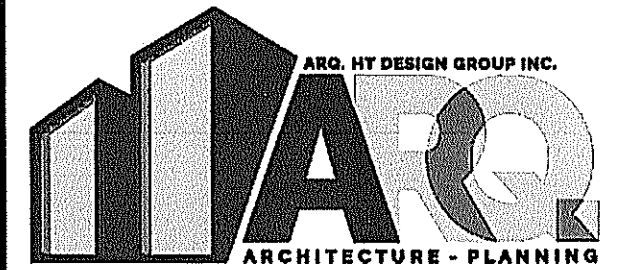


ZONING DATA - CITY OF BRIDGEPORT					
TAX MAP DESIGNATION:	MAP: 46	BLOCK: 1406	LOT: 7	UNIT: A	
ZONING DISTRICT: OR-G	OFFICE/RETAIL GENERAL ZONE				
		PERMITTED	EXISTING	PROPOSED	VARIANCE
MIN. LOT AREA	SQ. FT.	10,000	11,401	N.C.	-
MIN. LOT WIDTH	FT.	60.0'	90.25'	N.C.	-
STREET WALL FRONTAGE (PRIMARY) @ MADISON AVE.	%	75% MIN. 100% MAX.	65.7%	N.C.	EXIST. NON-CONFORMING
STREET WALL FRONTAGE (PRIMARY) @ CHARLES ST.	%	75% MIN. 100% MAX.	40.7%	N.C.	EXIST. NON-CONFORMING
PRIMARY FRONTAGE SETBACK FROM STREET LOT LINE	FT.	0' MIN. 10' MAX.	43.7'	N.C.	EXIST. NON-CONFORMING
SIDE YARD @ MADISON AVE.	FT.	(NOTE #1)	1.1'	N.C.	-
SIDE YARD @ CHARLES ST.	FT.	(NOTE #1)	1.0'	N.C.	-
REAR YARD	FT.	(NOTE #2)	x	N.C.	-
FLOOR TO CEILING HEIGHT OF FIRST STORY	FT.	12' MIN.	12'	N.C.	-
BUILDING HEIGHT	FT.	25' MIN. 65' MAX.	EXIST.	N.C.	-
STEP BACK ABOVE 25 BUILT FT.	FT.	(NOTE #4)	N.R.	N.C.	-
LANDSCAPED AREA	%	15' MIN. 25' MAX.	2%	N.C.	EXISTING NON-CONFORMING
LOT COVERAGE	%	75% MIN.	98%	N.C.	EXISTING NON-CONFORMING

N.C. = NO CHANGE / N.R. = NOT REQUIRED
 x = NO REAR YARD REQUIREMENT, CITY OF BRIDGEPORT CONNECTICUT ZONING & SUBDIVISION REGULATIONS (4-2-3) IN CASES WHERE A LOT HAS FRONTAGE ON TWO STREETS, THE LOT SHALL BE DEEMED A CORNER LOT AND SHALL HAVE TWO FRONTAGES AND TWO SIDES.

- NOTES:
- MINIMUM - 0' OR 5' IF SIDE YARD IS UTILIZED
 MAXIMUM - 1' FOR EACH FLOOR OF BUILDING HEIGHT NOT TO EXCEED 14'
 - MINIMUM - 0' OR 20' IF FLOOR CONTAINS HABITABLE SPACE
 - A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON ANY NON-RESIDENTIAL PROPERTIES ABUTTING A WATERWAY. FROM THE TOP OF THE EMBARKMENT AND FOR 20' INLAND, A DEDICATED OPEN SPACE AREA SHALL BE ESTABLISHED.
 - MINIMUM - 20' FOR SIDES ABUTTING RESIDENTIAL ZONES

PROPOSED SITE PLAN
 1" = 10'-0"
 INFORMATION ON SITE PLAN (MEETS & BOUNDS, LOCATION ETC.) BASED ON SURVEY BY FULLER ENGINEERING & LAND SURVEYING ON FEBRUARY 22, 2021



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REVISIONS	DATE	BY

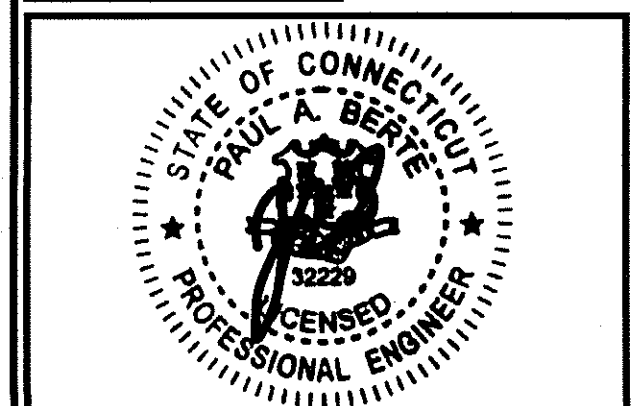
PROJECT:
 ALTERATIONS & NEW
 Z MART STORE

PROJECT ADDRESS:
 850 MADISON AVE
 BRIDGEPORT CT
 06606

DOB EXAMINER SIGNATURE:

DOB BSCAN STICKER:

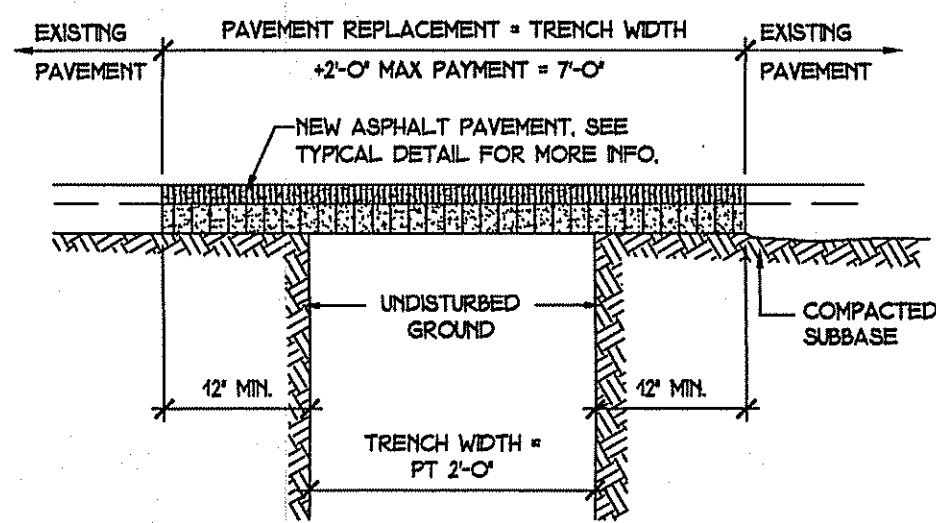
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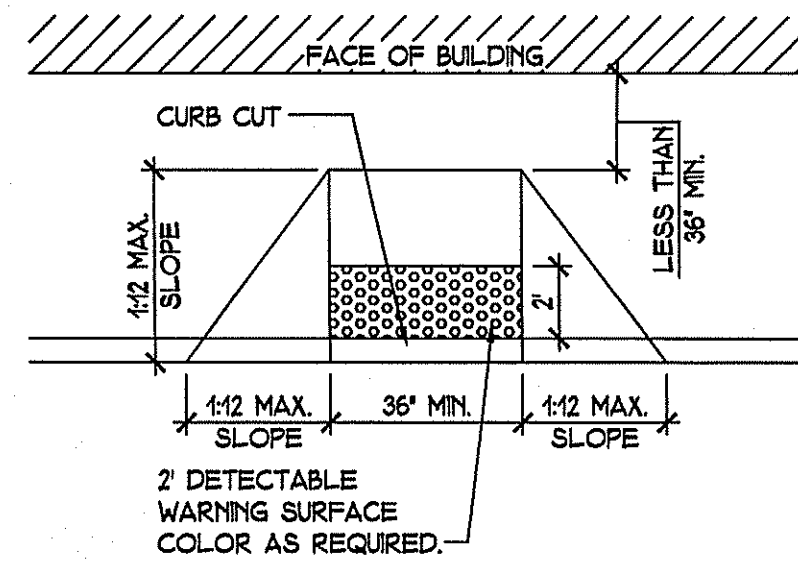
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 SITE DETAILS

DATE:
 12/16/2020
 PROJECT NO:
 20124
 DRAWING BY:
 ARQ
 CHECKED BY:
 JBH

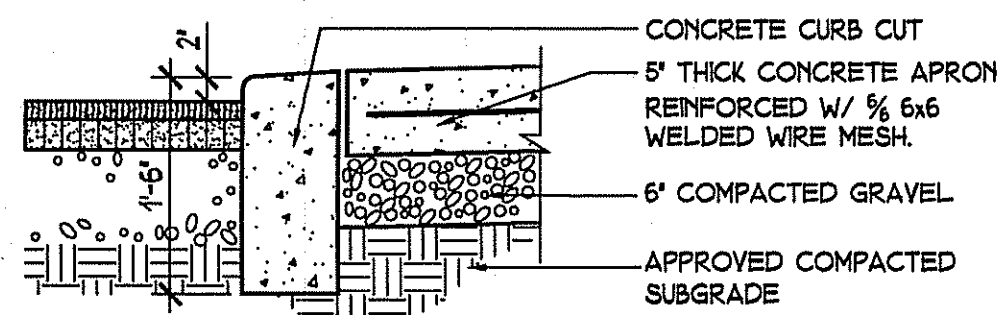
DWG. NO:
 S-3
 CAD FILE NO:
 4 OF 7



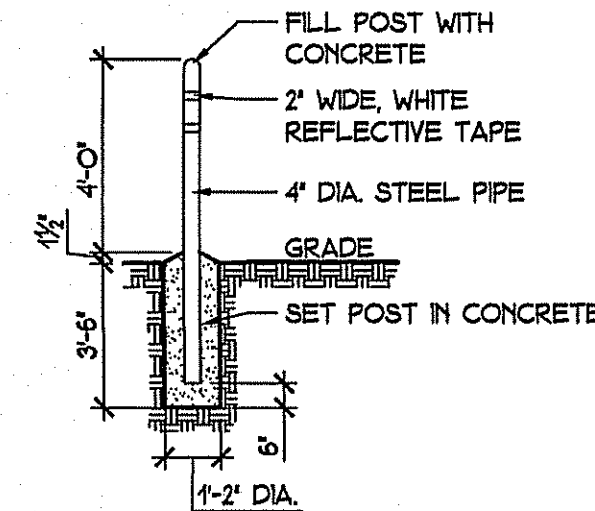
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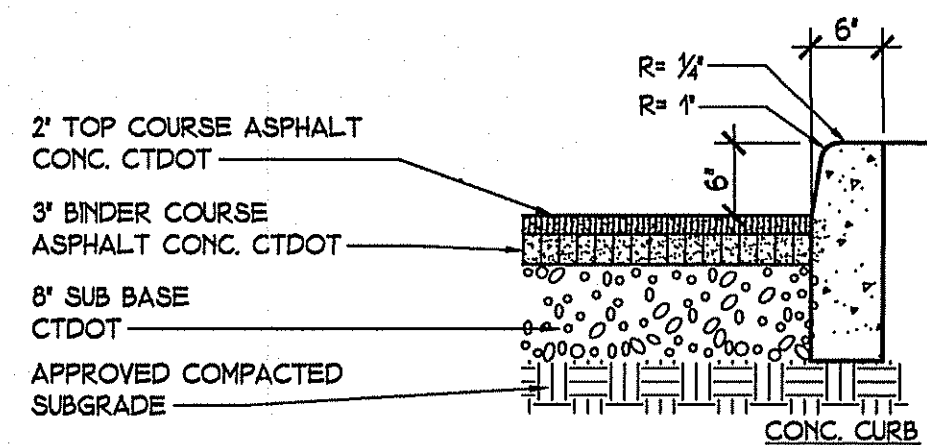
H.C. RAMP DETAIL 3/4"=1'-0"



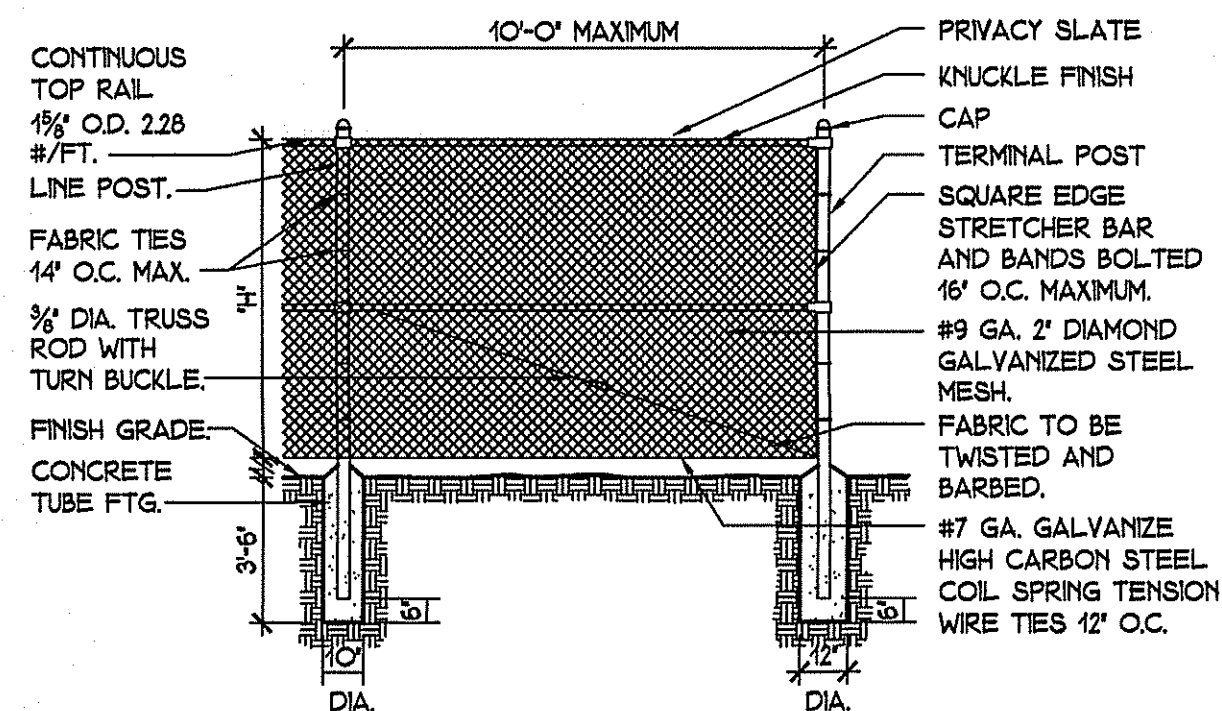
CURB CUT & APRON DETAIL 3/4"=1'-0"



BOLLARD DETAIL 1/4"=1'-0"

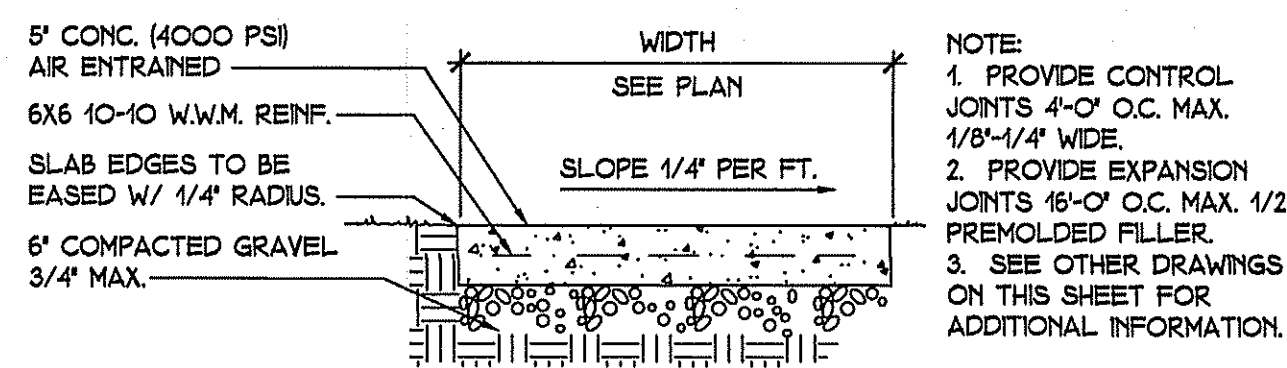


ASPHALT PAV. & CONC. CURB DETAIL 3/4"=1'-0"

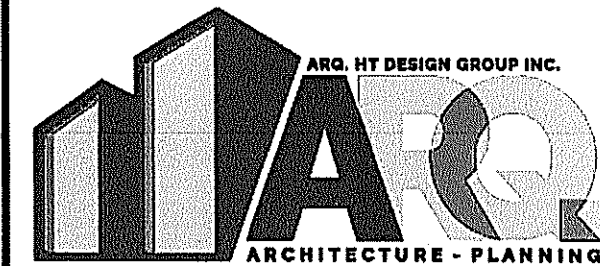


"H" (FT)	LINE POST	TERMINAL POST
6' OR LESS	2" O.D./2.72 #/FT	2.5" O.D./3.65 #/FT
≥ 6'-0"	2.5" O.D./3.65 #/FT	3" O.D./5.79 #/FT

FENCE DETAIL 1/4"=1'-0"



SIDEWALK DETAIL 3/4"=1'-0"



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REVISIONS	DATE	BY

PROJECT:
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 Z MART STORE

PROJECT ADDRESS:
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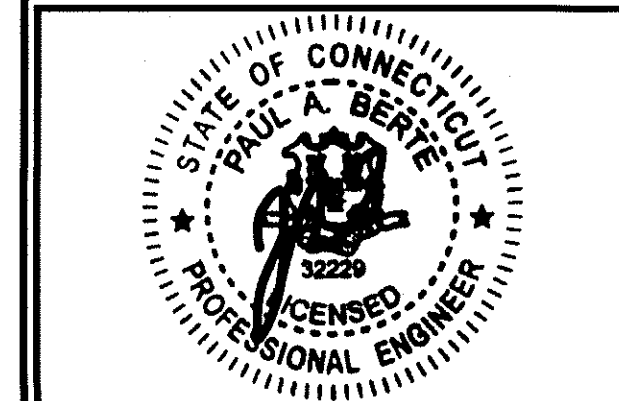
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DOB BSCAN STICKER:

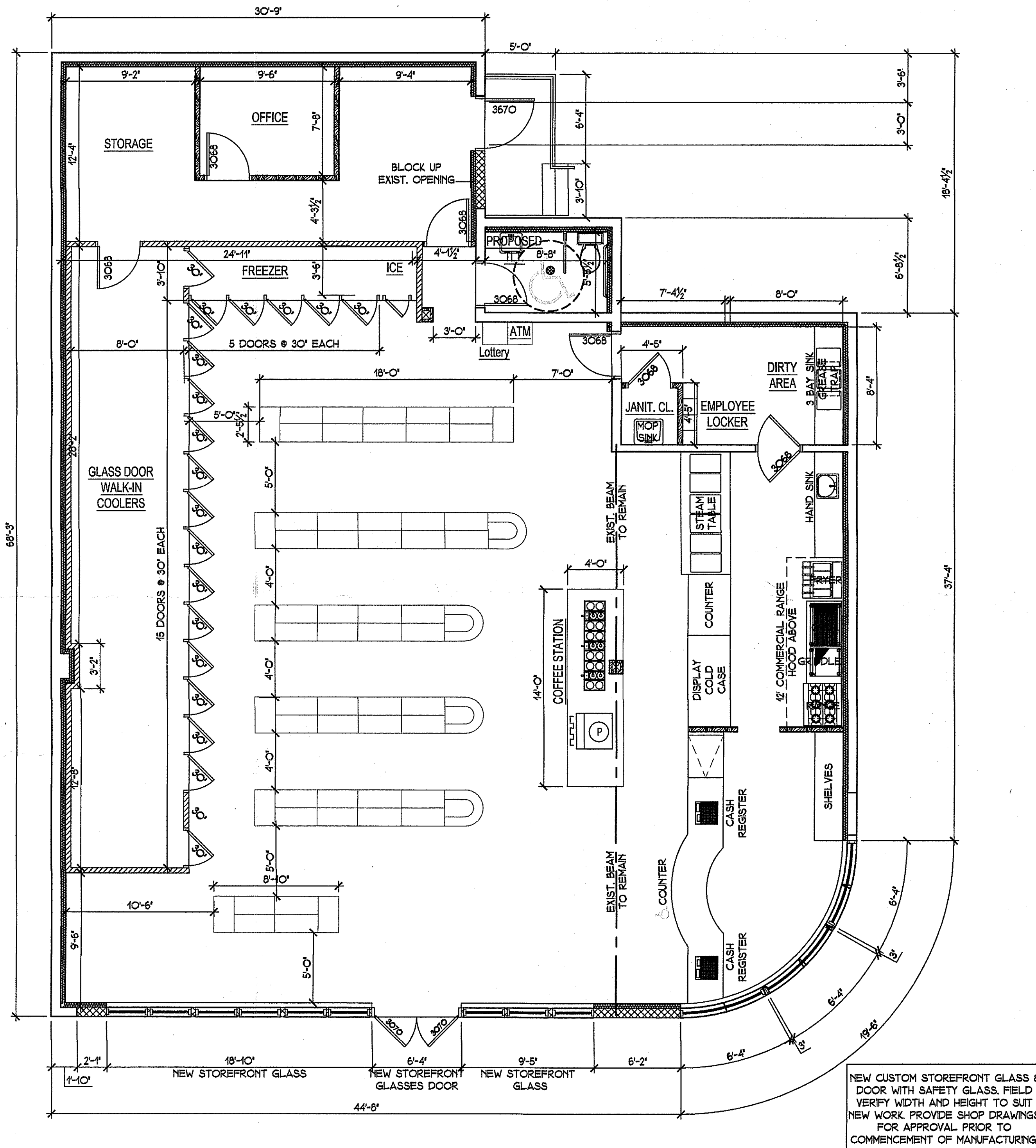
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DRAWING TITLE:
 PROPOSED FLOOR PLAN

DATE: 12/16/2020	DWG. NO.:
PROJECT NO.:	A-1
20124	
DRAWING BY: ARQ	CAD FILE NO.:
CHECKED BY: JBH	5 OF 7



CONSTRUCTION LEGEND:

SYMBOL	DESCRIPTION
[Solid line]	EXISTING WALL TO REMAIN
[Cross-hatched]	NEW WALL CMU WALL TO MATCH & ALIGN WITH EXISTING WALL
[Dashed line]	FURRING AT EXISTING WALL 6" METAL STUD W/(R-21 BATT INSULATION) & 5/8" GYP. BD ONE SIDE OPTIONAL: 3/8" METAL FURRING SPRAYED INSULATION
[Diagonal hatching]	NEW WALL 3/8" METAL STUDS @ 16" O.C. WITH 5/8" GYP BD EACH SIDE
[Diagonal hatching]	WALK-IN BOX SEE MANUFACTURERS
[Door symbol]	NEW DOOR INDICATES DOOR SIZE
[Window symbol]	NEW WINDOW INDICATES WINDOW SIZE
[Dashed lines]	REMOVE EXISTING CONSTRUCTION FROM STRUCTURAL SLAB TO UNDERSIDE OF FLOOR DECKING ABOVE. 2. REMOVE / RELOCATE EXISTING ELECTRICAL OUTLETS, SWITCHES ETC. AS REQUIRED. REWORK WIRING AS NECESSARY FOR CONTINUED POWER TO REMAINING OUTLETS, SWITCHES OR IF OUTLETS NOT REQUIRED REMOVE WIRING BACK TO NEAREST JUNCTION BOX TO REMAIN. 3. REMOVE / RELOCATE EXISTING PLUMBING AS REQUIRED. REWORK PLUMBING AS NECESSARY TO MAINTAIN INTEGRITY OF EXISTING SYSTEM TO REMAIN. CAP ALL UNUSED PIPING IN WALLS, FLOOR OR CEILINGS TO REMAIN. NOTIFY ARCHITECT IF ANY OBSTACLES APPEAR DURING DEMOLITION.

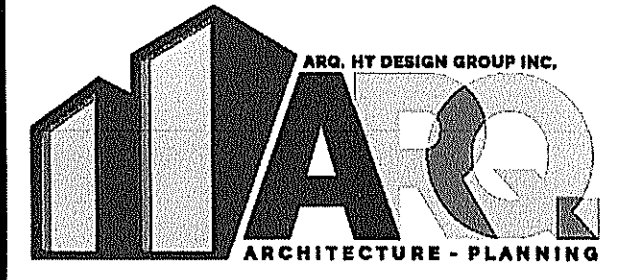
NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED.

MIN. INSULATION REQUIREMENTS BY:
 2018 CT STATE B.C.
 2015 IECC TABLE C402.1.3
 CLIMATE ZONE 5A (FAIRFIELD COUNTY, CT)

FLOOR
 SLAB R-VALUE & DEPTH = R-10(2" AT PERIMETER)
 WALL
 EXTERIOR WALL BELOW GRADE = R-7.5 (CONTINUOUS)
 EXTERIOR WALL ABOVE GRADE = R-21 (METAL FRAMED)
 ROOF
 ROOF/CEILING = R-38 (INSIDE R.R.)

NEW CUSTOM STOREFRONT GLASS & DOOR WITH SAFETY GLASS. FIELD VERIFY WIDTH AND HEIGHT TO SUIT NEW WORK. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCEMENT OF MANUFACTURING.

PROPOSED FLOOR PLAN 3/16"=1'-0"



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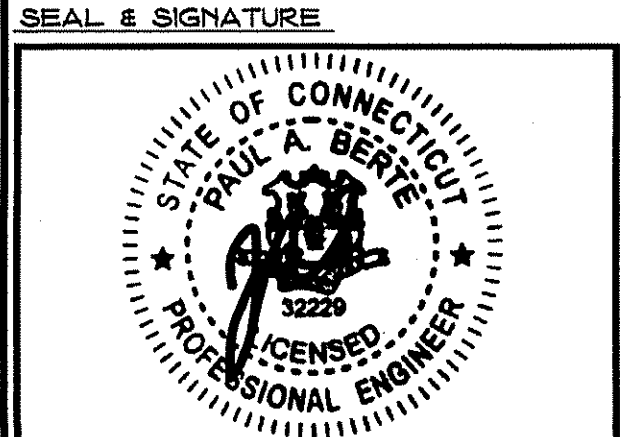
REVISIONS	DATE	BY

PROJECT:
 ALTERATIONS & NEW
 Z MART STORE

PROJECT ADDRESS:
 850 MADISON AVE
 BRIDGEPORT CT
 06606

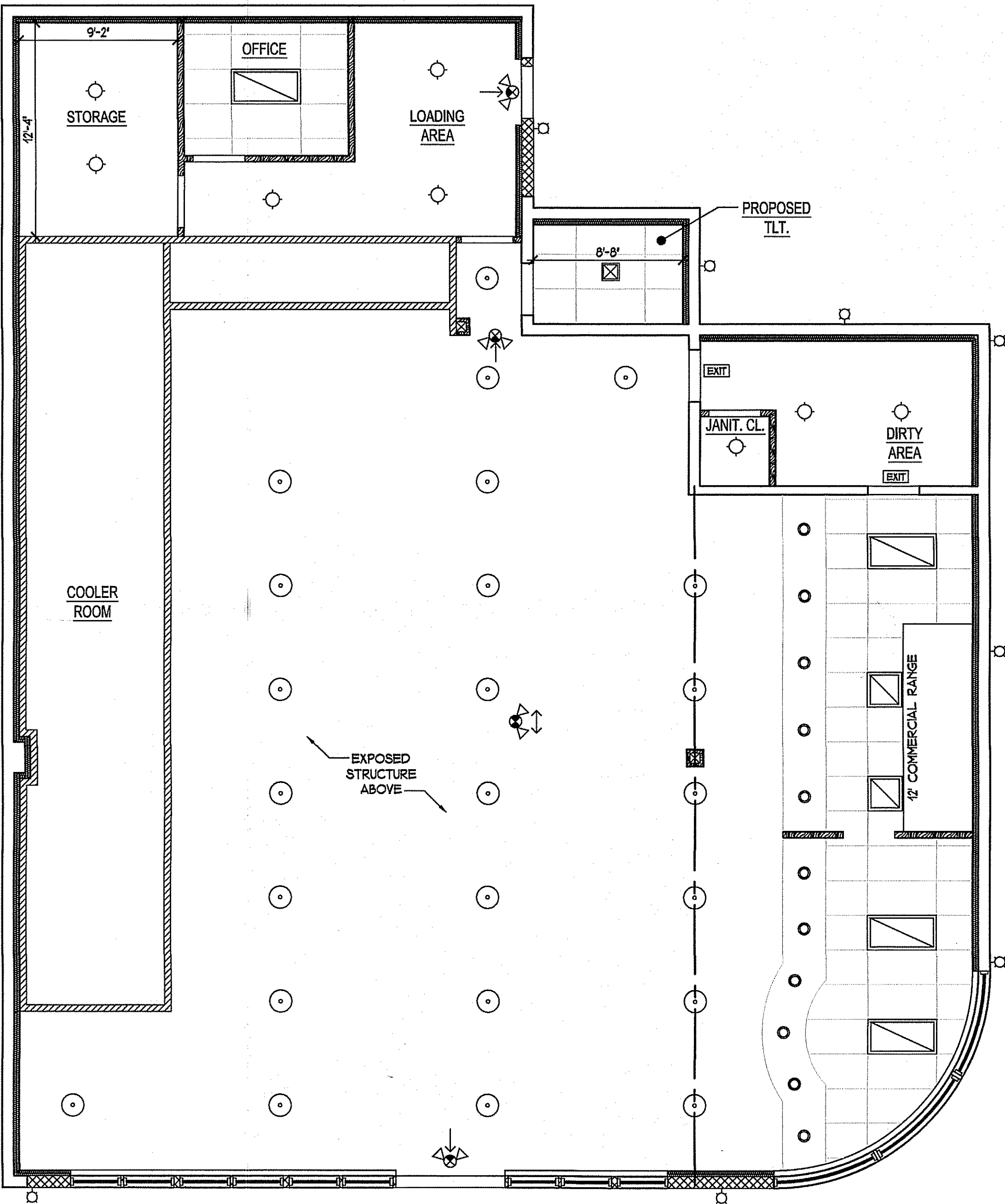
DOB EXAMINER SIGNATURE:

DOB BSCAN STICKER:



DRAWING TITLE:
 PROPOSED REFLECTED
 CEILING PLAN

DATE: 12/16/2020	DWG. NO.:
PROJECT NO.:	A-2
20124	
DRAWING BY:	CAD FILE NO.:
ARQ	6 OF 7
CHECKED BY:	
JBH	

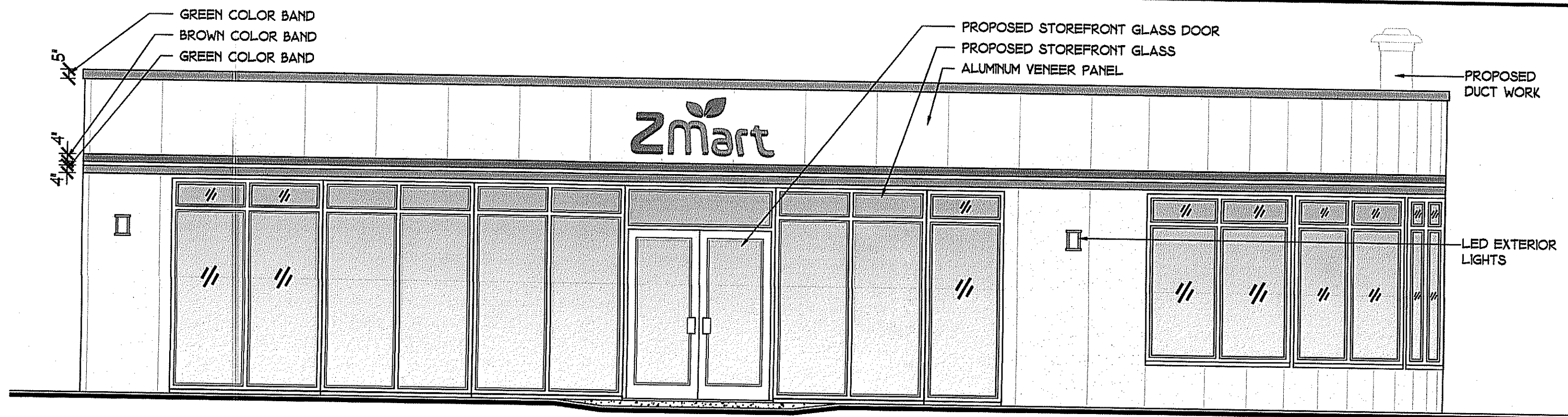


CEILING LEGEND:

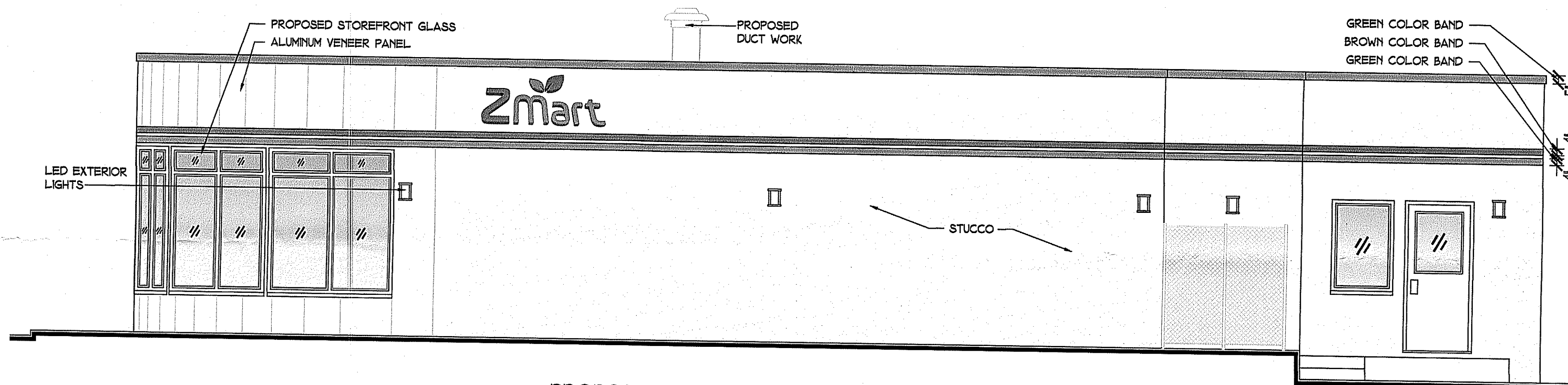
- CEILING TILES WITH CORRUGATED METAL TILES. PROVIDE A SAMPLE FOR APPROVAL BY OWNER & ARCHITECT PRIOR TO INSTALLATION.
- 2X4 TROFFER LED MODULE
- 2X2 TROFFER LED MODULE
- RECESSED LIGHT FIXTURE
- LIGHT FIXTURE
- PENDANTS LIGHT
- LED EXTERIOR LIGHT
- BATHROOM EXHAUST FAN DUCTED TO EXTERIOR W/ CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS
- EXIT SIGN W/ EMERGENCY LIGHT: W/ 90 MIN. BATTERY BACKUP SHADED AREAS INDICATE LIGHTED FACE ARROWS INDICATE DIRECTION OF TRAVEL
- NEW HARDWIRED INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTOR.
- N DENOTES NEW DEVICES
- E DENOTES EXISTING DEVICES

ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR UNDER A SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.

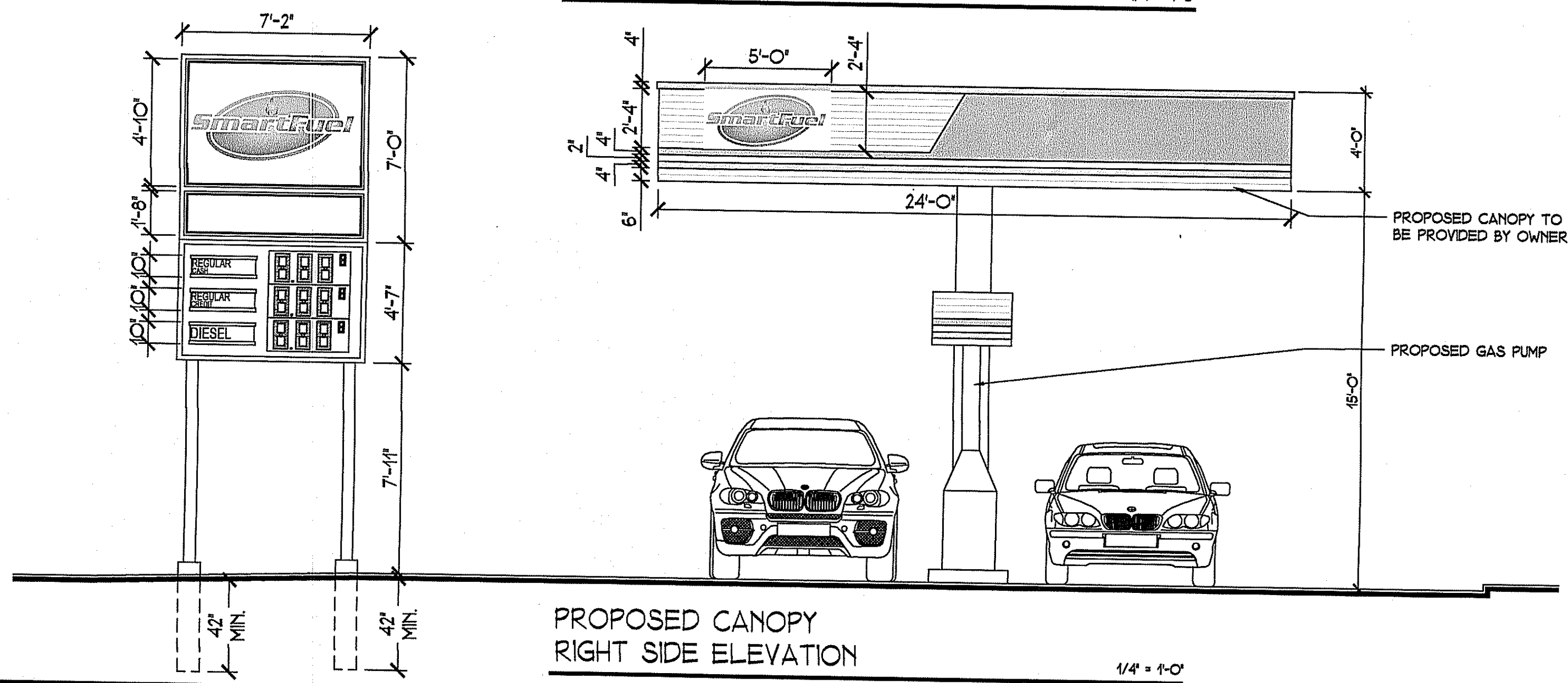
PROPOSED REFLECTED CEILING PLAN 3/16"=1'-0"



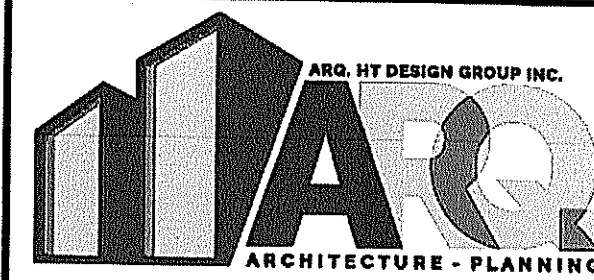
PROPOSED FRONT ELEVATION
1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION
1/4" = 1'-0"



PROPOSED CANOPY
RIGHT SIDE ELEVATION
1/4" = 1'-0"



ARQ, NY DESIGN GROUP INC.
ARCHITECTURE - PLANNING

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100 EXECUTIVE BLVD. SUITE 204
OSSING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-8240

PAUL A. BERTE, P.E.

100 EXECUTIVE BLVD. SUITE 204
OSSING, NY 10562

REVISIONS	DATE	BY

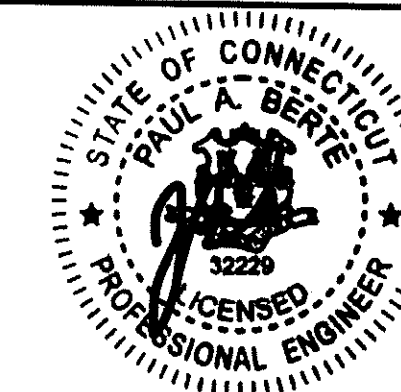
PROJECT:
ALTERATIONS & NEW
Z MART STORE

PROJECT ADDRESS:
850 MADISON AVE
BRIDGEPORT CT
06606

DOB EXAMINER SIGNATURE:

DOB BSCAN STICKER:

SEAL & SIGNATURE



DRAWING TITLE:
PROPOSED ELEVATIONS

DATE:
12/16/2020
PROJECT NO:
20124
DRAWING BY:
ARQ
CHECKED BY:
JBH

DWG. NO:
A-3
CAD FILE NO:
7 OF 7