



ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

- Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

91 FEDERAL STREET Zone R-C
(Number) (Street) (Zone Classification)

On the _____ side of the street about 460 feet WEST from
(North, South, East, West) (North, South, East, West)

MAIN STREET Block: 52/1405/20 Lot: 91
(Street)

Dimension of Lot in Question 50.50 x 150.0

1. NAME OF APPLICANT / BUSINESS Adolfo Ferrer
(Specify) (Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) OWNER
3. HAS A PREVIOUS APPLICATION BEEN FILED? NO IF SO, GIVE DATE OF HEARING N/A
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT NEW TWO CAR GARAGE (ALREADY START - NOT FINALIZED)

5. THIS APPLICATION RELATES TO: Check all that Apply
- Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 - Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: SETBACK / GARAGE - GARAGE HAS BEEN STARTED

6. USE TO BE MADE OF PROPERTY RESIDENTIAL

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? REQUESTING TO WAIVE THE SIDES setback
OF 2'-7" WHILE 3'-0" IS REQUIRED AND REAR SETBACK OF 1'-10" WHILE 3'-0" IS REQUIRED. ALSO THE LOT IS CURRENTLY 0.17A.C. WHERE 0.20 IS REQUIRED.

APPLICANT Adolfo Ferrer, Adolfo Ferrer DATE 11/04/2021
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) Adolfo Ferrer, argentina.wom@gmail.com
(Email)

Mailing Address 1483 LAUREL AVENUE 06006 4753193176
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print _____
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20____
 Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
 The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

_____ FEE RECEIVED: _____ DATE: _____ 20____ Clerk _____

Subject Property: 91 Federal Street
Owner: Adolfo Ferrar
Zone: R-C

Written Statement

We are requesting to waive the side setback of 2'-7" while 3'-0" is required and rear setback of 1'-10" while 3'-0" is required in R-C Zone. The work has been started without permit, however, at no time my client was looking to get any advantage, actually he didn't have knowledge in regards to permit process. Another hardship is that the lot is currently 0.17a.c. where 0.20 is required.

LAROCCA MICHAEL & MARY C
000030 SUNNYRIDGE RD
EASTON, CT 06612

LAROCCA MICHAEL & MARY
30 SUNNYRIDGE RD
EASTON, CT 06612

PEREIRA MANUEL D
000080 FEDERAL ST
BRIDGEPORT, CT 06606

MORALES CARMEN ETAL
000091 FEDERAL ST
BRIDGEPORT, CT 06606

HOLY TRINITY APOSTOLIC FAITH
000066 FEDERAL ST
BRIDGEPORT, CT 06606

COSTA EURICO & COSTA ANGELA
24 HOPEWELL WOOD RD
REDDING, CT 06875

MAZZA JUAN A & MARIA T
000092 FEDERAL ST
BRIDGEPORT, CT 06606

BRIDGEPORT CITY OF, EDUCATION
000000 EXEMPT PARCEL N/A
BRIDGEPORT, CT 06604

RILEY JUSTIN & ETAL
000256 CHARLES ST
BRIDGEPORT, CT 06606

REFERENCE PROPERTY: 91 FEDERAL STREET

DATE: 11/04/2021

LETTER OF AUTHORIZATION

I ADOLFO FERRER GIVE FULL PERMISSION TO WERONICA OLIVEIRA DE SOUZA FROM ELIZABETH DESIGN DEVELOPMENT TO APPLY FOR ANY NECESSARY PERMITS, SUCH AS ZONING, BUILDING PERMITS IN THE TOWN OF BRIDGEPORT.

SINCERELY,

SIGN: Adolfo Ferrer

PRINT: Adolfo Ferrer

WERONICA OLIVEIRA DE SOUZA

FEDERAL STREET

LOT 113

LOT 79

LOT 79

LOT 91
EXISTING BUILD

EXISTING DECK

PROPOSED GARAGE

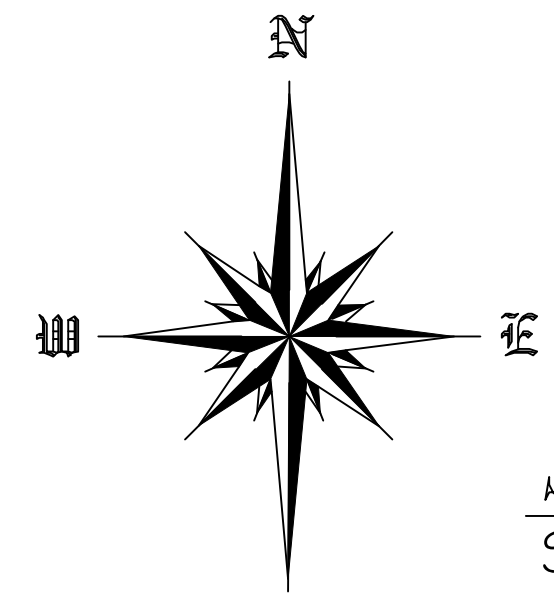
EXISTING SHED

LOT 113
PARKING

DEVELOPMENT STANDARDS	
	R-C
LOT	
Lot area minimum	9,000 sf
Frontage, minimum	60 ft
Depth, minimum	n.a.
Lot area per dwelling unit, minimum	2,700 sf
PRINCIPAL BUILDING SETBACK	
Front lot line, minimum from	15 ft or Prevailing
Side lot line, minimum from	10 ft (1)
One side	Note 1
Both sides shall add up to	Note 1
Rear lot line	The lesser of
Maximum	20% of lot depth or 50 Ft.
ACCESSORY STRUCTURE	
Setback minimum:	
Front lot line	The lesser of 50% of lot depth or 75 ft
Side lot line	3 ft
Rear lot line	3 ft
Corner lot	Note 2
Floor area maximum	Note 4
COVERAGE	
Building coverage, maximum	Note 5
Site coverage, maximum	60%
	70%
LANDSCAPED AREA	
Minimum	30%
HEIGHT	
Note 6 & 8	
Principal building, maximum	4 stories or 45'
Accessory structure, maximum	
Flat or rounded roof	12 ft
To ridge	15 ft

EXISTING HOUSE TO REMAIN AS IT IS
 EXISTING SHED TO REMAIN AS IT IS
 PROPOSED TWO CAR GARAGE 27'-7" x 24'-9"

PROPOSED SIDE SETBACK: 2'-7"
 MIN. REQUIRED: 3'-0"
 PROPOSED REAR SETBACK: 1'-10"
 MIN. REQUIRED: 3'-0"
 ZONE R-C



SITE PLAN
SCALE: 1/8" = 1'-0"

#	Date	Revision	Description

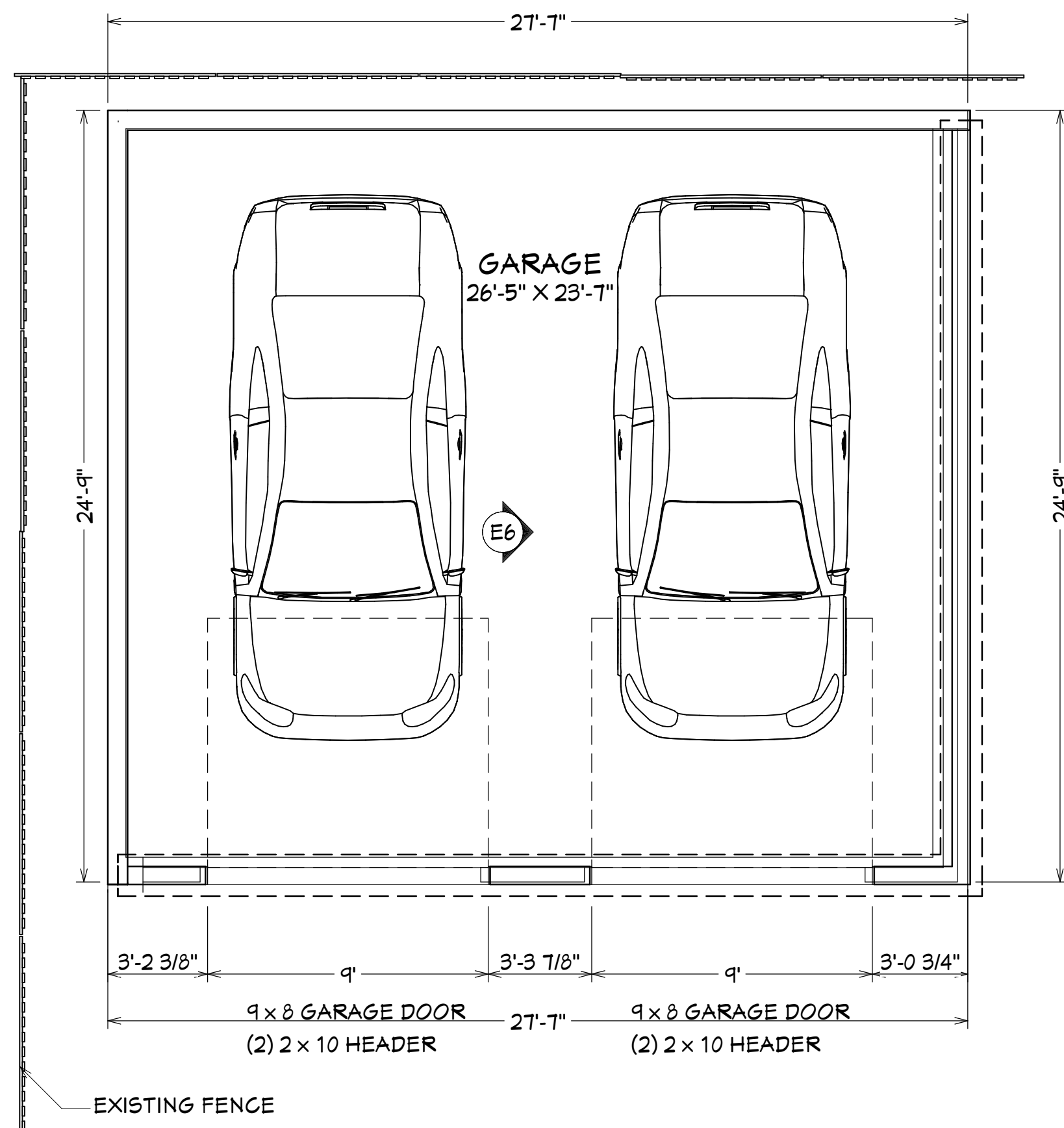
TITLE:
1223 MADISON AVENUE
BRIDGEPORT - CT 06606

PROJECT DESCRIPTION:
SITE PLAN

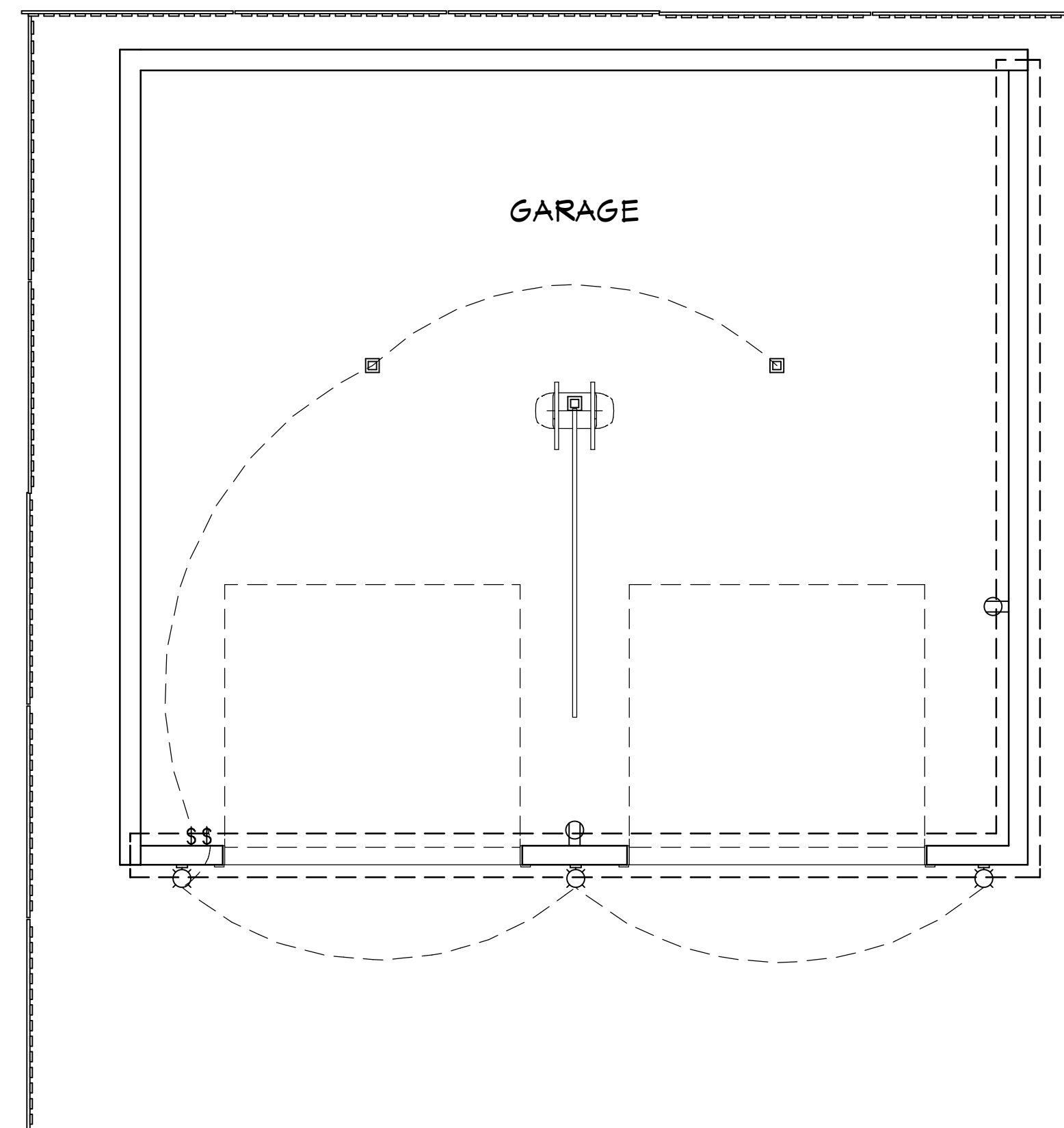
DATE:
NOV/2021

PAGE
17" x 11"

SHEET:
1

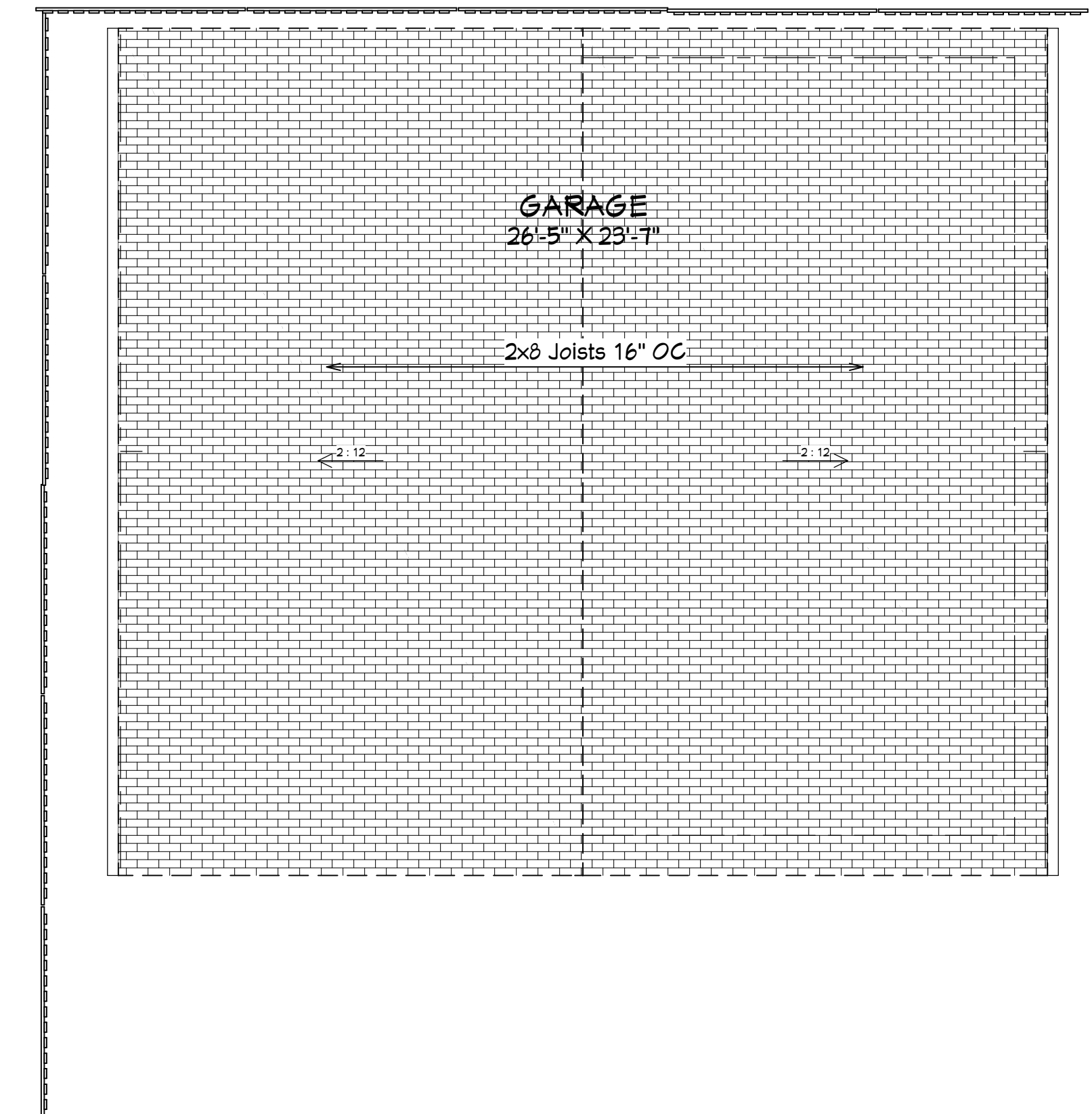


PROPOSED (2) CAR GARAGE FLOOR PLAN
3/8"=1'-0"



PROPOSED (2) CAR GARAGE ELECTRICAL PLAN
3/8"=1'-0"

ELECTRICAL SCHEDULE	
2D SYMBOL	DESCRIPTION
	CAGED LANTERN SCORCE
	DUPLEX
	SINGLE POLE
	RECESSED SQUARE DOWN LIGHT



PROPOSED (2) CAR ROOF PLAN
3/8"=1'-0"

#	Date	Revision	Description

TITLE:
**91 FEDERAL STREET
BRIDGEPORT - CT 06606**

PROJECT DESCRIPTION:
NEW GARAGE

DATE:

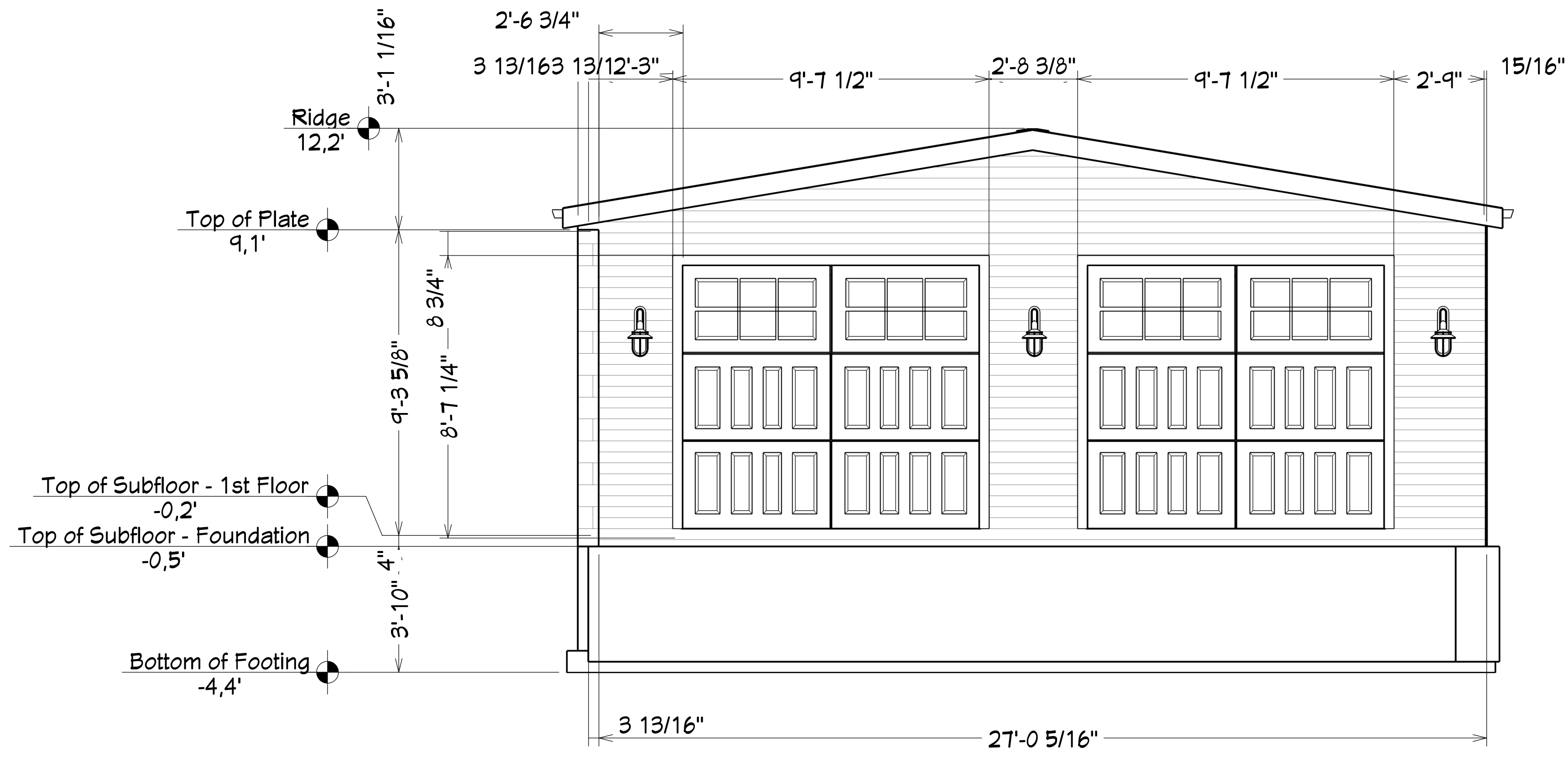
NOV/2021

SCALE:

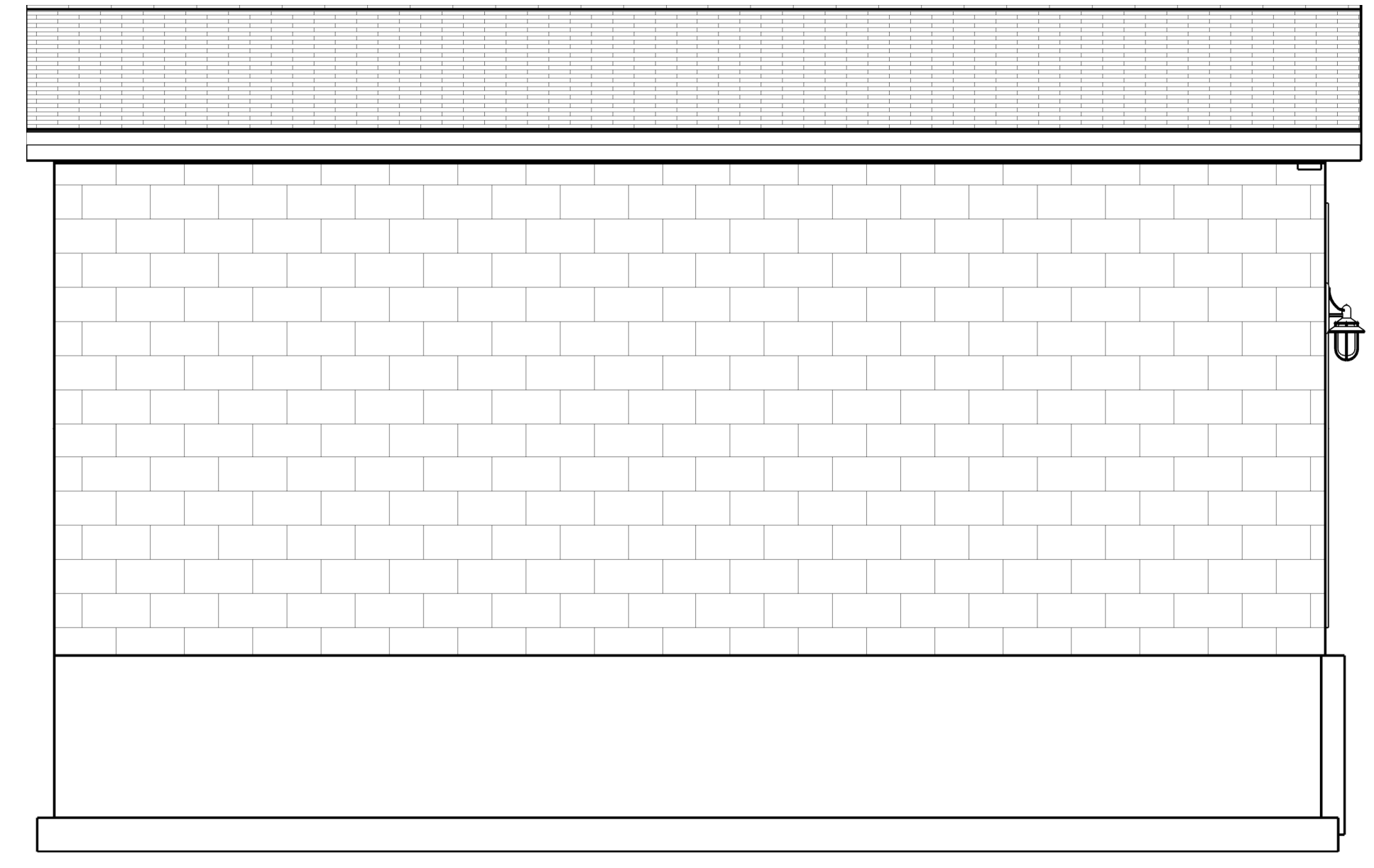
1/4" = 1'-0"

SHEET:

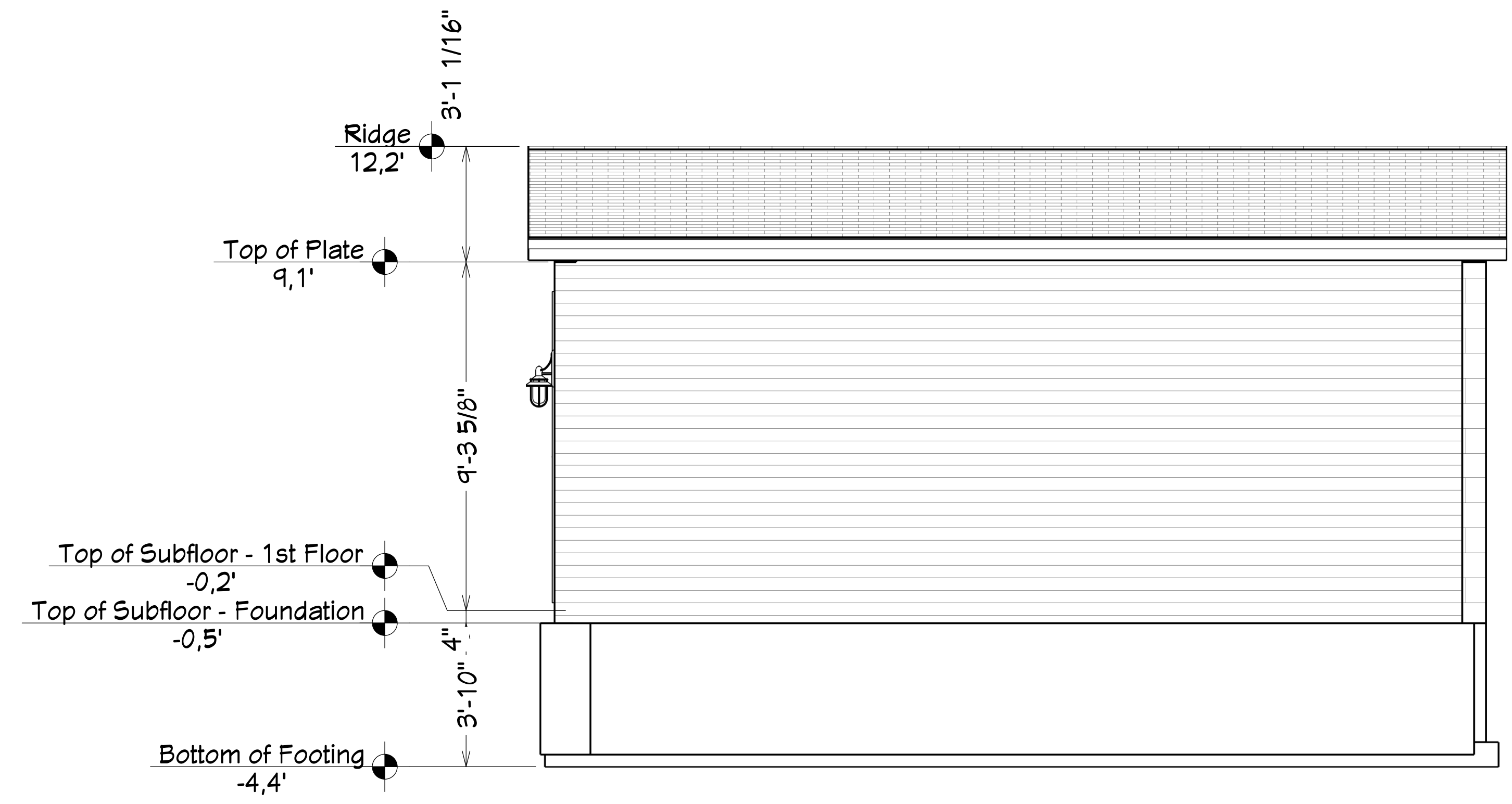
A-1



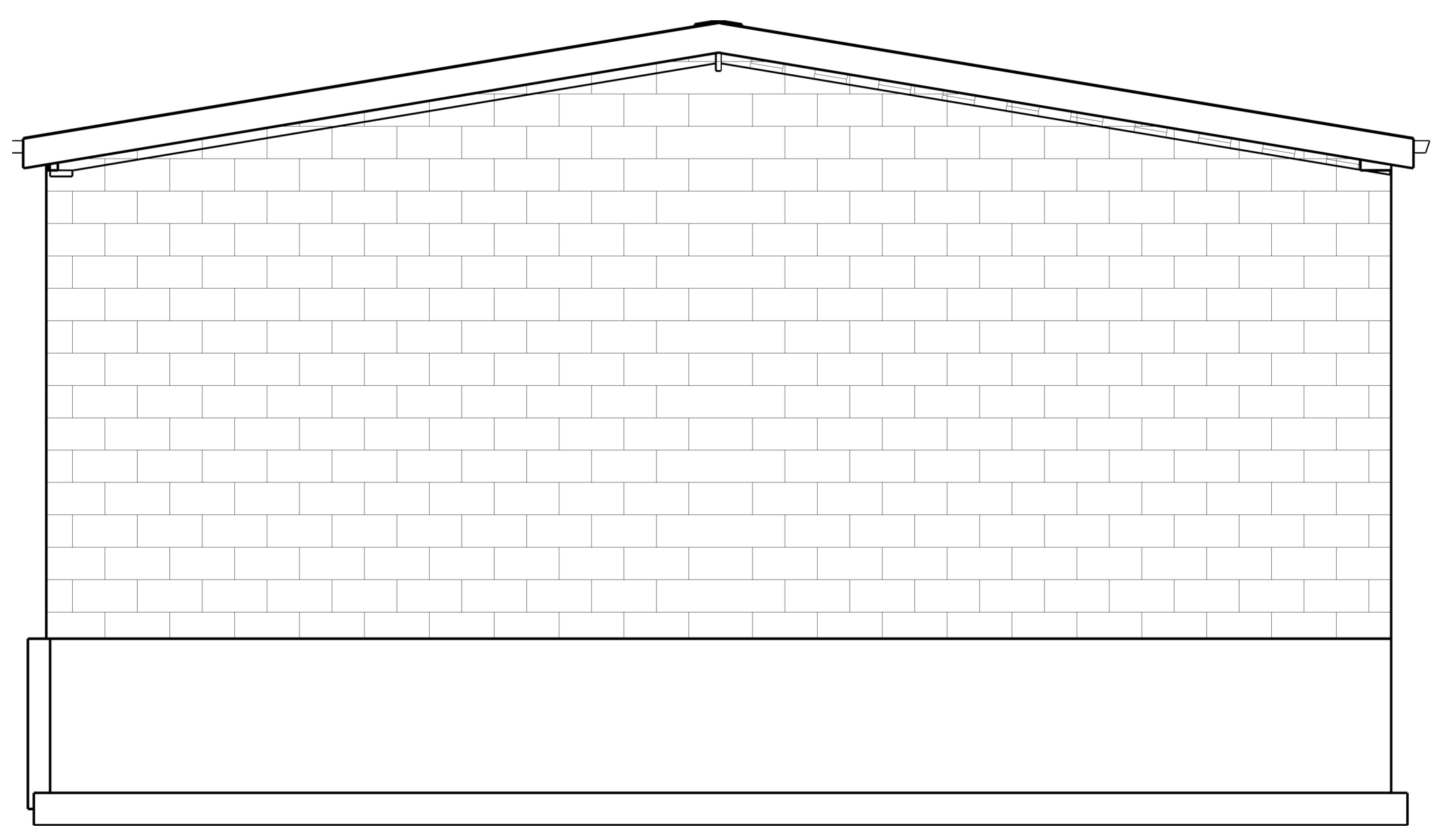
PROPOSED FRONT ELEVATION
3/8"=1'-0"



PROPOSED LEFT SIDE ELEVATION
3/8"=1'-0"



PROPOSED RIGHT SIDE ELEVATION
3/8"=1'-0"



PROPOSED REAR ELEVATION
3/8"=1'-0"

Revision #	Description	Date

TITLE:
**91 FEDERAL STREET
BRIDGEPORT - CT 06606**

PROJECT DESCRIPTION:
NEW GARAGE

DATE:

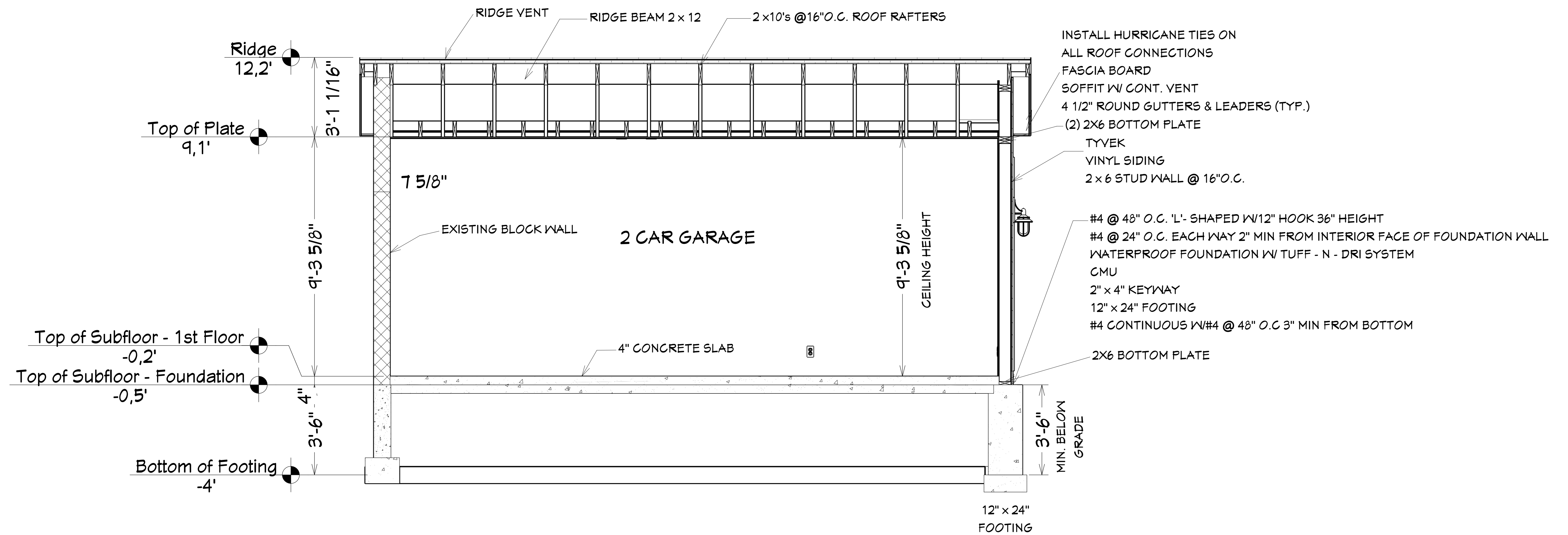
NOV/2021

SCALE:

1/4" = 1'-0"

SHEET:

A-2



CROSS SECTION

1/2" = 1'-0"

Revision #	Date	Description

TITLE:
**91 FEDERAL STREET
BRIDGEPORT - CT 06606**

PROJECT DESCRIPTION:
NEW GARAGE

DATE:

NOV/2021

SCALE:

1/4" = 1'-0"

SHEET:

A-3



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

103 Douglas Street Zone R-A
(Number) (Street) (Zone Classification)

On the South side of the street about 134.30 feet East from
(North, South, East, West) (North, South, East, West)

Indian Avenue Block : 2732 Lot: 19A
(Street) (Specify)

Dimension of Lot in Question 125.00' x 100.05' x 125.00' x 100.05'
(Specify)

1. NAME OF APPLICANT / BUSINESS Jay Construction, LLC
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
(Print)

3. HAS A PREVIOUS APPLICATION BEEN FILED? NO IF SO, GIVE DATE OF HEARING N/A
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Proposed subdivision of Premises in Two (2) buildings lots with existing single-family dwelling to remain on proposed Lot 'B' with proposed additions and proposed new single family dwelling at proposed Lot 'A' with associated site improvements

5. THIS APPLICATION RELATES TO: Check all that Apply:
 Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other:

6. USE TO BE MADE OF PROPERTY Proposed subdivision of Premises in Two (2) buildings lots to each contain a single-family dwelling

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT [Signature] / DATE 09/03/2021
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) / Chris@russorizio.com
(Email)

Mailing Address Attn: Chris Russo, Russo & Rizio, 10 Sasco Hill Road, Fairfield, CT 06824 (203) 528 0590
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20 _____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: _____ DATE: _____, 20 _____ Clerk _____



Colin B. Connor
Colin@russorizio.com

Robert G. Golger
Bob@russorizio.com

David K. Kurata
DKurata@russorizio.com

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Christopher B. Russo
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Robert D. Russo
Rob@russorizio.com

John J. Ryan
John@russorizio.com

Vanessa R. Wambolt
Vanessa@russorizio.com

(*Also Admitted in NY)

September 3, 2021

Dennis Buckley
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: ZBA Application at 103 Douglas Street

Dear Mr. Buckley:

Please accept the following narrative and enclosed application materials as part of the Variance application to the Bridgeport Zoning Board of Appeals (“ZBA”) for the property located at 103 Douglas Street (the “Site”):

Variations Requested

1. Variance of Section 5-1-3 and Table 3 to reduce the minimum lot area and residential density for the proposed Lot A to 5,002 SF in an R-A Zone; and
2. Variance of Section 5-1-3 and Table 3 to reduce the minimum lot frontage for the proposed Lot ‘A’ to reduce the minimum lot frontage to 50.00’ in an R-A Zone.

Proposed Development & Use

The Petitioner proposes to subdivide the Site into Two (2) building lots with each lot proposed to contain a single-family dwelling, including the existing dwelling on the Site. The proposed Lot ‘B’ on the eastern side of the Site fully conforms to the Regulations. The proposed Lot ‘A’ fully conforms to the R-A Pre-Existing Lot zone development standards and is in complete conformity with the surrounding neighborhood, including the abutting lots to the Site on Douglas Street. The Site was originally Five (5) separate lots under its original map on the Bridgeport Land Records, which shows the Site divided into 25’ x 100’ lots. It currently contains an existing single-family one-story dwelling. This dwelling is proposed to be located within the fully conforming Lot ‘B’. The Petitioner proposes to convert the existing dwelling to a two-story residence with a proposed addition and deck, which all conform to the Regulations. It will remain a single-family dwelling with its own compliant parking area.

The lot area and frontage of the proposed Lot ‘A’ is fully conforming with the overwhelming majority of building lots on Douglas Street, including the Site’s abutting

10 Sasco Hill Road
Fairfield, CT 06824
www.russorizio.com
Tel 203-254-7579
Fax 203-576-6626

properties on Douglas Street. The neighborhood was established by the same original map that contained 25' x 100' lots. Most of the dwellings on the street are built on lots that merged two of these original lots together. The Petitioner proposes the same type of building lot with the proposed Lot 'A'. However, unlike many of the dwellings on Douglas Street, the Petitioner proposes to construct a single-family dwelling which will be fully compliant with the bulk building standards, particularly with regards to side setback. Many existing dwellings in the neighborhood are nonconforming as to side setback. Not only is the proposed dwelling on Lot 'A' conforming as to side setback, but the Petition proposes a side setback of 10' on each side of the dwelling, which is well in excess of the 6' side setback from a single property line requirement in the R-A Zone. Each of these proposed dwellings and their parking areas are fully conforming under the Regulations. The first floor of the proposed dwelling on Lot 'A' will contain a living room, dining room, open concept kitchen, full bath, a bedroom, front porch and rear deck. The second floor will contain a master bedroom with walk-in closet and master bath, Two (2) bedrooms, a full bath and laundry room. Each proposed lot will contain an extensive amount of landscaping well in excess of the requirements under the Regulations.

Hardship

Granting the Petitioner the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as the Petitioner has proposed to create a fully conforming Lot 'B' under the Regulations and a proposed Lot 'A,' which is fully conforming to the R-A Pre-Existing Lot Standards and the neighborhood. In addition, the proposed dwelling on Lot 'A' will be more conforming, particularly with regards to side setback, than many of the existing dwelling on Douglas Street. The Site was originally Five (5) separate lots under its original map on the Bridgeport Land Records, which shows the Site divided into 25' x 100' lots. Most of the neighborhood was developed by the combination of Two (2) of those original lots exactly as proposed for Lot 'A'. Recognizing this history and character of the neighborhood, the Planning and Zoning Commission is reviewing proposed Regulations for the City of Bridgeport that will locate the Site in the N2 Mid-Century Neighborhood that will permit a proposed "House B" Building Type. Said Building Type will permit a minimum lot width of 45' with no minimum lot area. The proposed Lot 'A' exceeds this requirement. The Petition will bring new construction single-family dwellings improving the neighborhood and property values. Each proposed dwelling will fully conform to the bulk building standards under the Regulations

For the reasons stated above, the Petitioner respectfully requests approval of the Petition for the above-stated variances.

Sincerely,


Raymond Rizio

PROPERTIES WITHIN 100' OF 103 DOUGLAS STREET

PROPERTY ADDRESS	OWNER	MAILING ADDRESS	CITY	STATE	ZIP CODE
121 DOUGLAS ST	SMALLS LOUIS ESTATE OF & FLOSSIE	121 DOUGLAS ST	BRIDGEPORT	CT	06606
85 DOUGLAS ST	LUIGI V DICOSTANZO & NANCY DICOSTANZO	85 DOUGLAS ST	BRIDGEPORT	CT	06606
240 WOODROW AV	PIERRE JEAN BERNARD	240 WOODROW AVE	BRIDGEPORT	CT	06606
136 DOUGLAS ST	BLAKE MILTON W & PIXIE	136 DOUGLAS ST	BRIDGEPORT	CT	06606
260 WOODROW AV	MOROCHO ANGEL ET AL	260 WOODROW AVE	BRIDGEPORT	CT	06606
103 DOUGLAS ST	JAY CONSTRUCTION, LLC	857 POST RD, #206	FAIRFIELD	CT	06824
126 DOUGLAS ST	REYES STEPHANIE & POLANCO ANDY D	126 DOUGLAS ST	BRIDGEPORT	CT	06606
230 WOODROW AV	SOLER LUCAS	230 WOODROW AVE	BRIDGEPORT	CT	06606
76 DOUGLAS ST	SMITH RAYAH	76 DOUGLAS ST	BRIDGEPORT	CT	06606
90 DOUGLAS ST	ONDIRA ROBERT JOHN	90 DOUGLAS ST	BRIDGEPORT	CT	06606
196 WOODROW AV	ISEPI SHEILA	196 WOODROW AVE	BRIDGEPORT	CT	06606
104 DOUGLAS ST	BERRIOS JUSTIN G & ROBERTO S MAZIOI	104 DOUGLAS ST	BRIDGEPORT	CT	06606
75 DOUGLAS ST	ROCKWELL ORVILLE K	75 DOUGLAS ST	BRIDGEPORT	CT	06606
210 WOODROW AV	DINKINS MELISSA A	210 WOODROW AVE	BRIDGEPORT	CT	06606
135 DOUGLAS ST	QUINTANILLA ELSIE & SAUL	135 DOUGLAS ST	BRIDGEPORT	CT	06606
220 WOODROW AV	JENKINS KENNY W	220 WOODROW AVE	BRIDGEPORT	CT	06606
266 WOODROW AV	ALHBAL HISHAM (EST OF) & LISA ALHABAL	266 WOODROW AVE	BRIDGEPORT	CT	06606

JAY CONSTRUCTION LLC ACTIVE

857 POST RD., #206, FAIRFIELD, CT, 06824, United States

BUSINESS DETAILS

Business Details

General Information

Business Name

JAY CONSTRUCTION LLC

Business status

ACTIVE

Citizenship/place of formation

Domestic/Connecticut

Business address

857 POST RD., #206, FAIRFIELD, CT, 06824, United States

Annual report due

3/31/2022

NAICS code

All Other Specialty Trade Contractors (238990)

Business ALEI

1106876

Date formed

5/15/2013

Business type

LLC

Mailing address

857 POST RD., #206, FAIRFIELD, CT, 06824, United States

Last report filed

2021

NAICS sub code

Principal Details



Principal Name

GEDILSON BELMIRO GONCALVES

Principal Title

MEMBER

Principal Business address

857 POST RD., #206, FAIRFIELD, CT, 06824, United States

Principal Residence address

150 PINE POINT DRIVE, BRIDGEPORT, CT, 06606, United States

Agent details



Agent name

GEDILSON B. GONCALVES

Agent Business address

857 POST RD., #206, FAIRFIELD, CT, 06824, United States

Agent Mailing address

857 POST RD., #206, FAIRFIELD, CT, 06824, United States

Agent Residence addresss

495 HAWLEY AVE. , BRIDGEPORT, CT, 06606, United States

Filing History



Name History



None

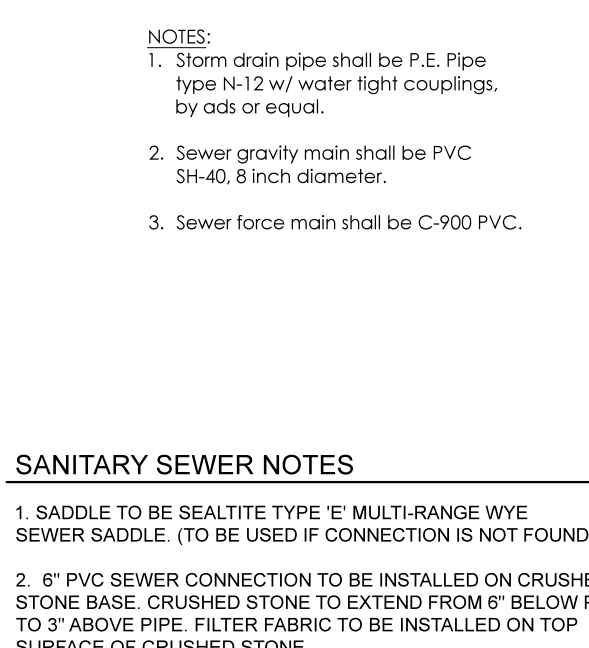
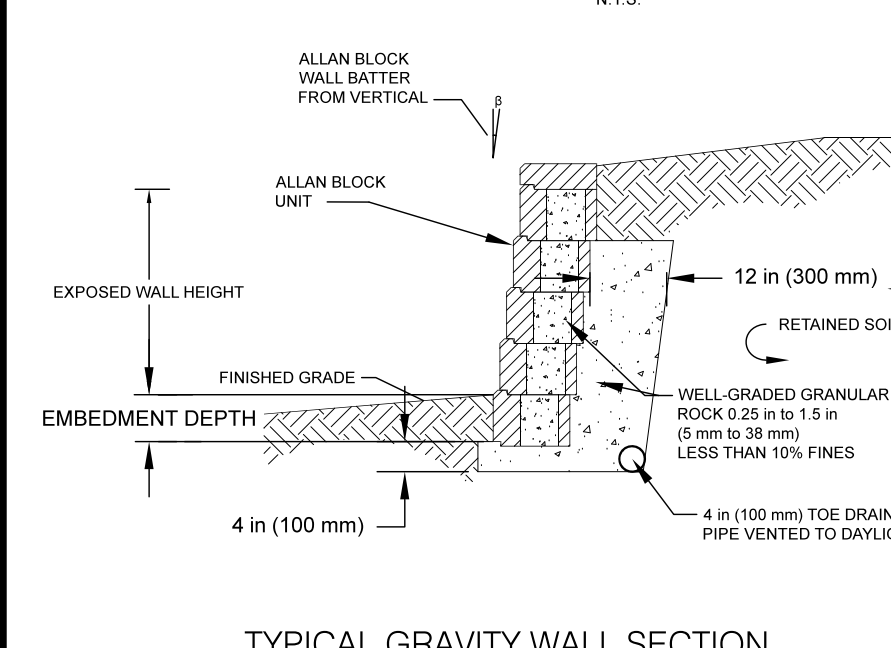
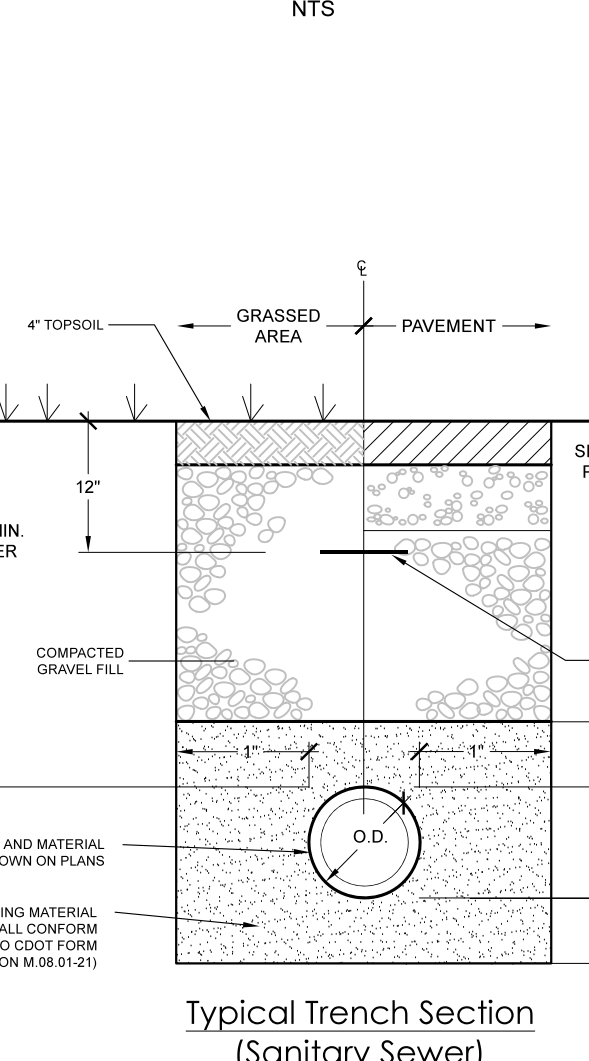
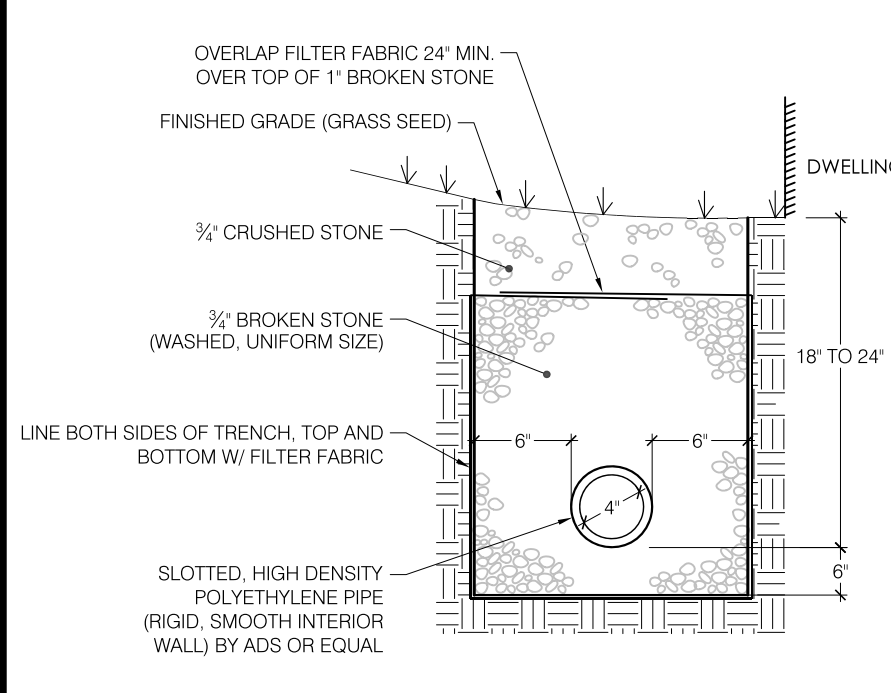
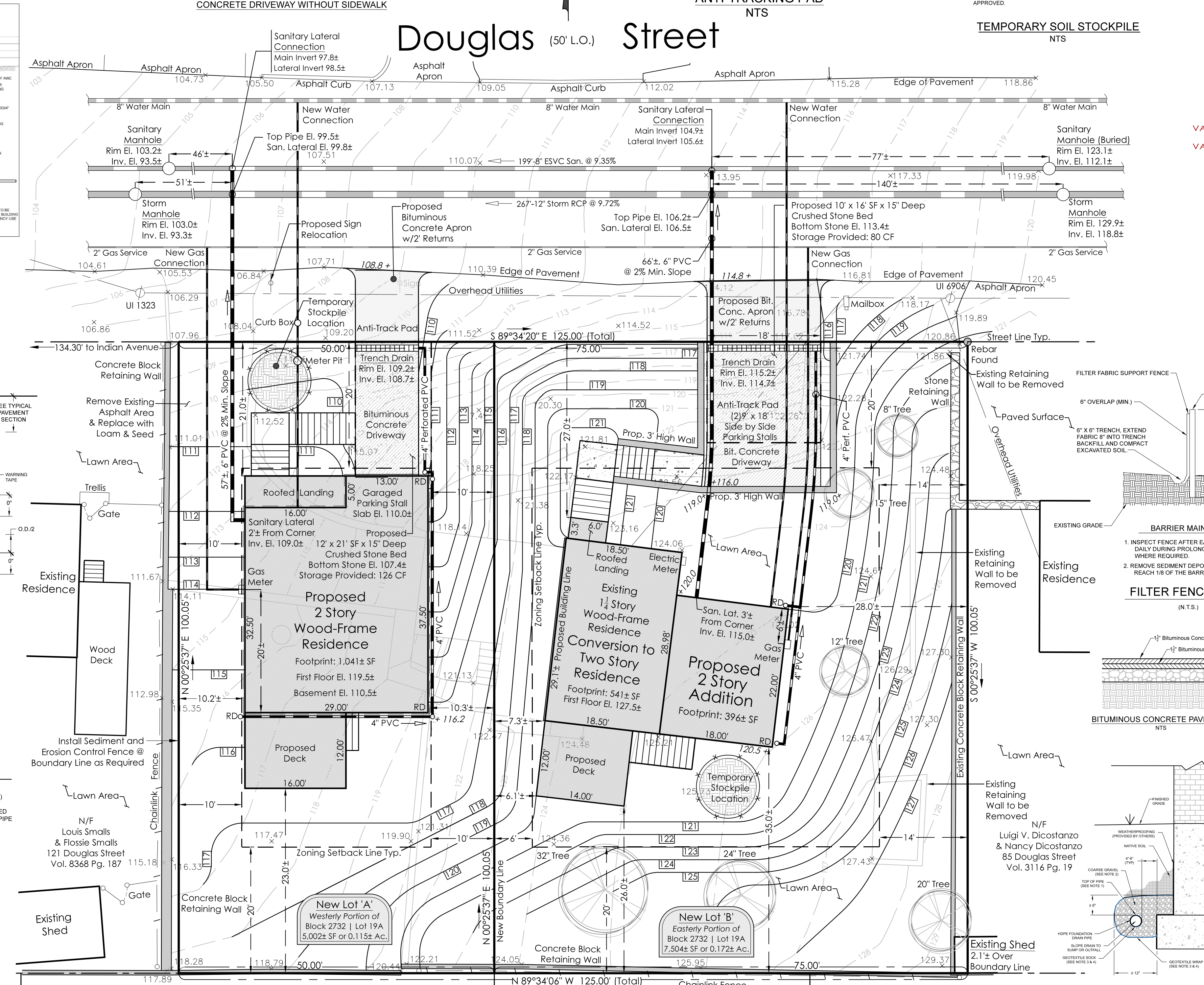
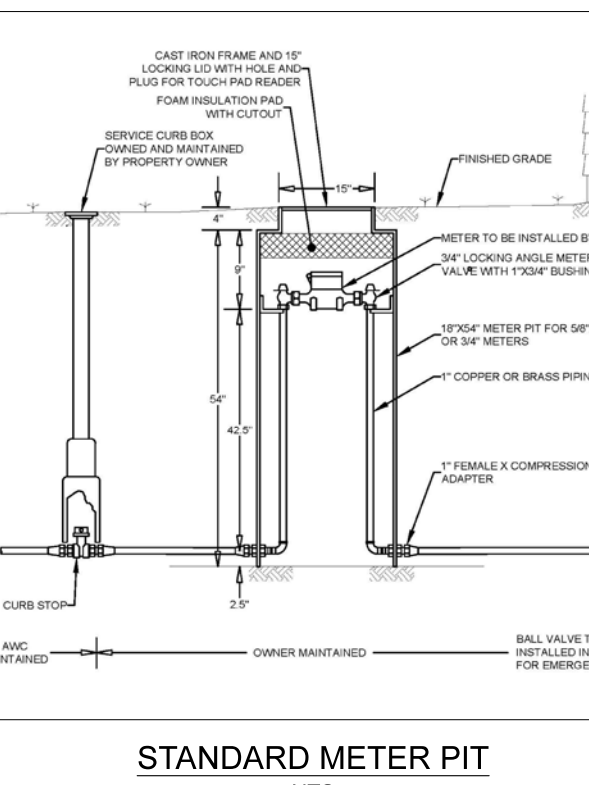
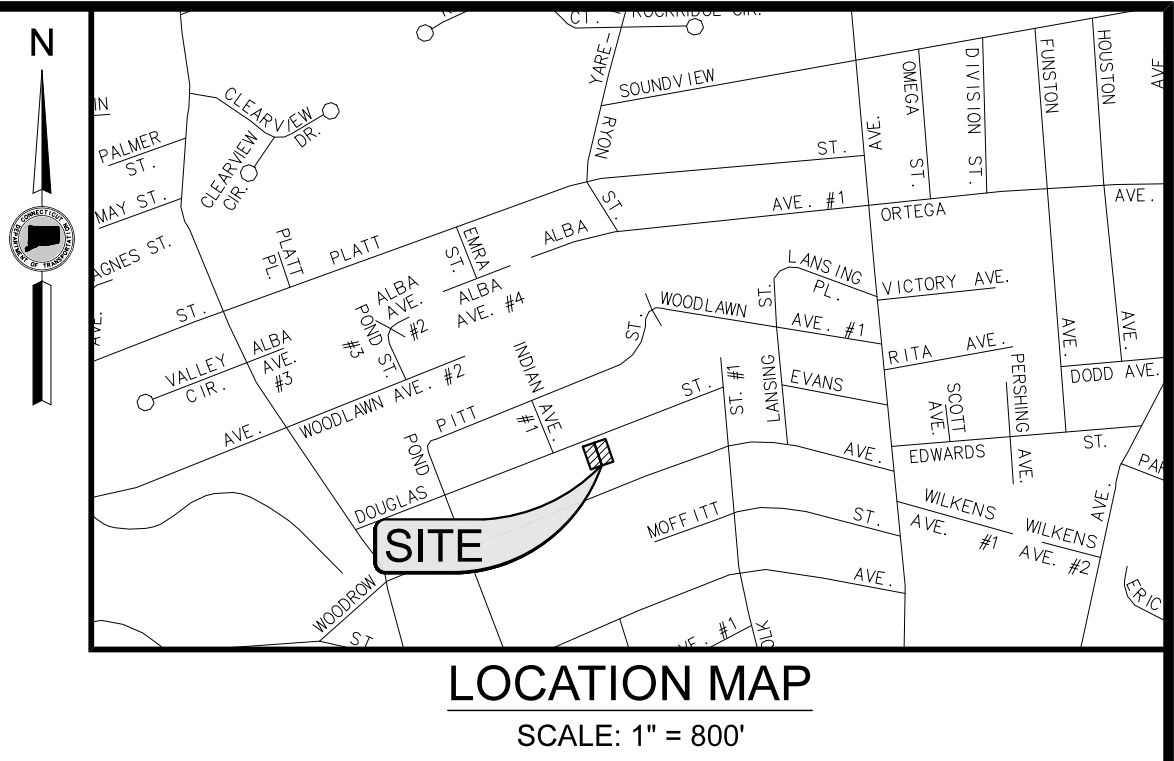
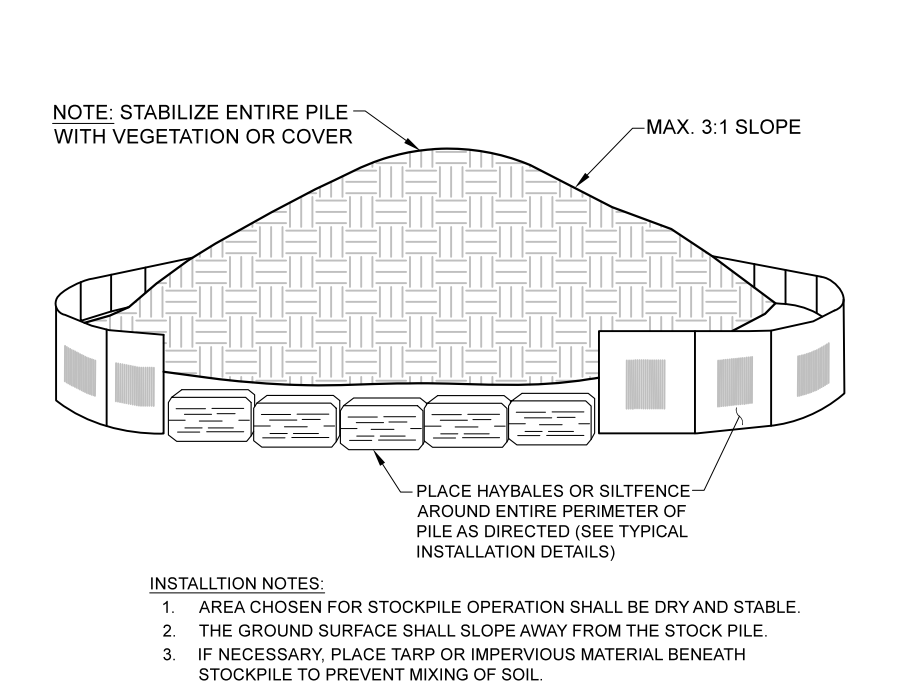
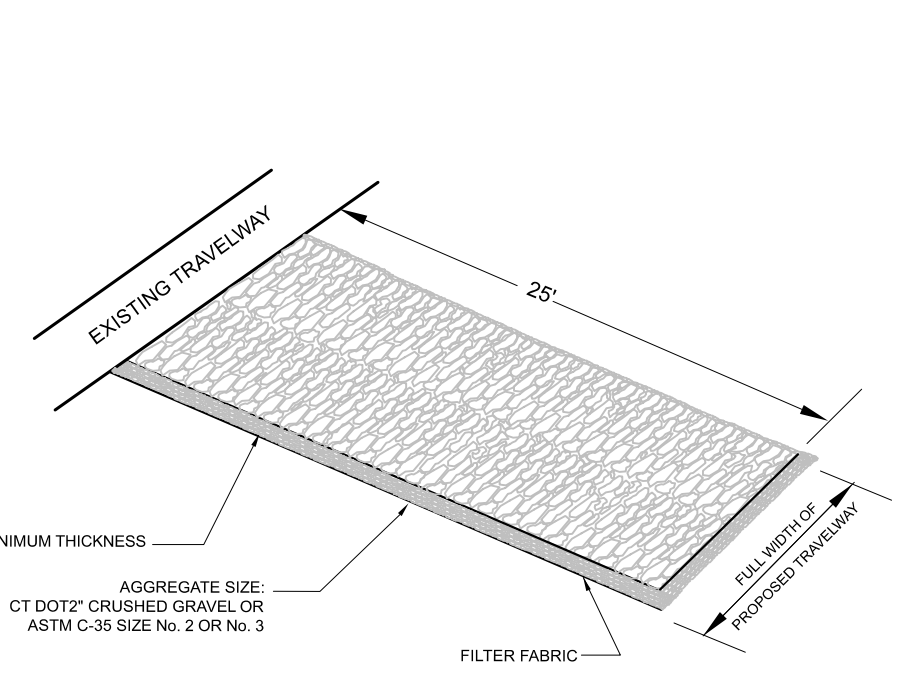
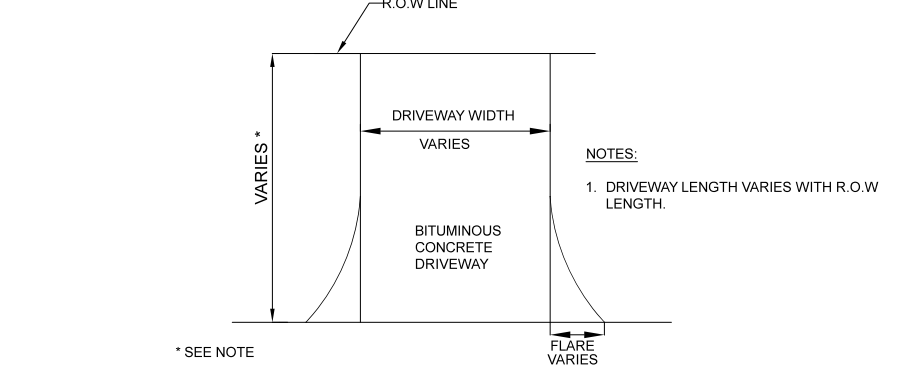
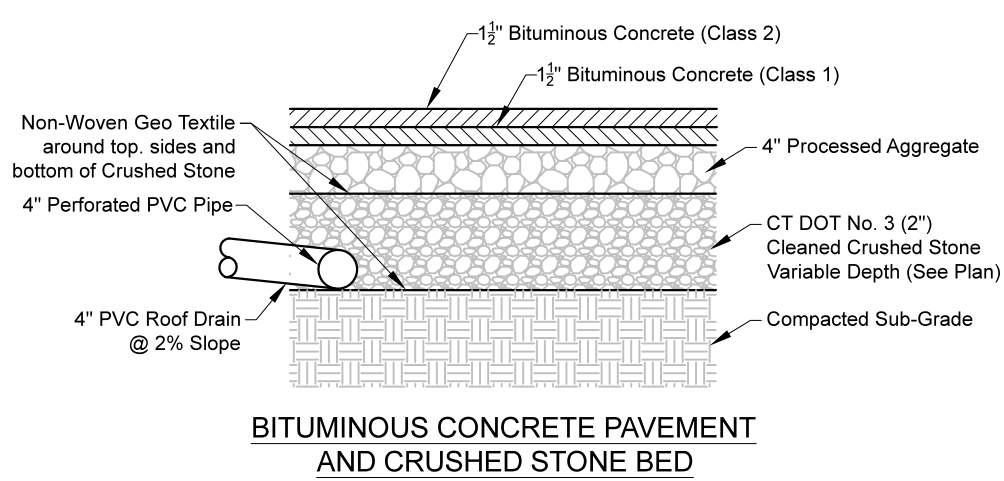


Shares

None

NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS AN **IMPROVEMENT LOCATION SURVEY** AND **TOPOGRAPHIC SURVEY** BASED ON A DEFENDANT SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2 AND IS INTENDED FOR **MUNICIPAL COMPLIANCE** PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD MEASUREMENTS AND OBSERVATIONS.
- BEARING REFERENCE IS ASSUMED. ELEVATIONS PER CITY OF BRIDGEPORT DATUM.
- MAP REFERENCES:**
 - MAP OF ISLAND BROOK PARK SECTION NO. 3 THE PROPERTY OF THE ESTATE OF E.L. CHAMBERLAIN SITUATED IN BRIDGEPORT, CONN; SURVEYED 1919-1920, BY PALMER & GODDOLL ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOLUME 9 PAGE 83**.
 - RE-SUBDIVISION LOTS NO. 106 TO 109 ISLAND BROOK PARK - SECTION 3 BRIDGEPORT, CONN; FOR: ANTHONY GROSSO JR, BRIDGEPORT, CONN. SCALE: 1" = 30', DATED JAN. 28, 1957 BY JOSEPH THO. KASPER ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOLUME 20 PAGE 58A**.
 - CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 2732**.
 - REFER TO WPCA RECORD MAP: "DOUGLAS ST." PROVIDED BY THE WATER POLLUTION CONTROL AUTHORITY **MAP NO. 5841**.
- RECORD OWNER: METROPOLITAN LIFE INSURANCE COMPANY VOL. 10458 PG. 272
- ASSESSOR'S REFERENCE: MAP 75 | BLOCK 2732 | LOT 19A
- TOTAL PARCEL AREA: 12,506± SQ. FT., OR 0.287± AC.
- PARCEL IS LOCATED WITHIN THE R-A ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 429 OF 626, COMMUNITY **BRIDGEPORT**, CITY OF, NUMBER **090002** PANEL **0429** SUFFIX **G**, MAP NUMBER **09001C0429G**, MAP REVISED **JULY 8, 2013**. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS **ZONE X (UNSHADED)**.
- BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DEANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DEANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DEANGELIS HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).

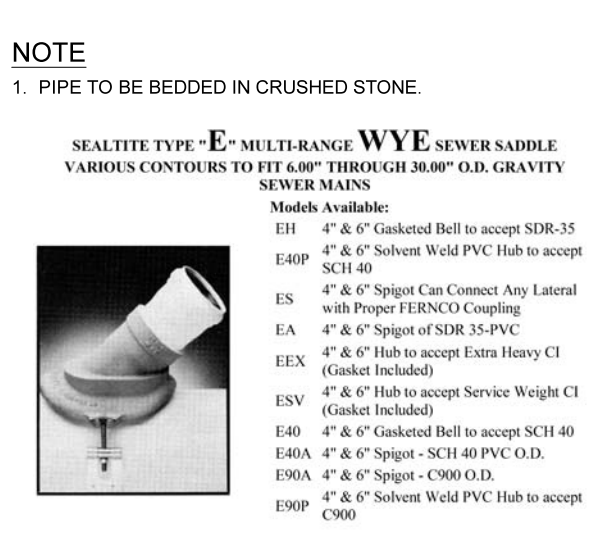


LEGEND

NF	NOW OR FORMERLY	CB	CATCH BASIN
MON.	MONUMENT	WM	WATER METER
IP	IRON PIPE	WV	WATER VALVE
FND.	FOUNDATION	GV	GAS VALVE
S.F.	SQUARE FEET	RET.	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OU	OVERHEAD UTILITIES	TMM	TELEPHONE MANHOLE
UG	UNDER GROUND	INT.	INTERSECTION
MH	MANHOLE	INV.	INVERT
ELEC.	ELECTRIC	C.I.	CAST IRON
UL	UTILITY POLE	W.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EP	EDGE OF PAVEMENT	MS	EXISTING SPOT GRADE
RET.	RETAINING	---100---	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
F.FE	FINISHED FLOOR ELEVATION	2	PARKING SPACES
C.O.	CLEARANCE OVER	HDPE	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
ET	EXISTING CONIFER TREE		EXISTING DECIDUOUS TREE

SANITARY SEWER NOTES

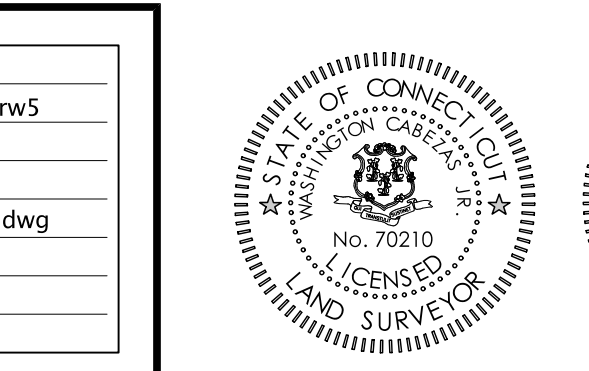
- SADDLE TO BE SEALTYPE TYPE 'E' MULTI-RANGE WYE SEWER SADDLE. (TO BE USED IF CONNECTION IS NOT FOUND)
- 6" PVC SEWER CONNECTION TO BE INSTALLED ON CRUSHED STONE BASE. CRUSHED STONE TO EXTEND FROM 6" BELOW PIPE TO 2" ABOVE PIPE. FILTER FABRIC TO BE INSTALLED ON TOP SURFACE OF CRUSHED STONE.
- SERVICE LATERALS TO CROSS SANITARY LINE. VERIFY ELEVATIONS AT CROSSING WITH TEST PITS.



Cabezas DeAngelis
ENGINEERS & SURVEYORS

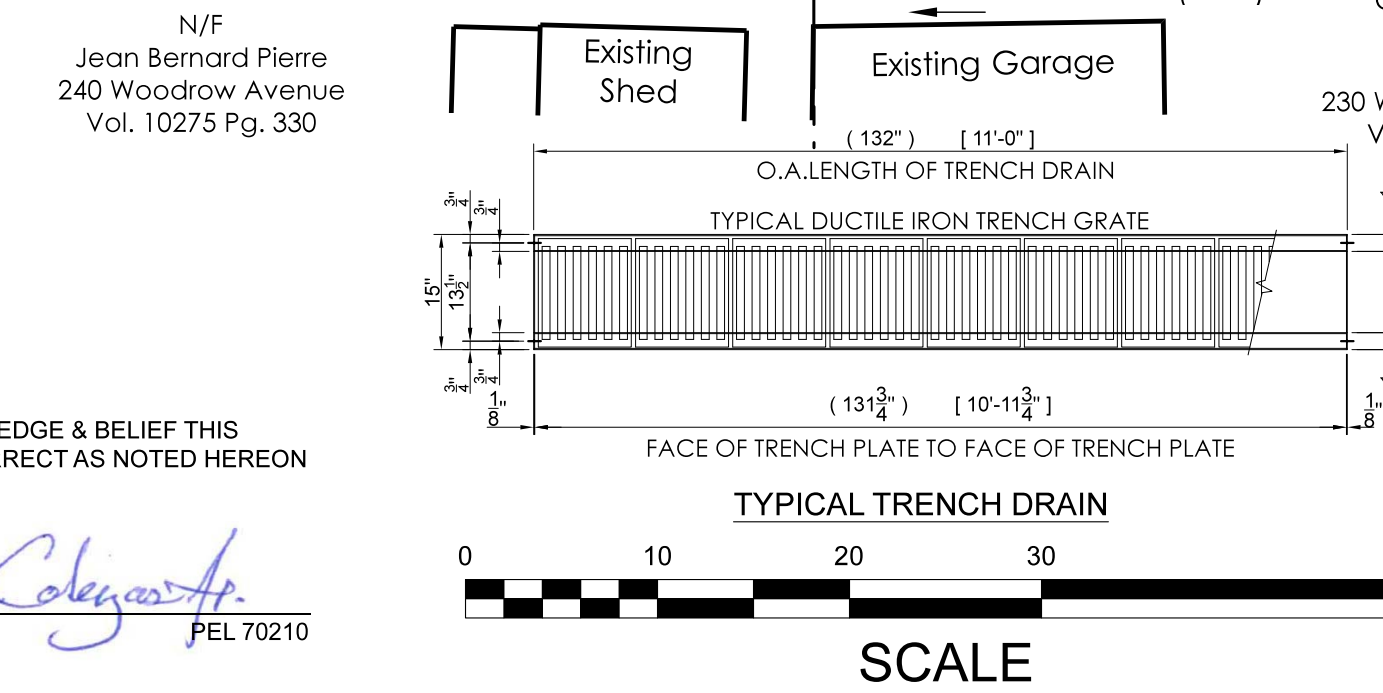
78 ELM STREET, BRIDGEPORT, CT 06604
P: 203 330 8700 • F: 203 330 8701

SCALE: 1"=10'
FIELD FILE: 103 Douglas St. ILS.rw5
PROJECT NO. CD1564
DATE: September 1, 2021
CAD FILE: 103 Douglas Street ILS.dwg
SHEET 1 OF 1
REV:



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Washington Cabezas, Jr.
WASHINGTON CABEZAS, JR. FEL 70210



Percolation Test Results

Time	Measurement to Water Surface	Drop in Water Level (0.01")	Rate (Min./Inch)
8:30 AM	0.40		
8:33 AM	0.48	0.08	3.13
8:36 AM	0.55	0.07	3.57
8:39 AM	0.60	0.05	5.00
8:42 AM	0.66	0.06	4.17
8:45 AM	0.70	0.04	6.25
8:48 AM	0.74	0.04	6.25
Overall Percolation Rate (Min/Inch)			4.41
Minimum Percolation Rate (Min/Inch)			6.25
Based on minimum percolation rate, a 15" tall system will drain in (Hours):			1.6

R-A Zone Development Standards

	REQUIRED	NEW LOT 'A'	NEW LOT 'B'
LOT AREA, MINIMUM	7,500 SF	5,002± SF	7,504± SF
FRONTAGE, MINIMUM	75 FT	50 FT	75 FT
DEPTH, MINIMUM	100 FT	100 FT	100 FT
LOT AREA / DWELLING UNIT, MINIMUM	N/A	N/A	N/A
PRINCIPLE BUILDING SETBACK			
FRONT LOT LINE, MINIMUM FROM	20 FT	21.0± FT	27.0± FT
SIDE LOT LINE, MINIMUM FROM	6 FT	10.0± FT & 10.0± FT	6.1± FT & 28.0± FT
ONE SIDE	6 FT	10.0± FT	6.1± FT
BOTH SIDES SHALL ADD UP TO	20 FT	20.0± FT	34.1± FT
REAR LOT LINE	20% OF LOT DEPTH	23.0± FT	26.0± FT
MAXIMUM	20 FT	23.0± FT	26.0± FT
ACCESSORY STRUCTURE			
SETBACK MINIMUM FROM:			
FRONT LOT LINE	THE LESSER OF 50% OF LOT DEPTH OR 75 FT	N/A	N/A
SIDE LOT LINE	3 FT	N/A	N/A
REAR LOT LINE	3 FT	N/A	N/A
CORNER LOT	NOTE 2	N/A	N/A
FLOOR AREA MAXIMUM	NOTE 4	N/A	N/A
COVERAGE			
BUILDING COVERAGE, MAXIMUM	40%	30%	16%
SITE COVERAGE, MAXIMUM	60%	35%	30%
LANDSCAPED AREA			
MINIMUM	40%	65%	70%
HEIGHT (NOTE 8 & 10)			
PRINCIPAL BUILDING, TO RIDGE	35 FT MAX.	33± FT	30± FT
PRINCIPAL BUILDING, TO MID-POINT	28 FT MAX.	28 FT MAX.	24± FT
ACCESSORY STRUCTURE, MAXIMUM			
FLAT OR ROUNDED ROOF	12 FT	N/A	N/A
TO RIDGE	15 FT	N/A	N/A

NOTES:

- SIDE SETBACK SHALL BE EITHER TEN (10) FT MINIMUM OR FORTY (40) PERCENT OF THE PRINCIPAL BUILDING HEIGHT, WHICHEVER IS GREATER.
- CORNER LOTS ARE REQUIRED TO PROVIDE TWO FRONT YARDS AND TWO SIDE YARDS.
- R-A 5,000 SF LOT MINIMUM SHALL APPLY ONLY TO LAWFULLY CREATED LOTS THAT PRE-EXIST THE EFFECTIVE DATE OF THESE REGULATIONS. NO NEW SUCH LOTS SHALL BE CREATED.
- THE MAXIMUM TOTAL SQUARE FOOTAGE OF ANY AND ALL ACCESSORY STRUCTURES ON A LOT SHALL NOT EXCEED FIFTY (50) PERCENT OF THE FIRST OR GROUND FLOOR OF THE PRINCIPLE STRUCTURES. WITH THE EXCEPTION OF IN-GROUND POOLS AND OTHER SIMILAR STRUCTURES AT GRADE LEVEL WHICH SHALL NOT BE COUNTED TOWARDS THE MAXIMUM SQUARE FOOTAGE OF ACCESSORY STRUCTURES. (PER SECTION 4-9-1(C)(2)).
- ON LOTS OF FIVE (5) ACRES OR MORE, BUILDING COVERAGE SHALL NOT EXCEED 40% AND SITE COVERAGE SHALL NOT EXCEED 70%.
- FOR NURSING HOMES, CONVALESCENT HOMES, ASSISTED LIVING FACILITY OR CONGREGATE HOUSING, MAXIMUM ALLOWABLE HEIGHT OF A PRINCIPAL BUILDING SHALL BE 6-STORIES OR 60 FT AND THE LOT SIZE IS AT LEAST FIVE (5) ACRES. (DORMITORIES EXCLUDED.)
- FOR PUBLIC INTER-DISTRICT MULTI-MAGNET SCHOOLS WITH 200,000 SF OR MORE OF FLOOR AREA IN THE R-A ZONE, SEE TABLE 3.A. ALL OTHER SCHOOLS, SEE TABLE 3.
- IN FLOOD PLAIN AREAS WHERE THE LOWEST FLOOR OF THE BUILDING IS ELEVATED TO MEET THE FLOOD DAMAGE PREVENTION STANDARDS, THE MAXIMUM TOTAL BUILDING HEIGHT SHALL BE MEASURED FROM THE BASE FLOOD ELEVATION (BFE) + 1 ELEVATION PROVIDED THAT THE RESULTING HEIGHT OF THE BUILDING IS NOT MORE THAN FIVE (5) FEET GREATER THAN THE MAXIMUM BUILDING HEIGHT PERMITTED IN THE RCC ZONE.
- MINIMUM SIDE SETBACK ALONG COMMERCIAL CORRIDORS IS 0'.
- HALF STORY: AN ATTIC OR STORY IMMEDIATELY BELOW A SLOPING ROOF WITH NO MORE THAN 50% OF SAID SPACE HAVING A FLOOR TO CEILING HEIGHT GREATER THAN SEVEN FEET SIX INCHES (7'-6").
- N.A. - NOT APPLICABLE

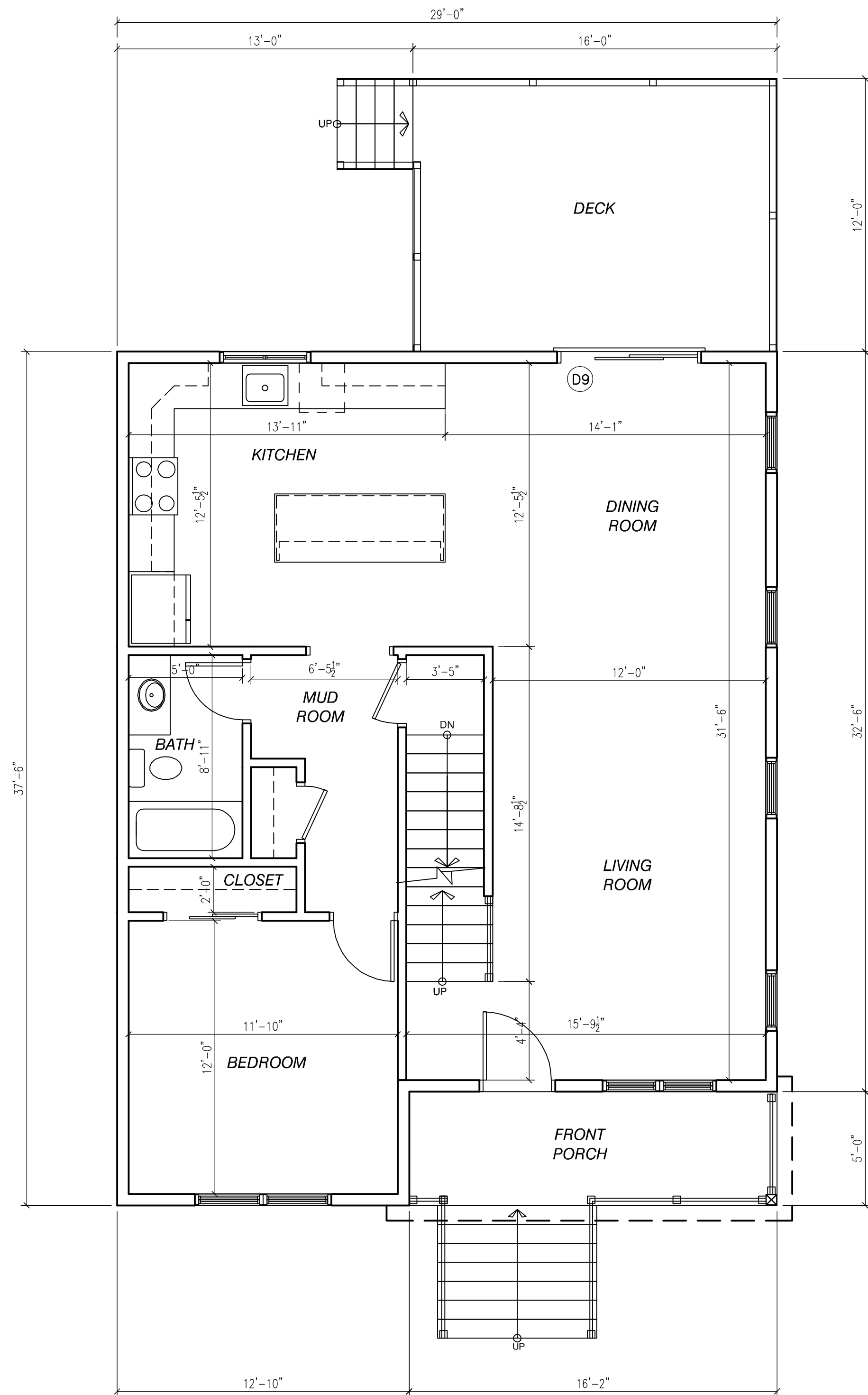
IMPROVEMENT LOCATION SURVEY - AND - TOPOGRAPHIC SURVEY

PREPARED FOR
JAY CONSTRUCTION, LLC
103 DOUGLAS STREET
BRIDGEPORT, CONNECTICUT
ASSESSOR'S REFERENCE: MAP 75 | BLOCK 2732 | LOT 19A

SHEET 1 OF 1

SEPTEMBER 1, 2021 WASHINGTON CABEZAS, JR., P.E. LS SCALE: 1" = 10'

SCALE



1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

1ST FL LIVING SPACE = 1005 SF
GARAGE = 295 SF
TOTAL LIVING SPACE = 1,975 SF

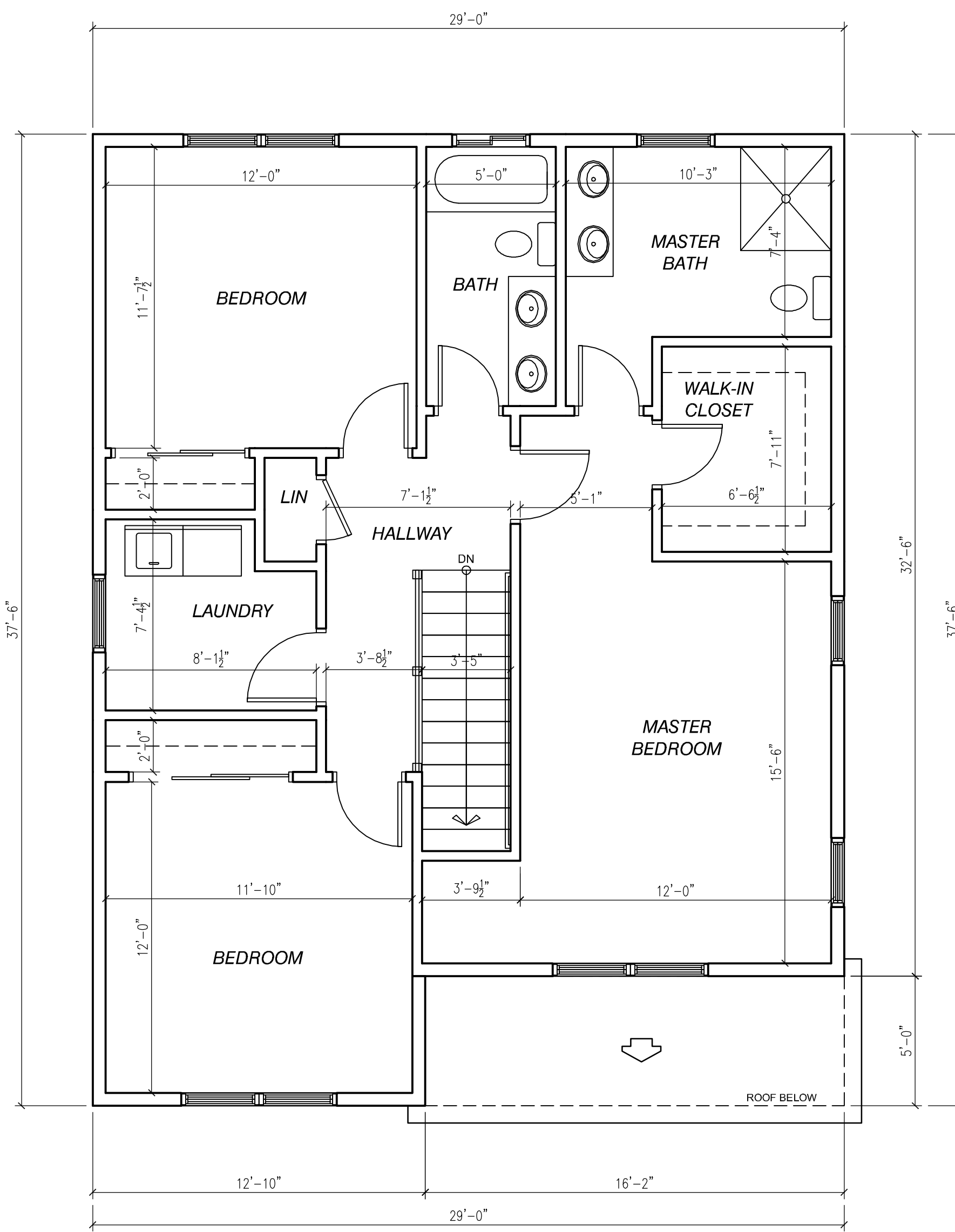
GENERAL NOTES

- #1 - AS PER 2015 IRC SECTION R302.7 - UNDER STAIR PROTECTION: ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- #2 - ALL WINDOWS AND EXTERIOR DOORS INCLUDING GARAGE OVERHEAD DOOR TO BE CERTIFIED AND LABELED BY MANUFACTURE WITH DESIGN PRESSURE RATING TO WITHSTAND 125 MPH WINDS.
- #3 - AS PER "2015 IRC" SECTION R319 - PREMISES IDENTIFICATION: APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- #4 - PRE-ENGINEERED LUMBER COMPANY SHALL PROVIDE SHOP DRAWINGS WITH ALL LOAD CALCULATIONS FOR PERMIT PRIOR TO INSTALLATION. (IF APPLICABLE)
- #5 - PROVIDE METAL JOIST HANGER AT ALL FLUSH CONNECTIONS

#6 - ANY SPACE BETWEEN WINDOW & DOOR JAMBS AND FRAMING, AT EXTERIOR WALLS, ARE REQUIRED TO BE SEALED BY EITHER CAULK OR BACKER ROD.

#7 - SHOWER/TUB ON EXTERIOR WALL - EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWER AND TUBS. INSTALL DRAFT STOP SHEATHING BEHIND SHOWER AND TUBS ON EXTERIOR WALLS.

#8 - CHEMICAL TERMITICIDE TREATMENT SHALL BE PROVIDED AND SHALL INCLUDE SOIL AND OR FIELD APPLIED WOOD TREATMENT. APPLICATION AND METHOD OF TREATMENT OF THE CHEMICAL TERMITICIDE SHALL BE IN STRICT ACCORDANCE WITH THE TERMITICIDE MFR.'S LABEL.



2ND FLOOR PLAN
SCALE 1/4" = 1'-0"

2ND FL LIVING SPACE = 970 SF
TOTAL LIVING SPACE = 1,975 SF

GARAGE NOTES -

ALL INTERIOR WALLS OF EXTERIOR WALLS TO BE FIN. W/ 5/8" FIRECODE TYPE "X" GYPSUM BOARD

PROVIDE 1-HR. RATED PARTITIONS BETWEEN GARAGE AND DWELLING WITH 5/8" FIRECODE TYPE "X" GYPSUM BOARD APPLIED TO EACH SIDE OF 2X4 WOOD STUDS AT 16" O.C.

ALL GARAGE CEILINGS TO BE INSTALLED W/ 5/8" FIRECODE TYPE "X" GYPSUM BOARD

PLUMBING GENERAL NOTES -

- PROVIDE VACUUM BREAKER VALVE STOP VALVE HB - HOSE BIB FROST-FREE , LOOSE KEY DISHWASHER - PROVIDE EMERGENCY BALL STOP VALVE IN CABINET
- WASHING MACHINE - PROVIDE "DUO-CLOZ" SHUT-OFF VALVE AT INTERIOR WALL OF LAUNDRY CLOSET NEAR TO THE DOOR.
- PROVIDE WATER HAMMER ARRESTOR WHERE REQUIRED

DOOR SCHEDULE		
	SIZE	REMARKS
D1	3'-0" x 6'-8" x 1-3/4" INSULATED FULLY WEATHERSTRIPPED, ALUM. SILL	
D2	2'-8" x 6'-8" x 1-3/4"	20-MIN. FIRE RATED INSULATED
D3	2'-8" x 6'-8" x 1-3/4"	INSULATED
D4	2'-8" x 6'-8" x 1-3/8"	
D5	2'-6" x 6'-8" x 1-3/8"	
D6	2'-4" x 6'-8" x 1-3/8"	
D7	4'-0" x 6'-8"	SLIDING CLOSET DOOR
D8	5'-0" x 6'-8"	SLIDING CLOSET DOOR
D9	6'-0" x 6'-8"	EXTERIOR SLIDING PATIO DOOR
D10	9'-0" x 8'-0" INSULATED OVERHEAD GARAGE DOOR	
D11	3'-0" x 6'-8"	BI-FOLD LAUNDRY DOOR
D12	2'-0" x 6'-8" x 1-3/8"	

WINDOW SCHEDULE			
	ROUGH OPENING	NOMINAL SIZE	REMARKS
W1	SEE MFR.'S SPECIFICATIONS	3'-0" x 5'-0"	D.H. (EGRESS)
W2	SEE MFR.'S SPECIFICATIONS	2'-6" x 4'-0"	D.H.
W3	SEE MFR.'S SPECIFICATIONS	6'-0" x 5'-0"	DOUBLE D.H. (EGRESS)
W4	SEE MFR.'S SPECIFICATIONS	2'-8" x 5'-0"	D.H.
W5	SEE MFR.'S SPECIFICATIONS	5'-0" x 5'-0"	DOUBLE D.H.
W6	SEE MFR.'S SPECIFICATIONS	3'-0" x 1'-6"	SLIDING
W7	SEE MFR.'S SPECIFICATIONS	4'-0" x 4'-0"	DOUBLE CASEMENT
W8	SEE MFR.'S SPECIFICATIONS	3'-0" x 3'-6"	DOUBLE D.H.
W9	SEE MFR.'S SPECIFICATIONS	6'-0" x 3'-4"	DOUBLE D.H.

WINDOW NOTES

- 1 - AS PER 2015 IRC- SECTION R310.1.1: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING WITH A MINIMUM NET CLEAR OPENING OF 5.7 SF. EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SF. WITH A MINIMUM NET REQUIRED CLEARANCE OF 20" WIDTH AND 24" HEIGHT. IN EXISTING BUILDINGS UNDERGOING ALTERATION OR INSTALLATION OF REPLACEMENT WINDOWS IT SHALL BE PERMITTED TO UTILIZE REMOVABLE SASH WINDOWS TO ACHIEVE THE REQUIRED MIN. CLEAR OPENINGS FOR EGRESS.
- 2 - EMERGENCY ESCAPES AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE
- 3 - WINDOWS PERFORMANCE DATA:
U-FACTOR: LoE = 0.32 W/ ARGON GAS FILL SHGC: LoE = 0.32
DP-RATING = DP-50
- 4 - AS PER 2015 IRC SECTION R312.2 - WINDOW SILL SHALL NOT BE LESS THAN 24" ABOVE FIN. FLOOR IF WINDOW SILL IS MORE THAN 72" ABOVE EXTERIOR FINISH GRADE.
EXCEPTIONS:
A) THE OPERABLE SECTION OF THE WINDOW SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE.
B) OPENING IS PROVIDED WITH FALL PREVENTION DEVICE THAT COMPLIES WITH ASTM F 2090
C) WINDOW IS PROVIDED WITH OPENING CONTROL DEVICE THAT COMPLIES WITH 2015 IRC R312.2.2
- 5 - WINDOWS AND EXTERIOR DOORS SHALL BE TESTED AND LABELED TO WITHSTAND A MIN. OF 130 MPH WIND LOAD.
- 6 - SPACE BETWEEN WINDOW & DOOR JAMBS AND FRAMING SHALL BE SEALED WITH NON-EXPANDING INSULATION AND CAULK OR BACKER ROD AND CAULK.

BATHROOM NOTES

- #1 - INTERIOR WALLS FOR CERAMIC TILE INSTALLATION, TUB SURROUNDS , SUCH AS SHOWER IN DRY AREAS USE 1/2" W/R GYPSUM BOARD.
- #2 - FLOOR FOR CERAMIC TILE INSTALLATION - FLOOR + WONDERBOARD OVER PLYWOOD SUB-FLOOR.
- #3 - BATHROOM EXHAUST FAN DUCTED TO OUTSIDE PROVIDE WEATHER CAP.
- #4 - SHOWER LIGHT AND LIGHTING ABOVE WHIRLPOOL SHALL BE VAPOR PROOF.(IF APPLICABLE)
- #5 - PROVIDE WHIRLPOOL MOTOR SERVICE PANEL. (IF APPLICABLE)

MECHANICAL NOTES

- #1 - NEW FURNACE TO BE HIGH EFFICIENCY GAS DIRECTED VENTED UNIT, AND SHALL BE INSTALLED AS PER MFR.'S RECOMMENDATIONS
- #2 - GAS DIRECTED VENTED WATER HEATER TO BE INSTALLED AS PER MFR.'S RECOMMENDATIONS

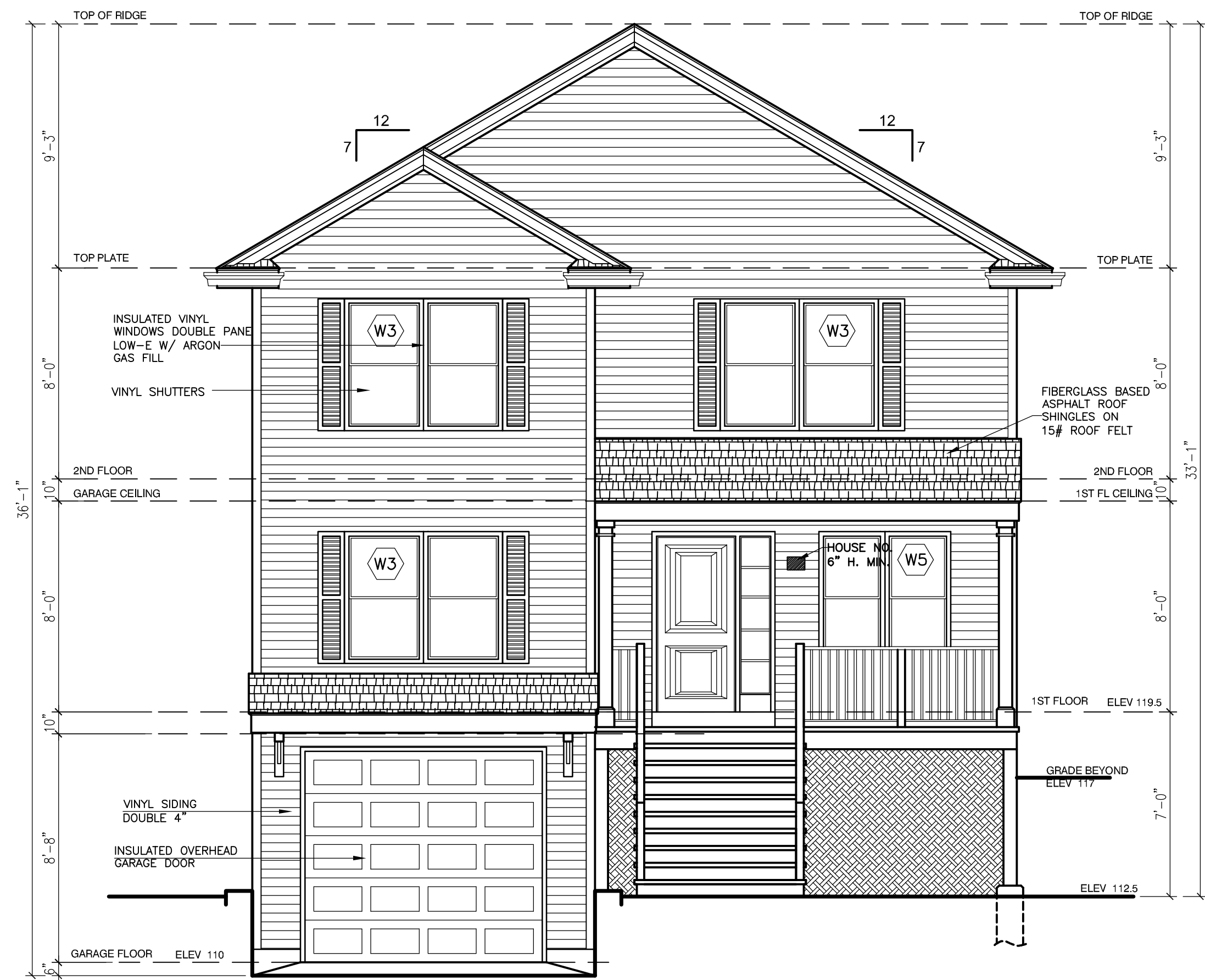
This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

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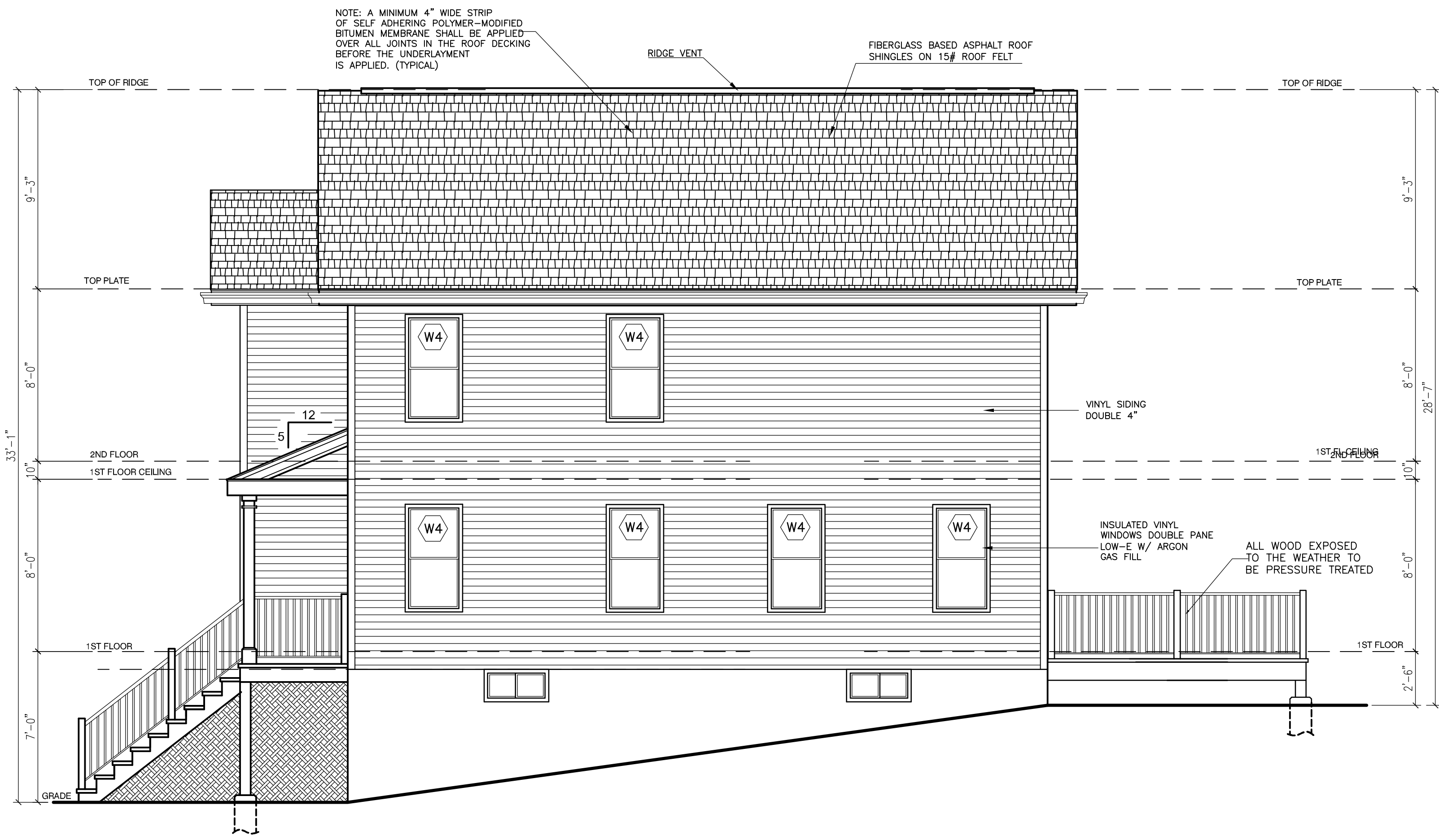
REVISIONS					
NO.	DATE	BY	DESCRIPTION		
1					
2					
3					
4					
5					
6					

NEW SINGLE FAMILY HOME PLANS
 PREPARED FOR PROPERTY LOCATED AT
 103 DOUGLAS ST., NEW LOT "A", BRIDGEPORT, CT

1ST & 2ND FLOOR PLANS SCHEDULES AND NOTES	date: 08-28-2021	scale: AS NOTED
	drawn: M. REINHEIMER 203-449-6137	project #: MCR-2021-158
		E-Mail: marcosprimrose@yahoo.com



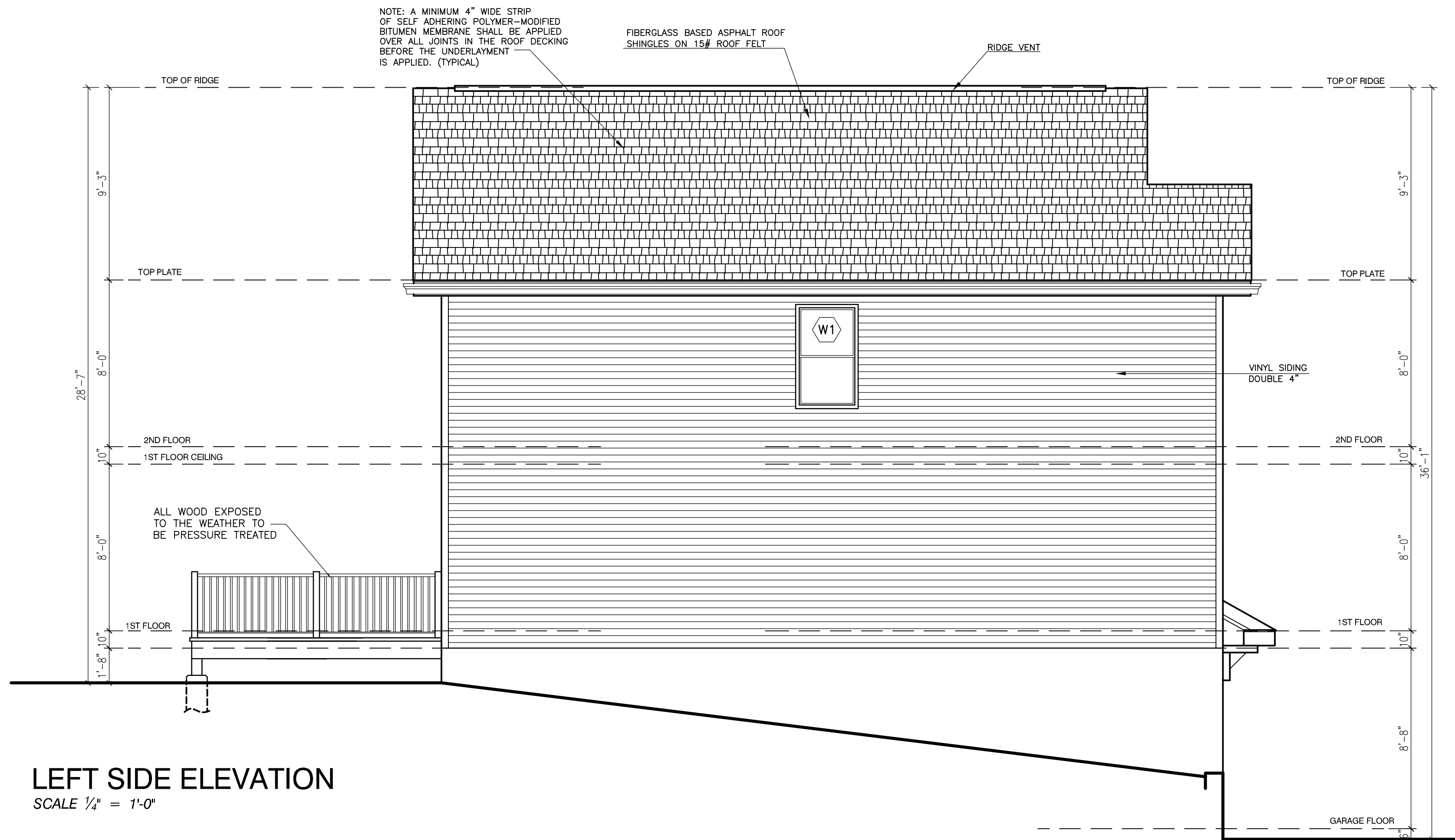
FRONT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"

1	2	3	4	5	6
REVISIONS					

NEW SINGLE FAMILY HOME PLANS
 PREPARED FOR PROPERTY LOCATED AT
 103 DOUGLAS ST., NEW LOT "A", BRIDGEPORT, CT

ELEVATIONS	
date:	08-28-2021
drawn:	M. REINHEIMER 203-449-6137
scale:	AS NOTED
project #:	MCR-2021-158
E-Mail:	marcosprimrose@yahoo.com

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CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

134 Albion St and 2093-2097 Fairfield Avenue Zone I-L
(Number) (Street) (Zone Classification)

On the East side of the street about 0 feet South from
(North, South, East, West) (North, South, East, West)

Fairfield Avenue Block : 19/308 Lot: 1 & 2/A
(Street)

Dimension of Lot in Question 84.15' x 100.00' x 50.00' x 90.00' x 50.00' x 95.81' x 100.00' x
(Specify)

1. NAME OF APPLICANT / BUSINESS Barros Motors Auto Sales LLC
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner and Lessee

3. HAS A PREVIOUS APPLICATION BEEN FILED? Yes IF SO, GIVE DATE OF HEARING 12/8/21
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT

A certificate of approval of location of a motor vehicle repair facility and general repairer's license

5. THIS APPLICATION RELATES TO: Check all that Apply

Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: Motor Vehicle - Consent Agenda

6. USE TO BE MADE OF PROPERTY Motor vehicle repair facility and General Repairer's license

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT [Signature] / DATE 09/03/2021
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) / Chris@russorizio.com
(Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20_____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

_____ FEE RECEIVED: _____ DATE: _____ 20____ Clerk _____



Colin B. Connor
 Elizabeth A. Falkoff*
 Robert G. Golger
 Michael C. Jankovsky
 David K. Kurata
 Katherine M. Macol
 Leah M. Parisi
 William M. Petroccio*
 Raymond Rizio*
 Christopher B. Russo
 Robert D. Russo
 John J. Ryan
 Vanessa R. Wambolt
 (*Also Admitted in NY)

September 3, 2021

Dennis Buckley
 Zoning Administrator
 Zoning Department
 45 Lyon Terrace
 Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for Certificate of Location and General Repairer’s License for Motor Vehicle Repair Facility – 134 Albion Street & 2093-2097 Fairfield Avenue

Dear Mr. Buckley:

Please accept the following narrative and enclosed application materials as part of the application for a certificate of approval of location for a motor vehicle repair facility with general repairer’s license to the Bridgeport Zoning Board of Appeals (“ZBA”) for the properties located at 134 Albion Street & 2093-2097 Fairfield Avenue (the “Site”) in the I-L Zone:

Narrative

The Petitioner requests an approval for a Certificate of Location for a motor vehicle repair facility with general repairer’s license at the Site. The Applicant had previously submitted to ZBA for a general repairer’s license as well as approval to operate a used car dealership. While the Site can accommodate a dealership, the Petitioner only seeks approval for a motor vehicle repair facility with this current Petition.

The Site currently contains a single approximately 2,350 SF single-story building with Three (3) bay doors. The Site has previously been approved for the existing alarm & stereo installation business within the bay area on the south side of the building as well as both a motor vehicle repair and sales facility for the entire Site dating all the way back to 1988. So, the Site has a long history with the proposed use and beyond. Again, the Petitioner is not seeking approval as a used car dealership with this Petition, but merely to continue to operate as a small motor vehicle repair facility. As directed by the Zoning Board of Appeals at a prior hearing, the Petitioner is no longer operating the repair facility as he awaits approval from the ZBA.

The Site’s only access is from Albion Street, which allows the Petitioner the ability to screen the Site from Fairfield Avenue. The Petitioner intends to landscape along the Fairfield Avenue property line to provide an attractive front to the Site. The Site features a very large parking area, which provides well in excess of the off-street parking requirements under the Regulations. The Regulations require Ten (10) off-street parking spaces for the first 5,000 SF of a motor vehicle repair

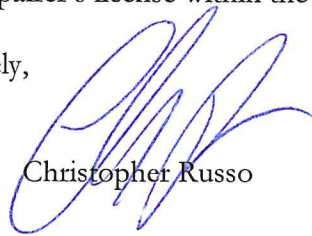
10 Sasco Hill Road
 Fairfield, CT 06824

Tel 203-255-9928
 Fax 203-255-6618

facility and the existing building is only around 2,350 SF. It should also be noted, these prior zoning approvals relied solely on the parking available at 134 Albion Street. However, the Petitioner also owns the property at 2093-2097 Fairfield Avenue, which provides even more parking for the Site, well in excess of the parking required for a building double the size of the existing building.

This Site has been approved as a motor vehicle repair facility for decades. For the reasons stated above, the Petitioner respectfully requests approval of a Certificate of Location as a vehicle repair facility with a general repairer's license within the existing building.

Sincerely,



Christopher Russo

Business Inquiry

Business Details

Business Name: **BARROS MOTORS AUTO SALES LLC** Citizenship/State Inc: **Domestic/CT**
 Business ID: **1309270** Last Report Filed Year: **2021**
 Business Address: **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA** Business Type: **Domestic Limited Liability Company**
 Mailing Address: **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA** Business Status: **Active**
 Date Inc/Registration: **May 13, 2019**
 Annual Report Due Date: **03/31/2022**
 NAICS Code: **Other Services (except Public Administration) (81)** NAICS Sub Code: **All Other Automotive Repair and Maintenance (811198)**

Principals Details

Name/Title	Business Address	Residence Address
DANIEL H BARROS MANAGING MEMBER	134 ALBION STREET, BRIDGEPORT, CT, 06605, USA	10 KNOLL PLACE, 10 KNOLL PLACE, BRIDGEPORT, CT, 06610, USA

Agent Summary

Agent Name **DANIEL H BARROS**
 Agent Business Address **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA**
 Agent Residence Address **10 KNOLL PLACE, CT, BRIDGEPORT, CT, 06610, USA**
 Agent Mailing Address **134 ALBION STREET, BRIDGEPORT, CT, 06605, USA**

PROPERTY ADDRESS WITHIN 100' OF 134 ALBION ST AND 2093-2097 FAIRFIELD AVE

PROPERTY ADDRESS	OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
110 ALBION ST	REID CEPHAS N N	234 OAKSIDE ST	LEHIGH ACRES	FL	33936
134 ALBION ST	BLACK ROCK REALTY GROUP LLC	801 ELLSWORTH ST	BRIDGEPORT	CT	06605
145 ANDOVER ST #151	BAR BRIDGEPORT LLC	145 ANDOVER ST #151	BRIDGEPORT	CT	06605
137 ANDOVER ST #143	NEDELJKOVIC DARA	669 WHITE PLAINS RD	TRUMBULL	CT	06611
2115 FAIRFIELD AV	ALBION PLAZA LLC	62 STONEY RIDGE RD	SADDLE RIDGE	NJ	07458
118 ALBION ST	ALBION PROPERTIES LLC	97 STROBEL RD	TRUMBULL	CT	06611
171 ANDOVER ST	DRAGONE & SONS LLC	16 PAR LN	TRUMBULL	CT	06611
163 ANDOVER ST	TROJILLO JOSE E	1452 WOOD AVE	BRIDGEPORT	CT	06604
2093 FAIRFIELD AV #2097	BARROS DANIEL	10 KNOLL PL	BRIDGEPORT	CT	06610
165 ANDOVER ST	WALDORF PROPERTIES LLC	478 ALBANY AVE #1	BROOKLYN	NY	11203
102 ALBION ST	ALPHA BLACK ROCK LLC	1700 DIXWELL AVE, BLD D, STE K	HAMDEN	CT	06473
2145 FAIRFIELD AV	RDS NATIONAL GROUP LLC	9675 AUTRY FALLS DR	ALPHARETTA	GA	30022
2075 FAIRFIELD AV	DRAGONE & SONS LLC	16 PAR LN	TRUMBULL	CT	06611
2091 FAIRFIELD AV	BLACK ROCK REALTY GROUP LLC	2091 FAIRFIELD AVE	BRIDGEPORT	CT	06605
2073 FAIRFIELD AV	DRAGONE & SONS LLC	16 PAR LN	TRUMBULL	CT	06611
2098 FAIRFIELD AV	POWER TEST REALTY CO LTD PARTNERSHIP C/O GETTY REALTY CORP	292 MADISON AVE, 9TH FL	NEW YORK	NY	10017



NOTES:

- THIS SURVEY FOR MAP 3 WAS BEEN RECORDED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300a-1 THRU 20-300b-20 AND THE "STANDARDS FOR THE PRACTICE OF SURVEYING" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1986. IT CLASS #1-7 AND IS INTENDED TO BE USED FOR REGULATORY APPROVAL.
- REFERENCE IS MADE TO THE FOLLOWING DEEDS:
 - A. VOL. 2450 P. 5179
 - B. VOL. 2440 P. 5278
 - C. VOL. 2453 P. 5033
 - D. VOL. 2453 P. 5033
 - E. VOL. 2452 P. 5033
 - F. VOL. 2452 P. 5033
 - G. VOL. 2452 P. 5033
 - H. VOL. 2452 P. 5033
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - A. MAP NO. 1 OF PROPERTY TO BE KNOWN AS "BRANNUM LAND," BRIDGEPORT, CONN., SCALE 100 FT. TO 1 IN., PREPARED BY J. EDWARDS & ASSOCIATES, L.L.C., MAP NO. 134, FILED IN THE BRIDGEPORT TOWN CLERK'S OFFICE AS MAP NO. 134 AND RECORDED IN BOOKS OF MAPS NO. 2035.
 - B. "IMPROVEMENT LOCATION SURVEY OF PROPERTY LOCATED AT 146 ANDOVER STREET, BRIDGEPORT, CONNECTICUT, PREPARED FOR BRIDGEPORT BRIDGESS, L.L.C. SCALE 1"=20', PREPARED BY PETERA ENGINEERING, L.L.C., SEPTEMBER 10, 2019.
 - C. "BOUNDARY & TOPOGRAPHIC SURVEY, BRIDGEPORT HOUSING AUTHORITY, 146 ALBION STREET, BRIDGEPORT, CONNECTICUT, PREPARED BY J. EDWARDS & ASSOCIATES, L.L.C. SCALE 1"=20', PREPARED BY PETERA ENGINEERING & ENVIRONMENTAL SERVICES, OCTOBER 10, 2020.
 - D. OWNER OF RECORD: BLACK ROCK REALTY GROUP, L.L.C.
- LOT CORNER MARKERS ERODED HEREON WERE FOUND AND/OR SET DURING COMPLETION OF THIS SURVEY. ALL TO THE TOWN RECORDS FOR THIS LOT ARE TO BE PLACED AS PART OF SUBSEQUENT IMPROVEMENTS AND HAVE BEEN BRANDED TO THE TOWN RECORDS.
- BRANDES MARKED ON REFERENCE MAP 3.C.
- CORNER OF AN UNRECORDED CONVERSE AS OF THE ORIGINAL DATE OR REVISED DATE DERIVED HEREON. RECOMMENDED TO ACCURATELY REFLECT THE CURRENT CONDITIONS.
- TAX ASSESSOR INDICATES OWNER OF #171 ANDOVER STREET TO BE ALL COUNTY AUTO, L.L.C.
- AREA = 3,993 SQUARE FEET.



LEGEND

- CHAIN LINK FENCE
- STOCKADE FENCE
- UTILITY POLE
- ELECTRIC BOX
- GAS VALVE
- WATER METER
- WATER VALVE
- MONITORING WELL
- MANHOLE
- CATCH BASIN
- SIGN
- LAMP POST

IMPROVEMENT LOCATION SURVEY
 134 ALBION STREET
 BRIDGEPORT, CONNECTICUT

SCALE 1"=20'
 AUGUST 11, 2020

ALBION STREET

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
 THIS MAP IS NOT VALID UNLESS ENDORSED WITH THE SEAL OR AFFIXED WITH
 THE LIVE SIGNATURE OF THE SURVEYOR.

J. EDWARDS & ASSOCIATES, L.L.C.
 Engineering and Surveying
 1000 Main Street, Suite 200
 Bridgeport, CT 06610
 www.jedwards.com

JASIN EDWARDS, L.S., No. 20058

ZONING COMPLIANCE FIELD CARD

No.: 160033

Date: 10/16/19

Applicant: Sounds Good

Location: 134 Albion St

North 100' East of Fairfield Ave

Dimension of Lot: 88'x100'

Proposed Construction and/or Use: No work, new tenant utilizing single right-side bay inc. to an alarm & stereo installation business.

Notes:

By:



Date: 10-16-19

IL-Zone
308-2A

134 Albion St

CA-2

PLANNING & ZONING COMMISSION

Seeking under Sec. 14-54 of the CT General Statutes an amended certificate approval of location for a used car dealer's license under new ownership in an I-L zone.

WOOD AVE AUTO SALES, LLC
C/O JOSE SANTOS CARCAMO
134 ALBION STREET
BRIDGEPORT, CT 06605

PUBLIC HEARING: August 25, 2014

DECISION: Consented Approval

CONDITIONS: DMV CONDITIONS "D"

134 Albion St. Velez Service Center, Inc. 5/2
east side 100' south owner
of Fairfield Ave.
Lot: 84.15' x 100'
x 185.81' x 50' x 50' x 50'

WAIVER OF HEARING REQUIREMENTS FOR MOTOR VEHICLE
LICENSING - grant under Sec. 14-54 of the C.G.S. an
amended Cert. of App. of Loc. for a Used Car Dealer
& Repair license in a BUS. NO. 1 ZONE & LT. IND.
Zone to permit the display, sale & repair of Used
Motor Vehicles in connec. with an exist. repair garage
facility under new ownership.

WAIVER OF HEARING REQUIREMENTS FOR MOTOR VEHICLE
LICENSING, Tuesday, March 8, 1988 GRANTED CONDITIONALLY
subject to the following conditions: (over)

134 Albion St. Mimi Dragone, Inc.,
east side 100' south Lessee
of Fairfield Ave.
Lot: 84.15' x 100' x
185.81' x 50' x 50'
x 50'

WAIVER OF HEARING REQUIREMENTS FOR MOTOR VEHICLE
LICENSING - grant under Sec. 14-54 of the C.G.S. an
amended Certificate of Approval of Location for a Used
Car Dealer License in a BUS. NO. 1 & LT. IND. ZONE to
permit the display, sale & repair of used motor
vehicles in connec. with an exist. dealership under
new ownership.

WAIVER OF HEARING REQUIREMENTS FOR MOTOR VEHICLE
LICENSING - Tuesday, June 13, 1989 GRANTED under



ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for: (Check all that Apply)

[X] Variance [] Appeal from Zoning Officer [] Extension of Time Permit / Modification of Plan of Development [] Request for Re-hearing [] Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

371-377 & 379-395 E Main St, 192-194 Nichols Street and 75 & 81 Evitts Ln Zone O-R

On the West side of the street about 0 feet South from Nichols Street

Block : 36/808 Lot: 1E, 2, 2A, 3 & 7 Dimension of Lot in Question 165.01' x 25.00' x 27.80' x 104.47' x 103.36' x 3.45' x 86.19' x 183.59'

1. NAME OF APPLICANT / BUSINESS Bridgeport Landing Development, LLC
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Contract Purchaser
3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING
4. DESCRIBE PROPOSED DEVELOPMENT Construction a five-story residential apartment building containing Forty-four (44) dwelling units, off-street parking and associated Site improvements in an O-R Zone.

5. THIS APPLICATION RELATES TO: Check all that Apply
[X] Setback [] Coverage [] Landscaping [] Lot Area and Width [] Floor Area [] Height [] Parking [] Extension or Enlargement of Non-Conforming Use and/or Building [X] Coastal Area Management Approval [] Liquor [] Use [] Other:

6. USE TO BE MADE OF PROPERTY Multi-family residential apartment building containing Forty-four (44) dwelling units in an O-R Zone.

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See Attached

APPLICANT [Signature] / [Print] DATE 09/28/2021

If signed by agent, state capacity (lawyer, builder, etc) / (Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824 (Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT: [Signature] Print City of Bridgeport

Subscribe & Sworn to before me this day of 20 Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary). The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application. NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED. PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: DATE: 20 Clerk



Colin B. Connor
Robert G. Golger
David K. Kurata
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

October 1, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

**Re: Petition for Variances – 371-377 & 379-395 E Main Street, 192-194 Nichols Street,
and 75
& 81 Evitts Lane**

Dear Mr. Buckley:

Please accept, on behalf of my clients, Bridgeport Landing Development, LLC (the “Petitioner”), the following narrative and enclosed application materials as part of a Petition for variances of the Bridgeport Zoning Regulations (the “Regulations”) and coastal site plan review for the properties located at 371-377 & 379-395 E Main Street, 192-194 Nichols Street, and 75 & 81 Evitts Lane (the “Site”) to permit a multi-family residential apartment building to contain Forty-four (44) dwelling units on the Site with associated Site improvements in the O-R Zone.

Variances Requested

1. Variance of Section 6-1-4.a.5 of the Regulations to reduce the minimum 10’ front setback of landscaped area to One foot (1’) for a single use multifamily building; and
2. Variance of Section 6-1-3 and Table 4.B of the Regulations to increase the maximum side yard setback from 14’ to 21.7’ along the East Main Street frontage and 48.7’ along the Nicholas Street frontage.

Narrative

The Petitioner requests variances in order to construct a five-story multi-family residential apartment building to contain Forty-four (44) dwelling units on the Site. The Petitioner is permitted as of right to build a multi-family residential apartment building on the Site in the O-R Zone.

10 Sasco Hill Road
Fairfield, CT 06824

Tel 203-255-9928
Fax 203-255-6618

The Site is located in a neighborhood with a mix of multi-family dwellings and commercial uses. It is completely surrounded by the O-R Zone. It is located just north of I-95 and the Steelpointe development and it is one of the first developments north of Steelpointe to hopefully benefit from the transformation of Steelpointe. The Site is an oddly shaped lot, which is currently vacant. Many of the lot lines for the Site are angled. The East Main Street property is angled towards the interior of the Site. The side lot line of the Site starting at Nichols Street is angled towards the interior of the Site, where it “pinches” in the middle, before being angled towards the exterior of the Site. The lack of straight lot lines makes it difficult to position the proposed building in conformance with the Regulations. In addition, a separate piece of property currently owned by the State of Connecticut located on the direct corner where East Main Street and Nichols Street intersect was removed from the Site as a result of a taking. This taking also hinders the positioning of the building.

The Petitioner proposes to construct a five-story multi-family residential dwelling on the Site. The Site will be accessed by a two-way driveway along Nichols Street, the secondary street, as well as an exit-only driveway onto East Main Street, the primary street. A one-way exit driveway is more appropriate on East Main Street as an entrance driveway would pose traffic concerns. Said access will lead to a parking area containing Twenty-five (25) off-street parking spaces. There are no parking requirements under the Regulations in the O-R Zone. The dumpster pad will be located in the very far corner of the Site away from both public streets.

The proposed five-story building will contain Forty-four (44) residential dwelling units – Sixteen (16) one-bedroom, Twenty-four (24) two-bedroom and Four (4) three-bedroom dwelling units. The one-bedroom dwelling units range in size from 637 SF to 723 SF. The two-bedroom dwelling units range in size from 899 SF to 1045 SF. The three-bedroom dwelling units are 1,154 SF. Each unit will contain an open-concept kitchen, dining and living area as well as a full bath and bedroom. The three-bedroom units will feature an additional half bath. The upper floors will be accessed by Two (2) elevators and a stairwell.

The proposed design of the building conforms to the urban design guidelines and is meant to encourage a street level design which interacts with the streetscape. The Petition locates the proposed building directly on the East Main Street and Nichols Street frontages aligned with the sidewalk. It conforms with that setback. Its entrance fronts the primary street. The street wall occupies Eighty-five (85%) of the primary street frontage on East Main Street and Fifty-two percent (52%) of the secondary street frontage on Nichols Street in excess of the Regulations. As the Site is located on a corner lot, the proposed parking area is appropriately located off the secondary street of Nichols Street. The design almost exactly mimics the provided “Best” option in Figure 6-A. The proposed building design mimics the

urban fabric of the surrounding neighborhood. The roofline contains decorative cornices. The façade will feature hardieplank and brick materials of varying colors in accordance with the design guidelines. The Site will contain more than the minimum required landscaping.

Hardship

Granting the Petitioner the above-stated variance will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations (the “Regulations”) would cause a unique hardship to the Applicant as the Petition satisfies the intent and design guidelines of the Regulations, but it can not fully conform as an oddly-shaped corner lot. As stated above, the main intent of the O-R Urban Design guidelines of Sec. 6-1-4 of the Regulations is to encourage a street level design which interacts with the streetscape and the above details thoroughly describe how the Petition conforms to the guideline. However, the Site is hindered by an oddly-shaped lot that “pinches” itself. While the design of the building conforms to the Regulations, its use as a single use multifamily dwelling adds the requirement of a 10’ landscape setback. Along East Main Street, if the proposed building was set back by more than 10’ it would at least eliminate multiple rows of parking (the parking row on the eastern side and the isolated two spaces on the western side) and, at a minimum, would force the Nichols Street driveway to become a one-way. Such a change would force the East Main Street exit to become the only exit on the Site. Similarly, the odd angle of the East Main Street property line, forces the proposed building to be located at an angle. A 10’ setback for the building along Nichols Street would significantly impede the development and eliminate the East Main St driveway. In addition, the Site was also subject to a taking from the State of Connecticut, which impacts the design of the proposed building. A taking is sufficient grounds for the granting of a variance.

The Site’s odd shape also affects its side yard setback along East Main Street. Rather than heading straight towards East Main Street, the exit driveway onto East Main Street is angled to match the angle of the proposed building to exit alongside it. This angle creates a landscape buffer and setback to the south of the driveway that requires a variance of the Regulations. Due to the traffic on East Main Street, the Petitioner has proposed a full access driveway at Nichols Street, which automatically requires a variance as the driveway must be Twenty-four feet (24’) in width in excess of the maximum side yard setback of Fourteen feet (14’). The full access driveway on Nichols Street requires a variance for the Site as well as the Eighteen foot (18’) deep parking stalls along the western property line. Without the variance, this row of parking would be eliminated. Again, the Site is severely hampered by the taking at the corner of the Site. Due to the street wall requirement, the proposed building must maintain a façade along Nichols Street. The Petition meets and exceeds this requirement. However, the proposed building can not begin meeting that requirement at the very corner

of East Main Street and Nichols because there was a taking. This has a tremendous effect on the building design and the possible parking area. These hardships on the Site necessitate the requested variances. However, despite these challenges, the Petitioner was still able to meet the design guidelines of the Regulations.

The Petition will be a significant improvement to the neighborhood and will have no detrimental impact on property values. The Site has been significantly underutilized in a highly visible area and affords the opportunity to bring new construction housing to the neighborhood. The proposed multi-family residential dwelling use complies with the O-R Regulations. The Petition affords the opportunity for new development outside the bounds of Steelpointe to actually benefit from that transformative development.

For the reasons stated above, the Applicant respectfully requests approval of the Petition for the above-stated variances.

Sincerely,


Raymond Rizio

PROPERTIES WITHIN 100' OF 371-377 EAST MAIN STREET, 192-194 NICHOLS STREET AND 75 & 81 EVITTS LANE

PROPERTY ADDRESS	OWNER	MAILING ADDRESS	CITY	STATE	ZIP CODE
378 EAST MAIN ST	BRIDGEPORT CITY OF	999 Broad Street	BRIDGEPORT	CT	06604
192 NICHOLS ST #194	BRIDGEPORT CITY OF	0 EXEMPT PARCEL N/A	BRIDGEPORT	CT	00000
371 EAST MAIN ST #377	BRIDGEPORT CITY OF	999 Broad Street	BRIDGEPORT	CT	06604
372 EAST MAIN ST	BRIDGEPORT CITY OF	999 Broad Street	BRIDGEPORT	CT	06604
81 EVITTS LN	BRIDGEPORT CITY OF	999 Broad Street	BRIDGEPORT	CT	06604
75 EVITTS LN	BRIDGEPORT CITY OF	999 Broad Street	BRIDGEPORT	CT	06604
410 EAST MAIN ST #416	GARNETT KYLE E	410-416 EAST MAIN STREET	BRIDGEPORT	CT	06608
411 EAST MAIN ST #425	EAST MAIN ST	320 QUINNIPIAC AVE, STE 4F	NEW HAVEN	CT	06513
379 EAST MAIN ST #395	BRIDGEPORT CITY OF	999 Broad Street	BRIDGEPORT	CT	06604
388 EAST MAIN ST #394	BRIDGEPORT CITY OF	999 Broad Street	BRIDGEPORT	CT	06604

BRIDGEPORT LANDING DEVELOPMENT, LLC ACTIVE

C/O RCI MARINE 300 ALTON ROAD, SUITE 303, MIAMI BEACH, FL, 33139, United States

BUSINESS DETAILS

Business Details

General Information

Business Name

BRIDGEPORT LANDING DEVELOPMENT, LLC

Business status

ACTIVE

Citizenship/place of formation

Foreign/FL

Business address

C/O RCI MARINE 300 ALTON ROAD, SUITE 303, MIAMI BEACH, FL, 33139, United States

Annual report due

3/31/2022

NAICS code

Other Activities Related to Real Estate (531390)

Business ALEI

0673454

Date formed

2/13/2001

Business type

LLC

Mailing address

10 EAST MAIN ST SUITE 201, BRIDGEPORT, CT, 06608, United States

Last report filed

2021

NAICS sub code

531390

Principal Details

Principal Name

ROBERT W. CHRISTOPH SR.

Principal Title

MANAGER

Principal Business address

10 EAST MAIN ST SUITE 201, BRIDGEPORT, CT, 06608, United States

Principal Residence address

90 ALTON ROAD, TOWN HOUSE 6, MIAMI BEACH, FL, 33139, United States

Principal Name

ROBERT W. CHRISTOPH JR.

Principal Title

MANAGER

Principal Business address

10 EAST MAIN ST SUITE 201, BRIDGEPORT, CT, 06608, United States

Principal Residence address

2181 NORTH BAY ROAD, MIAMI BEACH, FL, 33140, United States

Agent details

Agent name

C T CORPORATION SYSTEM

Agent Business address

67 BURNSIDE AVE, EAST HARTFORD, CT, 06108, United States

Agent Mailing address

67 BURNSIDE AVE, EAST HARTFORD, CT, 06108, United States

Filing History

Name History



None

Shares



None

COASTAL AREA MANAGEMENT APPLICATION

CAM APPLICATION

for

***New 44-Unit Residential Building &
Related Site Improvements
283 Richards Avenue
Norwalk, Connecticut***

Prepared for:

Bridgeport Landing Development, LLC
10 East Main Street, Suite 201
Bridgeport, CT 06608

Prepared by:



Christian A. DeAngelis, P.E.

CABEZAS DeANGELIS LLC

78 Elm Street
Bridgeport, CT 06604
Telephone: (203) 330-8700
Fax: (203) 330-8701

Project #21-32

October 1, 2021





Application Form Municipal Coastal Site Plan Review For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions and submit it with the appropriate plans to appropriate **municipal agency**.

Section I: Applicant Identification

Applicant:	<u>Bridgeport Landing Development, LLC</u>	Date:	<u>10/01/2021</u>
Address:	<u>10 East Main Street, Suite 201, Bridgeport, CT 06608</u>		
Phone:	<u>203-330-8200</u>		
Project Address or Location:	<u>TAX MAP 36, BLOCK 808, LOTS 3, 2A, 2, 1E & 7 NICHOLS AND EAST MAIN STREET</u>		
Interest in Property:	<input checked="" type="checkbox"/> fee simple <input type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement		
	<input type="checkbox"/> other (specify) _____		
List primary contact for correspondence if other than applicant:			
Name:	<u>Russo & Rizio, LLC, c/o Christopher Russo, Attorney</u>		
Address:	<u>10 Sasco Hill Road</u>		
City/Town:	<u>Fairfield</u>	State:	<u>CT</u>
Zip Code:	<u>06824</u>		
Business Phone:	<u>203-528-0590</u>		
e-mail:	<u>chris@russorizio.com</u>		

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and grading
- Coastal resources on and contiguous to the site
- N/A High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Stormwater treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

Site Plan for Zoning Compliance

N/A Subdivision or Resubdivision

Special Permit or Special Exception

Variance

N/A Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description:

City or Town:

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO

3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:
There is no adjacent water. The closest tidal waters are 900'± from site - Pequonnock River

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:
Parcels are found within Zone OR (Office/Retail Zone). The existing site is vacant. Surrounding properties are office and retail use (abutting properties are mostly vacant property). The site abuts Interstate-95 on the south and west sides.

5. Indicate the area of the project site: 27,153 acres or square feet (circle one)

6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities

Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.

Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.

7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) Yes No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The project involves the development of a 5-story, 44-unit residential building on an existing vacant parcel of land. A driveway will be constructed on the north side of the site (at Nichols Street) and at the southeast corner (at East Main Street). The driveway at the north side will allow for two-way traffic and the driveway at the southeast corner will be one-way only. A storm drainage system will be designed to handle the run-off for both the new structure and the driveways/parking lot. There will be an overall increase in site coverage, however the new impervious surfaces will be directed to a new stormwater system. This property will be developed in keeping with the integrity of this zone. Construction will have an approximately 11 month duration.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

Storm water run-off from the building and the driveway areas will be treated with a sub-grade stormwater infiltration system. The primary stormwater treatment will be implemented as to Stormwater Best Management Practice. Stormwater run-off will also be improved by the planting of new lawn areas which will also aid in the attenuation of storm water run-off. Pre- and post-development stormwater run-off rates and volumes will be computed using the TR-55 method. Water quality volume (WQV) will be determined using methods as outlined in CT DEEP Stormwater Quality Manual. A new hydrodynamic separator will be installed prior to discharge from the site. The system will remove at least 80% of the average annual total suspended solids (TSS).

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)				X
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				X
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				X

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

Complies w/ CGS 22a-92(a)(1) "...by promoting economic growth without significantly disrupting the environment..."

Complies w/ CGS 22a-92(b)(2)(F) "...manage coastal hazard areas to minimize hazards to property..."

Complies w/ CGS 22a-92(c)(2)(B) "...maintain patterns of water circulation in the placement of drainage control structures..."

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);
Definition CGS Section 22a-93(16)
- Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating - CGS Section 22a-92(b)(1)(G)
- Fisheries - CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste - CGS Section 22a-92(a)(2)
- Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- Cultural Resources - CGS Section 22a-92(b)(1)(J)
- Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

No adverse impacts were determined on adjacent coastal resources. Stormwater treatment is proposed which will help reduce erosion impacts as well as provide water infiltration. This project will be limited to the confines of the site and will be completed within eleven (11) months. All disturbed areas will be loamed, seeded and planted upon completion of construction. The proposed building will have new laterals to the existing street utilities.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		✗
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		✗
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		✗
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		✗
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		✗
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		✗
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		✗
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		✗

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

- Identify the adverse impact categories below that apply to the proposed project or activity. The **Applicable** column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		✗
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		✗
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		✗

- Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

There is no proposed activity that will qualify as a water-dependent use. The project consists of the development of a 44-unit residential building. Although it is located in the Coastal Boundary, this parcel is not immediately adjacent to a water body nor does it propose any water dependent uses.

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

Part VIII: Mitigation of Potential Adverse Impacts

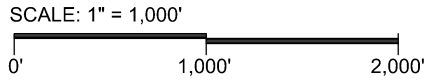
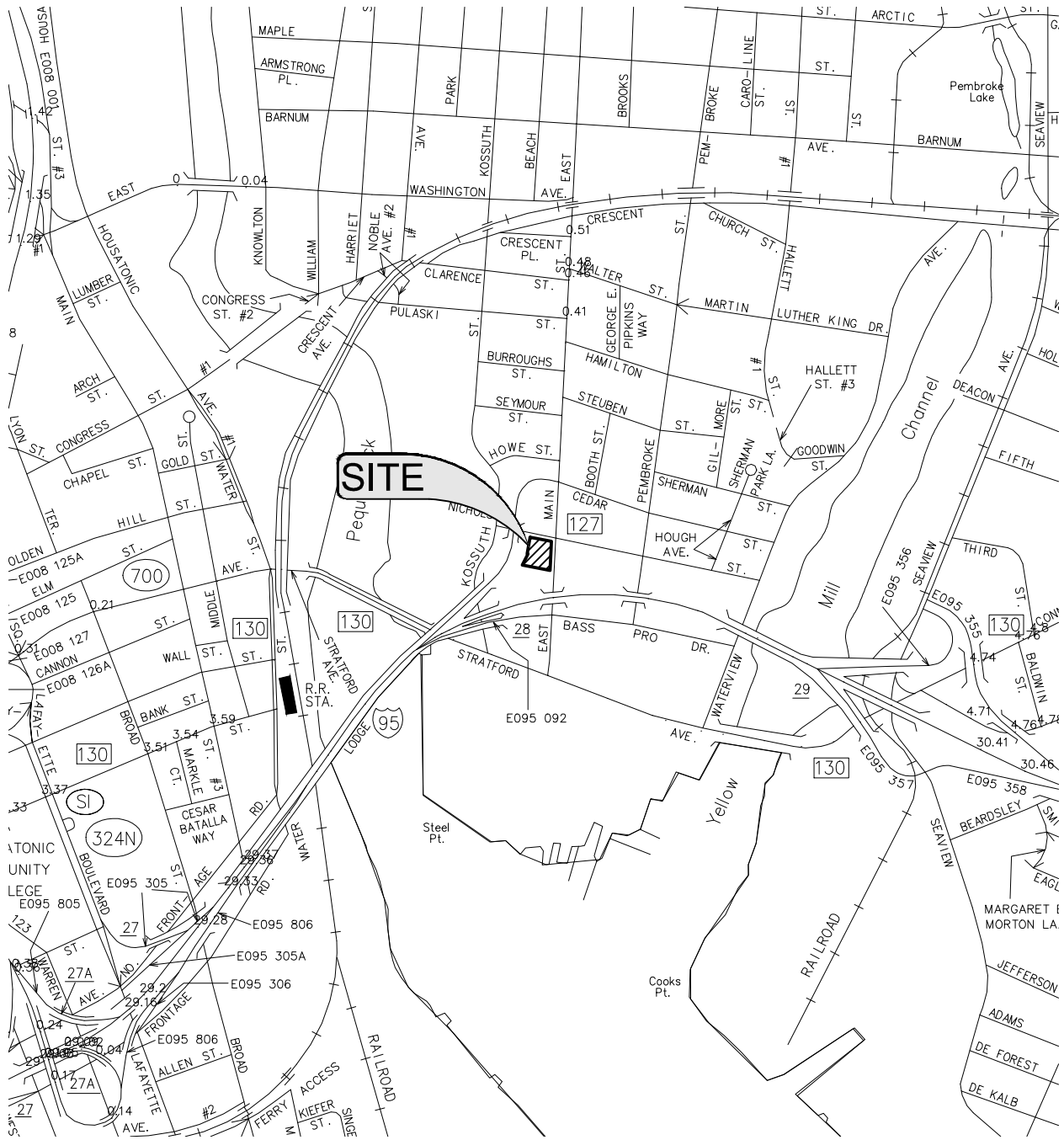
Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

No adverse impacts were determined on adjacent coastal resources. Stormwater treatment is proposed which will help reduce erosion impacts as well as provide water infiltration. New lawn areas will also reduce erosion and provide storm water infiltration. The proposed building will have new laterals to the existing street utilities.

Part IX: Remaining Adverse Impacts

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

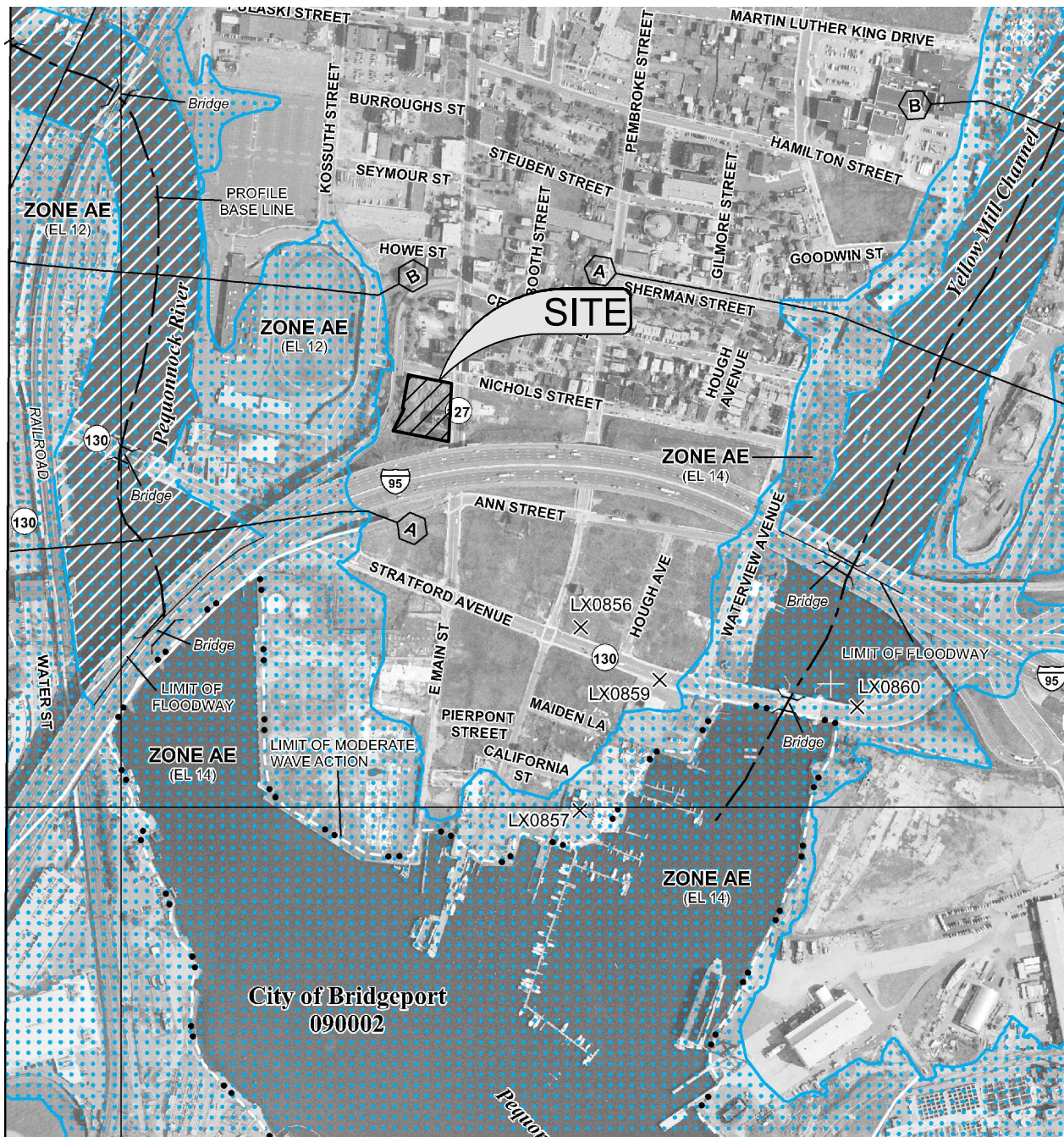
No adverse impacts were determined on adjacent coastal resources - there will be no remaining adverse impacts resulting from the proposed activity.



Cabezas DeAngelis
ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

LOCATION MAP	
NEW 44-UNIT RESIDENTIAL BUILDING & RELATED SITE IMPROVEMENTS PROJECT TAX MAP 36, BLOCK 808, LOTS 3, 2A, 2, 1E & 7 NICHOLS AND EAST MAIN STREET BRIDGEPORT, CT	
DATE: SEPTEMBER 2021	FIGURE A



City of Bridgeport
090002

ZONE X (UNSHADED)
 MAP NO. 09001C0441G; EFFECTIVE DATE JULY 8, 2013
 DATUM = NAVD 1988
 NTS

FEMA - FIRM MAP

NEW 44-UNIT RESIDENTIAL BUILDING &
 RELATED SITE IMPROVEMENTS PROJECT
 TAX MAP 36, BLOCK 808, LOTS 3, 2A, 2, 1E & 7
 NICHOLS AND EAST MAIN STREET
 BRIDGEPORT, CT

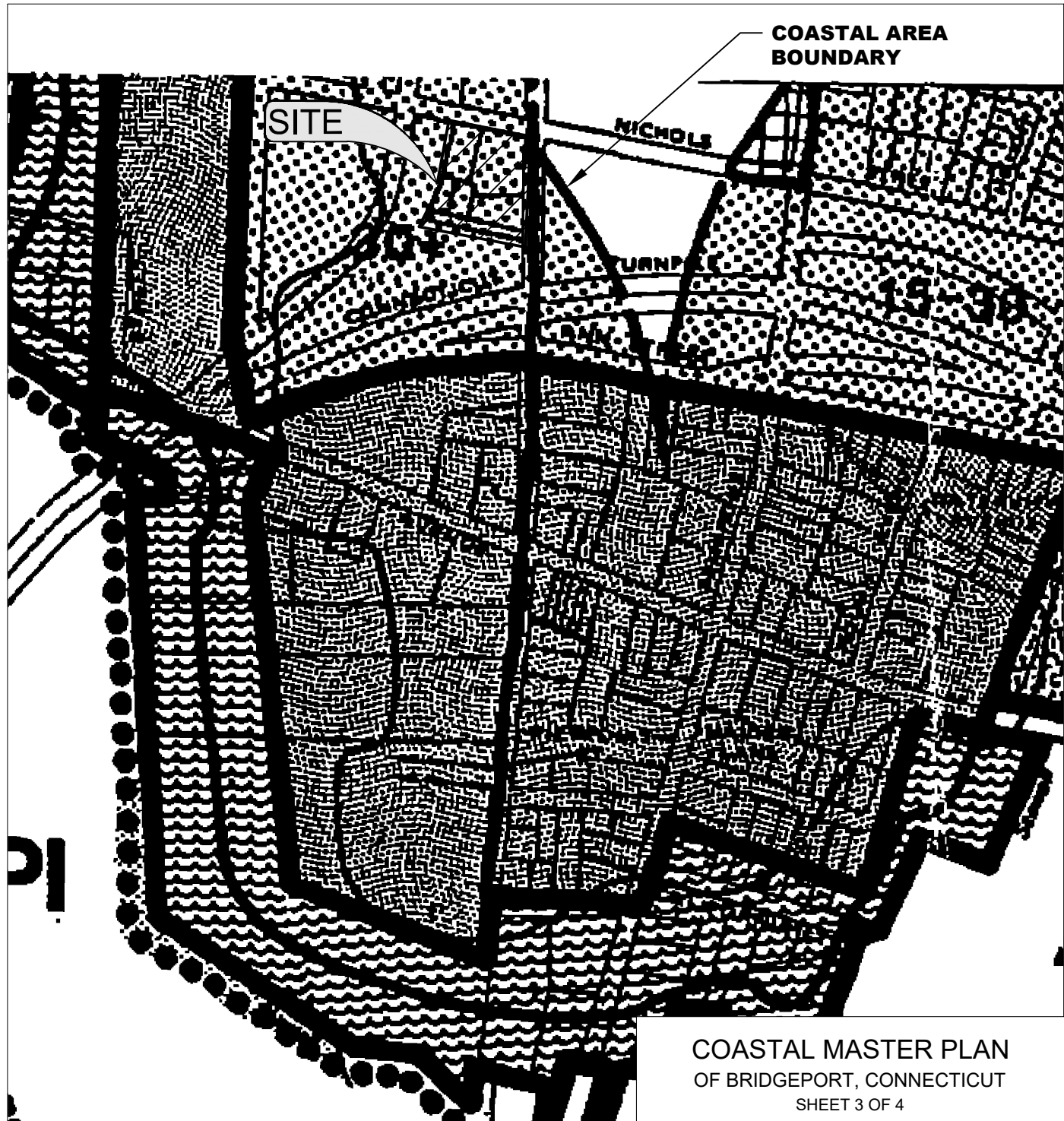
DATE: SEPTEMBER 2021

FIGURE B



78 ELM STREET, BRIDGEPORT, CT 06604
 P: 203 330 8700 • F: 203 330 8701





SCALE: NTS

COASTAL MASTER PLAN
 OF BRIDGEPORT, CONNECTICUT
 SHEET 3 OF 4
 PREPARED BY KASPER ASSOCIATES, INC.
 AUGUST 1982

**Cabezas
 DeAngelis**
 ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604
 P: 203 330 8700 • F: 203 330 8701

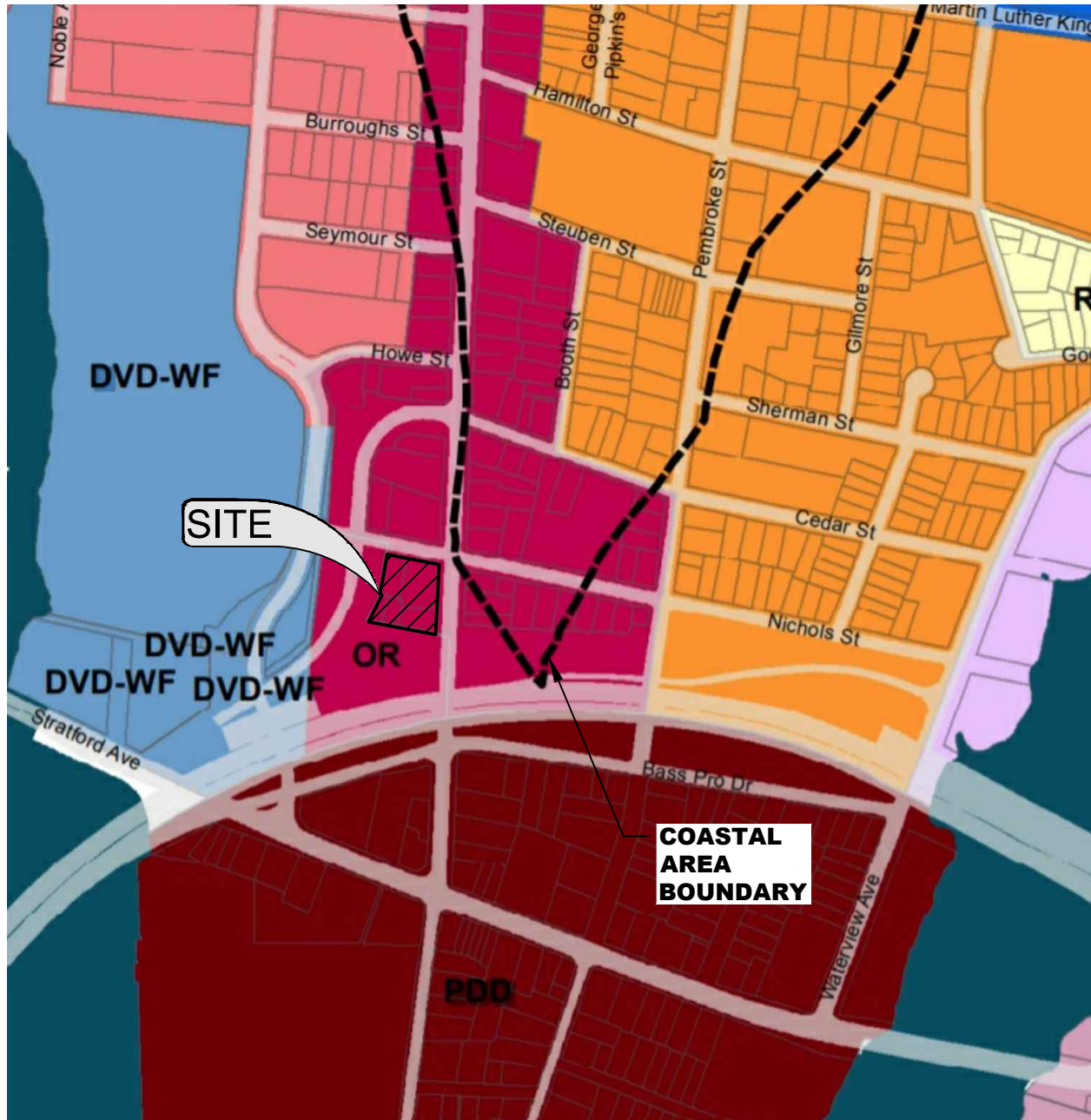


COASTAL RESOURCE MAP - CITY

NEW 44-UNIT RESIDENTIAL BUILDING &
 RELATED SITE IMPROVEMENTS PROJECT
 TAX MAP 36, BLOCK 808, LOTS 3, 2A, 2, 1E & 7
 NICHOLS AND EAST MAIN STREET
 BRIDGEPORT, CT

DATE: SEPTEMBER 2021

FIGURE C



**Cabezas
DeAngelis**
ENGINEERS & SURVEYORS

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BRIDGEPORT ZONE MAP Published July 5, 2016	
NEW 44-UNIT RESIDENTIAL BUILDING & RELATED SITE IMPROVEMENTS PROJECT TAX MAP 36, BLOCK 808, LOTS 3, 2A, 2, 1E & 7 NICHOLS AND EAST MAIN STREET BRIDGEPORT, CT	
DATE: SEPTEMBER 2021	FIGURE D

NICHOLS STREET REDEVELOPMENT

EAST MAIN STREET & NICHOLS STREET
BRIDGEPORT, CT 06608

DRAWING LIST	
Sheet Number	Sheet Name
A-1	PERSPECTIVE VIEW
A-1a	PERSPECTIVE RENDERING
A-2	FIRST FLOOR PLAN
A-3	TYP. UPPER FLOOR PLAN (2-5)
A-4	ELEVATIONS
A-4b	ELEVATIONS
SURVEY	PROPERTY SURVEY & TOPOGRAPHIC SURVEY

Job.No. mmy-xxxx

Schadler Seinau associates, p.c.
architecture - planning - interiors
5 waterville road, farmington, ct 06032
(860) 677-9620
hsa-architects.com



NICHOLS STREET
REDEVELOPMENT
EAST MAIN ST. & NICHOLS ST.
BRIDGEPORT, CT 06608

REVISION

NO	DESC	DATE

PERSPECTIVE VIEW

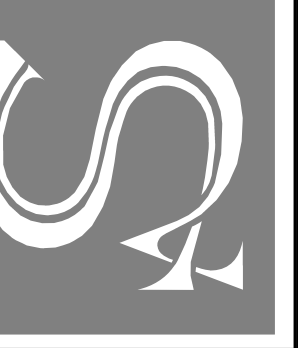
SCALE:

DATE ISSUED:
08-20-21

A-1



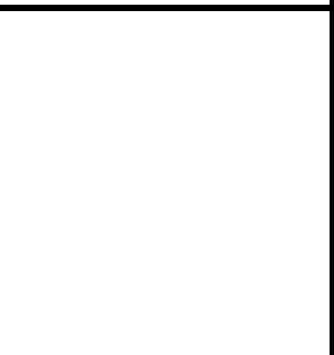
① NICHOLS ST & E MAIN ST



**NICHOLS STREET
REDEVELOPMENT**
EAST MAIN ST. & NICHOLS ST.
BRIDGEPORT, CT 06608

REVISION

NO	DESC	DATE



DATE ISSUED:
08-20-21

SCALE:

A-1a

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Schadler Selinau Associates p.c.

Color Legend

- 1 BED APT.
- 2 BED APT.
- COMMON SPACE
- CORRIDOR
- ELEV.
- PROPERTY MANAGEMENT
- STAIR
- VEST.
- VESTIBULE



1 FIRST FLOOR (SITE PLAN)
1/8" = 1'-0"



REVISION

NO	DESC	DATE

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APARTMENT TOTAL COUNT BREAKDOWN				
Area	Name	Level	COUNT X FLRS	%
637 SF	1 BED APT.	FIRST FLOOR	1	
637 SF	1 BED APT.	FIRST FLOOR	1	
723 SF	1 BED APT.	FIRST FLOOR	1	
660 SF	1 BED APT.	SECOND FLOOR	4	
637 SF	1 BED APT.	SECOND FLOOR	4	
639 SF	1 BED APT.	SECOND FLOOR	4	
646 SF	1 BED APT.	FIRST FLOOR	1	1 bed
1 BED APT.: 7			16	36.36%
1045 SF	2 BED APT.	FIRST FLOOR	1	
903 SF	2 BED APT.	FIRST FLOOR	1	
899 SF	2 BED APT.	FIRST FLOOR	1	
964 SF	2 BED APT.	FIRST FLOOR	1	
913 SF	2 BED APT.	SECOND FLOOR	4	
1042 SF	2 BED APT.	SECOND FLOOR	4	
1045 SF	2 BED APT.	SECOND FLOOR	4	
902 SF	2 BED APT.	SECOND FLOOR	4	
900 SF	2 BED APT.	SECOND FLOOR	4	2 bed
2 BED APT.: 9			24	54.55%
1154 SF	3 BED APT.	SECOND FLOOR	4	3 bed
3 BED APT.: 1			4	9.09%
Grand total: 17			44	



Color Legend

- 1 BED APT.
- 2 BED APT.
- 3 BED APT.
- CORRIDOR
- ELEV.
- STAIR

① TYP. UPPER FLOOR PLAN
1/8" = 1'-0"

Job No. mmy-xxxx

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 5 waterville road, farmington, ct 06032
 (860) 677-9620
 hsa-architects.com



NICHOLS STREET REDEVELOPMENT

EAST MAIN ST. & NICHOLS ST.
 BRIDGEPORT, CT 06608

REVISION

NO	DESC	DATE

TYP. UPPER FLOOR PLAN (2-5)

DATE ISSUED: 08-20-21

SCALE: 1/8" = 1'-0"

A-3



REVISION

NO	DESC	DATE

ELEVATIONS

SCALE:
1/8" = 1'-0"

DATE ISSUED:
08-20-21

FACSADE MATERIAL INFO.	IMAGE	ELEVATION HATCH	TAG
HORIZONTAL SIDING: 1 MANUFACTURER: NICHIA PRODUCT NAME: RIBBED INDIGO			A
HORIZONTAL SIDING: 2 MANUFACTURER: NICHIA PRODUCT NAME: RIBBED IVORY			B
VERTICAL SIDING: 1 MANUFACTURER: HARDIE PLANK PRODUCT NAME: VERTICAL SIDING KHAKI BROWN			D
STONE SIDING: 1 MANUFACTURER: NICHIA PRODUCT NAME: SANDSTONE DESERT BEIGE			E
BRICK SIDING: 1 MANUFACTURER: NICHIA PRODUCT NAME: PLYMOUTHBRICK CRIMSON			F
WINDOW ENGAGEMENT: 1 MANUFACTURER: NICHIA PRODUCT NAME: TUFFBLOCK CENTER			G
HORIZONTAL SIDING: 3 MANUFACTURER: NICHIA PRODUCT NAME: VINTAGEWOOD REDWOOD			H

④ MATERIAL LEGEND



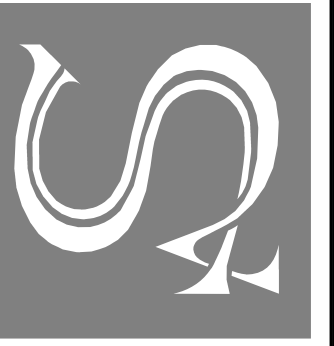
① EAST MAIN ST ELEVATION
1/8" = 1'-0"



③ EAST STREET EXIT ONLY SIDE ELEVATION
1/8" = 1'-0"



② NICHOLS STREET ELEVATION
1/8" = 1'-0"



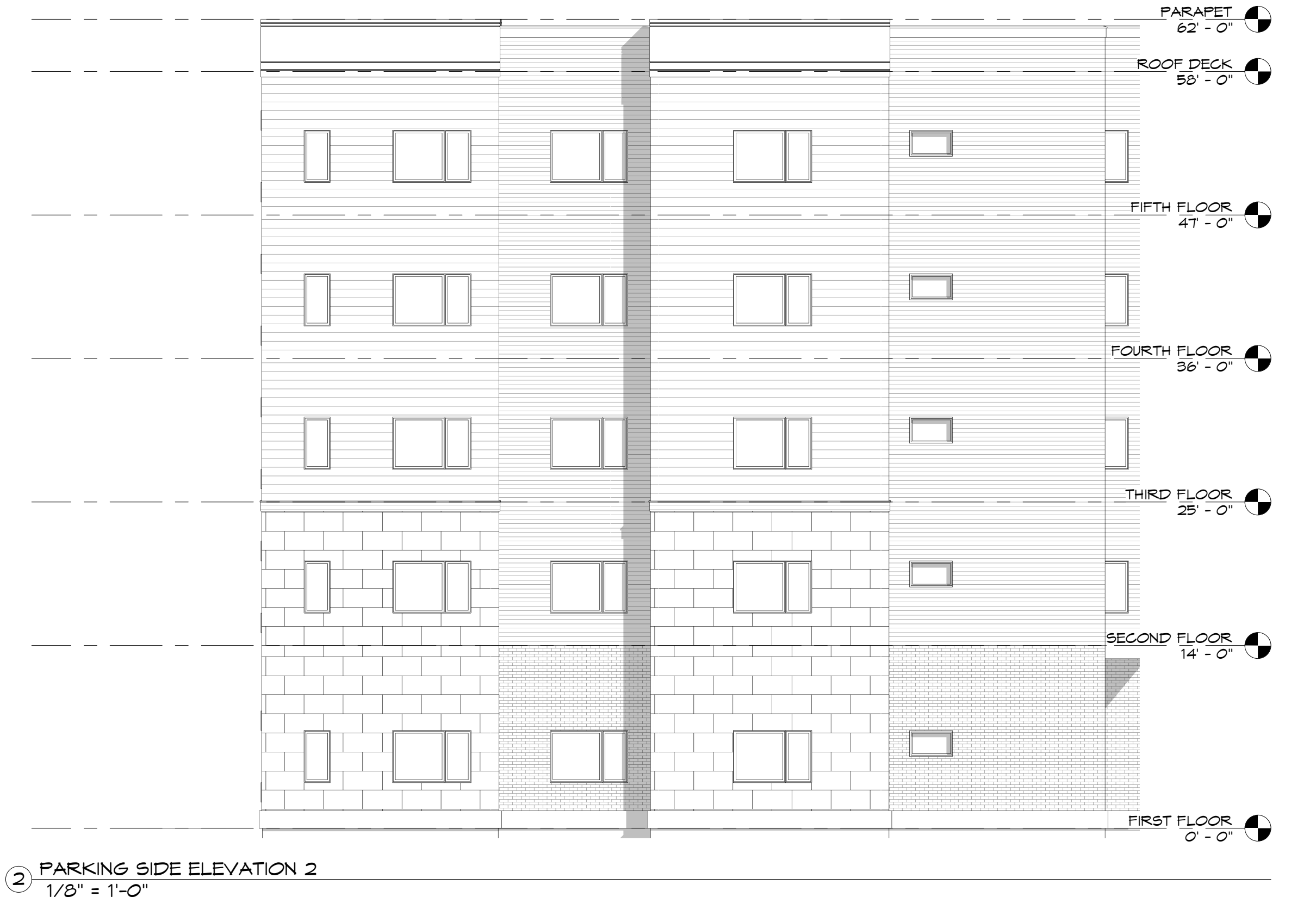
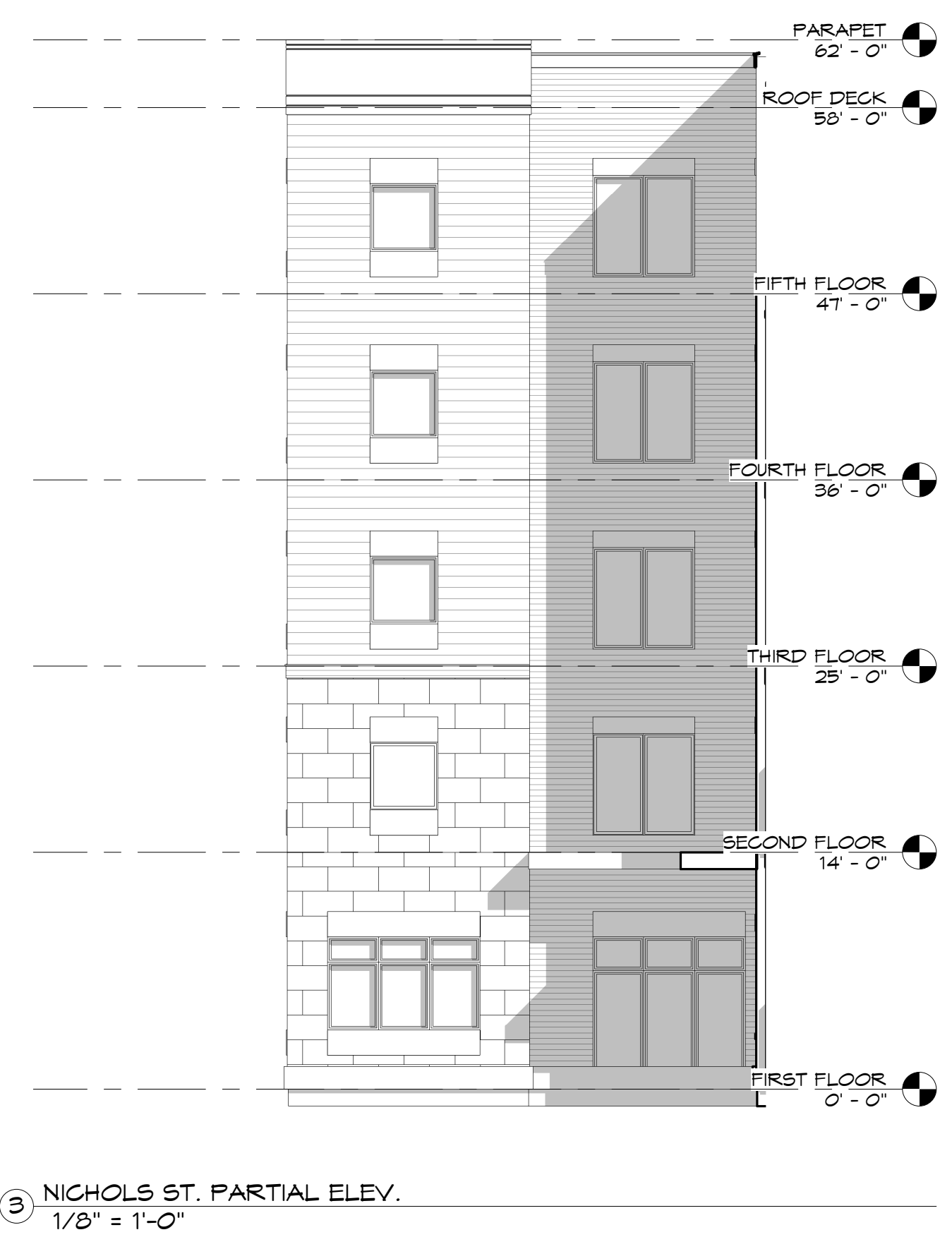
REVISION

NO	DESC	DATE

ELEVATIONS

DATE ISSUED:
 08-20-21

SCALE:
 1/8" = 1'-0"



NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1994. IT IS A **PROPERTY SURVEY AND TOPOGRAPHIC SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS 1-2 AND IS INTENDED FOR **SITE PLANNING PURPOSES**.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.
- HORIZONTAL COORDINATES REFER TO THE CONNECTICUT COORDINATE SYSTEM OF 1983 (NAD83). ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - A. MAP ENTITLED "PLOT PLAN PREPARED FOR AFFORDABLE HOUSING/CHAPMAN LIMITED PARTNERSHIP," SCALE: 1" = 10', DATED JANUARY 8, 1990; LAST REVISED 11/29/1990 PREPARED BY CODESPOTI & ASSOCIATES.
 - B. MAP ENTITLED "CONNECTICUT, DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAYS, RIGHT OF WAY MAP, TOWN OF BRIDGEPORT, CONNECTICUT TURNPIKES FROM THE FAIRFIELD-BRIDGEPORT TOWN LINE EASTERLY TO THE BRIDGEPORT-STAFFORD TOWN LINE," SCALE: 1" = 80', DATED AUGUST 1, 1974; LAST REVISED 12/20/96 PREPARED BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION AS **MAP NUMBER 15-03, SHEET 7 OF 9** AND FOUND ON FILE IN THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION DISTRICT 3 SURVEYS.
 - C. MAP ENTITLED "TOWN OF BRIDGEPORT MAP SHOWING LAND ACQUIRED FROM THE CITY OF BRIDGEPORT BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION FOR STEELPOINTE HARBOR ROADWAY IMPROVEMENTS," SCALE 1"=20', DATED SEPT. 20, 2011; LAST REVISED 4/9/12 PREPARED BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION AS **PROJECT NO. 015-000, SERIAL NO. 067, SHEET 9 OF 9** AND FOUND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
 - D. MAP ENTITLED "TOWN OF BRIDGEPORT MAP SHOWING LAND EASEMENT & RIGHTS OF ACCESS ACQUIRED FROM EMPIRE REALTY CORP. BY THE STATE OF CONNECTICUT, GREENWICH - KILLINGBURY EXPRESSWAY," SCALE: 1"=40', DATED JUNE 1955; LAST REVISED JULY 1956 PREPARED BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION AS PROJECT NO. 31, SERIAL NO. 149, SHEET 1 OF 1 AND SHEET 2 OF 2 AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 19 PG. 84** AND **VOL. 19 PG. 87** RESPECTIVELY.
 - E. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 808**
- REFERENCE TO OTHER INSTRUMENTS:
 - BLOCK 808 ROAD INDEX** "EVITTS LANE" - PRIVATE ROAD AS NOTED IN THE ROAD INDEX FOUND IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
 - VOL. 4287 PG. 196 75 & 81 EVITTS LANE - PARCELS CONVEYED TOGETHER WITH FEES TO EVITTS LANE AND RIGHT OF WAY FOR ALL PURPOSES OVER SAID EVITTS LANE (LOT 7 & 1E)
 - VOL. 1292 PG. 422 75 & 81 EVITTS LANE - PARCELS CONVEYED TOGETHER WITH FEES TO EVITTS LANE AND RIGHT OF WAY FOR ALL PURPOSES OVER SAID EVITTS LANE (LOT 7 & 1E)
 - VOL. 1121 PG. 323 81 EVITTS LANE - TAKING AND DRAINAGE RIGHT OF WAY
 - VOL. 1128 PG. 479 81 EVITTS LANE - FULL AND PERPETUAL DRAINAGE EASEMENT
 - VOL. 8587 PG. 115 379 EAST MAIN STREET - TAKING BY STATE OF CONNECTICUT
- ASSESSOR'S REFERENCE: MAP 36 | BLOCK 808 | LOTS 1E, 2, 2A, 3 & 7
- PARCEL IS LOCATED WITHIN THE **O-R** ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL **4415 OF 426**, COMMUNITY **BRIDGEPORT**, CITY OF NUMBER **090002** PANEL **0441** SUFFIX **C**, MAP NUMBER **09001C0441G**, MAP REVISED **JULY 8, 2013**. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS **ZONE X (UNSHADED)**.
- ALL PARCELS DEPICTED HEREON ARE LOCATED WITHIN THE PEQUONNOK RIVER COASTAL BOUNDARY - RESIDENTIAL ZONE. SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT SHEET 3 OF 4, SCALE: 1"=500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.
- RECORD MAPS, DEEDS, AND OTHER DRAWINGS IN THE FILES OF VARIOUS DEPARTMENTS OF THE **CITY OF BRIDGEPORT** EVIDENCE DISCREPANCIES, IN SOME CASES SIGNIFICANT, WITH RESPECT TO LINES OF TITLE (INCLUDING STREET LINES). DISCREPANCIES HAVE BEEN FOUND WITH THE LINES OF TITLE EVIDENCED IN THE DOCUMENTS REFERENCED HEREIN AND DO NOT NECESSARILY AGREE WITH PINS, PIPES, MONUMENTS, ETC. FOUND OR WITH OTHER PHYSICAL EVIDENCE FOUND. THE **CITY OF BRIDGEPORT** HAS ESTABLISHED STREET LINES IN THE SUBJECT AREA; HOWEVER, ORIGINAL MONUMENTATION HAS BEEN REMOVED OR NOT FOUND. THE PROPERTY LINES, INCLUDING THE STREET LINES DEPICTED AND NOTED HEREON REPRESENT THE APPARENT **"BEST FIT"** OF THESE CONFLICTING ELEMENTS AND ARE CONSIDERED TO BE THOSE WHICH ARE TO BE MOST LIKELY CORRECT AND ARE SUBJECT TO ANY REVISION OR CORRECTION WHICH MAY BE REQUIRED BY APPROPRIATE LEGAL PROCEEDINGS OR BY DISCOVERY OF ADDITIONAL INFORMATION.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).
- PARCEL(S) DEPICTED HEREON MAY BE SUBJECT, BUT NOT LIMITED TO, ADDITIONAL EASEMENTS, COVENANTS, DECLARATIONS, RESTRICTIONS OF ANY KIND AND RIGHTS TO OTHERS AS MAY APPEAR ON RECORD AND/OR IN PRIVATE.
- LOT 2 AND LOT 2A IN BLOCK 808 ARE LOCATED WITHIN THE EAST BRIDGEPORT AND PEMBROKE CITY HISTORIC DISTRICT.

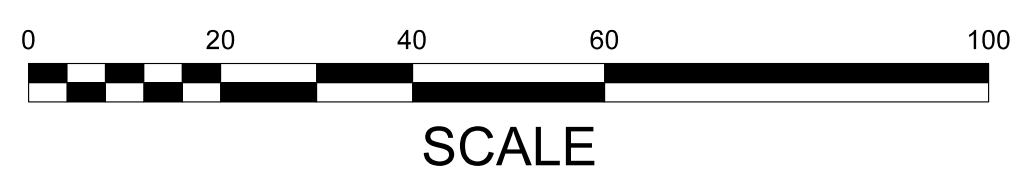
LEGEND

N/F	NOW OR FORMERLY	CB	CATCH BASIN
MON.	MONUMENT	HM	WATER METER
I.P.	IRON PIPE	WV	WATER VALVE
FND.	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET.	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
UG	UNDERGROUND	INT.	INTERSECTION
MH	MANHOLE	INV.	INVERT
ELEC.	ELECTRIC	C.I.	CAST IRON
Ø	UTILITY POLE	V.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EOP	EDGE OF PAVEMENT	x 8.85	EXISTING SPOT GRADE
RET.	RETAINING	--10--	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
FFE	FINISHED FLOOR ELEVATION	(2)	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
⊗	EXISTING CONIFER TREE	⊗	EXISTING DECIDUOUS TREE

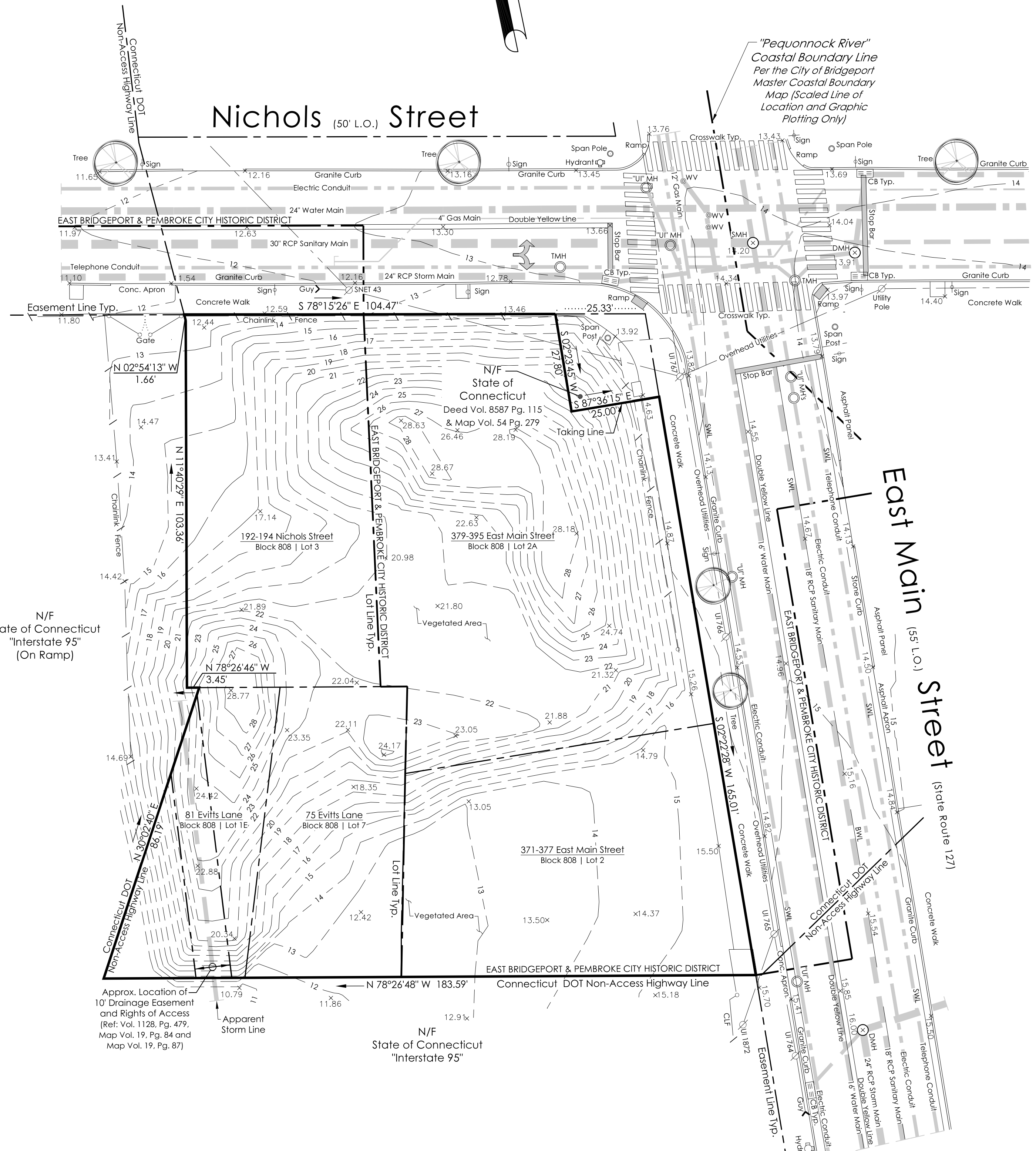
SCALE: 1"=20'
 FIELD FILE: steelpointe_north_survey.rws
 PROJECT NO. CD1478
 DATE: February 2, 2021
 CAD FILE: Steelpointe North PS.dwg
 SHEET 1 OF 1
 REV: _____



TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON
Washington Cabezas, Jr.
 WASHINGTON CABEZAS, JR. PEL 70210



LOCATION MAP
SCALE: 1" = 800'



Combined Parcel Area
27,154± SF or 0.623± Ac.

BLOCK 808					
TRACT/4833787 PARCEL NO.	LOT	ADDRESS	VOL.	PG.	GRANTEE
1	3	192-194 Nichols Street	1782	313	City of Bridgeport
2	2A	379-395 East Main Street	4323	102	Bridgeport Redevelopment Agency (as Agent for City of Bridgeport)
3	1E	81 Evitts Lane	4287	194	Bridgeport Redevelopment Agency
4	7	75 Evitts Lane	4287	194	Bridgeport Redevelopment Agency
5	2	371-377 East Main Street	4323	99	Bridgeport Redevelopment Agency (as Agent for City of Bridgeport)

EXCEPTIONS
 FIRST AMERICAN TITLE INSURANCE COMPANY
 TITLE COMMITMENT NO.: CT-4833787
 EFFECTIVE DATE: JUNE 19, 2020 AT 8:00AM
 Exceptions are numbered according to those found in Title Commitment File No.: CT-4833787

- BLOCK 808**
- AS TO PARCEL 2
10, Vol. 2702 Pg. 131 Easement to Southern Connecticut Gas Company (dated January 17, 1997)
 - AS TO PARCEL 3 & 4
Vesting deed contains appurtenant language regarding Evitts Lane. Evitts Lane has not been searched
 - AS TO PARCEL 5
11, Vol. 2619 Pg. 153 Variance - waive regulation prohibiting a residential use in a Light Industrial Zone (dated January 30, 1989)

PROPERTY SURVEY
- AND -
TOPOGRAPHIC SURVEY

- PREPARED FOR -
BRIDGEPORT LANDING DEVELOPMENT, LLC
 - LOCATED AT -
"STEELPOINTE NORTH"
 EAST MAIN STREET (STATE ROUTE NO. 127) & NICHOLS STREET
 BRIDGEPORT, CONNECTICUT
 - ASSESSOR'S REFERENCE -
 MAP 36 | BLOCK 808 | LOTS 3, 2A, 2, 1E & 7
 SHEET 1 OF 1
 FEBRUARY 2, 2021 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 20'

GENERAL NOTES

1. CONTRACTOR SHALL CONTACT "CALL-BEFORE-YOU-DIG" SERVICES AT 1-800-922-4455 A MINIMUM OF TWO (2) DAYS BEFORE BEGINNING ANY EXCAVATION AT THE SITE.
2. CONTRACTOR SHALL CLEARLY MARK ALL TREES TO BE REMOVED FOR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO CLEARING OPERATIONS. ANY TREES TO BE REMOVED ON CITY PROPERTY REQUIRE APPROVAL OF LOCAL TREE WARDEN.
3. ALL UNSUITABLE MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS. SEE SOIL MANAGEMENT PLAN PREPARED BY TRC.
4. REMOVE ALL UNSUITABLE FILL IN AREAS OF OLD FOUNDATIONS AND REPLACE WITH COMPACTED FILL PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
5. PROVIDE, ERECT AND MAINTAIN BARRICADES, WARNING LIGHTS, SIGNS, ETC., AS REQUIRED FOR SAFETY OF PERSONNEL, PUBLIC AND OCCUPANTS OF THE FACILITIES AFFECTED BY THE CONTRACTOR'S OPERATIONS. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESS AND EGRESS PATTERNS AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND IN ACCORDANCE WITH CONDOT STANDARDS.
6. THE CONTRACTOR SHALL CAREFULLY SAWCUT EXISTING CURBS AND PAVEMENTS PRIOR TO REMOVAL. ALL EXISTING CURBING, PAVEMENTS AND OTHER AMENITIES THAT MAY INTERFERE WITH THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
7. ALL EXISTING SURVEY MONUMENTS SHALL BE PROTECTED IN PLACE IN ACCORDANCE WITH STATE LAWS.

SEDIMENT AND EROSION CONTROL NARRATIVE

THE INTENT OF THIS EROSION AND SEDIMENT CONTROL PLAN IS TO COLLECT SEDIMENT IN RUN-OFF DURING EARTH WORK OPERATIONS BEFORE CONSTRUCTION AREAS MAY BE STABILIZED. THE MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED WHERE SHOWN ON THE PLANS AND AS DIRECTED BY THE ENGINEER OR CITY REPRESENTATIVE. SILTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CT DEP GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW 5-STORY, 44 UNIT RESIDENTIAL BUILDING AND RELATED SITE IMPROVEMENTS.

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL AND MAINTAIN THE EROSION CONTROL MEASURES DURING THE CONSTRUCTION PERIOD. WHEN CONSTRUCTION IS COMPLETE, IT WILL BE THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM TO ENSURE EFFICIENT OPERATION AND REMOVAL OF SEDIMENT. CONSTRUCTION IS SCHEDULED TO BEGIN IN THE SPRING OF 2022 AND END FALL OF 2022.

SEDIMENT AND EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL ASSIGN A PERSON OR PERSONS WHO WILL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN AND DESCRIBED HEREIN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL METHODS AND INFORMING ALL PARTIES ENGAGED IN THE CONSTRUCTION OF THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, AND NOTIFYING THE PLANNING AND ZONING OFFICER OF ANY TRANSFER OF THIS RESPONSIBILITY.
2. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE AND SHALL CONSIST OF: ANTI-TRACKING PAD, HAYBALES, SILT FENCE, MULCH, AND TEMPORARY SEEDING. MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. CLEAN OUT OF THE OIL/WATER SEPARATOR, CATCH BASIN SUMPS AND CULVERTS SHALL OCCUR ON A REGULAR BASIS DURING THE CONSTRUCTION PERIOD. THE ACCUMULATED SEDIMENT SHALL BE DISPOSED OF TO A LOCATION APPROVED BY THE ENGINEER OR CITY REPRESENTATIVE.
4. THE EROSION CONTROL FEATURES SHALL BE CHECKED DAILY AND AFTER EACH SEVERE RAIN STORM FOR DAMAGE. UNTIL SUCH FEATURES ARE IN THE OPINION OF THE ENGINEER, NO LONGER NEEDED. ALL SEDIMENTATION SYSTEMS SHALL HAVE THE ACCUMULATED SEDIMENT REMOVED BEFORE IT SIGNIFICANTLY REDUCES THEIR STORAGE VOLUME OR FUNCTION PRIOR TO THE NEXT RAIN STORM FORECAST FOR THE REGION.
5. THE CONTRACTOR SHALL HAVE ON HAND AT ALL TIMES THE NECESSARY MATERIALS AND EQUIPMENT TO PROVIDE FOR EARLY MEASURES TO CONTROL EROSION AND SEDIMENT LOSS. THE CONTRACTOR SHALL CEASE ANY OF HIS OPERATIONS WHICH WILL INCREASE EROSION OR SEDIMENT LOSS DURING RAIN STORMS.
6. ALL SLOPES OF STOCKPILED MATERIAL AND OTHER DISTURBED AREAS SHALL BE STABILIZED AND PROTECTED BY SURROUNDING WITH HAYBALES, AS SHOWN ON THE PLANS. ALL DAMAGED AREAS SHALL BE REPAIRED AS SOON AS POSSIBLE. THE CONTRACTOR SHALL RESPOND TO MAINTENANCE OR ADDITIONAL MEASURES ORDERED BY THE ENGINEER OR THE CITY REPRESENTATIVE WITHIN 24 HOURS.
7. THE CONTRACTOR SHALL PERFORM DUST CONTROL ON A DAILY BASIS DURING PERIODS OF DRY WEATHER ON ALL AREAS WHERE SOIL HAS NOT YET BEEN STABILIZED AND AS DIRECTED BY THE ENGINEER.
8. AT THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES, WHEN ALL DISTURBED AREAS ARE STABILIZED WITH NEW TURF, PAVEMENT, ETC., THE CONTRACTOR SHALL COMPLETELY REMOVE ALL SEDIMENTATION AND EROSION CONTROL MEASURES FROM THE SITE, UNLESS SPECIFICALLY ORDERED BY THE ENGINEER TO REMAIN IN PLACE.
9. CONTRACTOR SHALL CLEARLY MARK CLEARING LIMITS FOR OWNER'S REVIEW PRIOR TO TREE REMOVAL OPERATIONS. TREES TO BE REMOVED ON TOWN PROPERTY REQUIRE APPROVAL OF LOCAL TREE WARDEN.

SEDIMENT AND EROSION CONTROL MEASURES

MULCHES SHALL BE HAY, STRAW, WOOD CELLULOSE, WOOD CHIPS, STONE, NETTING, BURLAP OR OTHER SUITABLE MULCH MATERIAL AS APPROVED BY THE ENGINEER. MULCHES SHALL BE REASONABLY CLEAN AND FREE OF NOXIOUS WEEDS AND DELETERIOUS MATERIALS. ASPHALT SPRAYS WILL NOT BE ALLOWED. THE CONTRACTOR SHALL PREVENT STRAW, WOOD CHIPS, ETC., FROM ENTERING ANY WATERCOURSE.

HAY BALES SHALL BE PLACED AROUND ALL EXISTING DRAINAGE INLETS OR AS DIRECTED BY THE ENGINEER. THEY SHALL BE HELD IN PLACE BY TWO WOOD STAKES IN EACH BALE. BALES SHALL BE MAINTAINED OR REPLACED AS ORDERED BY THE ENGINEER UNTIL THEY ARE NO LONGER NECESSARY FOR THE PURPOSE INTENDED OR ARE ORDERED REMOVED BY THE ENGINEER. HAY BALES SHALL BE MADE OF HAY WITH 40 POUNDS MINIMUM WEIGHT AND 120 POUNDS MAXIMUM WEIGHT. WOOD STAKES SHALL BE A MINIMUM OF 1 INCH BY 1 INCH NOMINAL SIZE BY A MINIMUM OF 3 FEET LONG.

SILT FENCE SHALL CONSIST OF 3-FOOT WIDE GEOSYNTHETIC FABRIC WITH PREFABRICATED WOOD POSTS AS MANUFACTURED BY "MIRAFIX" OR EQUAL. THE BOTTOM SIX INCHES OF FABRIC SHALL BE BURIED BY EITHER TRENCHING OR BY LAYING THE SIX INCH SECTION HORIZONTALLY ON THE GROUND AND BURYING BY RAMPING THE TOPSOIL UP TO THE CONTROL FENCE.

- MINIMUM LENGTH OF SILT FENCE IS 15 L.F.
- MAXIMUM POST SPACING IS 10 L.F.
- JOINTS IN FILTER FABRIC SHALL BE ONLY AT SUPPORT POSTS WITH MINIMUM 6" OVERLAP, SECURELY SEALED
- SILT FENCE SHALL NOT BE USED IN A WATER COURSE
- FABRIC SUSCEPTIBLE TO SUNLIGHT DAMAGE SHALL NOT BE USED IN ANY INSTALLATIONS WHERE EXPOSURE TO LIGHT WILL EXCEED 30 DAYS, UNLESS SPECIFICALLY AUTHORIZED IN WRITING BY THE ENGINEER.

TEMPORARY GRASS SEED SHALL BE PERENNIAL RYE-GRASS (LOLIUM PERENNE) OR AN IMPROVED VARIETY THEREOF, SUCH AS MANHATTAN, HAVING A MINIMUM PURITY OF 98 PERCENT AND A MINIMUM GERMINATION OF 90 PERCENT. THE SEEDING MAY BE ALTERED BY THE ENGINEER IF REQUESTED BY THE CONTRACTOR TO SUIT SPECIAL AREAS OR CONDITIONS.

CONSTRUCTION SEQUENCE

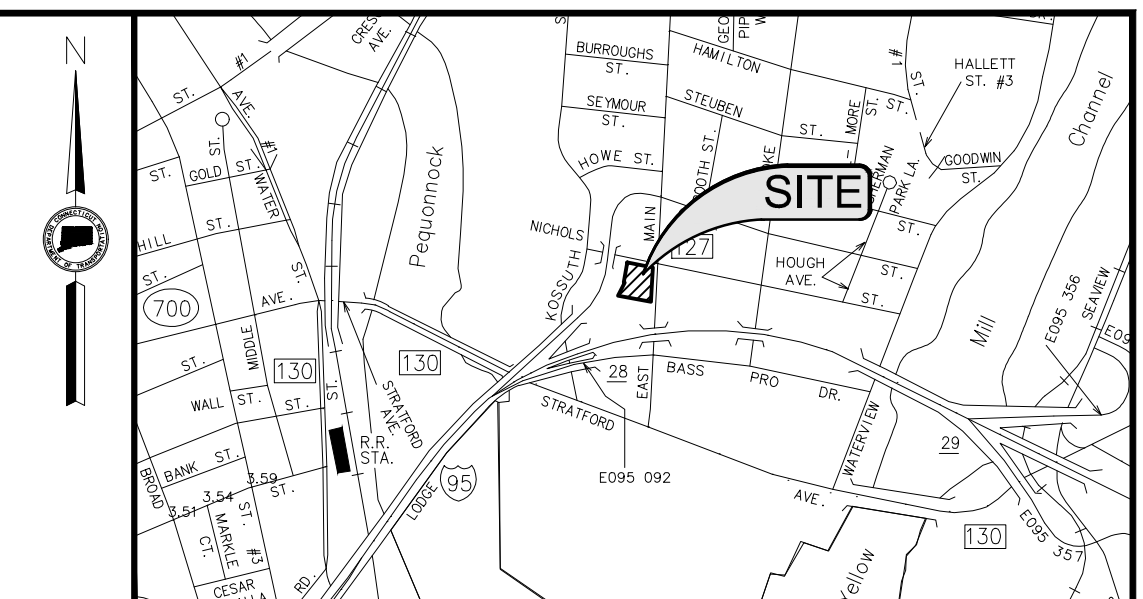
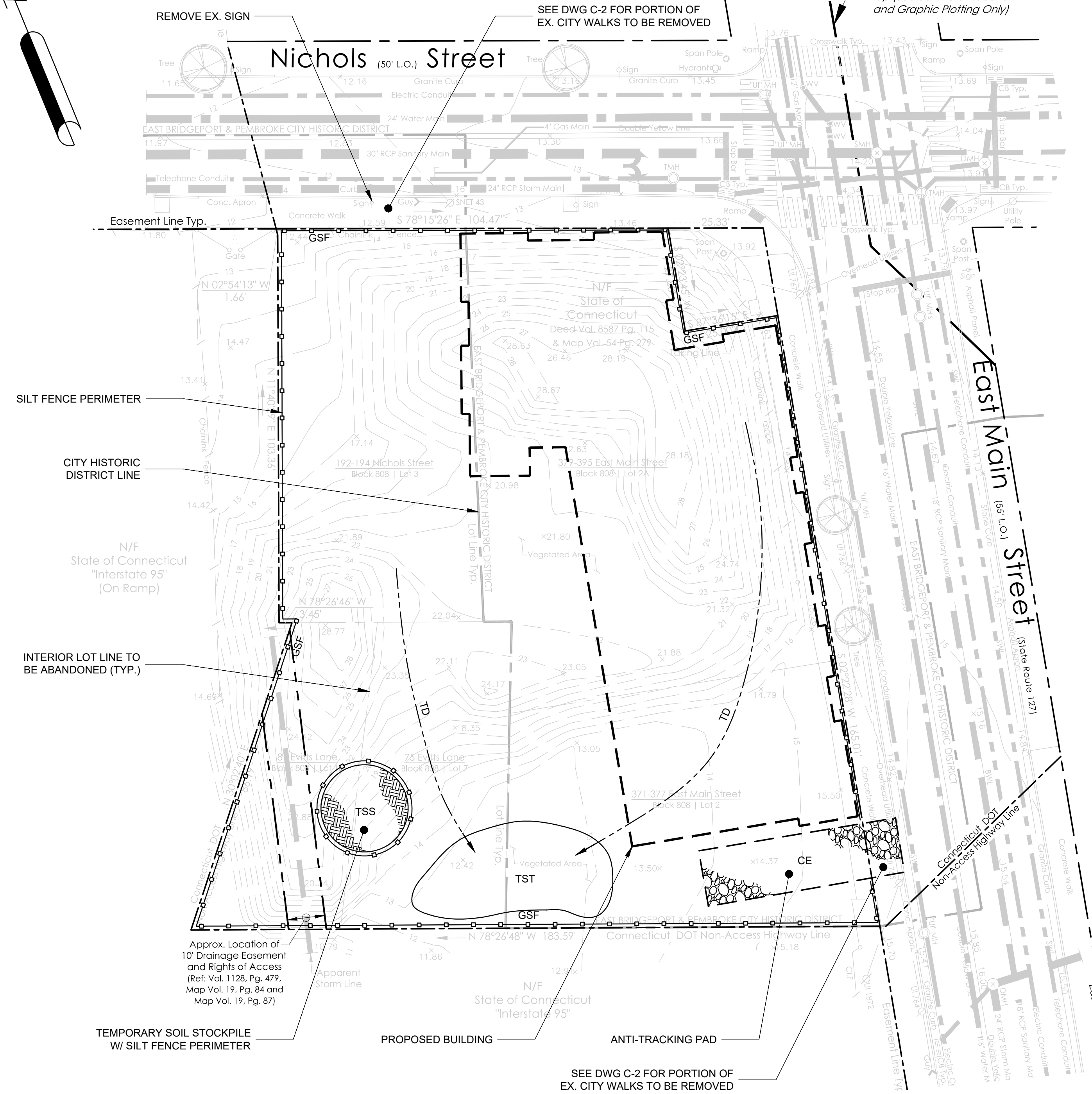
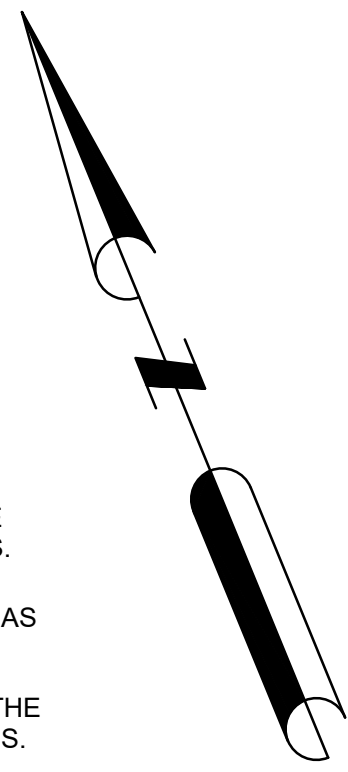
1. INSTALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES
2. PROCEED WITH CLEARING OF THE SITE.
3. INSTALL INTERIOR SEDIMENT AND EROSION CONTROL DEVICES. CONSTRUCT TEMPORARY SEDIMENT TRAP.
4. CONSTRUCT NEW BUILDING FOUNDATION.
5. FORM AND COMPACT FINAL SUBGRADE. INSTALL DRAINAGE STRUCTURES AND OTHER BELOW-GRADE IMPROVEMENTS.
6. INSTALL ABOVE-GRADE IMPROVEMENTS. COMPLETE BUILDING.
7. COMPLETE PAVING OF PARKING LOT. INSTALL SIDEWALKS AND CURBS.
8. COMPLETE FINAL GRADING/TOPSOIL & SEEDING; STABILIZE ALL GROUND SURFACES.
9. PERFORM FINAL CLEAN-UP; REPAIR EXISTING EROSION CONTROL FEATURES

ESTIMATED TIME FRAME

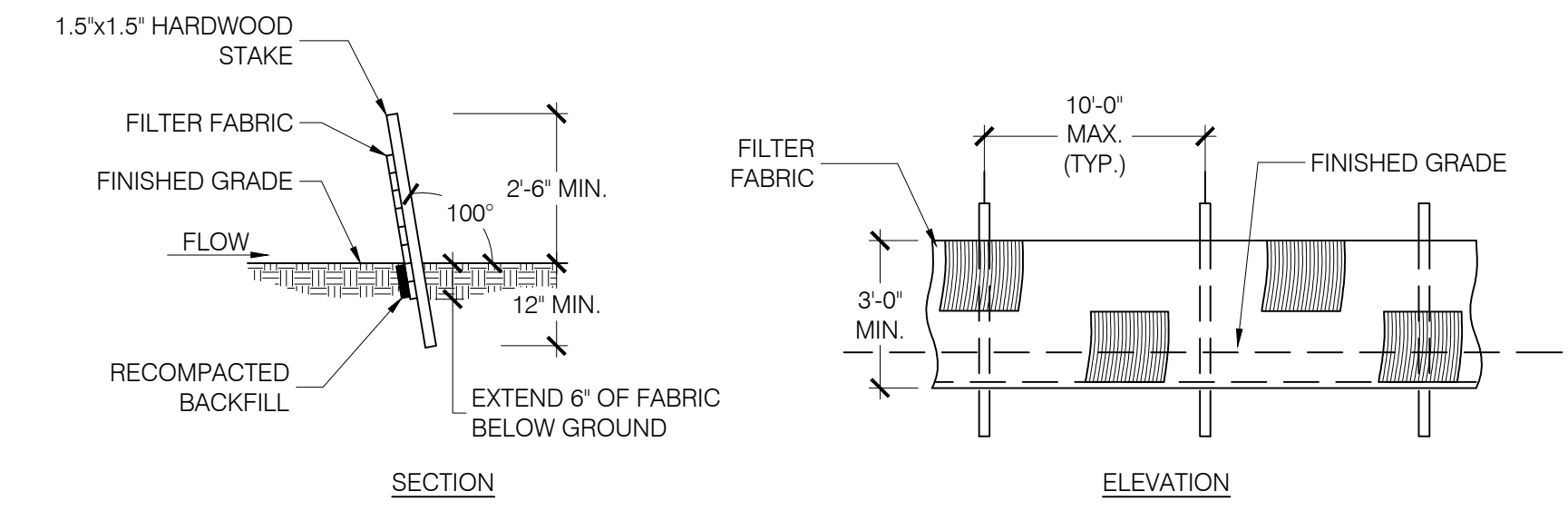
- 1 DAY
- 1 WEEK
- 2 WEEK
- 1 MONTH
- 1 MONTH
- 6 MONTHS
- 1 MONTH
- 1 WEEK
- 2 DAYS
- ±11 MONTHS TOTAL

CONTACT PERSON

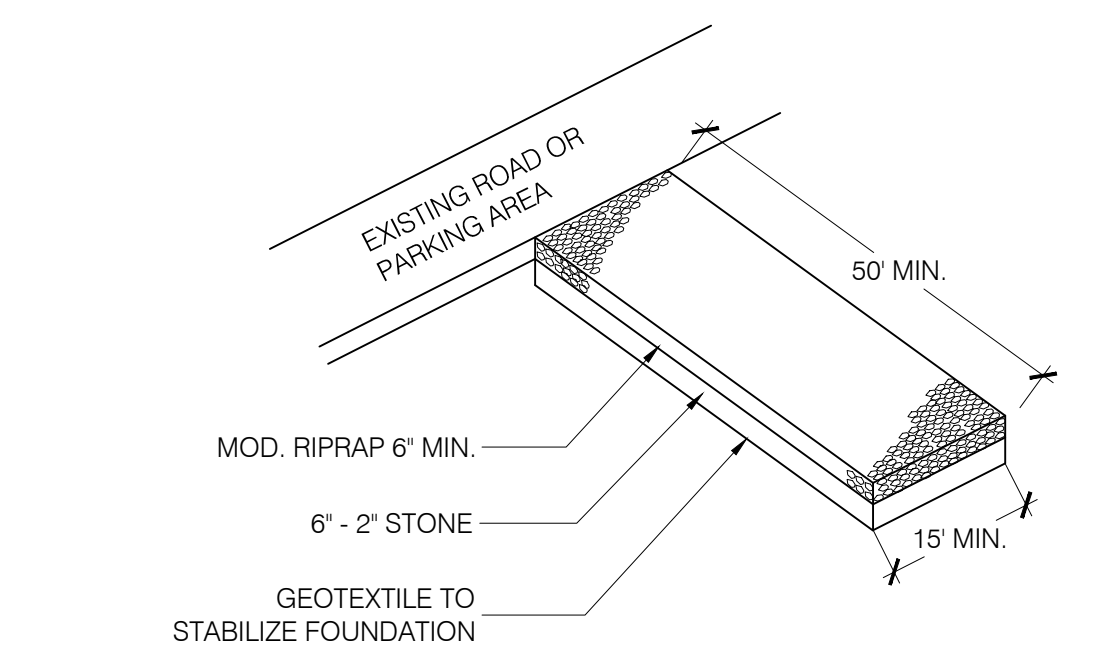
SITE ENGINEER:
CHRIS DeANGELIS, PE
203-330-8700



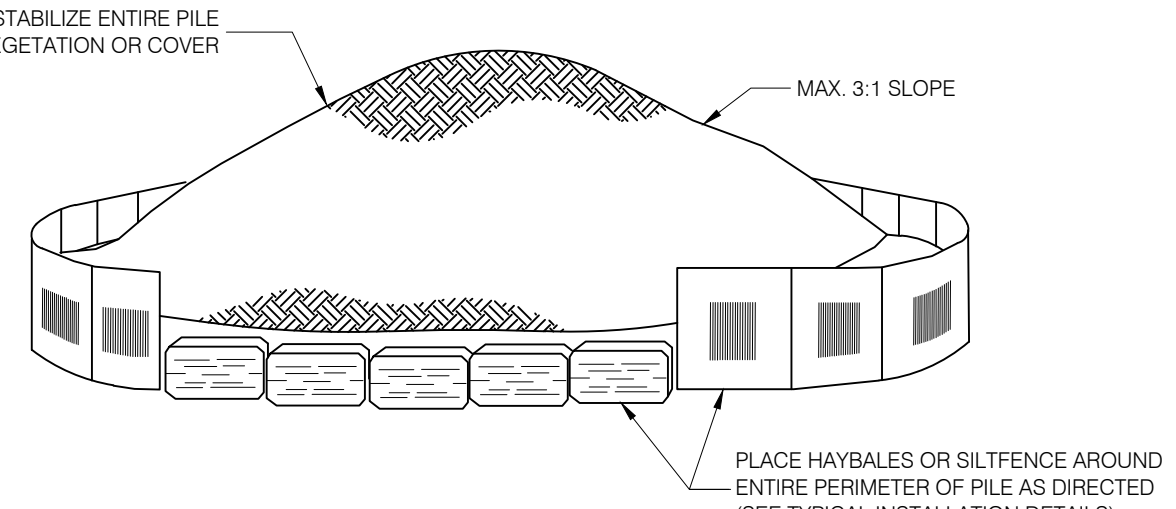
LOCATION MAP
SCALE: 1" = 1,000'



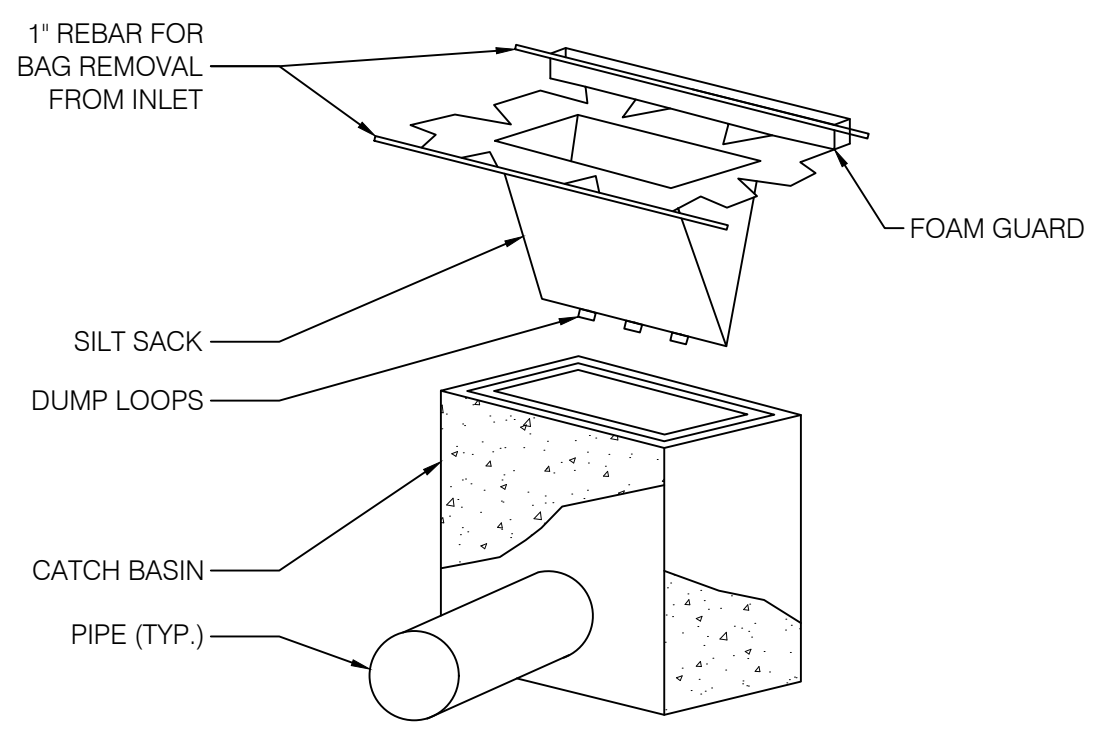
1 SILT FENCE DETAIL
SCALE: N.T.S.



2 ANTI-TRACKING PAD DETAIL
SCALE: N.T.S.



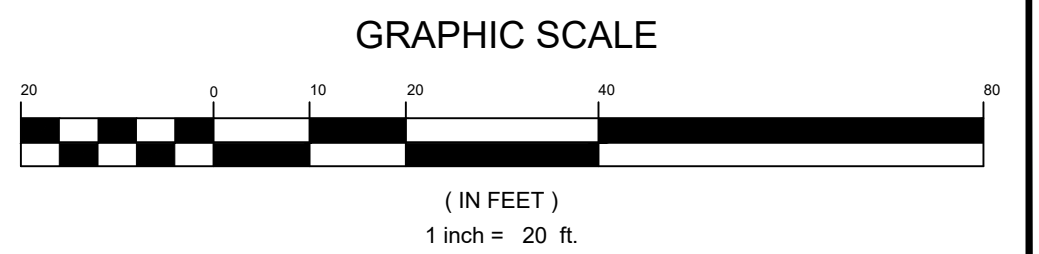
3 TEMPORARY SOIL STOCKPILE
SCALE: N.T.S.



4 SILT SACK™ CATCH BASIN INSERT
SCALE: N.T.S.

LEGEND

---	BOUNDARY LINE
—○—	SILT FENCE
—	CE CONSTRUCTION ENTRANCE
—	GSF GEOTEXTILE SILT FENCE
—	TSS TEMPORARY SOIL STOCKPILE
—	TD TEMPORARY DIVERSION
—	TST TEMPORARY SEDIMENT TRAP



Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 F:203 330 8701

SEAL:

CHRISTIAN A. DeANGELIS, PE

REVISIONS:

No.	DESC.	DATE
0	ZBA SUBMISSION	10-01-21

NEW 44-UNIT RESIDENTIAL BUILDING & RELATED SITE IMPROVEMENTS
- PROPERTY LOCATED AT -
TAX MAP 36, BLOCK 808, LOTS 3, 2A, 2, 1E & 7
NICHOLS AND EAST MAIN STREET
BRIDGEPORT, CT
- PREPARED FOR -
BRIDGEPORT LANDING DEVELOPMENT, LLC
10 EAST MAIN STREET, SUITE 201, BRIDGEPORT, CT 06608

SHEET TITLE:
EXIST. CONDITIONS SOIL EROSION & SEDIMENT CONTROL (SESC) PLAN

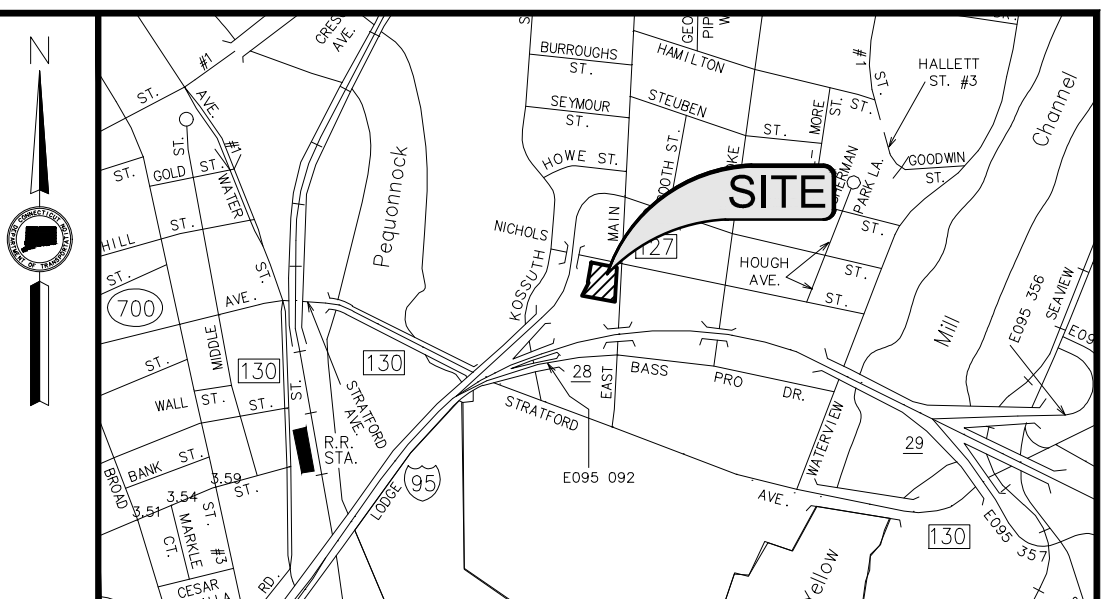
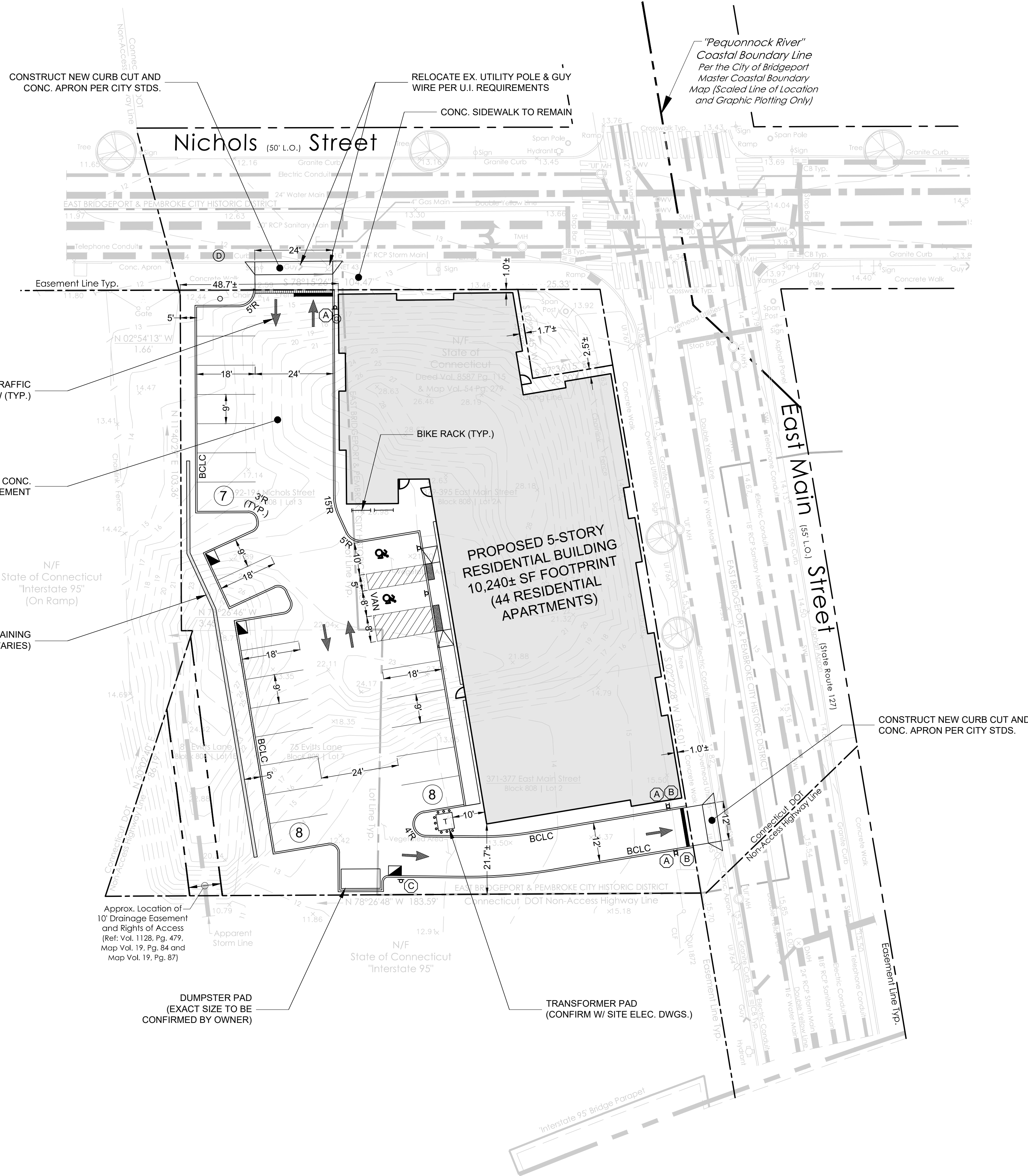
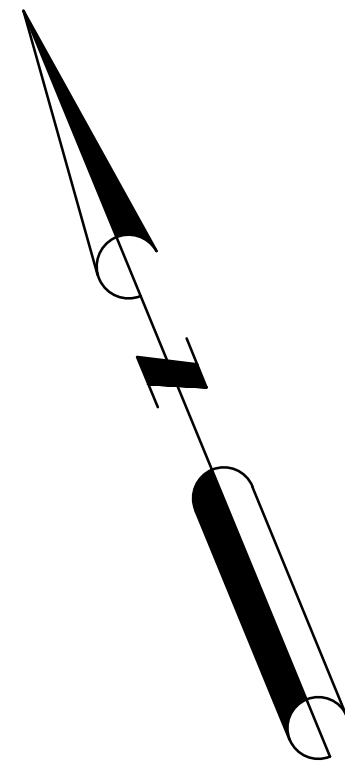
PROJ. No.: **2021-32**
DATE: **01 OCTOBER 2021**
DWG. No.: **C-1**
SHEET 1 OF 5
SCALE: 1" = 20'

DESIGNED: CAD	DRAWN BY: ARM	CHECKED: CAD
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GENERAL NOTES

- ALL UTILITY AND SUB-SURFACE INFORMATION SHOWN HEREON IS TO BE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. THE CONTRACTOR SHALL MAKE INVESTIGATIONS IN THE FIELD TO VERIFY ALL EXACT UTILITY LOCATIONS BEFORE CONSTRUCTION. CALL TELEPHONE # 1-800-922-4455 "CALL BEFORE YOU DIG" A MINIMUM OF 2 DAYS BEFORE BEGINNING ANY EXCAVATION AT THE SITE.
- SITE PLAN BASED ON MAP ENTITLED "PROPERTY SURVEY AND TOPOGRAPHIC SURVEY, PREPARED FOR BRIDGEPORT LANDING DEVELOPMENT, LLC, LOCATED AT "STEELPOINTE NORTH", EAST MAIN STREET (STATE ROUTE NO. 127) & NICHOLS STREET, BRIDGEPORT, CONNECTICUT", DATED FEBRUARY 2, 2021 AND PREPARED BY CABEZAS-DEANGELIS, LLC. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THE SITE LIES WITHIN FEMA FLOOD ZONE X (UNSHADED) AS NOTED ON FLOOD INSURANCE RATE MAP, FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 441 OF 626, BRIDGEPORT, CITY OF, NUMBER 090002, PANEL 0441 SUFFIX G, MAP NUMBER 09001C0441G, MAP REVISED JULY 8, 2013.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION OPERATIONS WITHIN AND OUTSIDE OF THE LIMITS OF CONSTRUCTION AS SHOWN ON THE PLANS.
- ALL DISTURBED AREAS WITHIN OR OUTSIDE THE LIMITS OF CONSTRUCTION NOT COVERED BY BUILDINGS, PAVEMENT, PLANTING BEDS OR OTHER IMPROVEMENTS ARE TO BE TOP SOILED (4" DEPTH MIN.) AND SEEDED PER DIRECTION OF THE OWNER.
- ANY DIMENSION LINE SHOWN FROM PROPERTY LINE, FACE OF CURB OR BUILDING IS PERPENDICULAR UNLESS OTHERWISE SHOWN.
- PROVIDE, ERECT AND MAINTAIN BARRICADES, WARNING LIGHTS, SIGNS, ETC., AS REQUIRED FOR SAFETY OF PERSONNEL, PUBLIC AND OCCUPANTS OF THE FACILITIES AFFECTED BY THE CONTRACTOR'S OPERATIONS. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESS AND EGRESS PATTERNS AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND IN ACCORDANCE WITH CONNDOT STANDARDS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CONNDOT FORM 816, LATEST EDITION, AS AMENDED, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, AND SUPERVISION TO CONSTRUCT THE PROPOSED IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING EXCAVATION, PAVEMENT REMOVAL, UNSUITABLE MATERIAL REMOVAL AND OFF-SITE DISPOSAL THEREOF, INSTALLATION OF BASE MATERIAL, PAVEMENTS, FILL MATERIAL, CURBING, DRAINAGE STRUCTURES, TOPSOIL AND SEED.
- THE CONTRACTOR SHALL CAREFULLY SAWCUT EXISTING CURBS AND PAVEMENTS PRIOR TO REMOVAL. ALL EXISTING CURBING, PAVEMENTS AND OTHER AMENITIES THAT MAY INTERFERE WITH THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.



LOCATION MAP
SCALE: 1" = 1,000'

OR Zone Development Standards			
	MINIMUM	MAXIMUM	PROPOSED
LOT			
LOT WIDTH	35 FT	NONE	187± FT
LOT DEPTH	NONE	NONE	N/A
LOT AREA	5,000 SF	NONE	27,153± SF
LOT COVERAGE	75%	NONE	78%
STREET WALL (SEE NOTE 8)			
AS A PERCENT OF FRONTAGE (PRIMARY)	75%	NONE	85%
AS A PERCENT OF FRONTAGE (SECONDARY)	30%	NONE	52%
AS A PERCENT OF FRONTAGE (TERTIARY)	N/A	NONE	N/A
BUILDING SETBACK FROM STREET LOT LINE (SEE NOTE 9 & 10)			
PRIMARY FRONTAGE	0'	10'	1.0±
SECONDARY FRONTAGE	0'	10'	1.0±
TERTIARY FRONTAGE	N/A	N/A	N/A
YARDS			
SIDE YARD (SEE NOTE 2)	0 FT OR 5 FT IF SIDE YARD IS UTILIZED	1 FT FOR EACH FLOOR OF BUILDING HEIGHT NOT TO EXCEED 14 FEET	21.7±, 48.7±
REAR YARD	0 FT OR 20 FT IF FLOOR CONTAINS HABITABLE SPACE	NONE	CORNER LOT
OTHER STANDARDS (SEE NOTE 11)			
LANDSCAPED AREA AS A PERCENT OF LOT	15%	25%	22%
FLOOR TO CEILING HEIGHT OF FIRST STORY	12 FT	NONE	12 FT
ALL WATER-ABUTTING PROPERTIES	NOTE 3	NOTE 3	N/A

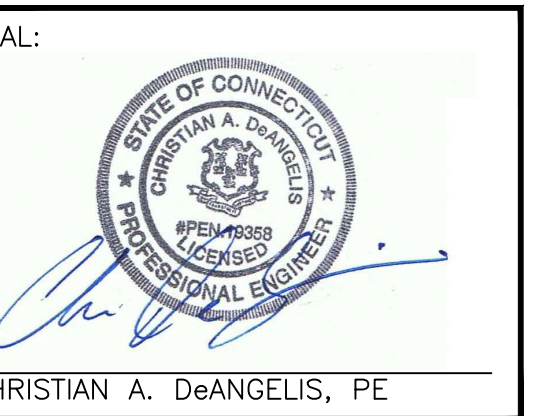
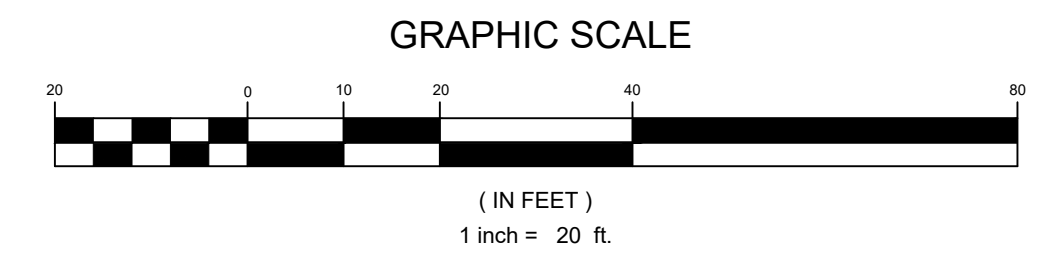
- NOTES:**
- ANY BUILDING SETBACK ALONG PRIMARY OR SECONDARY FRONTAGES IN THE DVD-Core MUST BE IN THE FORM OF A SIDEWALK EASEMENT OR COVERED ARCADE.
 - ALLEYS BETWEEN BUILDINGS CREATED BY CONTIGUOUS SIDE YARD SETBACKS SHALL BE COVERED AT THE STREET FRONTAGE BY A GATE MATCHING FACADE SO AS TO MAINTAIN STREET LINE CONTINUITY.
 - A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON ANY NON-RESIDENTIAL PROPERTIES ABUTTING A WATERWAY. FROM THE TOP OF THE EMBANKMENT AND FOR TWENTY (20) FEET INLAND, A DEDICATED OPEN SPACE AREA SHALL BE ESTABLISHED.
 - SEE THE PROVISIONS OF 10-10-4 REGARDING BUILDING SETBACK IN THE NCVD ZONE.
 - IN FLOOD PLAIN AREAS WHERE THE LOWEST BUILDING FLOOR IS RAISED TO MEET THE FLOOD PLAIN REQUIREMENTS, UP TO 30% OF REQUIRED STREET WALL WIDTH COULD BE RECESSED TO ACCOMMODATE ACCESS STAIRS AND RAMPS.
 - WHEN FLOOD RESISTANCE CONSTRUCTION REQUIRES RAISING THE LOWEST FLOOR HEIGHT, FRONT BUILDING SETBACKS MAY BE INCREASED BY UP TO 25 FEET TO PROVIDE EXTERIOR STAIRS AND RAMPS.
 - FOR RESIDENTIAL USE ONLY, THE FRONT SETBACK MAY BE INCREASED UP TO 35 FEET.
 - LARGE PARCELS WITH MULTIPLE BUILDINGS SHALL MAINTAIN STREET WALL ALONG AT LEAST 60% OF PRIMARY STREET FRONTAGE.
 - SINGLE USE MULTIFAMILY STRUCTURES MUST PROVIDE A MINIMUM SETBACK OF 10' OF LANDSCAPED AREA.
 - CAN BE INCREASED AN ADDITIONAL 5' TO ACCOMMODATE OUTDOOR SEATING FOR FOOD ESTABLISHMENTS.
 - LANDSCAPED AREA REQUIREMENT MAY BE MET WITH ONE OR MORE OF THE FOLLOWING: TRADITIONAL LANDSCAPING (SEE SECTION 11-3), GREEN FACADE, GREEN ROOF AND/OR GREEN WALL.

SIGN TABLE

SYMBOL	SIGN	CTDOT #	QUANTITY
(A)	STOP	31-0552 24" OCTAGON	3
(B)	NO ENTRY	31-1119 24" SQUARE	2
(C)	ONE WAY	31-1188 36"x12" RECTANGLE	1

LEGEND

- BOUNDARY LINE
- SETBACK LINE
- CURB
- FENCE
- RETAINING WALL
- LIGHT POLE
- ⊕ SIGN
- Ⓟ PARKING COUNT
- BCLC BITUMINOUS CONCRETE LIP CURB
- CC CONCRETE CURB
- SYL SINGLE YELLOW LINE



REVISIONS:

No.	DESC.	DATE
0	ZBA SUBMISSION	10-01-21

NEW 44-UNIT RESIDENTIAL BUILDING & RELATED SITE IMPROVEMENTS
 - PROPERTY LOCATED AT -
 TAX MAP 36, BLOCK 808, LOTS 3, 2A, 2, 1E & 7
 NICHOLS AND EAST MAIN STREET
 BRIDGEPORT, CT
 - PREPARED FOR -
 BRIDGEPORT LANDING DEVELOPMENT, LLC
 10 EAST MAIN STREET, SUITE 201, BRIDGEPORT, CT 06608

SHEET TITLE:
 SITE PLAN

PROJ. No.: 2021-32
 DATE: 01 OCTOBER 2021
 DWG. No.: C-2

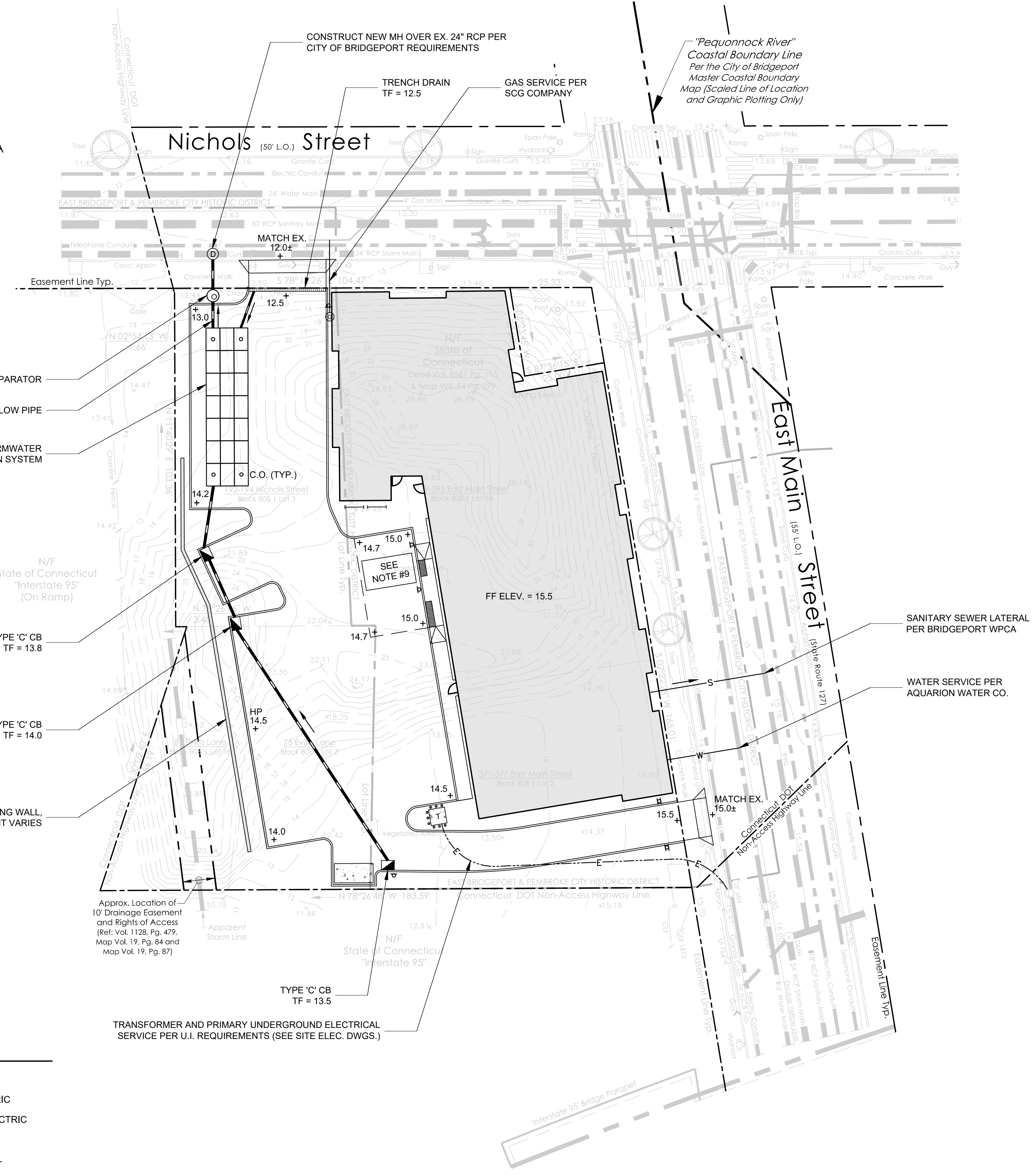
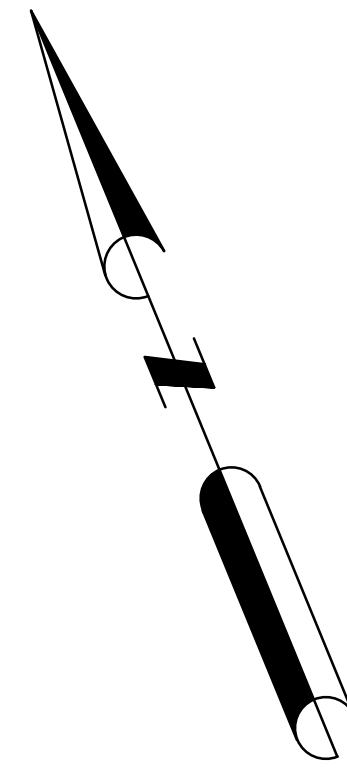
SHEET 2 OF 5
 SCALE: 1" = 20'

DESIGNED: CAD	DRAWN BY: ARM	CHECKED: CAD
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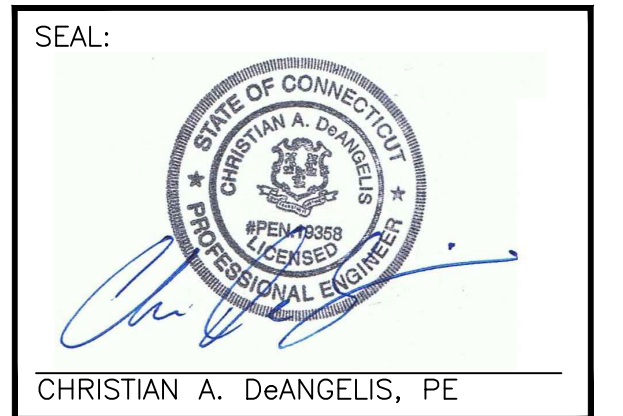
NOTES

- CONTRACTOR SHALL CONTACT "CALL-BEFORE-YOU-DIG" SERVICES AT 1-800-922-4455 A MINIMUM OF TWO (2) DAYS BEFORE BEGINNING ANY EXCAVATION AT THE SITE.
- CONTRACTOR SHALL CLEARLY MARK CLEARING LIMITS FOR OWNER'S REVIEW PRIOR TO TREE REMOVAL OPERATIONS. TREES TO BE REMOVED ON TOWN PROPERTY REQUIRE APPROVAL OF LOCAL TREE WARDEN.
- NEW WORK SHALL BLEND SMOOTHLY WITH EXISTING GRADES. UNLESS OTHERWISE SHOWN, ALL PAVEMENTS SHALL HAVE A TWO PERCENT CROSS-PITCH TO INSURE PROPER DRAINAGE.
- SILTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS NECESSARY PRIOR TO THE START OF GRADING AND MAINTAINED UNTIL ALL GROUND SURFACES ARE STABILIZED, I.E. WITH TURF, PAVEMENTS, ETC.
- PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE. ACTIVE UTILITY LINES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE UTILITY OWNER AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL SUBSURFACE UTILITIES PRIOR TO THE START OF WORK. ANY FIELD CONDITIONS THAT DIFFER FROM THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CONNDOT FORM 816, LATEST EDITION, AS AMENDED, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN.
- COMPACT MATERIAL TO NOT LESS THAN THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557 AND D-2049 AS FOLLOWS:
 - FOR UNPAVED AREAS, COMPACT TOP 6" OF SUBGRADE AND EACH LAYER OF BACKFILL OF FILL MATERIAL TO 85% MAXIMUM DRY DENSITY.
 - FOR PAVEMENTS, COMPACT TOP 12" OF SUBGRADE AND EACH LAYER OF BACKFILL MATERIAL TO 95% MAXIMUM DRY DENSITY.
- ALL UNSUITABLE MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
- GRADES IN A.D.A. PARKING AREA SHALL NOT EXCEED 50:1 IN ANY DIRECTION.



LEGEND AND ABBREVIATIONS

	STORM DRAIN (EX.)		PROPERTY LINE
	STORM DRAIN (PROP.)		PRIMARY ELECTRIC
	CATCH BASIN (PROP.)		SECONDARY ELECTRIC
	DRYWELL BASIN (PROP.)		TOP OF WALL
	CATCH BASIN (EX.)		BOTTOM OF WALL
	MANHOLE (D=STORM, S=SEWER)		TOP OF CURB
	CURB		BOTTOM OF CURB
	CONTOUR (EX.)		HIGH DENSITY POLYETHYLENE
	SPOT ELEV. (EX.)		VERIFY IN FIELD
	CONTOUR (PROP.)		TOP OF FRAME
	SPOT ELEV. (PROP.)		INVERT



REVISIONS:

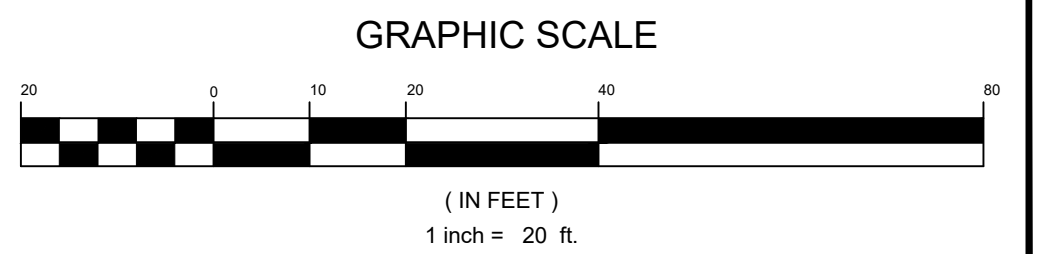
No.	DESC.	DATE
0	ZBA SUBMISSION	10-01-21

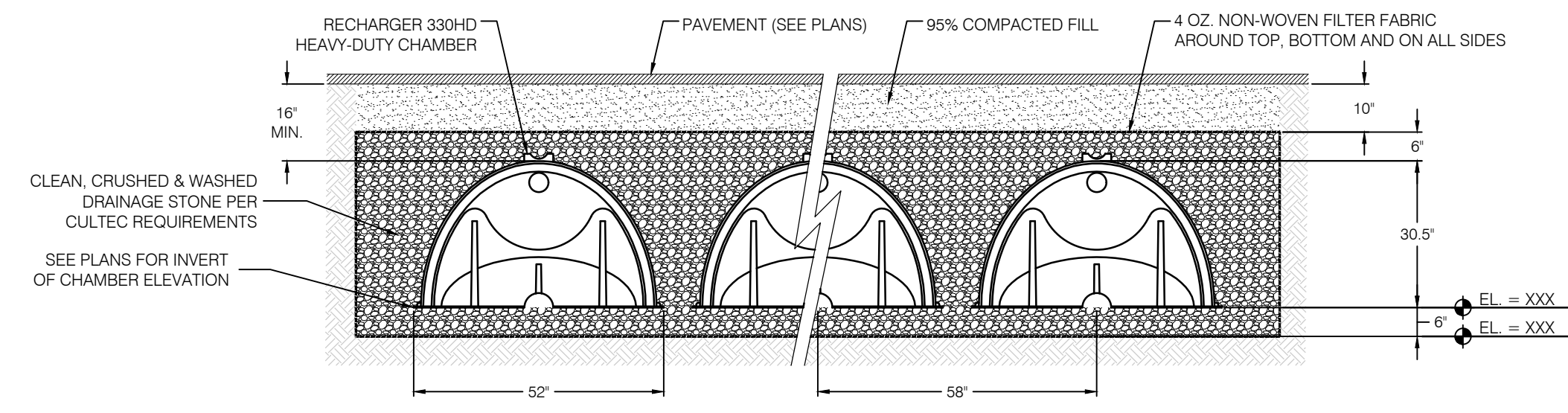
NEW 44-UNIT RESIDENTIAL BUILDING & RELATED SITE IMPROVEMENTS
- PROPERTY LOCATED AT -
TAX MAP 36, BLOCK 808, LOTS 3, 2A, 2, 1E & 7
NICHOLS AND EAST MAIN STREET
BRIDGEPORT, CT
- PREPARED FOR -
BRIDGEPORT LANDING DEVELOPMENT, LLC
10 EAST MAIN STREET, SUITE 201, BRIDGEPORT, CT 06608

SHEET TITLE:
GRADING & DRAINAGE PLAN

PROJ. No.: 2021-32
DATE: 01 OCTOBER 2021
DWG. No.: C-3
SHEET 3 OF 5
SCALE: 1" = 20'

DESIGNED: CAD	DRAWN BY: ARM	CHECKED: CAD
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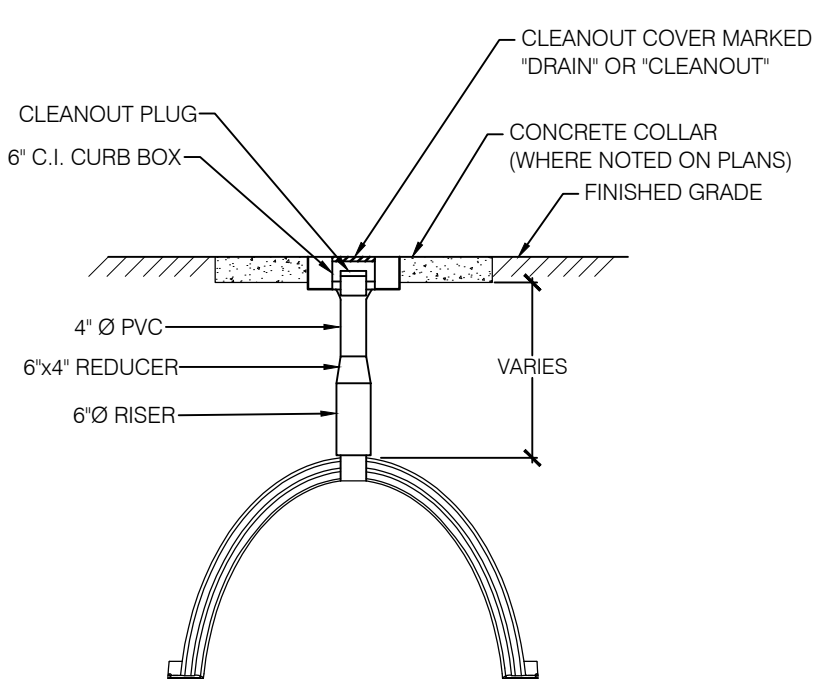




GENERAL NOTES
 RECHARGER 330HD BY CULTREC, INC. OF BROOKFIELD, CT.
 STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT.
 REFER TO CULTREC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
 USE RECHARGER 330HD HEAVY DUTY FOR TRAFFIC AND/ OR H2O APPLICATIONS.

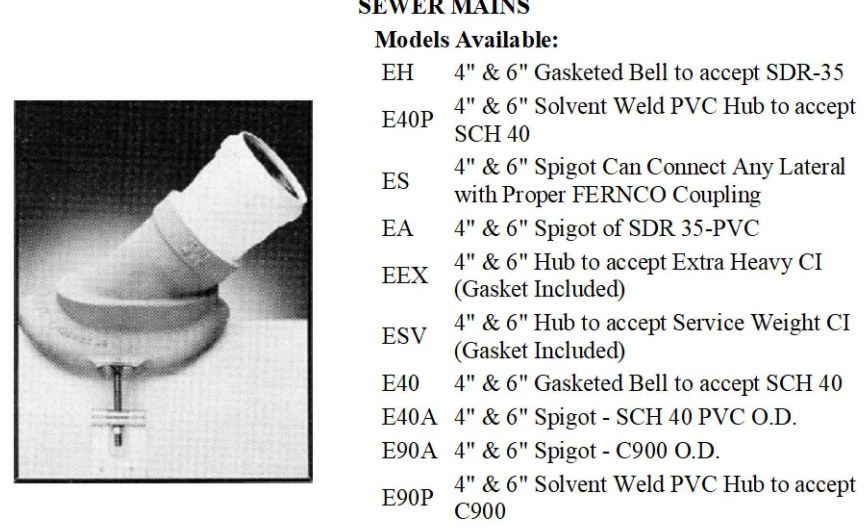
ALL RECHARGER 330HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
 ALL RECHARGER 330 CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

SECTION



TYPICAL CLEAN-OUT

SEALTITE TYPE "E" MULTI-RANGE WYE SEWER SADDLE
 VARIOUS CONTOURS TO FIT 6.00" THROUGH 30.00" O.D. GRAVITY SEWER MAINS



- Models Available:**
 EH 4" & 6" Gasketed Bell to accept SDR-35
 E40P 4" & 6" Solvent Weld PVC Hub to accept SCH 40
 ES 4" & 6" Spigot Can Connect Any Lateral with Proper FERNCO Coupling
 EA 4" & 6" Spigot of SDR 35-PVC
 EEX 4" & 6" Hub to accept Extra Heavy CI (Gasket Included)
 ESV 4" & 6" Hub to accept Service Weight CI (Gasket Included)
 E40 4" & 6" Gasketed Bell to accept SCH 40
 E40A 4" & 6" Spigot - SCH 40 PVC O.D.
 E90A 4" & 6" Spigot - C900 O.D.
 E90P 4" & 6" Solvent Weld PVC Hub to accept C900

SANITARY SEWER NOTES

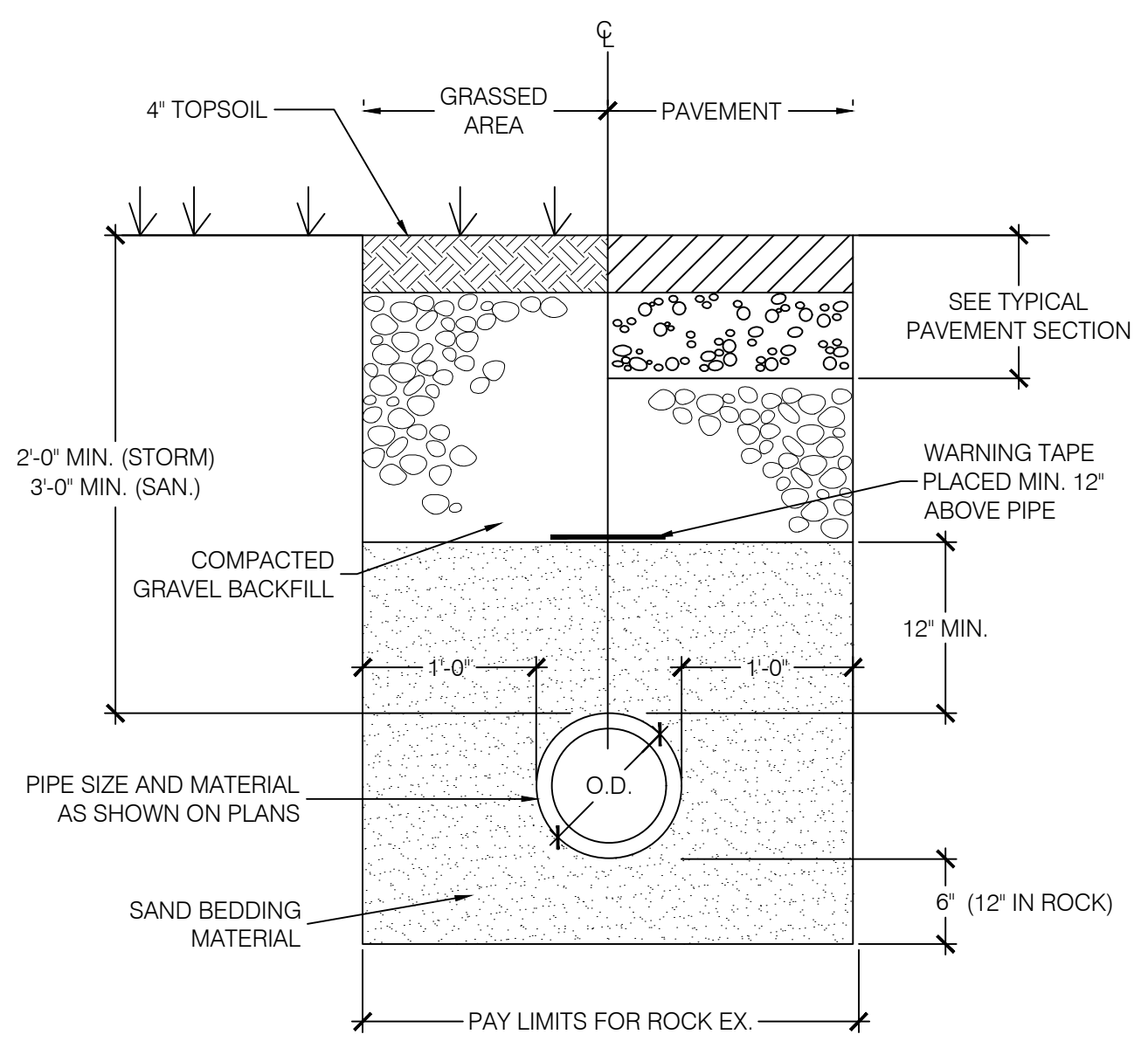
- SADDLE TO BE SEALTITE TYPE "E" MULTI-RANGE WYE SEWER SADDLE. (TO BE USED IF CONNECTION IS NOT FOUND)
- 6" PVC SEWER CONNECTION TO BE INSTALLED ON CRUSHED TO 3" ABOVE PIPE. FILTER FABRIC TO BE INSTALLED ON TOP SURFACE OF CRUSHED STONE.
- SERVICE LATERALS TO CROSS SANITARY LINE. VERIFY ELEVATIONS AT CROSSINGS WITH TEST PITS.

NOTE

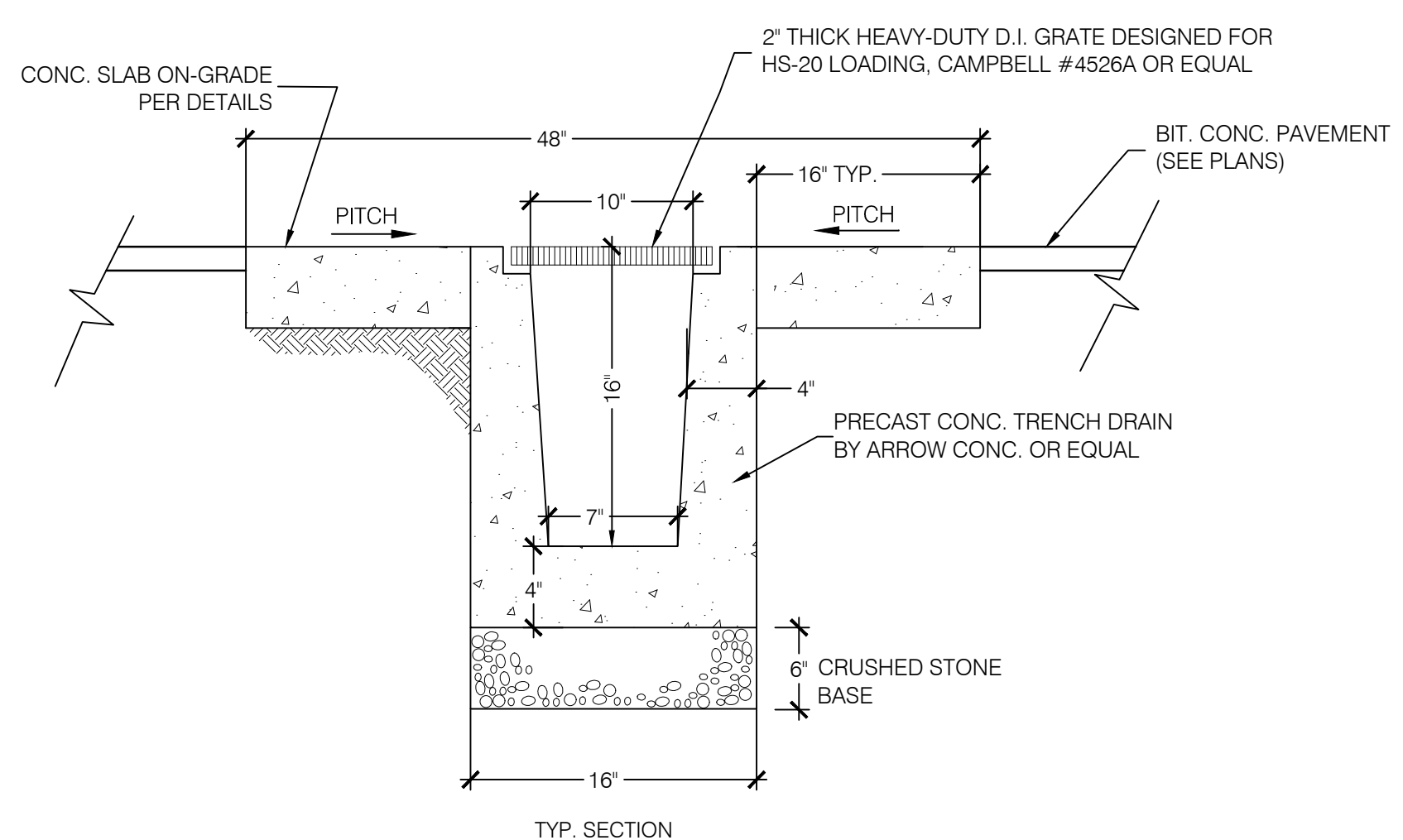
- PIPE TO BE BEDDED IN CRUSHED STONE.

6 TYP. PVC SANITARY LATERAL CONNECTION TO EXISTING SANITARY SEWER
 SCALE: N.T.S.

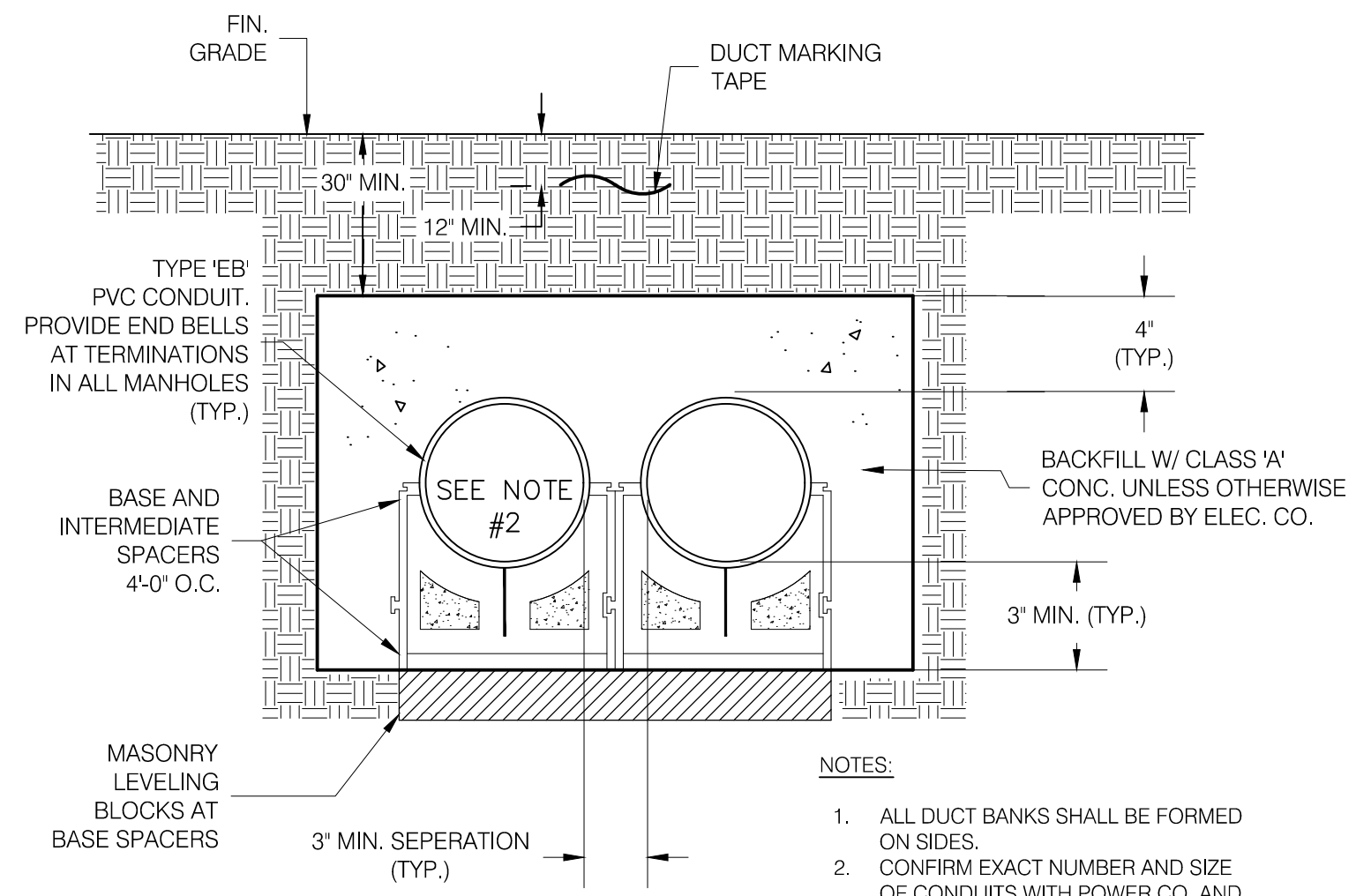
1 CULTREC 330XL (HEAVY DUTY)
 SCALE: N.T.S.



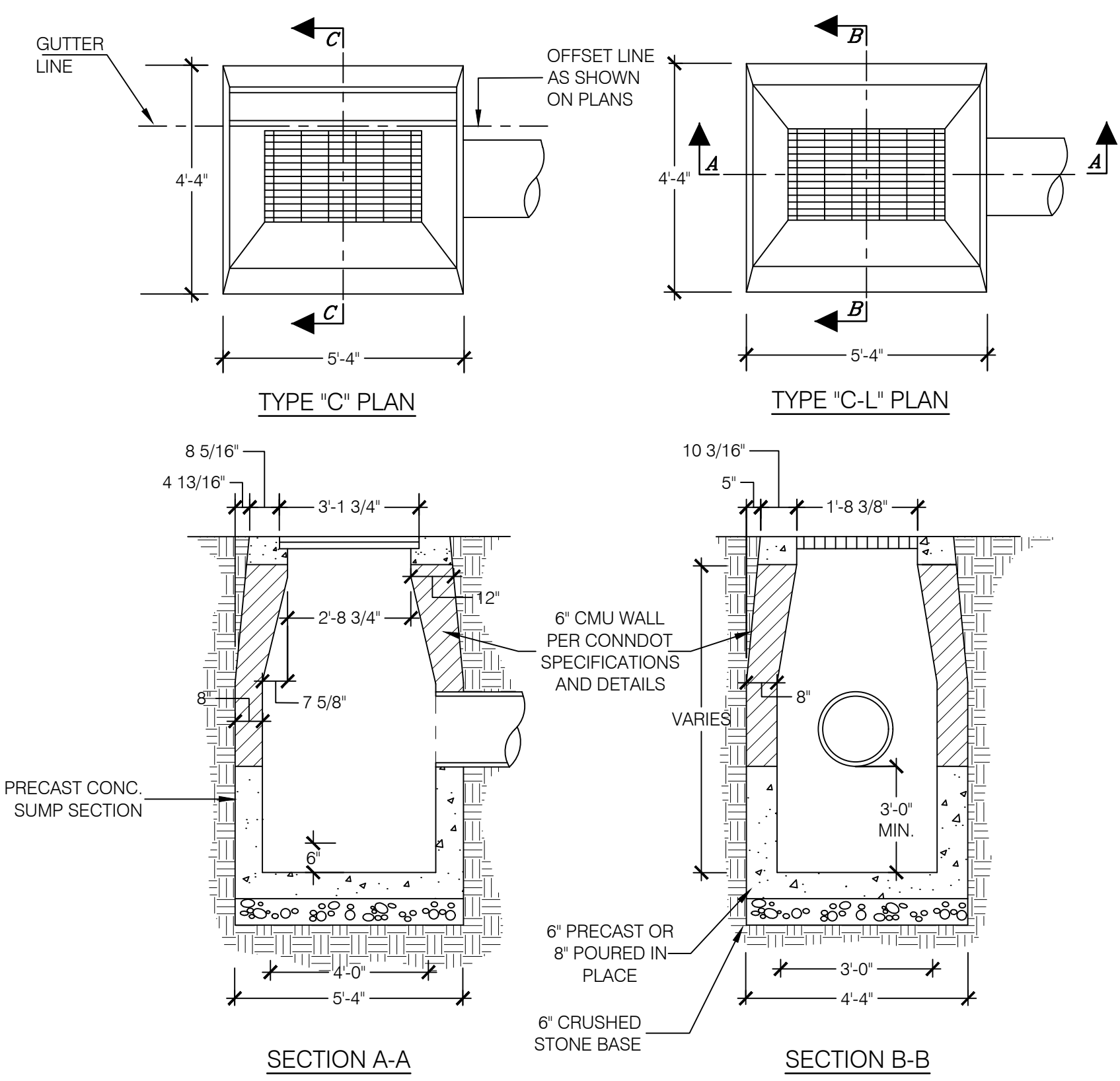
2 TYPICAL TRENCH SECTION (PVC OR HDPE PIPE)
 SCALE: 1" = 1'-0"



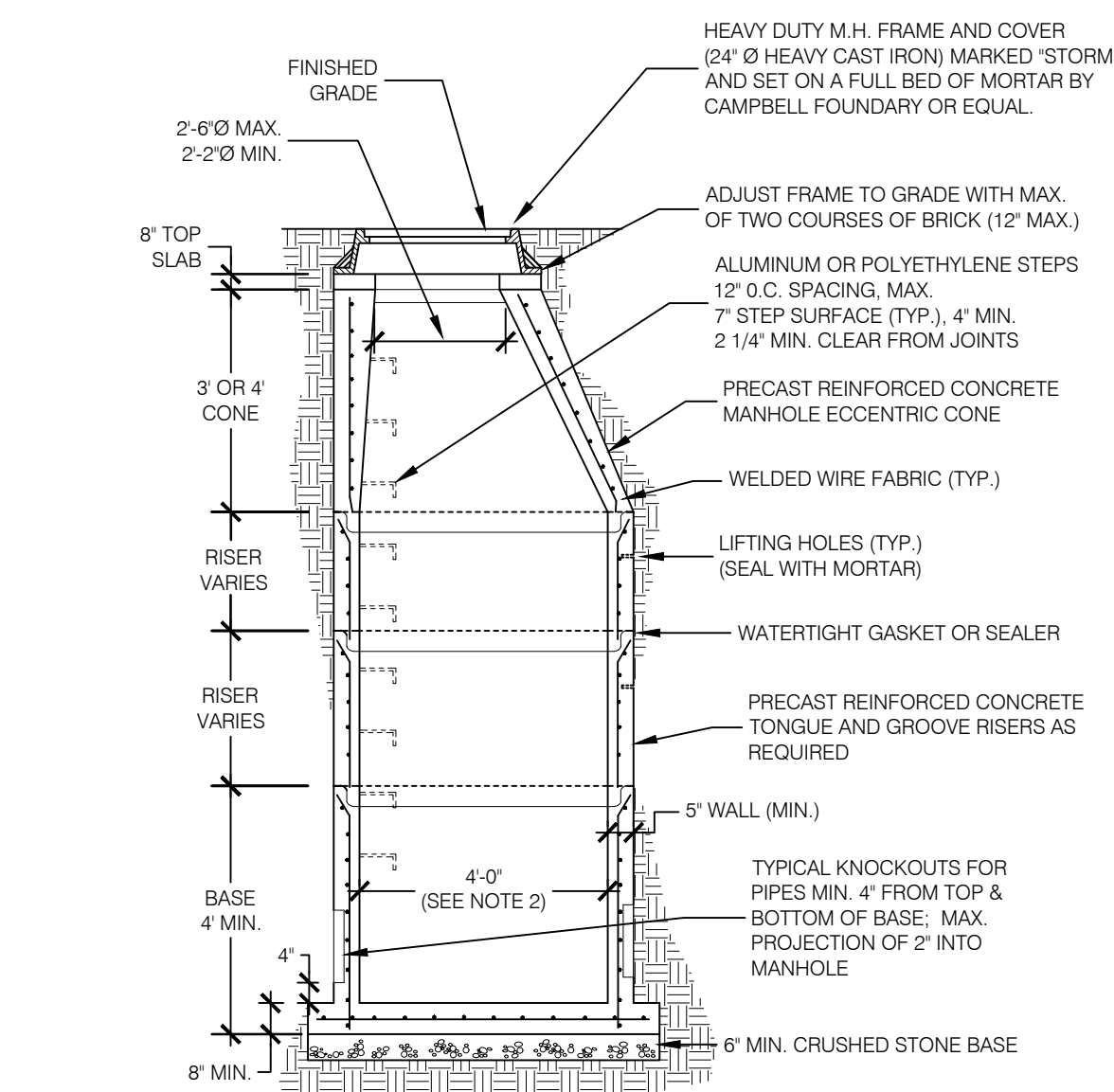
4 CONCRETE TRENCH DRAIN
 SCALE: N.T.S.



7 TYPICAL TRENCH SECTION (ELECTRIC)
 SCALE: 1" = 1'-0"

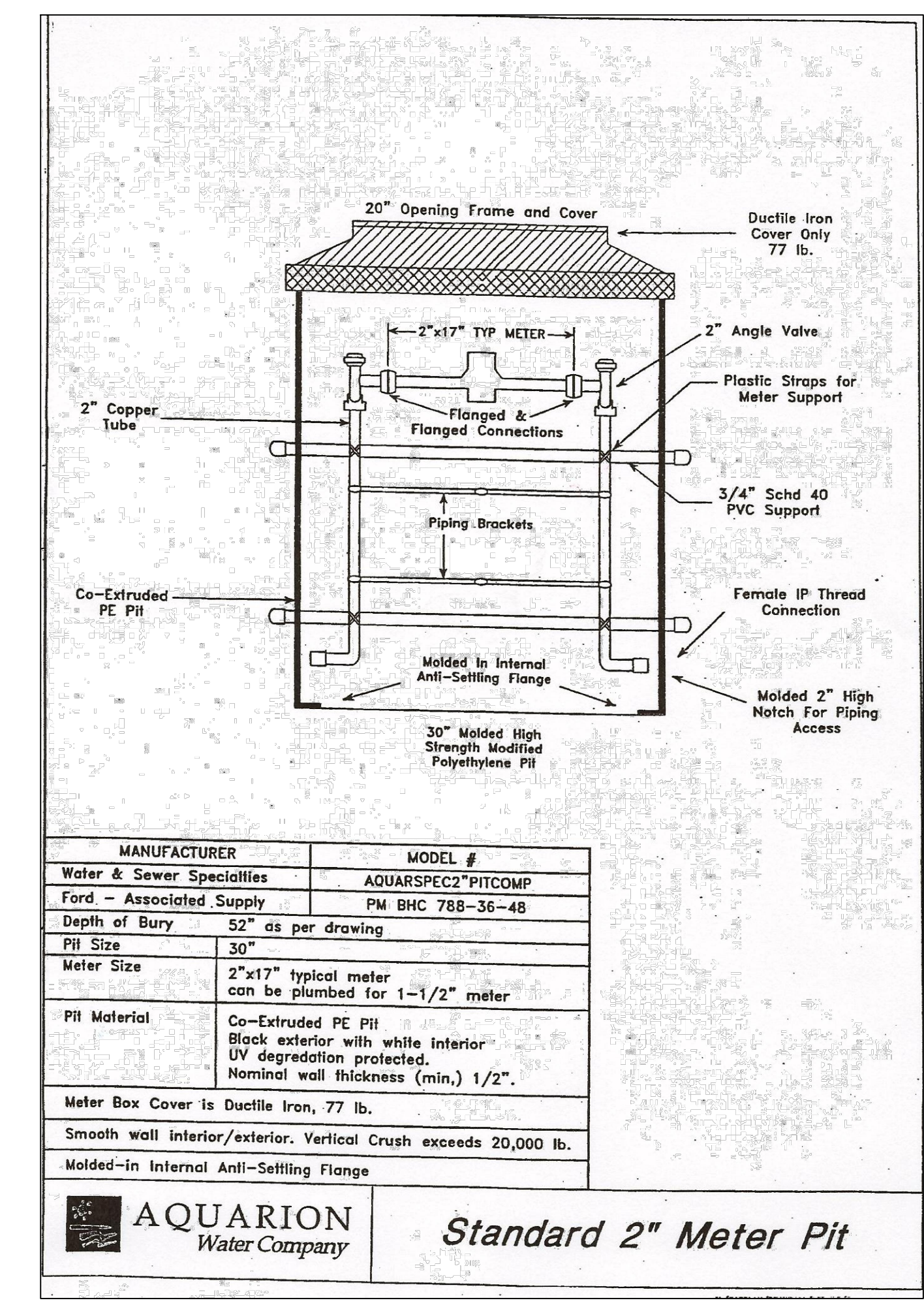


3 TYPICAL CATCH BASIN - TYPE "C" OR "C-L"
 SCALE: N.T.S.



- NOTES:**
- 8" SOLID RADIAL CONC. BLOCKS MAY BE SUBSTITUTED FOR PRECAST CONC. UNITS; PLASTER OUTSIDE OF MANHOLE. W/ 1/2" THICK MORTAR COAT WHEN USING CONC. BLOCK.
 - MANHOLE BASE SECTION DIAMETER: 6" TO 18" PIPES - BASE DIA. 4'-0" 21" TO 27" PIPES - BASE DIA. 5'-0" 30" TO 42" PIPES - BASE DIA. 6'-0"
 - 6" OR 6" DIA. PRECAST BASES MAY BE USED WHEN REQUIRED DUE TO SIZE OR NUMBER OF PIPES AT THE MANHOLE. PRECAST REDUCERS WILL BE PLACED ABOVE THE 5" AND 6" BASES AS DIRECTED BY THE ENGINEER. WALL THICKNESSES TO INCREASE 1" FOR EACH 1" OF INSIDE DIAMETER INCREASE.

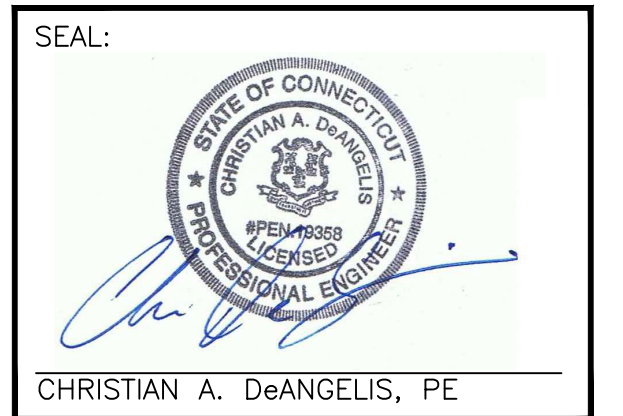
5 TYPICAL STORM DRAIN MANHOLE
 SCALE: N.T.S.



MANUFACTURER	MODEL #
Water & Sewer Specialties	AQUARION SPEC2 PITCOMP
Ford - Associated Supply	PM BHC 788-36-48
Depth of Bury	52" as per drawing
Pit Size	30"
Meter Size	2"x17" typical meter can be plumbed for 1-1/2" meter
Pit Material	Co-Extruded PE Pit Black exterior with white interior UV degradation protected. Nominal wall thickness (min.) 1/2".
Meter Box Cover is Ductile Iron, 77 lb.	
Smooth wall interior/exterior. Vertical Crush exceeds 20,000 lb.	
Molded-in Internal Anti-Settling Flange	

AQUARION Water Company **Standard 2" Meter Pit**

8 TYPICAL WATER METER PIT - AQUARION
 SCALE: N.T.S.



REVISIONS:

No.	DESC.	DATE
0	ZBA SUBMISSION	10-01-21

NEW 44-UNIT RESIDENTIAL BUILDING & RELATED SITE IMPROVEMENTS
 - PROPERTY LOCATED AT -
 TAX MAP 36, BLOCK 808, LOTS 3, 2A, 2, 1E & 7
 NICHOLS AND EAST MAIN STREET
 BRIDGEPORT, CT
 - PREPARED FOR -
 BRIDGEPORT LANDING DEVELOPMENT, LLC
 10 EAST MAIN STREET, SUITE 201, BRIDGEPORT, CT 06608

SHEET TITLE:
TYPICAL DRAINAGE & UTILITY DETAILS

PROJ. No.: 2021-32
 DATE: 01 OCTOBER 2021
 DWG. No.: C-5
 SHEET 5 OF 5
 SCALE: AS NOTED
 DESIGNED: CAD DRAWN BY: ARM CHECKED: CAD

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CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1285 Boston Avenue Zone I-L and R-C
(Number) (Street) (Zone Classification)

On the North side of the street about 0 feet West from
(North, South, East, West) (North, South, East, West)

Bond Street Block : 55/1901 Lot: 1
(Street)

Dimension of Lot in Question See Attached
(Specify)

1. NAME OF APPLICANT / BUSINESS Lakeview Cemetery Association
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING N/A
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Expansion of existing cemetery for additional burial ground

5. THIS APPLICATION RELATES TO: Check all that Apply:

- Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
- Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: _____

6. USE TO BE MADE OF PROPERTY Cemetery

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See Attached

APPLICANT [Signature] DATE 10/01/2011
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____ / _____
(Email)

Mailing Address Attn: Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824 203-528-0590
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print _____
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20_____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: _____ DATE: _____, 20____ Clerk _____



Colin B. Connor
Robert G. Golger
David K. Kurata
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

September 30, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace, Room 210
Bridgeport, CT 06604

Re: Application for variance – 1285 Boston Avenue (the “Site”)

Dear Mr. Buckley:

Please accept this letter on behalf of our client for an application for a variance to an existing vacant parcel to permit a cemetery use with associated Site improvements in the I-L Zone.

Variance Requested

Variance of Section 7-1-2 and Table 2.A of the Regulations to permit a cemetery use in the I-L Zone.

Dimension of Lot in Question

209.52' x 213.26' x 585.64' x 34.24' x 286.71' x 189.81' x 25.60' x 15.60' x 35.99' x 26.34' x 33.61' x 35.61' x 71.16'

Narrative

The Site is a very large corner lot with frontages on Boston Avenue and Bond Street. The parcel contains over Thirty-seven acres and is the location of the GE property and the new Warren G. Harding High School. However, this Petition only concerns a 2.524 acres, or 109,960 SF, portion of the Site that is separated from the large remainder of the Site by Stillman Pond and identified as “Commercial Parcel ‘C’” on the submitted plan “Proposed Cemetery Area”. Physically, the Proposed Cemetery Area is more connected to the Lakeview Cemetery property located at 885 Boston Avenue. Together, they occupy the western shore of Stillman Pond. Currently, the Proposed Cemetery Area is mostly impervious paved surface.

10 Sasco Hill Road
Fairfield, CT 06824
Tel 203-255-9928
Fax 203-255-6618

The Petitioner intends to acquire the Proposed Cemetery Area from the current owner and convert it to a cemetery. The existing Lakeview Cemetery is in need of additional burial ground to support its use. The Proposed Cemetery Area would contain additional burial headstones and graves. The impervious area would be removed and landscaped in character with the existing cemetery. The fencing would also be extended. The existing Lakeview Cemetery is a very well-maintained and serene property. The extension of the cemetery all the way to picturesque Stillman Pond along with the new Warren G. Harding High School will make tremendous progress towards converting this extremely large and barren industrial property into a more attractive streetscape for the surrounding residential area.

Hardship

Granting the Petitioner the above-stated variance will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as the Proposed Cemetery Area is physically disconnected from the large remainder of the Site by Stillman Pond and more connected to the neighboring Lakeview Cemetery. While the Site has a long industrial history, the City has made progress in developing the Site in another direction. In fact, Warren G. Harding High School is located on a portion of the Site that has been changed to the R-C Zone. Lakeview Cemetery and the majority of the Site remain in the I-L Zone. However, the pending Zone Bridgeport regulations currently before the Bridgeport Planning and Zoning Commission propose Lakeview Cemetery to be located in the P1 Zone and the Proposed Cemetery Area to be located in the RX2 Zone, both of which permit cemetery uses as of right. The City has made steady progress to convert and improve the longstanding industrial Site. The historic abandoned buildings were removed and a beautiful new high school was constructed. The Petitioner proposes to do the same with the 2.524 acre Proposed Cemetery Area by removing the impervious area and creating a serene extension of the existing cemetery use from Lakeview Cemetery. This Site will move one step closer to coming in conformity with the character of the residential neighborhood that abuts it east of Bond Street and to the west behind Boston Avenue.

For the above-stated reasons, the Petitioner respectfully requests approval of this Petition for a variance.

Sincerely,



Ray Rizio

PROPERTIES WITHIN 100' OF 1285 BOSTON AVE

PROPERTY ADDRESS	OWNER	MAILING ADDRESS	CITY	STATE	ZIP CODE
1290 BOSTON AV	VANDO PETER CUONG & THUYVAN DINH	1290 BOSTON AVE	BRIDGEPORT	CT	06610
84 BOND ST	VANDO (SURV OF THEM)	265 QUARRY ST	BRIDGEPORT	CT	06606
575 ASYLUM ST	SCOTT JANIE	323 NORTH AVE	BRIDGEPORT	CT	06606
136 BOND ST #138	PAY DAY INC	136 BOND ST #138	BRIDGEPORT	CT	06610
356 BOND ST #362	79 LANSING LLC	356-362 BOND ST	BRIDGEPORT	CT	06610
1260 BOSTON AV #202	BOND STREET VIEWS LLC	376 EAST WASHINGTON AVE	BRIDGEPORT	CT	06608
	HOUSING AUTHORITY CITY OF BPT				
	GENERAL ELECTRIC COMPANY C/O LITTLE				
1285 BOSTON AV	EPROPERTY TAX, INC	PO BOX 4900	SCOTTSDALE	AZ	85261-4900
340 BOND ST #342	NORTH END LLC	15 HIGHWOOD PL	TRUMBULL	CT	06611
154 BOND ST #156	ZURAW RAFAL	154-156 BOND STREET	BRIDGEPORT	CT	06610
455 ASYLUM ST	CITY OF BRIDGEPORT PUBLIC WORKS	EXEMPT PARCEL N/A	BRIDGEPORT	CT	00000
376 BOND ST	FRANK ANDY	376 BOND ST	BRIDGEPORT	CT	06610
80 HASTINGS ST	BRIDGEPORT CITY OF	45 LYON TERRACE	BRIDGEPORT	CT	06604
256 BOND ST #258	UPCHURCH KALI J	256 BOND ST #258	BRIDGEPORT	CT	06610
25 STEWART ST	KENN HOMES INCORPORATED	2440 RESERVOIR AVE	TRUMBULL	CT	06611
OLD MILL GREEN NA	CITY OF BRIDGEPORT PARK DEPT	EXEMPT PARCEL N/A	BRIDGEPORT	CT	00000
231 ASYLUM ST	GRIFFITH CO	239 ASYLUM ST	BRIDGEPORT	CT	06610
346 BOND ST #348	TORRES CYD MARIE	346 BOND ST #348	BRIDGEPORT	CT	06610
	SPORTING GOODS PROPERTIES INC C/O				
615 ASYLUM ST	DUPONT	PO BOX 2909	WILMINGTON	DE	19805
326 BOND ST	PAULINO LOUIS G	326 BOND STREET	BRIDGEPORT	CT	06610
88 BOND ST #90	ANDERSON FABIAN & DAMEON	88-90 BOND ST	BRIDGEPORT	CT	06610
	ELLEBA FRANK & GLORIA ELLEBA (SURV OF THEM)				
54 BOND ST	UNGER COGGSWELL PROPERTIES LLC	54 BOND ST	BRIDGEPORT	CT	06610
425 ASYLUM ST	BRIDGEPORT HEALTH CARE REALTY	425 ASYLUM ST	BRIDGEPORT	CT	06610
600 BOND ST	XMAS JOE B	600 BOND ST	BRIDGEPORT	CT	06610
296 BOND ST	ALEXANDER ERICA P	296 BOND ST	BRIDGEPORT	CT	06610
250 BOND ST #252	649 VERMONT STREET LLC	250 BOND ST	BRIDGEPORT	CT	06610
420 BOND ST #422	76 SANFORD AVENUE ASSOCIATES LLC	135-58 223 ST	LAURELTON	NY	11413
416 BOND ST #418		708 SOUTH AVE	NEW CANAAN	CT	06840

128 BOND ST #130	251 WEST AVE LLC	243 N RIDGE ST	RYE BROOK	NY	10573
316 BOND ST #322	MEILI PROPERTIES LLC	150 MOTT ST #11	NEW YORK	NY	10013
290 BOND ST #292	BANK ST REAL ESTATE MANGEMENT CORP	290- 292 BOND ST	BRIDGEPORT	CT	06610
386 BOND ST #390	KAM FAI REALITY LLC	9 CHERRY GROVE COURT	VALLEY STREAM	NY	11581
350 BOND ST #352	BUSH FRANCISCO	80 CARTRIGHT STREET 4K	BRIDGEPORT	CT	06610
144 BOND ST #146	76 SANFORD AVENUE ASSOCIATES LLC	708 SOUTH AVE	NEW CANAAN	CT	06840
166 BOND ST #168	MITCHELL SAMMI	166 BOND ST 168	BRIDGEPORT	CT	06610
148 BOND ST #150	ROMAN SARA	148 BOND ST	BRIDGEPORT	CT	06610
246 BOND ST #248	LAWRENCE MARCELINE S & STEVEN E	356 LAKE STREET	UPPER SADDLE RIVER	NJ	07458
56 BOND ST	CISSE ISSIAKA	56 BOND ST	BRIDGEPORT	CT	06610
110 BOND ST	O & A PROPERTIES LLC	110 BOND ST	BRIDGEPORT	CT	06610
118 BOND ST #120	SMALL DEVONSON	118 BOND ST #120	BRIDGEPORT	CT	06610-2202
336 BOND ST #338	POUNALL STEPHANE	336 BOND ST #338	BRIDGEPORT	CT	06610
286 BOND ST #288	BANK STREET REAL ESTATE MANGEMENT CORP	286 BOND ST #288	BRIDGEPORT	CT	06610
198 BOND ST #208	HOUSING AUTHORITY CITY OF BPT	376 EAST WASHINGTON AVE	BRIDGEPORT	CT	06608
42 BOND ST	FAITH OUTREACH APOSTOLIC CHURCHES				
1292 BOSTON AV #1296	WORLDWIDE INC	130 PEARL HARBOR ST	BRIDGEPORT	CT	06610
78 BOND ST	YANKEE DISCOUNT MUFFLER	1290 BOSTON AVE	BRIDGEPORT	CT	06610
74 BOND ST	ORTIZ ANGEL M	78 BOND ST	BRIDGEPORT	CT	06610
32 BOND ST	VARGAS MAGNOLIA ET AL	74 BOND ST	BRIDGEPORT	CT	06610
382 BOND ST	FAITH OUTREACH APOSTOLIC CHURCHES				
315 ASYLUM ST	WORLDWIDE INC	PO BOX 763	STRATFORD	CT	06615-0763
236 BOND ST #242	76 SANFORD AVENUE ASSOCIATES LLC	708 SOUTH AVENUE	NEW CANAAN	CT	06840
332 BOND ST	COGSWELL - BRIDGEPORT LLC	200 COGSWELL ST	BRIDGEPORT	CT	06610
1313 BOSTON AV #1321	LAWRENCE STEVEN E & MARCELINE S	356 LAKE STREET	UPPER SADDLE RIVER	NJ	07458
366 BOND ST #372	CARRENA LUIS	24 TUCKAHOE RD	EASTON	CT	06612
310 BOND ST #312	ELI INDUSTRIES LLC	1313 BOSTON AVE	BRIDGEPORT	CT	06610
260 BOND ST #262	DIMITROGLOU DIMITRIOS	12 CLOVERLY CIR	NORWALK	CT	06850
170 BOND ST #172	SILJKOVIC SABAN & SUADA	20 WYNDOVER LANE NORTH	STAMFORD	CT	06902
306 BOND ST #308	CCHIMIAK STAINISLAW	3 STARWOOD LANE	BEACONS FALLS	CT	06403
480 BOND ST	HINTON LINDA	170-172 BOND ST	BRIDGEPORT	CT	06610
	THOMAS PAMELA F	306 BOND ST	BRIDGEPORT	CT	06610
	GOLDEN HILL FOUNDATION INC	2 TRAP FALLS RD # 405	SHELTON	CT	06484

305 ASYLUM ST	FUCCI DONALD R & LINDA V	453 WHITNEY AVE	TRUMBULL	CT	06611
885 BOSTON AV	LAKEVIEW CEMETERY ASSOCIATION	855 BOSTON AVE	BRIDGEPORT	CT	06610
426 BOND ST #432	MORROW MARY P	349 PURDY HILL RD	MONROE	CT	06468
302 BOND ST	CHOMIAK STANISLAW	3 STARWOOD ALNE	BEACONS FALLS	CT	06403
412 BOND ST	SEEPERSAUD BHARRAT P	408 BOND ST	BRIDGEPORT	CT	06610
406 BOND ST	SEEPERSAUD BHARRAT P	408 BOND ST	BRIDGEPORT	CT	06610
396 BOND ST #402	NOYES EVERTON	396-402 BOND ST	BRIDGEPORT	CT	06610
280 BOND ST #282	CARRENA LUIS	24 TUCKAHOE RD	EASTON	NY	06612
276 BOND ST #278	SHABAZZ DACCA	151-89 135T AVE	JAMAICA	NY	11434
270 BOND ST #272	176 LEWIS LLC	478 ALBANY AVE #1	BROOKLYN	NY	11203
266 BOND ST #268	CHOMIAK STANISLAW	3 STARWOOD ALNE	BEACONS FALLS	CT	06403
96 BOND ST	VORA BROTHERS LLC	96 BOND STREET	BRIDGEPORT	CT	06610
1100 BOSTON AV #05B	ADJ REALTY CORPORATION	167 HIGH FARMS RD	GLEN HEAD	NY	11545

LAKE VIEW CEMETERY ASSOCIATION ACTIVE

No information provided

BUSINESS DETAILS

Business Details

General Information

Business Name

LAKE VIEW CEMETERY ASSOCIATION

Business status

ACTIVE

Citizenship/place of formation

Domestic/Connecticut

Business address

No information provided

Annual report due

NAICS code

Business ALEI

0264275

Date formed

4/21/1897

Business type

Unknown

Mailing address

Last report filed

NAICS sub code

Principal Details



None

Agent details



Agent name

LOCATED IN THE TOWN OF

Agent Residence addresss

CHATHAM , CT, United States

Filing History



Business Formation - Certificate of Incorporation

0000505665

Filing date: 4/21/1897

Volume Type

C

Volume

30

Start page

438

Pages

0

Date generated

4/21/1897

Name History





CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1406 State Street Zone I-L
(Number) (Street) (Zone Classification)

On the North side of the street about 0 feet West from
(North, South, East, West) (North, South, East, West)

Bassick Avenue Block : 19/1238 Lot: 30
(Street)

Dimension of Lot in Question 150.92' x 85.65' x 73.00' x 26.00' x 71.00' x 146.00'
(Specify)

1. NAME OF APPLICANT / BUSINESS Catholic Charities of Fairfield County, Inc.
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Contract Purchaser
(Print)

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING N/A
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT
Interior conversion of existing building to support a social service provider use.

5. THIS APPLICATION RELATES TO: Check all that Apply

Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other:

6. USE TO BE MADE OF PROPERTY Social Service Provider Use - The Thomas Merton Center will provide healthcare, legal, financial and employment services and training as well as providing meals to the local community.

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT [Signature] / DATE 11/05/2021
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) /

Mailing Address Attn: Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824 203 528 0590
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20 _____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.

**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

FEE RECEIVED: _____ DATE: _____, 20____ Clerk _____

Lisa S. Broder*
LBroder@russorizio.com
Colin B. Connor
Colin@russorizio.com
Robert G. Golger
Bob@russorizio.com
David K. Kurata
DKurata@russorizio.com
Stanton H. Lesser*
Stantou@russorizio.com
Katherine M. Macol
Kathy@russorizio.com
Victoria L. Miller*
Victorin@russorizio.com
Anthony J. Novella*
Anovella@russorizio.com



10 Sasco Hill Road, Fairfield, CT 06824
Tel 203-254-7579 or 203-255-9928
Fax 203-576-6626
5 Brook St., Suite 2B, Darien, CT 06820
Tel 203-309-5500
www.russorizio.com

Leah M. Parisi
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Christopher B. Russo
Chris@russorizio.com
Robert D. Russo*
Rob@russorizio.com
John J. Ryan*
John@russorizio.com
Jane Ford Shaw
Jane@russorizio.com
Vanessa R. Wambolt
Vanessa@russorizio.com
* Also Admitted in NY
* Also Admitted in VT
* Of Counsel

November 5, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace, Room 210
Bridgeport, CT 06604

Re: Application for variance – 1406 State Street (the “Site”)

Dear Mr. Buckley:

Please accept this letter on behalf of our client for an application for variances to convert the interior of an existing building into a social service provider use associated with The Thomas Merton Center with associated Site improvements.

Variances Requested

1. Variance of Section 7-1-2 and Table 2.A of the Regulations to permit a social service provide use in the I-L Zone; and
2. Variance of Section 11-1-2 and Table 8.A to reduce the required off-street parking from Thirty-eight (38) to Six (6) parking spaces.

Narrative

The Site has frontage on three (3) public streets – State Street, Butler Avenue, and Bassick Avenue - in the I-L Zone. It is located in a mixed-use residential/commercial/industrial corridor surrounded by heavy residential neighborhoods. While the Site is located in the industrial zone, State Street contains a wide variety of uses and supports a significant community. The existing zoning map reflects a dated snapshot of State Street. Accordingly, the proposed Zone Bridgeport regulations, currently pending before the Bridgeport Planning and Zoning Commission, propose for the zone of the Site to be changed to the RX2 Residential-Office Center, which will permit social service providers as a permitted use under the indoor consumer service use category. The Petitioner proposes a social service provider use within this definition.

The Petitioner, operating as The Thomas Merton Center, has been an invaluable support system for the City of Bridgeport for decades. It is one of the most respected charitable

organizations. The Petitioner is making a significant investment in a new location to provide essential services to the community, including, but not limited to health care services for the disadvantaged and uninsured, immigration legal services, family loan and financial education, housing case management, ESL training, vocational opportunities for youth, job training classes and a breakfast and lunch program and marketplace pantry as is traditionally associated with the Petitioner. The Petition is an exciting opportunity to provide these services to the local community.

The Petition does not propose any change to the Site or footprint of the building. The proposed parking is the same pre-existing nonconforming parking as has existed at the Site. It should also be noted that the proposed Zone Bridgeport regulations do not require off-street parking. The interior of the existing building will be converted to provide the services described above. A kitchen and dining hall will be created to provide food support that the Petitioner has traditionally provided. In addition, a pantry and produce area will be created to distribute food and produce. A separate area will contain offices for the Petitioner to provide the various legal, health and financial services. The second floor will contain offices for the staff and a conference room for training.

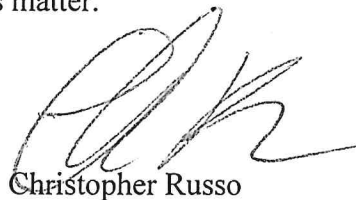
Hardship

Granting the Petitioner the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as the Petitioner proposes only to convert the interior of the existing building and retain the existing nonconforming parking. In addition, the proposed social service provider use and off-street parking are in conformity with the neighborhood and the pending Zone Bridgeport Regulations. Therefore, the Petition actually conforms to the proposed comprehensive zoning plan of the City of Bridgeport.

The Petitioner has provided essential support services to the residents of Bridgeport for decades and is a well-respected charitable organization in the area. The Petition proposes an exciting new opportunity to provide extensive services to another part of Bridgeport in a central location. With minimal changes to the Site, except for the interior conversion, the Petition will not have a negative impact on the surrounding neighborhood. For the above-stated reasons, the Petitioner respectfully requests approval of this application for variances.

Thank you for your assistance in this matter.

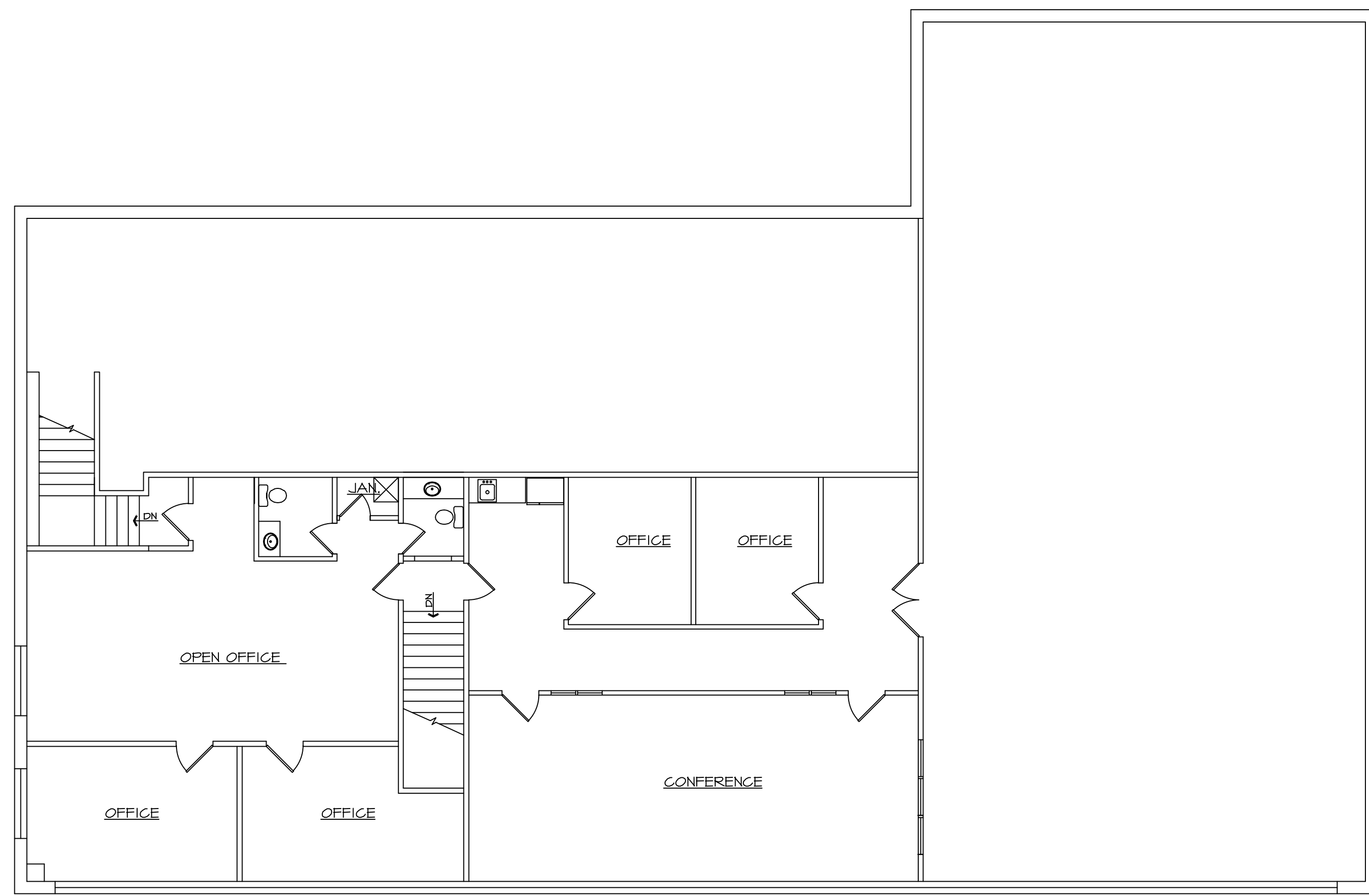
Sincerely,



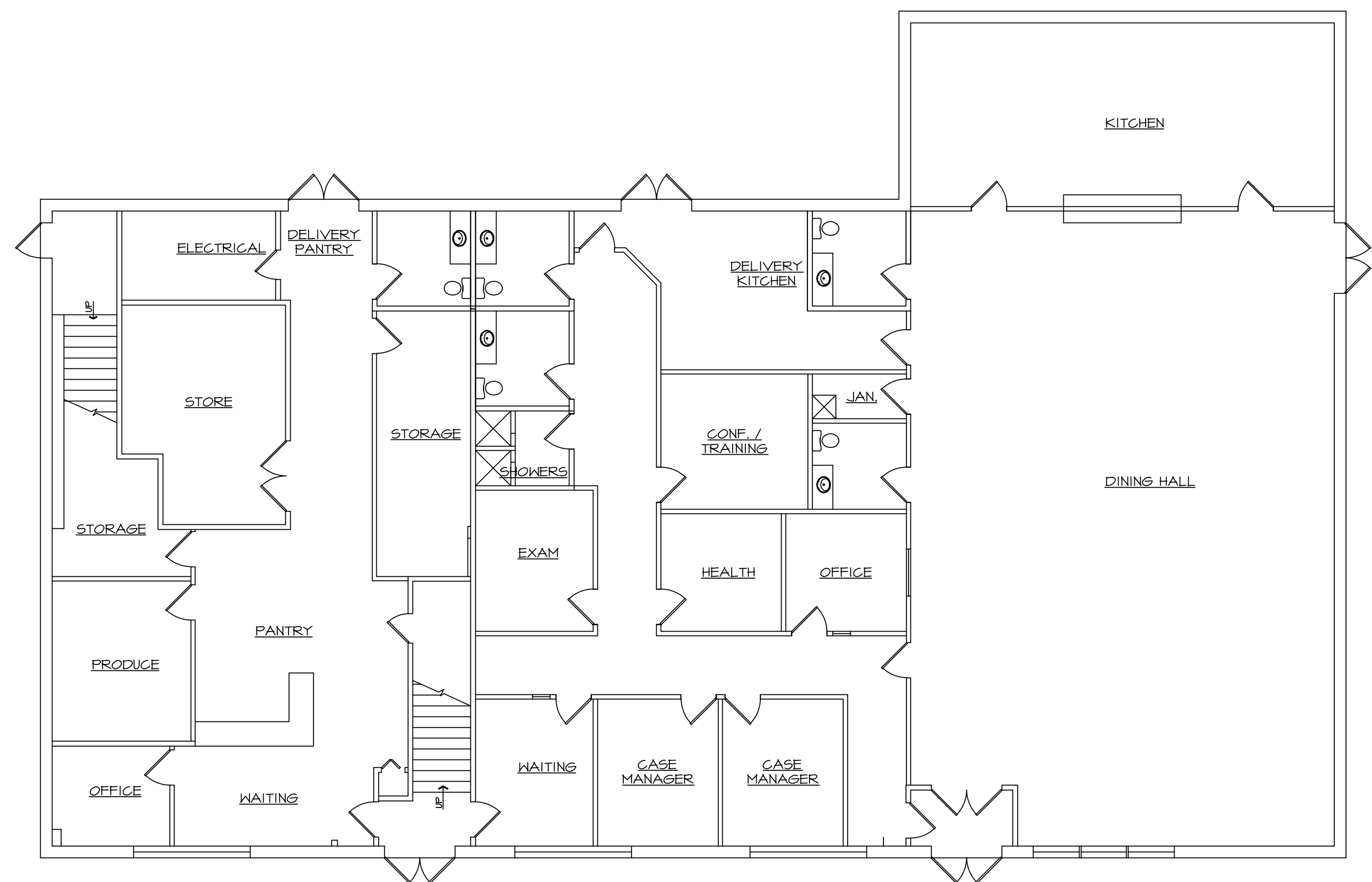
Christopher Russo

PROPERTIES WITHIN 100' OF 1406 STATE ST

LOCATION	OWNER	MAILING ADDRESS	CITY	STATE	ZIP
35 BUTLER AV #41	35 BUTLER LLC	4403 15TH ST, SUITE 215	BROOKLYN	NY	11219
1365 STATE ST	CHAVES BAKERY II INC C/O ATTY BILL GOUVEIA	1365 STATE ST	BRIDGEPORT	CT	06604
52 BASSICK AV	RIVERA RICARDO	52 BASSICK AVE	BRIDGEPORT	CT	06605
31 BUTLER AV #33	FEDERAL DEPOSIT INSURANCE CORP AS RECEIVER FOR CITY TRUST	1910 PACIFIC AVE	DALLAS	TX	75201
30 BUTLER AV #32	SMITH JIMMY & SILVIA A	1321 IRANISTAN AVE	BRIDGEPORT	CT	06606
1406 STATE ST	1406 STATE STREET LLC	224 POPES ISLAND ROAD	MILFORD	CT	06461
1435 STATE ST	BRIDGEPORT CITY OF BRIDGEPORT FIELDS LLC	521 NE SPANISH TRAIL	BOCA RATON	FL	33432
36 BASSICK AV	REBELLO MONITA	30-15 HOBART ST, 3B	WOODSIDE	NY	11377
22 BUTLER AV #24	MAJANO-MONTIEL EVELYN L	22 BUTLER AVE # 24	BRIDGEPORT	CT	06605
38 BUTLER AV #40	MORGAN LORNA	38- BUTLER AVE, #40	BRIDGEPORT	CT	06605
31 BASSICK AV #33	CEJA JOSE L	10 WESTVIEW LN	NORWALK	CT	06854
1370 STATE ST #1380	1374 STATE STREET LLC	2291 FAIRFIELD AVE	BRIDGEPORT	CT	06605
44 BASSICK AV	BISHNAUTH RICHARD	44 BASSICK AVE	BRIDGEPORT	CT	06605
1438 STATE ST #1444	CHARLES PROPERTY MGMT LLC	640 UNQUOWA ROAD	FAIRFIELD	CT	06824
51 BASSICK AV	HINOJOSA CARLOS	51 BASSICK AVE	BRIDGEPORT	CT	06605
28 BASSICK AV	VILLALTA-SAGUAY CARMEN	28 BASSICK AVE	BRIDGEPORT	CT	06605
43 BASSICK AV	ARANA DAVID	43 BASSICK AVENUE	BRIDGEPORT	CT	06605
20 BASSICK AV	AGOSTO NELIDA T	20 BASSICK AVE	BRIDGEPORT	CT	06605



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

**ADAPTIVE RE-USE OF
BUILDING**

**1406 STATE STREET
BRIDGEPORT, CONNECTICUT**

Prepared For:

**THE THOMAS MERTON
CENTER**

SHEET TITLE

**FIRST AND SECOND
FLOOR PLANS**

DESIGNED BY: TDG	SCALE: AS NOTED
DRAWN BY: TDG	DATE: 11-05-2021
CHECKED BY: PMR	PROJECT NUMBER: 2638
CAD FILE: R:/2638/ARCH	

SEAL

SHEET NUMBER

A-101

My name is Mauricio Xocoy and I'm writing you today because I want to open a used car dealer that it always was historically , it was a mistake when I applied to DMV, I only applied for a general repair but my intent was to use it in the future as use car dealer as well. For this reason I'm requesting an upgrade to obtain a used car dealer license, thanks in advance.



Mauricio Xocoy

Mauricios Garage

mauricios_custom_cars@hotmail.com

2036505704



**ZONING BOARD OF APPEALS
APPLICATION CHECKLIST
CITY OF BRIDGEPORT
203-576-7217**

Required Information

- All items must be submitted in sets of (11) Eleven
- All plans & drawings must be full size (24"x36"), drawn to scale and in a PROFESSIONAL manner and must include a title block noting the name, address & telephone number of preparer.
- Site Development Plan prepared in accordance with Sec. 14-2-3b of the Bridgeport Zoning Regulations. Include the Zone Development Standards table indicating both required as well as the proposed Standards.
- ~~Elevation views of a proposed new structure or elevation views of an existing building where an addition or change is proposed.~~
- Floor plan of building(s) or section of building(s) being considered by the Board.
(All sets **FOLDED DOWN** to 8" x 12")
- A Design Standard submission for new developments.
- A written statement citing the specific provision(s) of the Regulations from which the variance is sought.
- A list of the names & addresses of all property owners within 100 ft of all property lines of the subject property. The Tax Assessor's Office (Room 105) can assist with this information or visit the COB website: <http://gis.cdm.com/BridgeportCT/map.htm>
- All applications must include the following:
 - a) Mailing address & zip code of petitioner or authorized agent.
 - b) Daytime telephone number of petitioner or authorized agent.
 - c) Signature of owner(s) & applicant(s)
 - d) Filing fee - cash, check or money order payable to the ZONING BOARD OF APPEALS or BPT. ZBA.
- All items submitted must be saved and properly installed on a USB flash drive.** PDF → zoning@bridgeportct.g
The information on the USB flash drive must include the application, site plans, and all other hard copy information (landscaping, floor elevations, etc) that will be submitted. It also **must be labelled** with the property address and the date of hearing. **All plans and paper work that is submitted to the zoning office must be FOLDED (8"x12" or smaller) and Collated into 11 separate packets.**

Notes:

1. Applications that do not provide ALL of the above required information will be considered "incomplete" and will be not be accepted. Applications will be limited to the first 10 submitted, regardless of the submission deadline.
2. No application will be assigned for a public hearing until such time as the City Engineering Department has reviewed and submitted comments to the Zoning Office.
3. A Use Variance approval by the Z.B.A. requires a Site Plan Review by the Planning & Zoning Commission as set forth in Section 14-2-2. This approval may be in addition to other requirements of the Zoning Regulations. All required approvals must be obtained prior to the use and/or development of any parcel granted a Variance.
4. Proposed signs are not accepted as part of any petition. Signage is regulated under Sec. 11-7 of the Zoning Regulations.

Applicant's Signature

Date

Reviewers Initials

Date

PETITION TO THE BOARD OF APPEALS City of Bridgeport, Connecticut

The undersigned presents the following petition for:
(Check all that Apply)

- Variance
- Appeal from Zoning Officer
- Extension of Time Permit / Modification of Plan of Development
- Request for Re-hearing
- Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

2060 Fairfield Ave.
(Number) (Street) Zone J-L
(Zone Classification)

On the West side of the street about _____ feet across from _____
(North, South, East, West) (North, South, East, West)

Andrew St Block: 201 Lot: 3
(Street)

Dimension of Lot In Question .61 AC
(Specify)

1. NAME OF PETITIONER / BUSINESS Mauricios Garage INC.
(Print)
2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) _____
3. HAS ANY PREVIOUS PETITION BEEN FILED? Yes IF SO, GIVE DATE OF HEARING 7-20-2014 (Yes or No) (see attached)
4. DESCRIBE PROPOSED DEVELOPMENT upgrade to used car dealer

5. THIS PETITION RELATES TO:
Check all that Apply

- Setback
- Coverage
- Landscaping
- Lot Area and Width
- Floor Area
- Height
- Parking
- Extension or Enlargement of Non-Conforming Use and/or Building
- Coastal Area Management Approval
- Liquor Use
- Other: upgrade to use car dealer license

6. USE TO BE MADE OF PROPERTY _____

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? Not seeking variance

PETITIONER _____ DATE _____
(Signature) (Print)

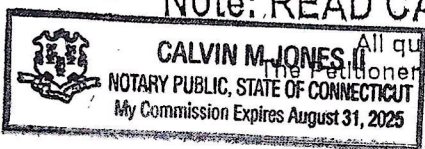
If signed by agent, state capacity (lawyer, builder, etc) _____
mauricios-custom-cars@hotmail.com
(Email)

Mailing Address 2060 Fairfield Ave, Bridgeport, CT 06605 203 6505704
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____
(If other than owner) (Signature) (Print) Mauricio Xocoy

Subscribe & Sworn to before me this 11 day of Nov 2021
Notary Public In & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION



All questions must be answered in detail (use separate sheet if necessary).
The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this petition.
NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEE \$ 202.572.7347)

ZUCARO INC
5 EVANS CT
WESTPORT, CT 06883

POWER TEST REALTY COMPANY
1500 HEMPSTEAD TPK
EAST MEADOW, NY 11554

WITKOWSKI DARLENE ETAL
83 BURR ROAD #85
BRIDGEPORT, CT 06605

HIGHLAND STREET ASSOCIATES
381 HIGHLAND ST
WEST HAVEN, CT 06516

WITKOWSKI DARLENE ETAL
99 BURR RD
BRIDGEPORT, CT 06605

DRAGONE & SONS LLC
002125 FAIRFIELD AVE
BRIDGEPORT, CT 06604

DRAGONE THOMAS L & VIRGINIA
16 PAR LN
TRUMBULL, CT 06611

DRAGONE THOMAS & CARMAN T &
16 PAR LN
TRUMBULL, CT 06611

MALLON PATRICK
002033 FAIRFIELD AVE
BRIDGEPORT, CT 06605

RAAB BRIAN L & DONNA E
000065 BURR RD
BRIDGEPORT, CT 06605

VALENTINO THERESA M
900 CLARK ST
BRIDGEPORT, CT 06606

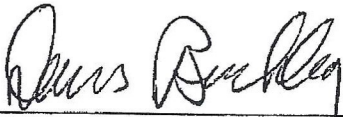
DRAGONE & SONS LLC
002125 FAIRFIELD AVE
BRIDGEPORT, CT 06605

D
CONDITIONS
NEW CAR DEALER
USED CAR DEALER
GENERAL REPAIR GARAGE
(AUTO BODY REPAIR EXCLUDED)

The Planning & Zoning Commission of the City of Bridgeport, in an effort to maintain & promote the health, safety, & general welfare of the community, requires strict compliance with the following conditions:

1. There shall be no display of temporary "sandwich" signs, pedestal signs, flags, buntings, or other advertising gimmicks beyond the setback lines as provided by the Zoning Regulations of the City of Bridgeport.
2. Appropriate berms are to be placed to insure the appropriate setback as required by the building codes of the City of Bridgeport so that no vehicle may extend beyond the boundaries of the property for which the waiver has been granted.
3. The premises shall be maintained & operated in a neat & orderly fashion, & the operator shall meet with the approval of the Police Department of the City of Bridgeport.
4. All trash shall be collected in an appropriate container & shall be kept covered all the times.

FAILURE TO COMPLY WITH THE ABOVE CONDITIONS MAY BE CAUSE FOR
REVOCATION OF THIS APPROVAL.



Dennis Buckley, Zoning Official

2060 Fairfield Avenue N. side 135
E. from Burr Road
Lot: 145.53' x 124.64' x 66.14' x 154.35' x 99.86'

ROUTE ONE MOTORS 01 # 4
Bridgeport, Lessee
Elevterio Roman

Petition of Route One Motors of Bridgeport seeking an amended Certificate of Approval of Location for a Used Car Dealer License under Sec. 14-54 of the C.G.S. to permit the display, sale and repair of used motor vehicles in connection with the existing used car dealership under new ownership in an Industrial-Light Zone. (*General Repairer's License granted conditionally 11/13/69, 2/27/70; Used Car Dealer License granted conditionally 1/14/71, 5/14/84 & 9/9/98*).

PUBLIC HEARING: Tuesday, October 14, 2003 seeking an amended Certificate of Approval of Location for a Used Car Dealer License under Sec. 14-54 of the C.G.S. to permit the display, sale and repair of used motor vehicles in connection with the existing used car dealership under new ownership in an I-LI Zone. **over**

2060 Fairfield Avenue N. side 135'
E. from Burr Road
Lot: 145.53' x 124.64' x 66.14' x 154.35' x 99.86'

Bridgeport Auto #OB-1a.
Center Corp., lessee
Maria Sanchez, agent

Petition of Bridgeport Auto Center Corp. seeking under Sec. 14-54 of the C.G.S. an amended Certificate of Approval of Location for a USED CAR DEALER LICENSE to permit the display, sale and repair of used motor vehicles in connection with the existing used car dealership under new ownership in an I-LI Zone. (*General Repairer's License granted conditionally 11/13/69, 2/27/70; Used Car Dealer License granted conditionally 1/14/71, 5/14/84, 9/9/98 & 10/14/03*).

WAIVER OF MOTOR VEHICLE HEARING REQUIREMENTS on TUESDAY, October 11, 2005 for a USED CAR DEALER LICENSE IN AN I-LI- ZONE. **over**

GRANTED CONDITIONALLY, Subject to the following condition(s):

The applicant shall comply with the attached list of Motor Vehicle "C" Conditions.

The "Board" assigned the following reason(s) for its action:

The "Board" in making its findings of suitability of location for the display, sale and repair of used motor vehicles as required under Sec. 14-55 of the C.G.S. found the subject site to be acceptable.

WAIVER OF MOTOR VEHICLE HEARING REQUIREMENTS on Tuesday, October 11, 2005 for an amended Certificate of Approval of Location for a USED CAR DEALER'S LICENSE in an I-LI ZONE.

GRANTED CONDITIONALLY, Subject to the following condition(s):

1. The applicant shall comply with the attached list of Motor Vehicle "C" Conditions.



City of Bridgeport
Zoning Department
PLANNING AND ECONOMIC DEVELOPMENT

45 Lyon Terrace • Bridgeport, Connecticut 06604
Telephone (203) 576-7217
Fax (203) 576-7213

April 11, 2012

MAURICIO XOCOY
D/B/A MAURICIO'S CUSTOM AUTOMOTIVE, LLC
C/O ATTORNEY DAVID H. DWORSKI
883 BLACK ROCK TURNPIKE
FAIRFIELD, CT 06825
OUR FILE #OB-2

RE: 2060 FAIRFIELD AVENUE – Seeking to waive the public hearing requirement and grant under Sec. 14-54 of the CT General Statute an amended Certificate of Approval of Location for a DMV used-car dealership license under new ownership in an I-L zone.

Dear Attorney Dworski:

At a public hearing on Monday, April 9, 2012 the Planning and Zoning Commission decided the following:

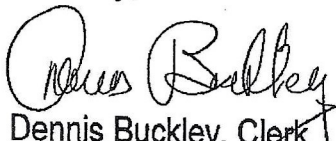
DECISION: Approved with Conditions

CONDITIONS: Department of Motor Vehicles conditions "D" (enclosed)

REASONS: This is a continued use at this location under new ownership.

If you have not already done so, please visit the Zoning Department in order to finish processing your Department of Motor Vehicle K-7 form. Our office hours are 9am-5pm (closed 12-1pm), Room 210, and for any questions, please call 203-576-7217.

Cordially,


Dennis Buckley, Clerk
Planning & Zoning Commission

DB/gb

PETITION TO THE BOARD OF APPEALS
City of Bridgeport, Connecticut

The undersigned presents the following petition for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

4640 Main Street Zone OR-R
(Number) (Street) (Zone Classification)

On the WEST side of the street about 50 feet 110 from
(North, South, East, West) (North, South, East, West)

Main Street Block: 2802-4 Lot: 4640
(Street)

Dimension of Lot In Question 50 X 110
(Specify)

1. NAME OF PETITIONER / BUSINESS Mark Trojanowski
(Print)

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) _____

3. HAS ANY PREVIOUS PETITION BEEN FILED? No IF SO, GIVE DATE OF HEARING N/A
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Establish an Existing 2 Family
request variance for lot size and frontage size

5. THIS PETITION RELATES TO:

(Check all that Apply)

Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: _____

6. USE TO BE MADE OF PROPERTY 3 family residential

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? _____

lot area and width

PETITIONER Mark Trojanowski 203-685-3166 DATE 9/30/21
Mark (Signature) Trojanowski (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____ imptrojan@ADL.com
(Email)

Mailing Address 4640 Main Street Bpt. 06606
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____
(If other than owner) (Signature) (Print)

Subscribe & Sworn to before me this _____ day of _____ 20_____

Notary Public In & for the County of Fairfield, State of Connecticut.

6

9-29-21

4640 Maple St Bpt. Ct. 06606

Hardship

A hardship exists at this location due to surrounding of all business and no residential character use of this existing size and configuration of the structure lends itself to multifamily use for a ~~3000~~ family. This hardship is for an existing condition with variance for frontage length, lot square footage and any other condition that may be non-conforming.

WALLACE MORRIS G & MARGARET P
000052 WHITE OAK ST
BRIDGEPORT, CT 06606

4600 MAIN STREET LLC
001425 NOBLE AVE
BRIDGEPORT, CT 06610

DODSON LUZ
000097 OLIVER ST
BRIDGEPORT, CT 06606

EQUITABLE REALTY INVESTORS INC
4640 MAIN ST
BRIDGEPORT, CT 06606

PEREZ RAUL JR
20 TUCKAHUE ROAD
EASTON, CT 06612

YOUNG ROLAND C & BEATRICE
2 OAKRIDGE RD
TRUMBULL, CT 06611

MOUTINHO MANUEL
001137 SEAVIEW AVE
BRIDGEPORT, CT 06607

STEPHNEY LLC
000130 CENTER RD
EASTON, CT 06612

CAPOZZI LOUIS F
004652 MAIN ST
BRIDGEPORT, CT 06606

4600 MAIN STREET
001425 NOBLE AVE
BRIDGEPORT, CT 06610

Drawings Plans of Existing Building for
APPLICATION FOR CERTIFICATE OF ZONING COMPLIANCE
4640 Main Street 29'-0" x 48'-0" = 1392 Sq. feet

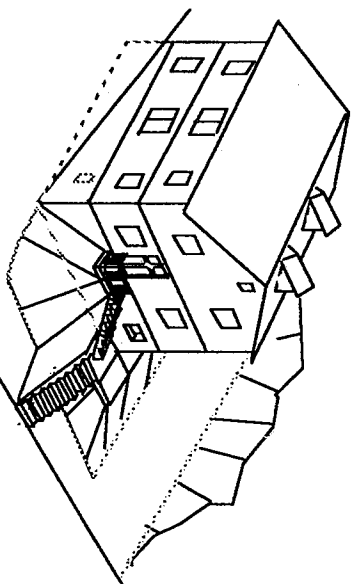
FOR
MARK TROJANOWSKI

4640 Main Street, Bridgeport, CT 06606
(203)372-0828, (203)372-1399 Fax, (203)685-3166,

Drawn by : Alexander Bugarchich
355 Northfield Dr. Bridgeport, CT 06606 USA
(203) 374 - 9928

C O N T E N T S :

- Page #1, Cover page and Table of Contents.
- Page #2, Drawing No. 1 - Site Plot plan of property, scale: 1" = 40 Ft.
- Page #3, Drawing No. 2 - Table of Office/Retail Regional Zone Development Standards with Existing
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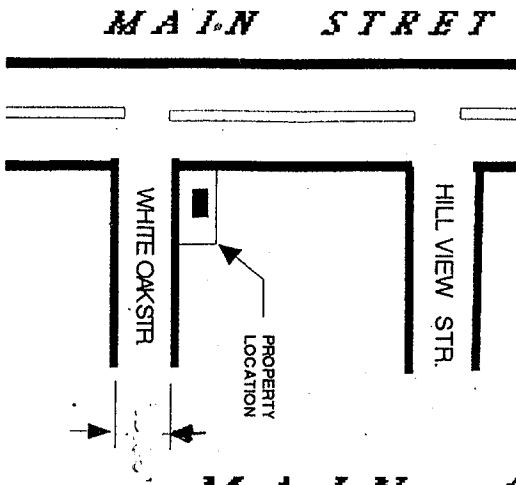


ISOMETRIC VIEW
OF THE EXISTING
WOOD FRAME BUILDING



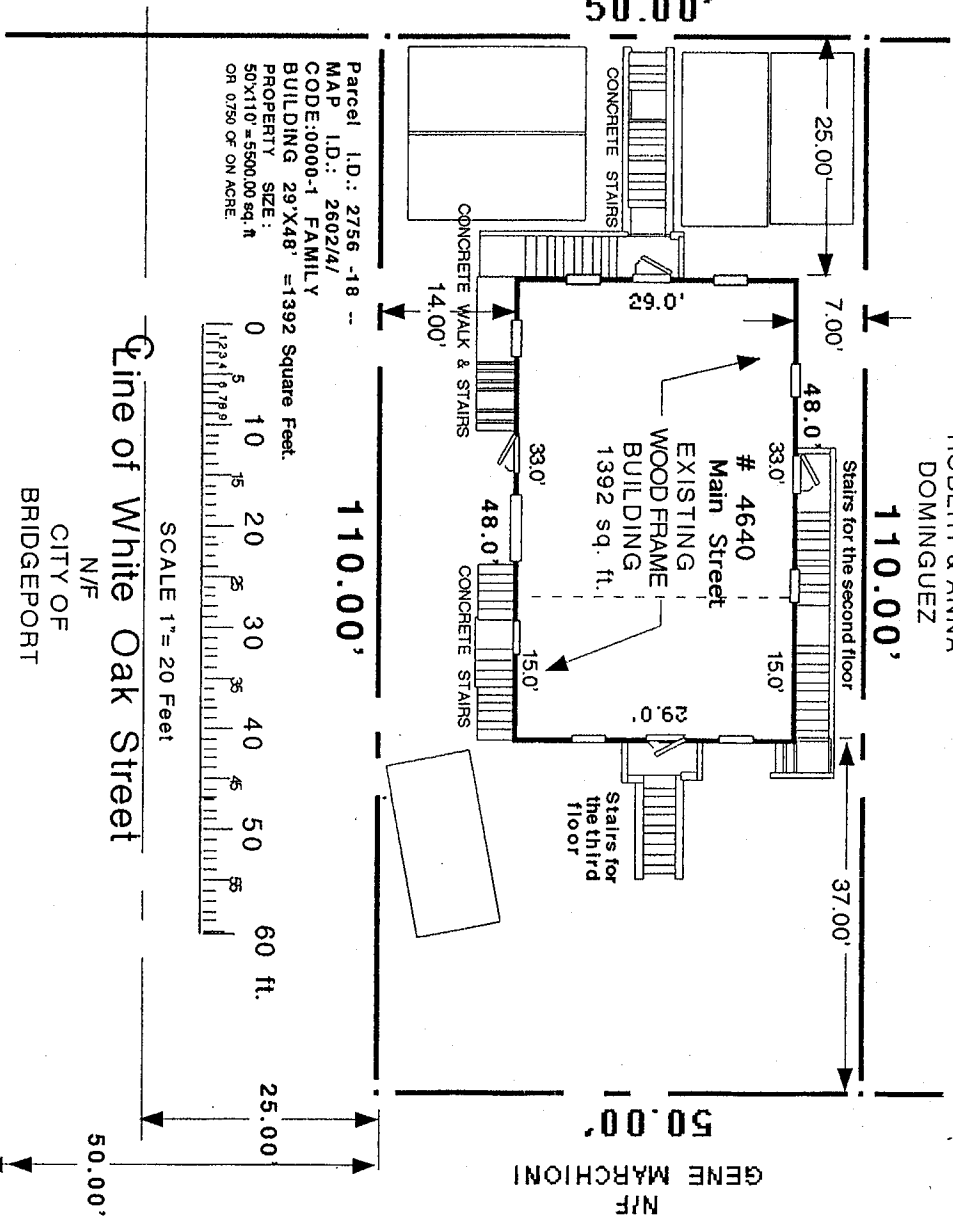
**SKETCH OF
LOCATION AREA**

NOT TO SCALE



MAIN STREET

50.00'



Parcel I.D.: 2756 -18 --
MAP I.D.: 2602/4/
CODE:0000-1 FAMILY
BUILDING 29'X48' =1392 Square Feet.
PROPERTY SIZE:
50'X110' =5500.00 sq. ft
OR 0.750 OF AN ACRE

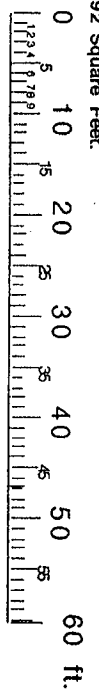
N/F
ROBERT & ANNA
DOMINGUEZ

110.00'

Stairs for the second floor
4640
Main Street
WOOD FRAME
BUILDING
1392 sq. ft.
Stairs for the third floor

Line of White Oak Street
N/F
CITY OF
BRIDGEPORT

SCALE 1" = 20 Feet



N/F
GENE MARCHIONI

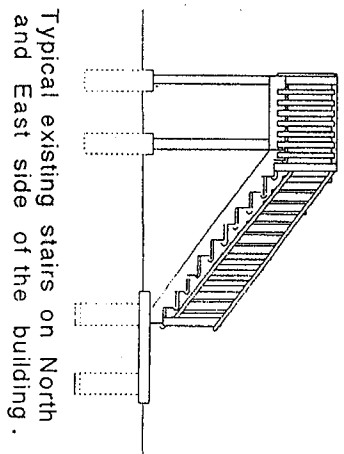
**Property Site Plot Plan of
MARK TROJANOWSKI
REAL ESTATE**

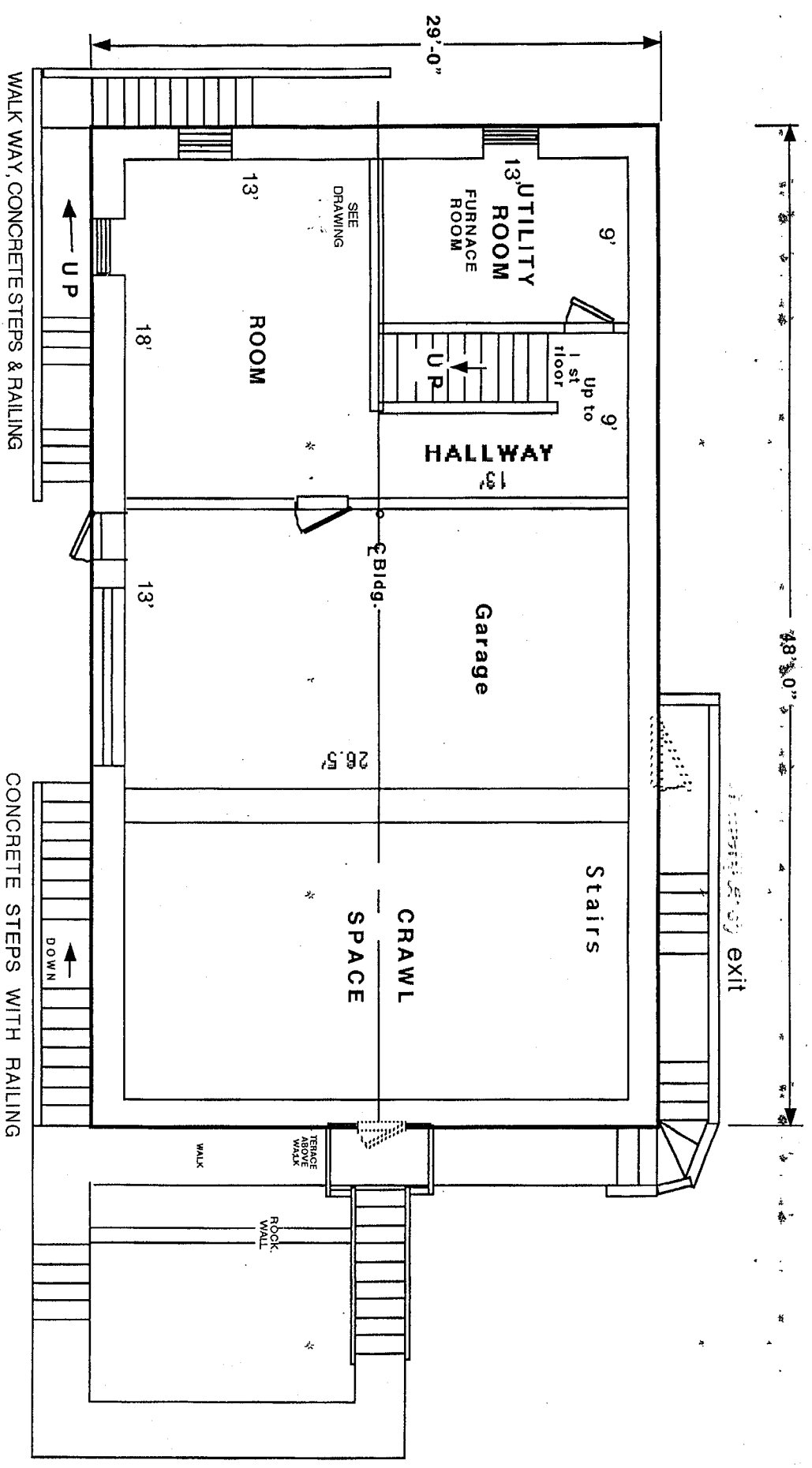
4640 Main Street, Bridgeport, CT 06606
DRAWING NUMBER 1

Scale : 1" = 20'
Drawn by: Alexander Bugarchich

NOTE
THIS PROPERTY SITE PLAN MAP WAS GENERATED BY FIELD CHECK TO VERIFY ALL THE FACTS AND INFORMATION COLLECTED IN THE CITY HALL OF BRIDGEPORT AT THE ENGINEERING, TAX ASSESSOR AND RECORD OFFICE. I, CERTIFY THAT THIS SITE PLAN MAP IS COMPLETED TO THE BEST OF MY KNOWLEDGE AND BELIEF. IT IS SUBSTANTIALLY CORRECT.

DATE : March 20, 2008
Alexander Bugarchich Alexander Bugarchich





GROUND FLOOR

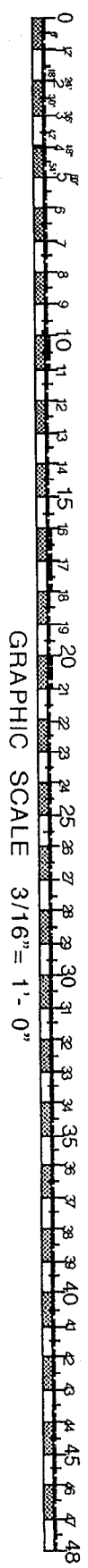
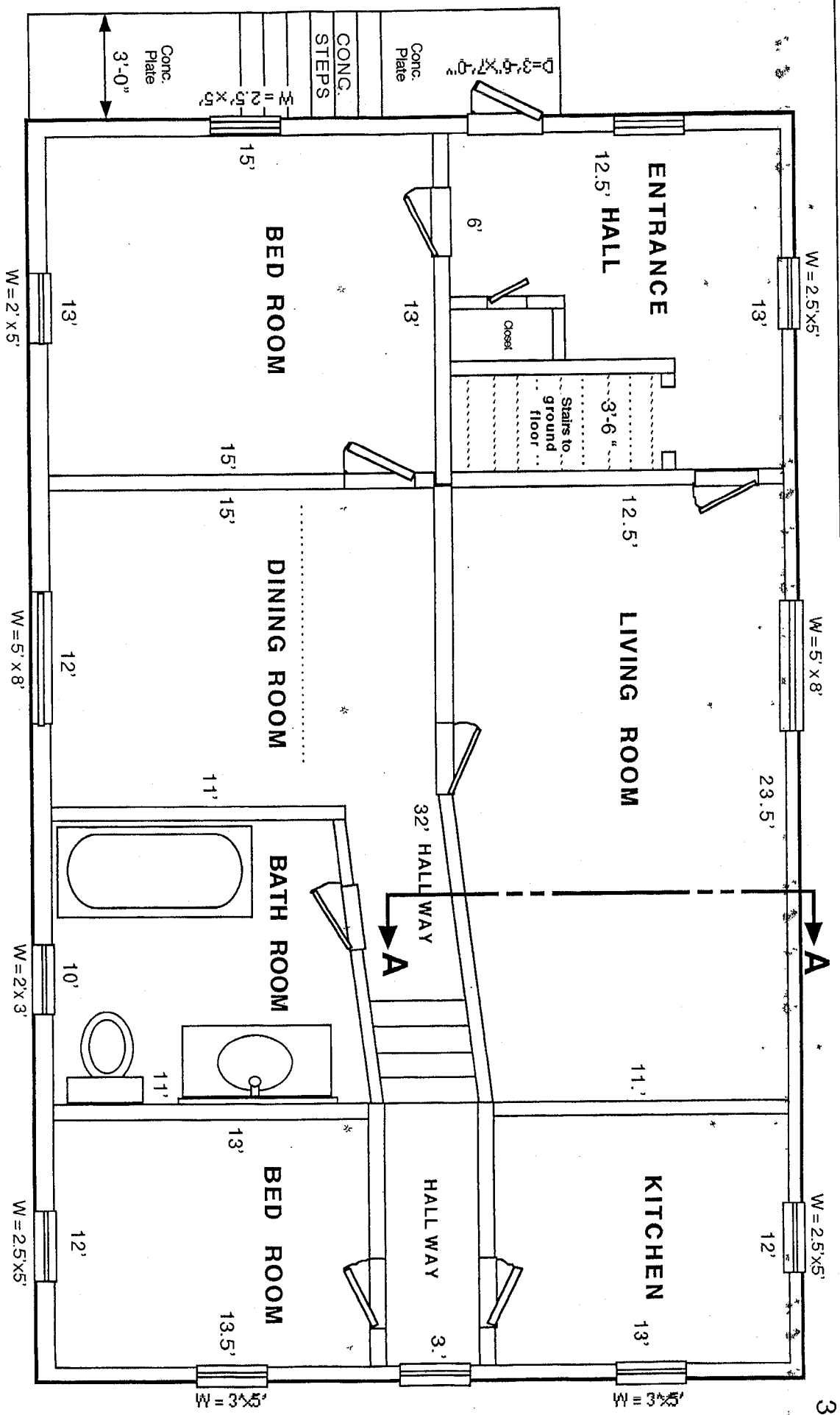
Graphic scale 1/8" = 1 foot

Plan of Ground Floor

MARK TROJANOWSKI
4640 Main Street, Bridgeport, CT 06606

DRAWING NUMBER 6
Scale: 3/16" = 1 foot

Drawn by: Alexander Bugarchich



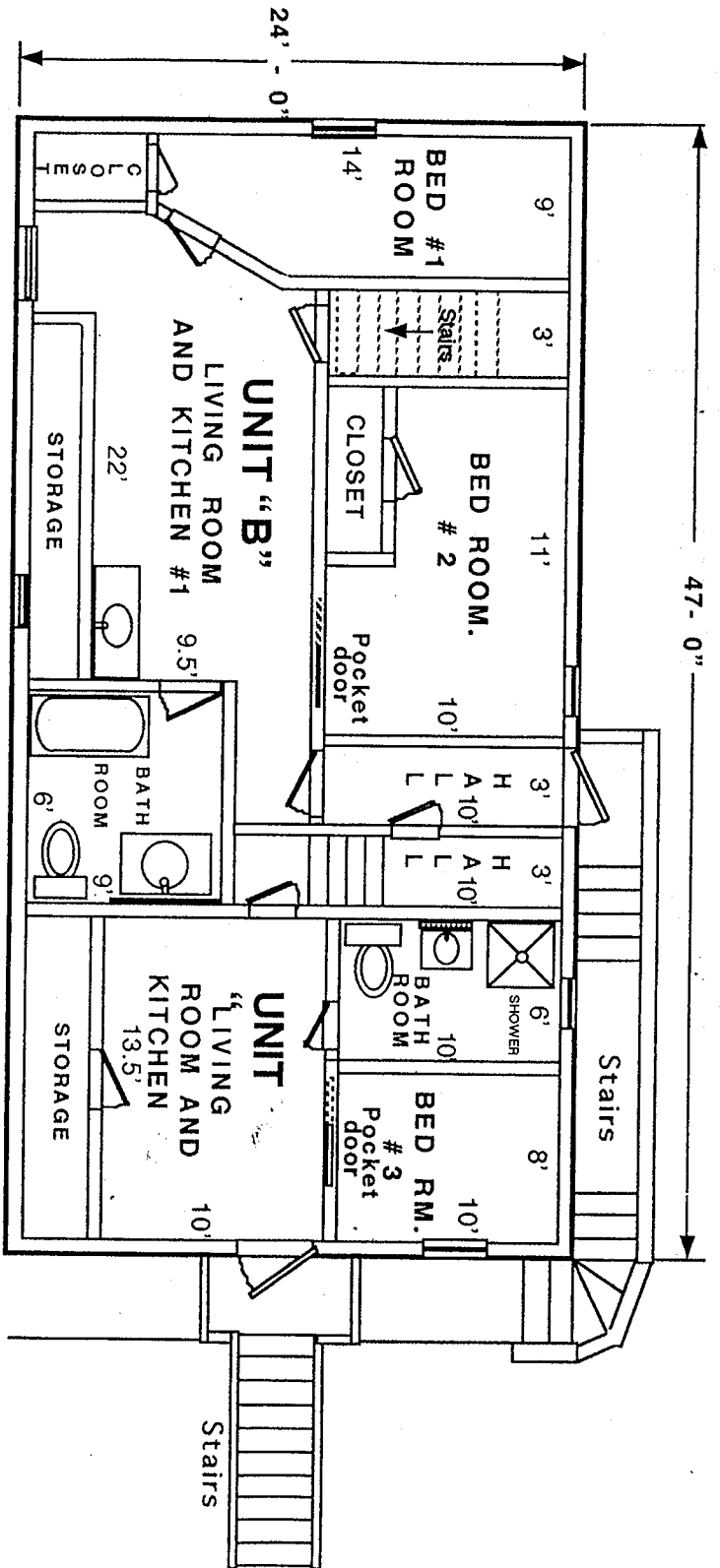
FIRST FLOOR

Legend:

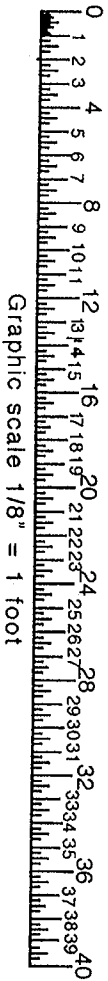
- D = Door size dimensions in feet & inches (new vinyl replacem
- W = Window Window dimensions in feet & inches (All window are new vinyl replacement)

Plan of First Floor
MARK TROJANOWSKI
 DRAWING NUMBER 2

4640 Main Street, Bridgeport, CT 06606
 Scale : 3/16" = 1 foot
 Drawn by: Alexander Bugarchich



SECOND FLOOR LEVEL



UNIT: "B" UNIT

Room	Dimensions	Square feet
BED ROOM #1	9.00 x 14.00	= 126.00
BED ROOM #2	10.00 x 11.00	= 110.02
LIVING ROOM / KITCHEN #1	9.50 x 22.00	= 209.00
HALL & STAIRS	9.00 x 13.00	= 117.00
HALL	6.00 x 10.00	= 60.00
LIVING ROOM / KITCHEN #2	10.00 x 13.50	= 135.00
BATH ROOM	6.00 x 10.00	= 60.00
BED ROOM #3	8.00 x 10.00	= 80.00
TOTAL AREA		700.02

SEE
DRAWING
No. 3

Plan of Second Floor
MARK TROJANOWSKI
REAL ESTATE

DRAWING NUMBER 5

4640 Main Street, Bridgeport, CT 06606

Scale: 1/8" = 1 foot

Drawn by: Alexander Bugarchich

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FOR

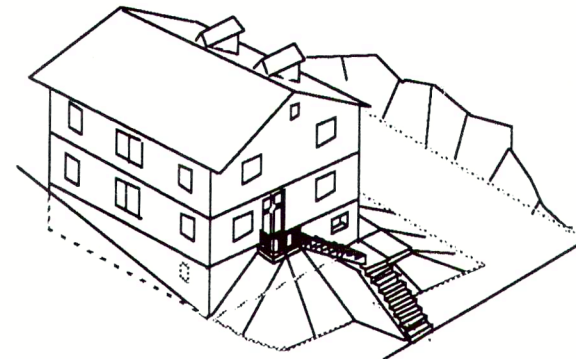
M A R K T R O J A N O W S K I

**4640 Main Street, Bridgeport, CT 06606
(203)372-0828, (203)372-1399 Fax, (203)685-3166,**

Drawn by : Alexandar Bugarchich
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**ISOMETRIC VIEW
OF THE EXISTING
WOOD FRAME BUILDING**