



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

29 Federal Street Zone RX1
(Number) (Street) (Zone Classification)

On the South side of the street about 119 feet West from
(North, South, East, West) (North, South, East, West)

Main Street Block : 52/1405 Lot: 31
(Street)

Dimension of Lot in Question 45.00' x 148.50' x 40.83' x 148.50'
(Specify)

1. NAME OF APPLICANT / BUSINESS Afranio Mendonca
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Lessee

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT
Approval of modified site plan to permit roofed structure over existing dining patio

5. THIS APPLICATION RELATES TO: Check all that Apply
 Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other:

6. USE TO BE MADE OF PROPERTY Restaurant with a consumer bar and a dining patio

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See Attached

APPLICANT [Signature] / DATE 1/6/2021
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc. / (Email)

Mailing Address Attn: Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824, 203 528 0590
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20 _____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

_____ FEE RECEIVED: _____ DATE: _____, 20 _____ Clerk _____

Lisa S. Broder*
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Vanessa@russorizio.com

* Also Admitted in NY
* Also Admitted in VT
+ Of Counsel

January 6, 2022

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604

Re: Petition for Variances – 29 Federal Street

Dear Mr. Buckley:

Please accept this Petition to the Bridgeport Zoning Board of Appeals for a modification of a previously approved site plan on behalf of my client, Afranio Mendonca, for the property located at 29 Federal Street (the "Site") in the RX1 Zone.

Proposed Development & Use

The Petitioner proposes a modification of a previously approved site plan on the Site, which contains an existing restaurant with a consumer bar and dining patio. The Site has frontage on Federal Street just west of Main Street. It is located within the RX1 Zone. The Site contains a preexisting restaurant building with a dining room, kitchen, walk-in cooler, bathrooms and consumer bar. The building contains approximately 2,534 SF of floor area. The Site has also been approved for an outdoor dining area at the rear of the Site and a seasonal outdoor patio at the front of the building. These outdoor dining areas have become vital during the COVID-19 pandemic. Of all the industries affected by the COVID-19 pandemic, the restaurant industry has been impacted the hardest. Many restaurants have been forced to shutter, while other restaurants have experienced a steep reduction in patronage and even their ability to accommodate patronage within their restaurants. With social-distancing requirements, food service establishments can not seat the same number of patrons as they did prior to the pandemic. These food service establishments have had to adapt to remain open and service the needs of their communities. While everyone certainly hoped the pandemic and the required restrictions that come with it would be a temporary situation, recent events with the Omicron variant have made clear that the pandemic and its effect on businesses are something business owners will continue to struggle against.

For those reasons, the Application requests to modify a previously approved site plan to permit a permanent roofed structure over the existing dining patio. To be clear, this structure is going over an existing and approved dining patio and it will not increase any coverage. Many restaurants have applied for some form of tent or roofed structure over their outdoor dining areas, including the Applicant, whom had erected the roof structure during the pandemic. Again, as the pandemic has continued, it has become clear that this need for a structure will no longer be temporary. In response, many restaurants have now applied for more solid and permanent roofed structures. These outdoor dining patios will still remain open sided and open-air patios, but since their need is extending for more than a few months, restaurants have asked for more solid structures that can withstand being erected for the long-term. For these reasons, the Applicant proposes a permanent prefabricated metal canopy over the rear outdoor dining patio. To control access, the Applicant does propose a doorway where the patio and canopy extend beyond the side of the existing restaurant building. This will ensure patrons enter through the front of the restaurant to access the rear of the Site.

The existing restaurant is a popular destination for Bridgeport residents. Many residents utilize the restaurant and, particularly, its outdoor dining patio. It is a nice area to enjoy food and drink in the open air. Live entertainment is only allowed within the existing building. The proposed structure allows the restaurant to continue to provide this service during inclement weather in a secure structure and meet the requirements of the COVID-19 pandemic restrictions. As no variance is needed, no hardship is required to be shown. The Application is merely to modify a site plan that was previously approved when the outdoor dining patio with live-entertainment within the interior of the restaurant was approved on June 20, 2018, by the Bridgeport Zoning Board of Appeals.

For these reasons, we respectfully request approval of the Application to permit a modification of a previously approved site plan on the Site for a roofed structure over the existing outdoor dining patio associated with the restaurant-use in the RX1 Zone.

Sincerely,



Christopher Russo



City of Bridgeport
Zoning Department
PLANNING & ECONOMIC DEVELOPMENT

45 Lyon Terrace • Bridgeport, Connecticut 06604
Telephone (203) 576-7217
Fax (203) 576-7213

June 20, 2018

AFRAINO MENDONCA
C/O ATTORNEY RAYMOND RIZIO
ONE POST ROAD
FAIRFIELD, CT 06824
ITEM #2

RE: 29 FEDERAL STREET – Seeking to expunge a condition of approval to a petition granted by the Zoning Board of Appeals on 07/08/14, which permitted the establishment of a restaurant with a consumer bar and a dining patio without any type of live-entertainment in an OR-G zone.

Dear Attorney Rizio:

At a public hearing held on June 12, 2018 (rescheduled from May 8th) the Bridgeport Zoning Board of Appeals decided the following regarding the above-referenced matter:

DECISION: Granted with Conditions

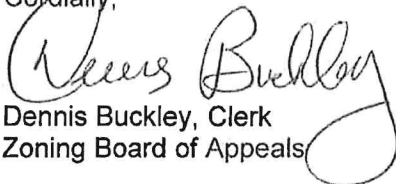
CONDITIONS:

1. Sunday thru Thursday any entertainment is prohibited.
2. Friday and Saturday a small 3-piece acoustical band is permitted in the building and the entertainment shall end by 1 a.m.
3. Absolutely no entertainment or music of any kind on the patio, which is for dining only.
4. The patio shall close when the kitchen closes
5. The petitioner shall secure a 5-year lease agreement with three 5-year options prior to any use of the premises.

REASONS: The granting of this petition should have no adverse impact on the immediate area.

If you have any questions, please call the Zoning Office at 203-576-7217.

Cordially,


Dennis Buckley, Clerk
Zoning Board of Appeals

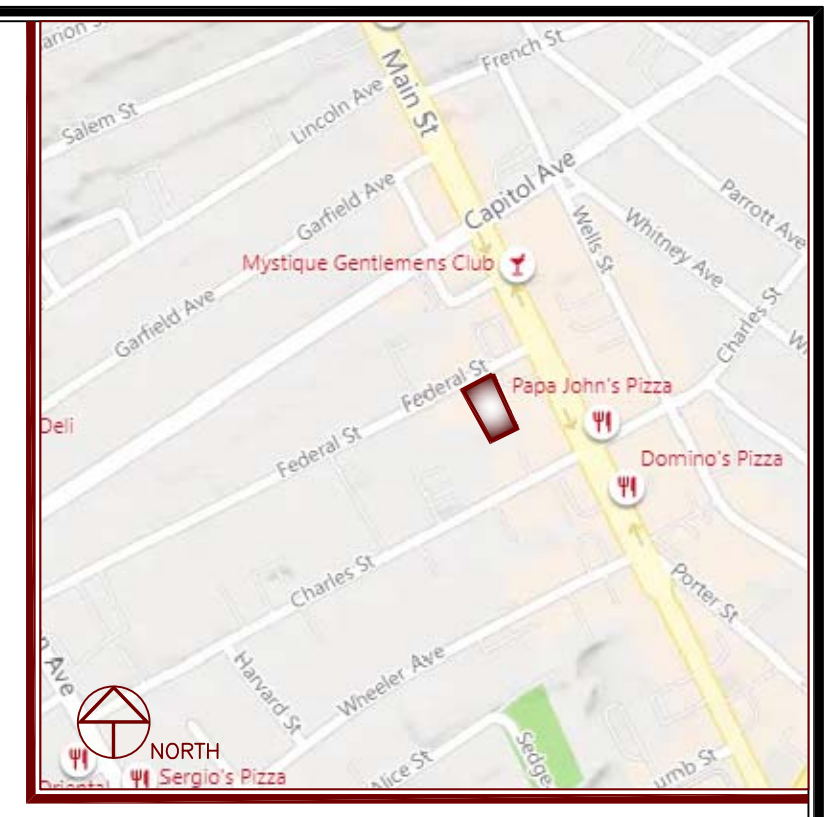
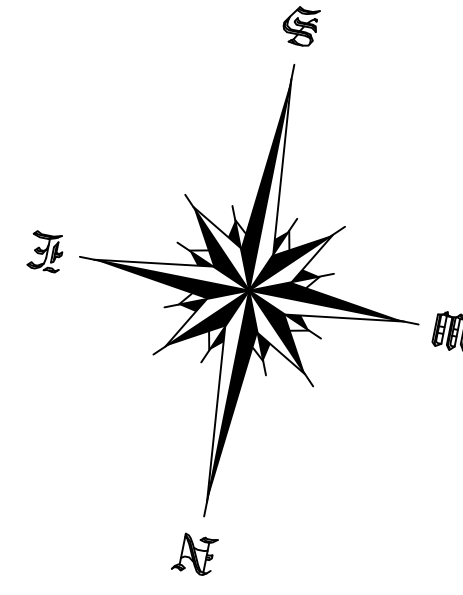
DB/gb

*Conditionally, if variance is not filed in the Town Clerk's office within six months, this approval becomes null and void. Your failure to comply with any conditions applicable to this action will also void the rights and privileges granted hereby. This is not a Building Permit and any structure or building contemplated by this action can only be started after proper application to and issuance of such permit by the Building Official. Other approvals or permits, required by law, should be sought from the proper authorities before exercising any part of this approval. Additional approvals from the Planning & Zoning Commission may be necessary. If so, please contact the Zoning Office for information.

LIST OF NEIGHBORS WITHIN 100' OF 29 FEDERAL ST

LOCATION	OWNER	MAILING ADDRESS	CITY	STATE	ZIP
29 FEDERAL ST	BLOSZKO SOLANGE	431 HERBERT ST	MILFORD	CT	06461
2375 MAIN ST #2377	PAIVA ALBERTINA ETAL	49 BLACKS HILL ROAD	SHELTON	CT	06484
2379 MAIN ST #2381	PAIVA ALBERTINA ETAL	49 BLACKS HILL ROAD	SHELTON	CT	06484
2403 MAIN ST #2409	DANMARK ASSOCIATES LLC	2403 MAIN ST #2409	BRIDGEPORT	CT	06606
2391 MAIN ST #2393	ALEXIS JOEL & CHANTALE	P O BOX 5106	BRIDGEPORT	CT	06610
71 FEDERAL ST	LAROCCA MICHAEL & MARY C	30 SUNNYRIDGE RD	EASTON	CT	06612
2395 MAIN ST #2397	CHUQUI EDUARDO D P ET AL	561 W 141 ST APT #58	NEW YORK	NY	10031
41 FEDERAL ST	GOSPEL LIGHT COMMUNITY CHURCH	222 CHARLES ST	BRIDGEPORT	CT	06606
2445 MAIN ST	SBM MAIN LLC	5014 16TH AVE STE 505	BROOKLYN	NY	11217
2365 MAIN ST #2367	2365 MAIN STREET LLC	54 WINTHROP WOODS ROAD	SHELTON	CT	06484
218 CHARLES ST	FASANELLA FRANK	88 OLD SAUGATUCK RD	NORWALK	CT	06855
50 FEDERAL ST	LAROCCA MICHAEL & MARY C	30 SUNNYRIDGE RD	EASTON	CT	06612
2351 MAIN ST #2359	2351 MAIN STREET LLC	54 WINTHROP WOODS ROAD	SHELTON	CT	06484
234 CHARLES ST #238	SALDANA JUAN & MARIA R	10865 38TH AVENUE	CORONA	NY	11368
2427 MAIN ST	SKAD CORP	22 MEADOW BROOK ROAD	NEWTOWN	CT	06470
44 FEDERAL ST #46	PARAMORE SHIRLEY	44 FEDERAL ST	BRIDGEPORT	CT	06606
226 CHARLES ST	GOSPEL LIGHT COMMUNITY CHURCH INC	222 CHARLES ST	BRIDGEPORT	CT	06606

DEVELOPMENT STANDARDS	MINIMUM	MAXIMUM	EXISTING	PROPOSED
LOT				
LOT WIDTH	60 feet	None	42.9'	42.9'
LOT DEPTH	NONE	None	148.5'	148.5'
LOT AREA	10000 sf.	None	6,372± SF	6,372± SF
LOT COVERAGE	75%	None	100%	100%
STREET WALL				
AS A PERCENT OF FRONTAGE (PRIMARY)	75%	100%	N/A	N/A
AS A PERCENT OF FRONTAGE (SECONDARY)	30%	100%	N/A	N/A
AS A PERCENT OF FRONTAGE (TERTIARY)	N/A	N/A	None	None
BUILDING SETBACK - FROM STREET LOT LINE				
PRIMARY FRONTAGE	0'	10.0'	N/A	N/A
SECONDARY FRONTAGE	0'	10.0'	N/A	N/A
TERTIARY FRONTAGE	N/A	N/A	N/A	N/A
YARDS				
SIDE YARD	0' or 5' if utilized	1 FOOT FOR EACH FLOOR OF BUILDING HEIGHT NOT TO EXCEED 14 FEET	0.3'	0.3'
REAR YARD	0' or 20' IF FLOOR CONTAINS HABITABLE SPACE	NONE	48.3'	48.3'
OTHER STANDARDS				
LANDSCAPED AREA AS A% OF LOT	15%	25%	0%	0%
FLOOR TO CEILING HEIGHT OF 1ST STORY	12.0'	NONE	N/A	N/A
ALL WATER-ABUTTING PROPERTIES	NOTE 3	NOTE 3	N/A	N/A
BUILDING DIMENSION STANDARDS				
Total Building Height	25.0'	65.0'	17.3'	17.3'
Step Back Above 25 Built feet	20 feet for sides abutting residential zones	NONE	N/A	N/A



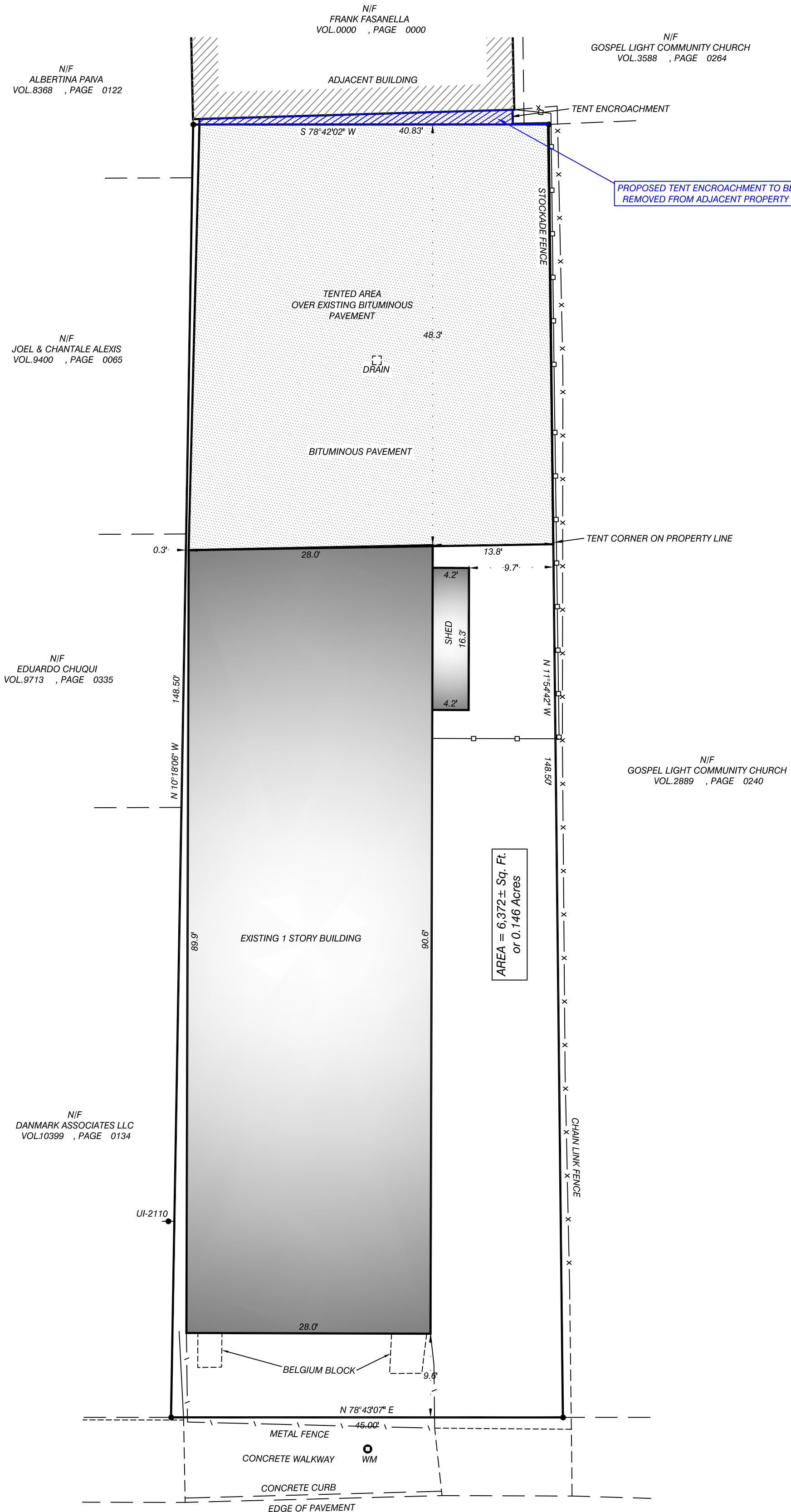
LOCATION MAP

GENERAL NOTES:

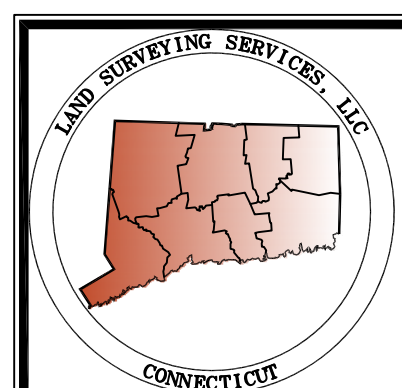
- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- Lot served by town sewer system and public water supply.

MAP REFERENCES:

- RECORD MAP # VOL. 7 MAP 23
- RECORD MAP # VOL. 55 MAP 38



FEDERAL STREET



LAND SURVEYING SERVICES, LLC
 1275 POST ROAD, SUITE A-20
 FAIRFIELD, CONNECTICUT 06824
 TEL. (203) 522-4177
 FAX. (203) 615-0123
 EMAIL: info@A2survey.com

RES: jkx SXT: ab PL: jw MAP: ab DWG: 21277

TITLE BLOCK
 ASSESSORS MAP # 14-4 Block # 31
 APPLICANT: SAME AS OWNER

DESCRIPTIVE TITLE: CLASS A-2 SURVEY
 To the best of my knowledge and belief this map is substantially correct as noted hereon.

NEAL K. JAIN L.S. # 18139



DATE	DESCRIPTION	REVISIONS

IMPROVEMENT LOCATION SURVEY
 PREPARED FOR
AFRANIO MENDONCA
 29 FEDERAL STREET, BRIDGEPORT, CONNECTICUT

SCALE: 1"= 10'
 DATE: JUNE 9, 2021

BRAZILIAN SPOT CLUB BAR & RESTAURANT

ADDITION OF METAL CANOPY OVER EXISTING OUTDOOR DINING AREA
29 FEDERAL STREET, BRIDGEPORT, CT

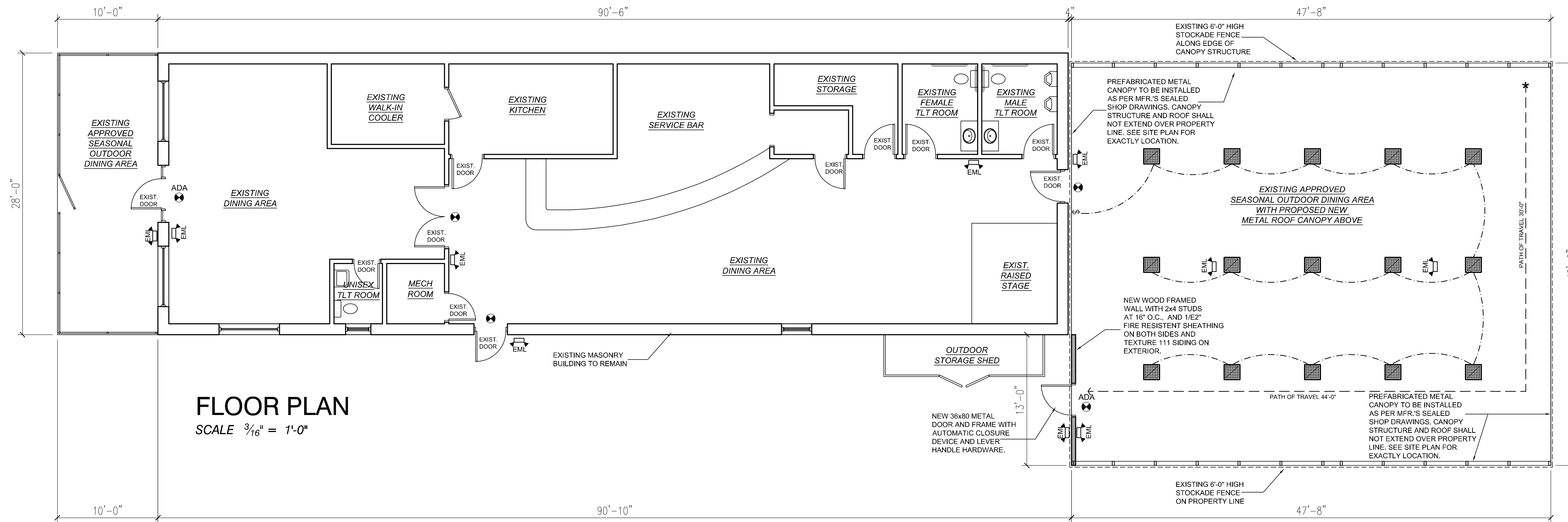
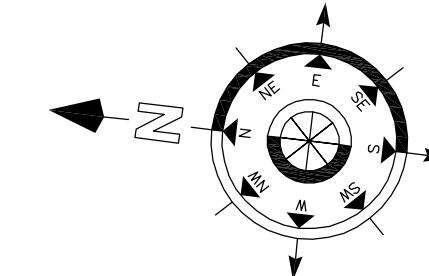
USE GROUP: A-2 (DINE-IN RESTAURANT)

TYPE OF CONSTRUCTION: TYPE 3-B (W/O SPRINKLER SYSTEM)

ALL WORK TO COMPLY WITH :

- 2018 CT State Building Code
- 2015 International Building Code
- 2009 ICC/ANSI A117.1 Accessible and Usable Buildings and Facilities
- 2015 International Existing Building Code
- 2015 International Plumbing Code
- 2015 International Mechanical Code
- 2015 International Energy Conservation Code
- 2017 NFPA 70, National Electrical Code, of the National Fire Protection Association Inc.
- 2015 International Residential Code of the International Code Council, Inc.

SYMBOLS	
	SWITCH
	VAPOR PROTECTED "LED" LIGHTING FIXTURE DROP MOUNTED FROM CANOPY STRUCTURE AND INSTALLED BY LICENSED ELECTRICIAN
	EMERGENCY LIGHT UNIT
	EXIT SIGN - SINGLE or DOUBLE FACE W / BATTERY BACK-UP
	ADA ILLUMINATED EXIT SIGN W / BATTERY BACK-UP

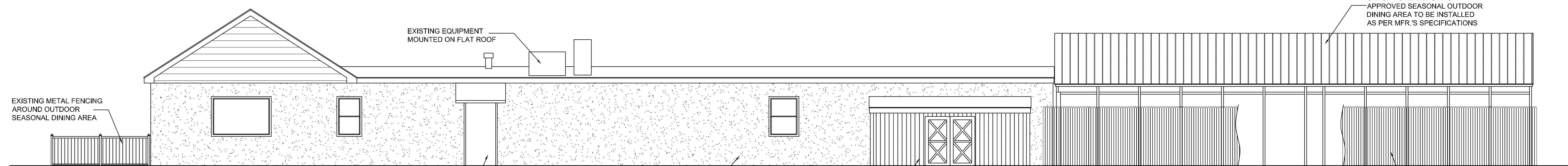


FLOOR PLAN

SCALE 3/16" = 1'-0"

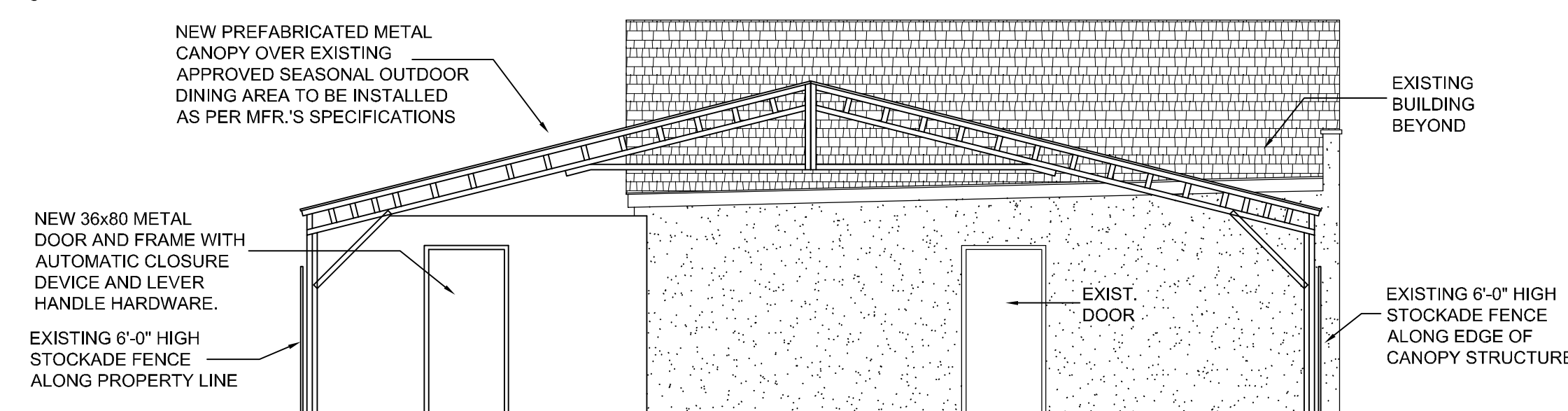
REVISIONS					
1	2	3	4	5	6

GUEDES ASSOCIATES, INC.
 Designers, Architects & Project Managers
 1425 Noble Avenue, Bpt., CT. 06610
 Tel. 203-367-5180 Fax. 203-367-4961



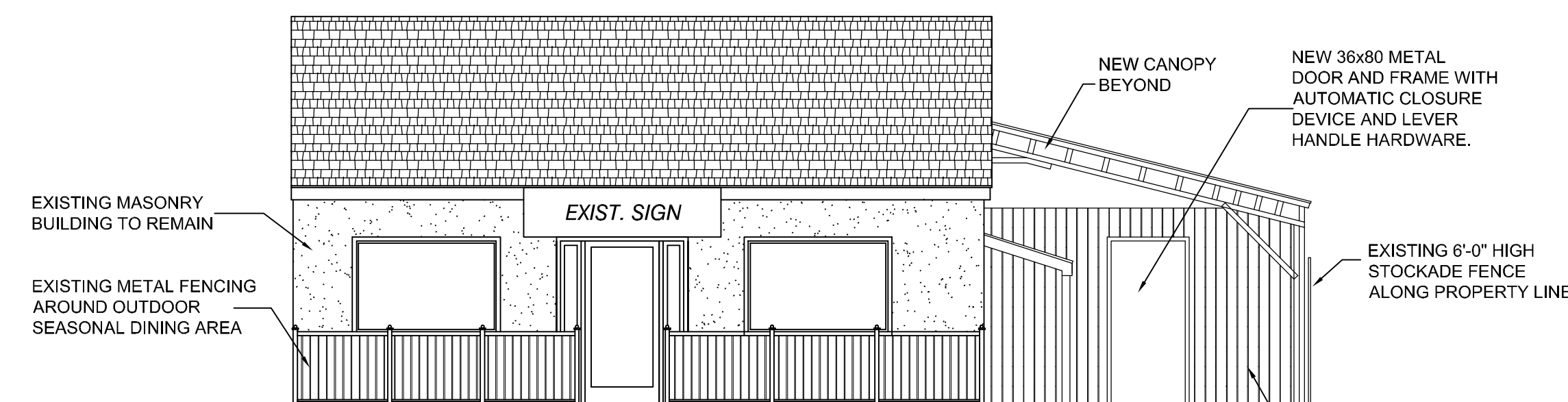
WEST SIDE ELEVATION

SCALE 3/16" = 1'-0"



SOUTH SIDE ELEVATION

SCALE 3/16" = 1'-0"



NOTH SIDE "STREET" ELEVATION

SCALE 3/16" = 1'-0"



PRIMROSE
COMPANIES

This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.

FLOOR PLAN & ELEVATIONS	date:	11-25-2021	scale:	AS NOTED
	drawn:	M.R.	project #:	2021-127

A-1



ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

- Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

50 (Number) miles (Street) Street 06607 Zone ~~IND~~ IMA (Zone Classification)

On the EAST (North, South, East, West) side of the street about 400+ feet South (North, South, East, West) from

Street (SOM) (Street) Block: 642 Lot: 11E

Dimension of Lot in Question • 9 ACRES (Specify)

1. NAME OF APPLICANT / BUSINESS Paul & Son Auto Repair (Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Lessee

3. HAS A PREVIOUS APPLICATION BEEN FILED? NO IF SO, GIVE DATE OF HEARING - (Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT INTERIOR repair facility

5. THIS APPLICATION RELATES TO: Check all that Apply
- Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 - Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: Motor Vehicle License

6. USE TO BE MADE OF PROPERTY Repair facility for automobiles

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? N/A

APPLICANT Paul Peterson (Signature) DATE 3/1/22 (Print)

If signed by agent, state capacity (lawyer, builder, etc) 1

Mailing Address 60 PLATT PLACE - 06606 (Zip Code) 203-455-1205 (Email) (Phone #)

PROPERTY OWNERS ENDORSEMENT [Signature] (If other than owner) (Signature) Print Joseph A Palmieri Jr

Subscribe & Sworn to before me this 3 day of 1 20 22
 Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
 The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

#595

FEE RECEIVED: _____ DATE: _____, 20 _____ Clerk _____

STATE OF CONNECTICUT
DEPARTMENT OF MOTOR VEHICLES
DEALERS AND REPAIRERS UNIT
dmv.dr@ct.gov

DMV USE
ONLY

INSTRUCTIONS:

- SECTION 1&2 Must be completed by the APPLICANT
- SECTION 3 Must be completed and signed by the local authorities of the city or town in which the location is proposed
- Submit the completed application with required attachments by mail to: DEPARTMENT OF MOTOR VEHICLES, DEALERS AND REPAIRERS UNIT Room 102, 60 STATE ST, WETHERSFIELD, CT 06161-2011

SECTION 1 BUSINESS INFORMATION

PLEASE CHECK ONE BOX ONLY:
TYPE OF LICENSE:

- NEW DEALER USED DEALER GENERAL REPAIRER LIMITED REPAIRER LEASING MANUFACTURER

PLEASE CHECK ONE BOX ONLY:
TRANSACTION TYPE:

- NEW LICENSE CHANGE MEMBER ADD PROPERTY CHANGE LOCATION CHANGE OF BUSINESS NAME (DBA, LLC, ETC.)

Name Under which Business is to be Conducted (Please include DBA if applicable):

Paul and Son Autorepair LLC

Existing License number (if applicable):

Full Address of Location for Which License is Requested:

50 miles street Bridgeport CT, 06607

Business License # from Secretary of State:

543 81330-001

Mailing Address, If Different From Above:

FEIN #:

If Incorporated or LLC, Under the Laws of which State:

Connecticut

E Mail Address

LAK Paul 43@gmail.com

The Business Holds a Factory Franchise to Sell the Following Make(s) of Vehicle(s) at The Above Location for (New, Used, Car Dealers Only):

List all Makes of Vehicles Manufactured by the Applicant which are offered in the State of Connecticut. (Manufacturers Only)

If applicant firm is owned by individual or partnership, enter data below for all owners. If owned by a corporation, enter data for officers. If LLC, Enter data for members..

NAME	TITLE	HOME ADDRESS	PHONE #	SOCIAL SECURITY #	DATE OF BIRTH
Paul Patterson		60 Platt Place Bridgeport CT 06606	203 455-1205	113-86-7690	12-07-1968

New/Used Car Dealers and Manufacturers only (MUST CHECK ONE)

- I am applying for a Dealer's license and do not hold, or intend to apply for a Manufacturer's license
I am applying for a Manufacturer's license and do not hold, or intend to apply for a Dealer's license

SECTION 2 TO BE COMPLETED BY LEASING COMPANIES ONLY

Do you lease vehicles for periods of 30 days or more? YES NO

Leasing company's normal business hours

CONTACT PERSON FOR REGISTRATION RENEWAL ISSUES

Name Phone # Fax # Email

CERTIFICATION (To be signed by Owner, Partner, Managing Member or Authorized Officer in presence of notary)

Pursuant to CGS 53a-157b, I declare that the statements made by me in this application or in any documents attached hereto are true and complete to the best of my knowledge and belief.

Signed (Owner, Partner, Managing Member or Officer)	Title	Date
<input checked="" type="checkbox"/>		
Subscribed and sworn to before me:	Signed: (Notary Public, Justice of the Peace, or Commissioner of Superior Court)	Date Commission Expires
	<input checked="" type="checkbox"/>	

SECTION 3 CERTIFICATION OF LOCAL APPROVAL FOR PROPOSED LOCATION - NOT APPLICABLE FOR LEASING OR MANUFACTURERS

Pursuant to CGS 14-54, local approval is hereby granted for the above named firm or individuals to conduct a business of the type checked above at the location specified in this application.

Are there any restrictions placed on the licensee's use of property? YES NO (If "YES," a copy of the restrictions MUST be attached to this application.)

Signature of Authorized Zoning Official	Printed Name of Authorized Zoning Official	Title of Zoning Official	Date
<input checked="" type="checkbox"/>			
Signatures of Building Officials and Fire Marshal indicate compliance with applicable laws and regulations (Required for New and Used Dealers, General and Limited Repairer ONLY)			
Signature of Building Official	Printed Name of Building Official	Date	
Signature of Local Fire Marshall	Printed Name of Local Fire Marshall	Date	

ATTACH ADDITIONAL PAGES IF NECESSARY

In Support of Request for Variance

A variance is sought for a new repair shop, Paul and Son Repair Auto Repair LLC. Paul and Son Repair LLC has 14 years of experience in repairing vehicles owned and operated.

The repair shop would be located at 50 Miles Street, Bridgeport, CT 06607, a commercially zoned area. The purpose of the variance is to allow the repair shop to operate in a residential district.

Paul and Son Repair LLC
50 Miles Street, Mill Hill, Bridgeport, CT 06607, United States of America
Latitude: 41.180578 | **Longitude:** -73.155141

The repair shop would only be open from 8 am to 5 pm on weekdays. It will be open from 9 am - 2 pm on Saturday and closed on Sunday. We will be closed on the holiday. At the location, there would be exterior signage and non-lighted. All work will be conducted inside.

The repair shop would only use the existing garage attached to the Building. The repair shop would only use tools and equipment already present in the garage. There would be no outside storage of tools or equipment. The repair shop would not produce any noise, odors, or vibrations that would disturb the neighbors.

The repair shop would create two jobs in the community.

I appreciate your consideration.

We are respectfully submitted.

Paul Patterson
Owner

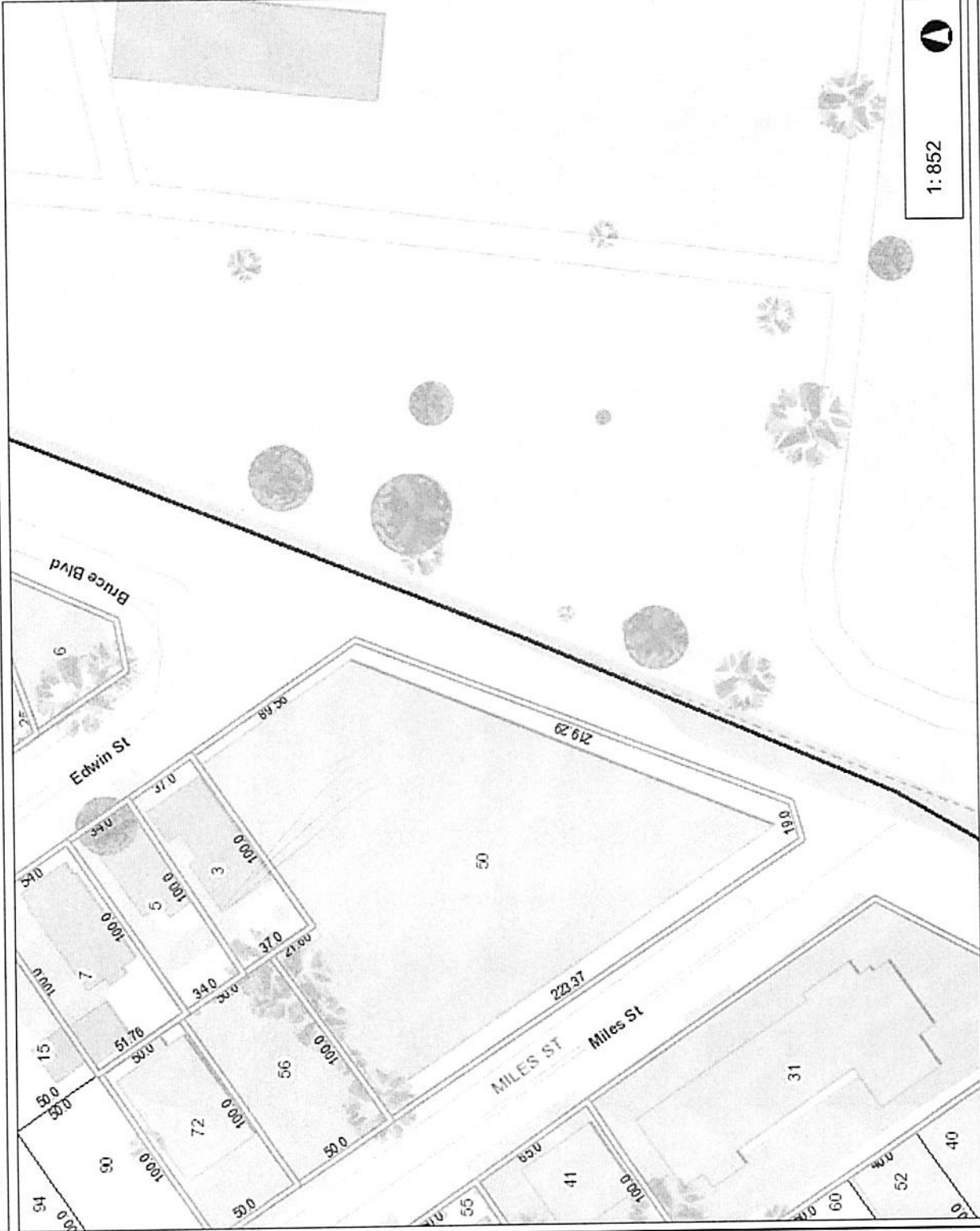


Paul and Son Auto Repair LLC



City of Bridgeport

My Map



Legend

- Parcels
- Streetname**
- Roadways**
 - Local
 - Collector
 - Minor Collector
 - Minor Arterial
 - Major Collector
 - PA Other
 - PA Other Expy
 - PA Interstate

1: 852



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

WGS_1984_Web_Mercator_Auxiliary_Sphere
 Created by Connecticut Metropolitan Council of Governments



CONSTRUCTION DETAIL

CONSTRUCTION DETAIL (CONTINUED)

Element	Cd	Description	Element	Cd	Description
Style:	48	Warehouse			
Model:	96	Ind/Comm			
Grade:	09	Above Ave			
Stories:	2				
Occupancy:	1.00				
Exterior Wall 1:	15	Concr/CinderBl			
Exterior Wall 2:	11	Clapboard			
Roof Struct:	01	Flat			
Roof Cover:	02	T+G/Rubber			
Interior Wall 1:	01	Minim/Masonry			
Interior Wall 2:	03	Concr-Finished			
Interior Floor 1:	03	Oil			
Interior Floor 2:	03	Hot Air-No Duc			
Heating Fuel:	03	None			
Heating Type:	01	None			
AC Type:	01	Industrial Mdl 96			
Bldg Use:	300				
Ttl Rooms:	00				
Ttl Bedrms:	0				
Ttl Baths:	0				
Ttl Half Baths:	0				
Ttl Xtra Fix:	0				
Heat/AC:	00	None			
Frame Type:	03	Masonry			
Baths/Plumbing:	02	Average			
Ceiling/Wall:	04	Ceil & Min WI			
Rooms/Prms:	02	Average			
Wall Height:	11.00				
% Conn Wall:					
1st Floor Use:					

MIXED USE		COST / MARKET VALUATION	
Code	Description	Percentage	
300	Industrial Mdl 96	100	
		0	
		0	

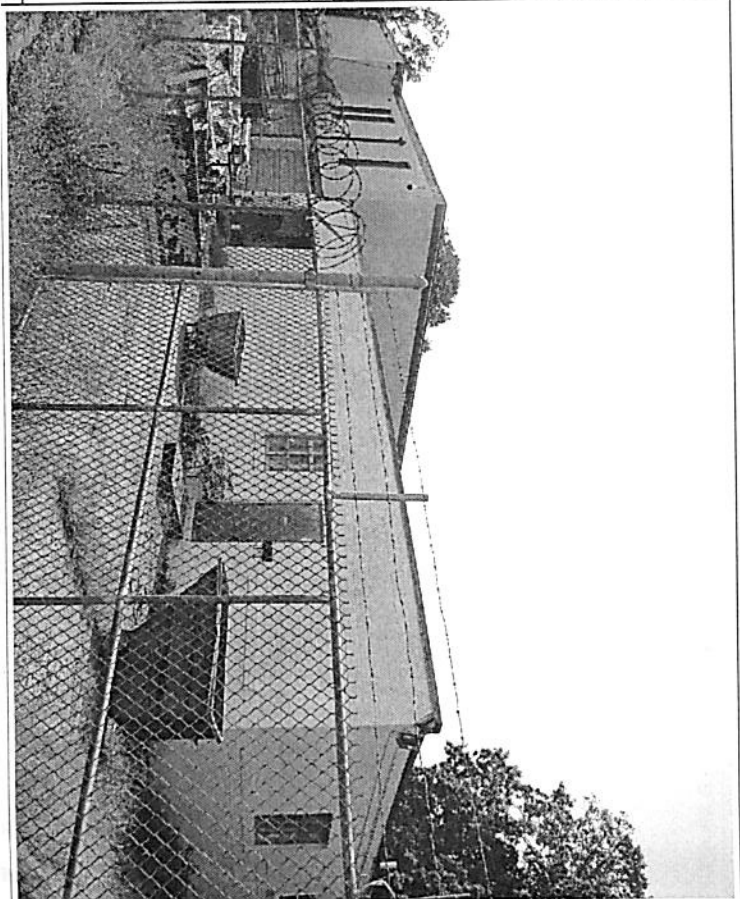
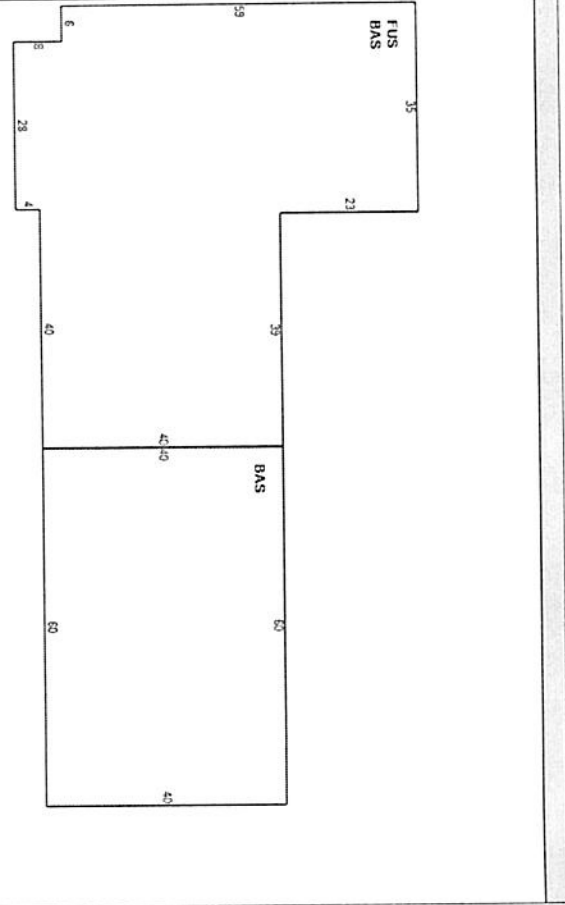
RCN		COST / MARKET VALUATION	
Year Built	Effective Year Built	RCN	Value
		465,308	
		1961	
		G	
		35	
		0	
		0	
		1,000	
		65	
		302,450	

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)

Code	Description	UB	Units	Unit Price	Yr Bilt	Cond	Cd	% Good	Grade	Grade Adj	Appr. Value
PAV1	Paving Asph	L	4,000	3.10	1993					0.00	3,720
FN1	Fence, Chain	L	348	14.00	1993			30		0.00	1,460

BUILDING SUB-AREA SUMMARY SECTION

Code	Description	Living Area	Floor Area	Efr Area	Unit Cost	Undeprec Value
BAS	First Floor	6,253	6,253	6,253	46.94	293,511
FUS	Finished Upper Story	3,853	3,853	3,660	44.59	171,797
						465,308



CONSTRUCTION DETAIL

CONSTRUCTION DETAIL (CONTINUED)

Element	Cd	Description	Element	Cd	Description
Style: 40		Industrial			
Model: 96		Ind/Comm			
Grade: 07		C-			
Stories: 1					
Occupancy: 1.00					
Exterior Wall 1: 15		Concr/CinderBl			
Exterior Wall 2: 01		Flat			
Roof Struct: 02		T+G/Rubber			
Roof Cover: 01		Minim/Masonry			
Interior Wall 1: 01					
Interior Wall 2: 08		Average			
Interior Floor 1: 04		Gas			
Interior Floor 2: 03		Hot Air-No Duc			
Heating Fuel: 01		None			
AC Type: 340		Ind/WHs Mdl 96			
Bldg Use: 00					
Ttl Rooms: 00					
Ttl Bedrooms: 0					
Ttl Baths: 0					
Ttl Half Baths: 0					
Ttl Xtra Fix: 00		None			
Heat/AC: 03		Masonry			
Frame Type: 02		Average			
Baths/Plumbing: 00		None			
Ceiling/Mall: 02		Average			
Rooms/Prms: 11.00					
Wall Height: 02					
% Conn Wall: 02					
1st Floor Use: 02					

MIXED USE

Code	Description	Percentage
340	IndW/hs Mdl 96	100
		0
		0

COST / MARKET VALUATION

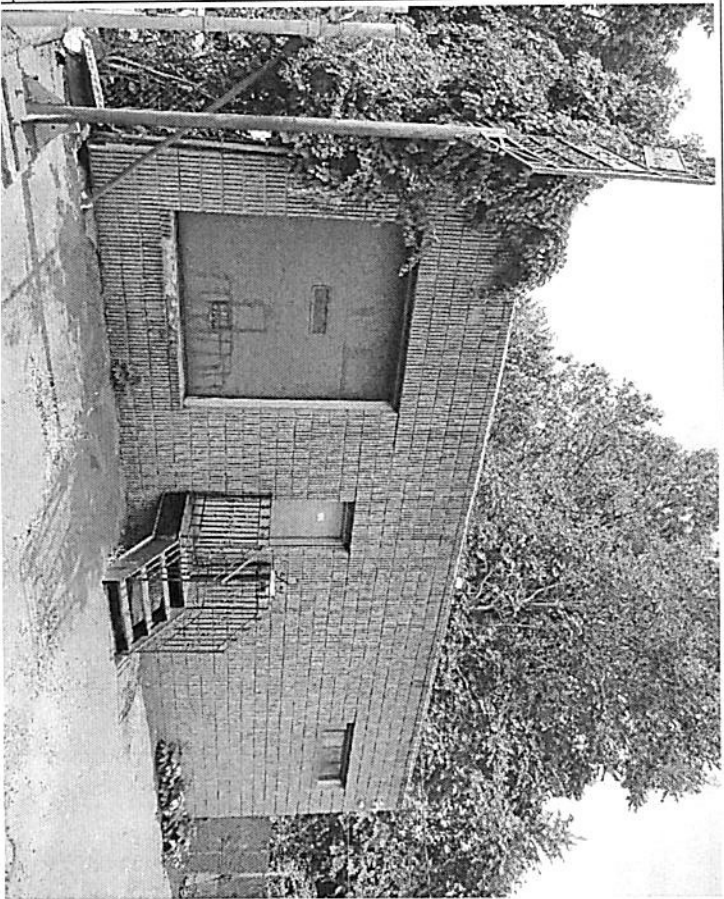
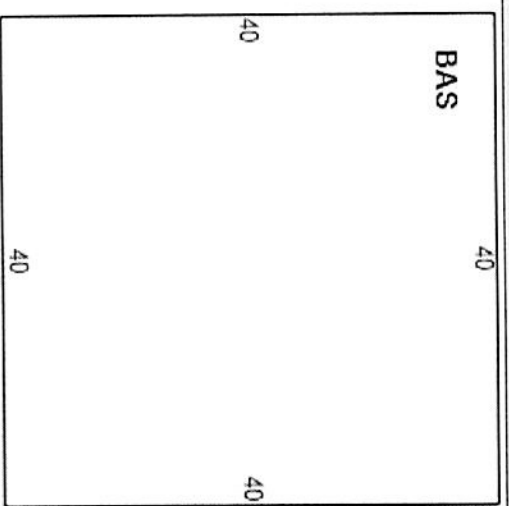
RCN	84,540
Year Built	1961
Effective Year Built	A
Depreciation Code	
Remodel Rating	
Year Remodeled	
Depreciation %	40
Functional Obsol	0
External Obsolescence	0
Trend Factor	1.000
Condition	
Condition %	60
Percent Good	50,720
RCNLD	
Dep % Ovr	
Dep Ovr Comment	
Misc Imp Ovr	
Misc Imp Ovr Comment	
Cost to Cure Ovr	
Cost to Cure Ovr Comment	

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)

Code	Description	LB	Units	Unit Price	Yr Bilt	Cond	Cd	% Good	Grade	Grade Adj	Appr. Value
PAV1	Paving Asph	L	4,900	3.10	2007			70		0.00	10,630

BUILDING SUB-AREA SUMMARY SECTION

Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	1,600	1,600	1,600	52.84	84,540



CONSTRUCTION DETAIL (CONTINUED)

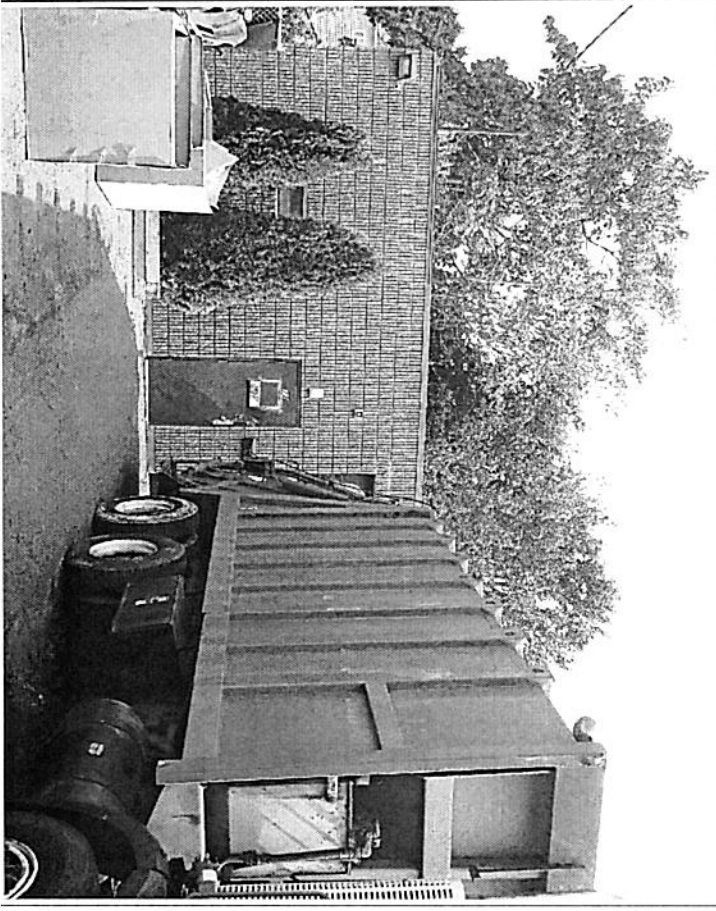
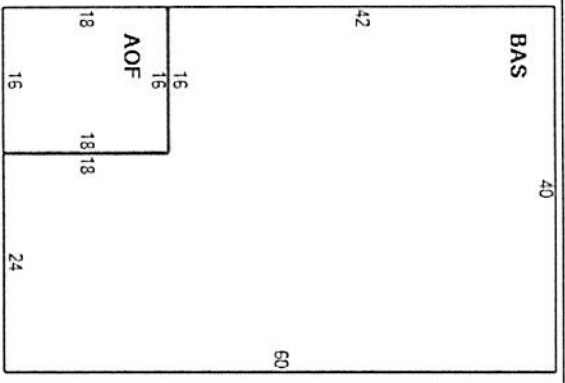
Element	Cd	Description	Element	Cd	Description
Style: Model	25	Service Shop/Garage			
Grade:	95	Svc Shp/Gar			
Stories:	08	Average			
Occupancy:	1				
Exterior Wall 1:	15	Concr/CinderBl			
Exterior Wall 2:	01	Flat			
Roof Struct:	02	T+G/Rubber			
Interior Wall 1:	05	Drywall			
Interior Wall 2:	03	Concr-Finished			
Interior Floor 1:					
Interior Floor 2:	04	Gas			
Heating Fuel:	03	Hot Air-No Duc			
Heating Type:	01	None			
AC Type:	225	Com Garage Shop			
Bldg Use:					
Tl Rooms:	00	Com Garage Shop			
Tl Bedrms:	00				
Tl Baths:	00				
Tl Half Baths:	00				
Tl Xtra Fix:	00				
Heat/AC:	00	None			
Frame Type:	03	Masonry			
Baths/Plumbing:	02	Average			
Ceiling/Wall:	00	None			
Rooms/Prtns:	02	Average			
Wall Height:	12.00				
% Conn Wall:					
1st Floor Use:					

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)

Code	Description	UB	Units	Unit Price	Yr Bit	Cond	Cd	% Good	Grade	Grade Adj	Appr. Value

BUILDING SUB-AREA SUMMARY SECTION

Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
AOF	Office	288	288	360	74.09	21,337
BAS	First Floor	2,112	2,112	2,112	59.27	125,178



CONSTRUCTION DETAIL

CONSTRUCTION DETAIL (CONTINUED)

Element	Cd	Description	Element	Cd	Description
Style: Model	99 00	Vacant Land			
Grade:		Vacant			
Stories:					
Occupancy:					
Exterior Wall 1:					
Exterior Wall 2:					
Roof Structure:					
Roof Cover:					
Interior Wall 1:					
Interior Wall 2:					
Interior Flr 1:					
Interior Flr 2:					
Heat Fuel:					
Heat Type:					
AC Type:					
Total Bedrooms					
Total Full Baths					
Total Half Baths					
Total Xtra Fixtrs					
Total Rooms					
Bath Style:					
Kitchen Style:					
Fireplaces					
Fin Bsmt Area					
Fin Bsmt Qualit					
Bsmt Garages					

CONDO DATA			
Parcel Id	C	B	Ownr
Adjust Type	Code	Description	Factor%
Condo Flr			
Condo Unit			

COST / MARKET VALUATION

Building Value New
 Year Built
 Effective Year Built
 Depreciation Code
 Remodel Rating
 Year Remodeled
 Depreciation %
 Functional Obsol
 External Obsolescence
 Trend Factor
 Condition
 Condition %
 Percent Good
 RCNLD
 Dep % Ovr
 Dep Ovr Comment
 Misc Imp Ovr
 Misc Imp Ovr Comment
 Cost to Cure Ovr
 Cost to Cure Ovr Comment

1,000

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)

Code	Description	L/B	Units	Unit Price	Yr Bit	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value

BUILDING SUB-AREA SUMMARY SECTION

Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value

No Sketch



CONSTRUCTION DETAIL

CONSTRUCTION DETAIL (CONTINUED)

Element	Cd	Description	Element	Cd	Description
Style: 05		Two Family			
Model: 03		Multi-Family			
Grade: 08		C			
Stories: 2,25					
Occupancy: 2		Vinyl Siding			
Exterior Wall 1: 25					
Exterior Wall 2: 03		Gable			
Roof Structure: 03		Asphalt Shingl			
Roof Cover: 03		Plaster			
Interior Wall 1: 03					
Interior Wall 2: 12		Hardwood			
Interior Fir 1: 04		Gas			
Interior Fir 2: 06		Steam			
Heat Fuel: 01		None			
Heat Type: 01		6 Bedrooms			
AC Type: 01					
Total Bedrooms: 6					
Total Full Baths: 2					
Total Half Baths: 0					
Total Xtra Fixtrs: 0					
Total Rooms: 10					
Bath Style: 02		Average			
Kitchen Style: 02		Average			
Fireplaces: 0					
Fin Bsmt Area: 0					
Fin Bsmt Qualit: 0					
Bsmt Garages: 0					
	0102	NBHD 10-2 Fam			

Year Built: 1934
 Effective Year Built: 1934
 Depreciation Code: A
 Remodel Rating: 36
 Year Remodeled: 36
 Depreciation %: 36
 Functional Obsol: 1,000
 External Obsolescence: 1,000
 Trend Factor: 64
 Condition %: 180,270
 Percent Good: 64
 RCNLD: 180,270
 Dep % Ovr: 64
 Dep Ovr Comment: 180,270
 Misc Imp Ovr: 180,270
 Misc Imp Ovr Comment: 180,270
 Cost to Cure Ovr: 180,270
 Cost to Cure Ovr Comment: 180,270

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)

Code	Description	U/B	Units	Unit Price	Yr Bilt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
GAR1	Garage	L	400	24.00	1934	F	40	3	1.00	3,840

BUILDING SUB-AREA SUMMARY SECTION

Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	1,200	1,200	1,200	84.51	101,412
BSM	Basement	0	1,200	240	16.90	20,282
EAF	Fin Expansion Attic	900	1,200	600	42.26	50,706
FEP	Enclosed Porch	0	400	140	29.58	11,831
FOP	Open Porch	0	64	13	17.17	1,099
FUS	Finished Upper Story	1,200	1,200	1,140	80.28	96,342
Ttl Gross Liv / Lease Area		3,300	5,264	3,333		281,672

4	8	4
EAF FOP (x2)		
FUS	25	
BAS	25	
BSM	25	
48	48	
9 FEP (x2)	25	8



CONSTRUCTION DETAIL

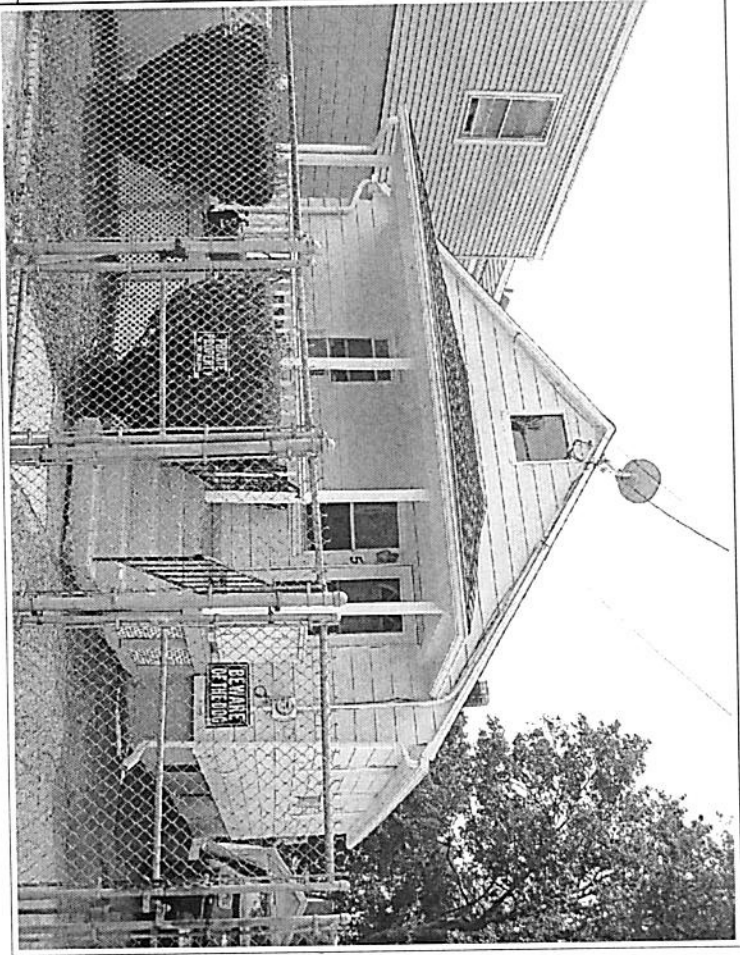
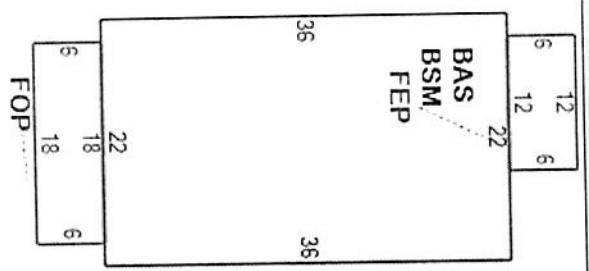
CONSTRUCTION DETAIL (CONTINUED)

Element	Cd	Description	Element	Cd	Description
Style: 01	01	Ranch			
Model: 01	01	Residential			
Grade: 08	08	C			
Stories: 1.00	1.00				
Occupancy: 1	1	Aluminum Sldin			
Exterior Wall 1: 26	26				
Exterior Wall 2: 03	03	Gable			
Roof Structure: 03	03	Asphalt Shingl			
Roof Cover: 03	03	Plaster			
Interior Wall 1: 03	03				
Interior Wall 2: 12	12	Hardwood			
Interior Fir 1: 04	04	Gas			
Interior Fir 2: 05	05	Hot Water			
Heat Fuel: 05	05	None			
Heat Type: 01	01	2 Bedrooms			
AC Type: 01	01				
Total Bedrooms 2	2				
Total Full Baths 1	1				
Total Half Baths 1	1				
Total Xtra Fixts 0	0				
Total Rooms 5	5				
Bath Style: 02	02	Average			
Kitchen Style: 02	02	Average			
Fireplaces: 0	0				
Fin Bsmt Area 792	792	Living Area			
Fin Bsmt Qualit 4	4				
Bsmt Garages 0	0				
	0101	NBHD 10-SFR			

CONDO DATA			
Parcel Id	C	B	Ownr
Adjust Type	Code	Description	Factor%
Condo Flr			
Condo Unit			
COST / MARKET VALUATION			
Building Value New		141,497	
Year Built		1920	
Effective Year Built			
Depreciation Code		A	
Remodel Rating			
Year Remodeled			
Depreciation %		38	
Functional Obsol			
External Obsolescence			
Trend Factor		1.000	
Condition			
Condition %		62	
Percent Good		87.730	
RCNLD			
Dep % Ovr			
Dep Ovr Comment			
Misc Imp Ovr			
Misc Imp Ovr Comment			
Cost to Cure Ovr			
Cost to Cure Ovr Comment			

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES/B

Code	Description	U/B	Units	Unit Price	Yr Bilt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
BUILDING SUB-AREA SUMMARY SECTION										
Code	Description		Living Area	Floor Area	Eff Area	Unit Cost	Undeprac Value			
BAS	First Floor		792	792	792	138.45	109,653			
BSM	Basement		0	792	158	27.62	21,875			
FEP	Enclosed Porch		0	72	50	96.15	6,923			
FOP	Open Porch		0	108	22	28.20	3,046			
			792	1,764	1,022		141,497			



CONSTRUCTION DETAIL

CONSTRUCTION DETAIL (CONTINUED)

Element	Cd	Description	Element	Cd	Description
Style: 108		High Ranch			
Model: 01		Residential			
Grade: 07		C-			
Stories: 1					
Occupancy: 1		Vinyl Siding			
Exterior Wall 1: 25		Concr/CinderBk			
Exterior Wall 2: 15		Gable			
Roof Structure: 03		Asphalt Shingl			
Roof Cover: 03		Plaster			
Interior Wall 1: 03					
Interior Wall 2: 03					
Interior Fir 1: 14		Carpet			
Interior Fir 2: 04		Gas			
Heat Fuel: 04		Forced Air			
Heat Type: 01		None			
AC Type: 01		6 Bedrooms			
Total Bedrooms: 6					
Total Full Baths: 2					
Total Half Baths: 1					
Total Xtra Fixts: 0					
Total Rooms: 10					
Bath Style: 02		Average			
Kitchen Style: 02		Average			
Fireplaces: 1					
Fin Bsmt Area: 1500		Living Area			
Fin Bsmt Qualit: 4					
Bsmt Garages: 0		NBHD 10-SFR			
	0101				

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)

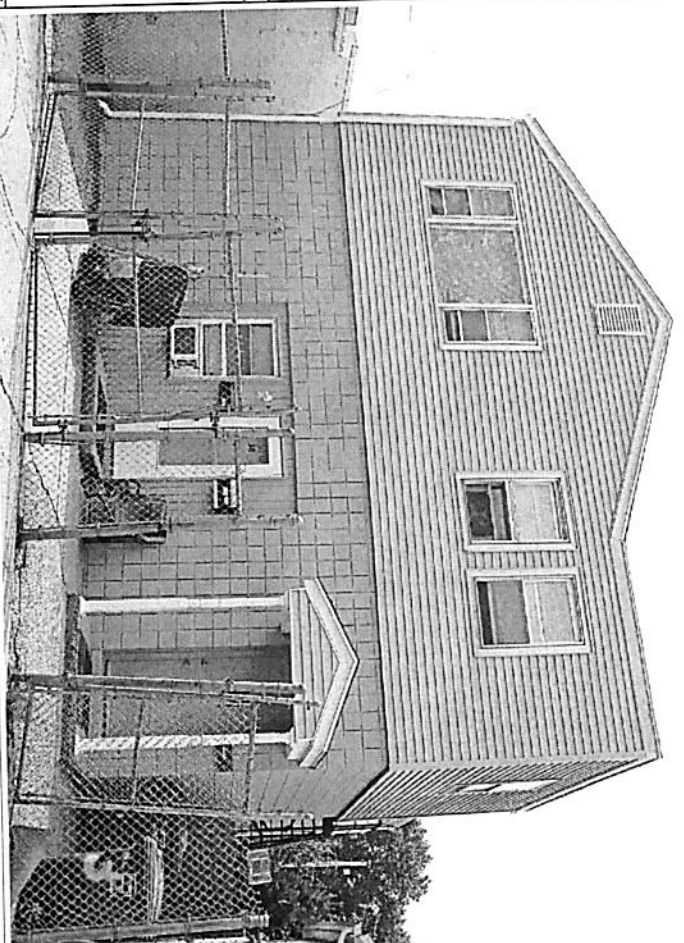
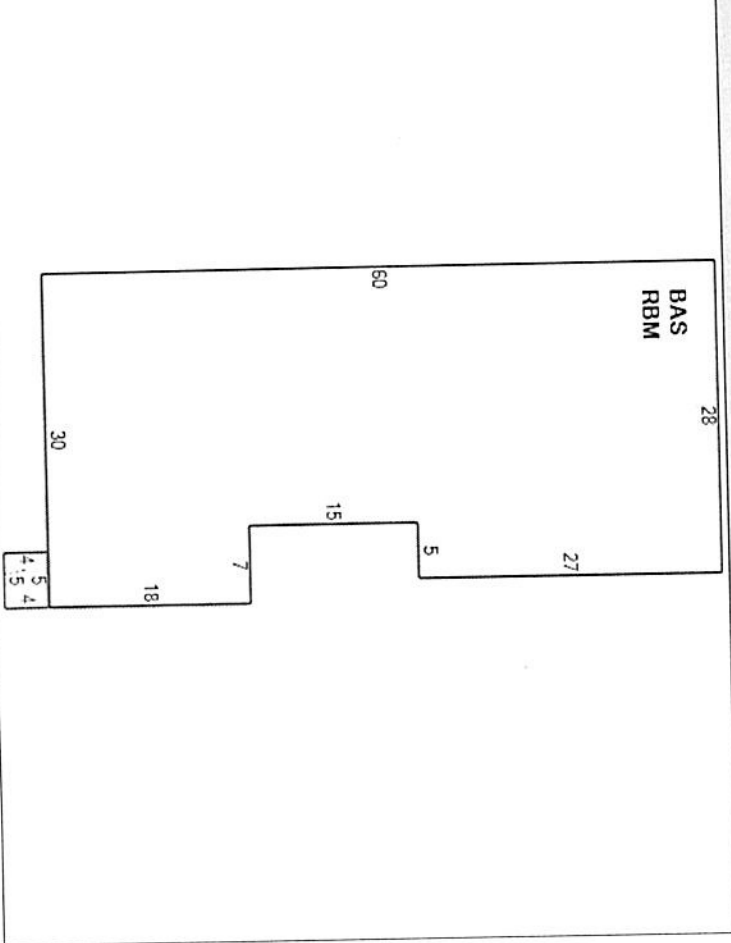
Code	Description	U/B	Units	Unit Price	Yr Bilt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
BUILDING SUB-AREA SUMMARY SECTION										
Code	Description		Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value			
BAS	First Floor		1,641	1,641	1,641	96.19	157,843			
FOP	Open Porch		0	20	4	19.24	385			
RBM	Raised Basement		0	1,641	410	24.03	39,437			
			1,641	3,302	2,055		197,665			

CONDO DATA

Parcel Id		C	B	IS
Adjust Type	Code	Description	Factor%	
Condo Fir				
Condo Unit				

COST / MARKET VALUATION

Building Value New	197,665
Year Built	1940
Effective Year Built	A
Depreciation Code	
Remodel Rating	
Year Remodeled	
Depreciation %	35
Functional Obsol	
External Obsol	
Trend Factor	1,000
Condition	
Condition %	
Percent Good	65
RCNLD	128,480
Dep % Ovr	
Dep Ovr Comment	
Misc Imp Ovr	
Misc Imp Ovr Comment	
Cost to Cure Ovr	
Cost to Cure Ovr Comment	





CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

- Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

83 North Avenue Zone MX2
(Number) (Street) (Zone Classification)

On the East side of the street about 88 feet North from
(North, South, East, West) (North, South, East, West)

Colonial Avenue Block : 60/1535 Lot: 4
(Street) (Specify)

Dimension of Lot in Question 283.14' x 35.16' x 347.77' x 118.80' x 150.00' x 240.00' x 60.38' x 326.64'
(Specify)

1. NAME OF APPLICANT / BUSINESS 83 North Avenue LLC
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING N/A
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT Construction of a new and used car sales facility and associated Site improvements

5. THIS APPLICATION RELATES TO: Check all that Apply
- Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 - Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: _____

6. USE TO BE MADE OF PROPERTY Used and new vehicle sales dealership with detailing center

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? Not Applicable

APPLICANT [Signature] , DATE 02/03/2022
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) Chris@russorizio.com
(Email)

Mailing Address Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824 203-528-0590
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print _____
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20_____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

_____ FEE RECEIVED: _____ DATE: _____, 20____ Clerk _____

Lisa S. Broder*
LBroder@russorizio.com
Colin B. Connor
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Robert G. Golger
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5 Brook St., Suite 2B, Darien, CT 06820
Tel 203-309-5500

299 Broadway, Suite 708, New York, NY 10007
Tel 646-357-3527

www.russorizio.com

February 3, 2022

Paul Boucher
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for Certificate of Location and Dealership License for Light Vehicle Sales & Service Use Facility – 83 North Avenue

Dear Mr. Boucher:

Please accept the following narrative and enclosed application materials as part of the application for a Certificate of Approval of Location and Dealership License for Light Vehicle Sales & Service Use Facility to the Bridgeport Zoning Board of Appeals (“ZBA”) for the property located at 83 North Avenue (the “Site”) under the Commercial Center Building Type in the MX2 Zone.

The Petitioner requests an approval for a Certificate of Location for a Light Vehicle Sales & Service use at the Site. Said use is permitted as-of-right in the MX2 Zone subject to approval of a Certificate of Location. Said commercial use category includes the sale of new and used vehicles as well as car detailing, which will be done to vehicles for sale at the Site. The Site currently contains a single approximately 4,430 SF single-story nonconforming building containing City Cement Block, which will be demolished. The Site is located in an area with a longstanding history for motor vehicle repair and sales facilities.

The Petitioner proposes to construct a one-story car sales and detail building in conformity with the Commercial Center Building Type under the Regulations. The proposed building will be located 10’ from the street property line with a street wall in excess of 60% of the Site frontage. The proposed building will comply with all other setbacks and coverage standards under the Commercial Center Building Type Regulations. The façade of the proposed building will be almost entirely made of glass, exceeding the transparency standards, and at a height of 18’ it will comply with the height regulations. Ingress and egress to the Site will be through a two-way driveway on the northern side of the Site. The rear parking area was designed in conformity with the Regulations with Sixty (60) spaces for vehicles.

Leah M. Parisi
Leah@russorizio.com
William M. Petroccio*
WPetro@russorizio.com
Raymond Rizio*
Ray@russorizio.com
Christopher B. Russo
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Robert D. Russo*
Rob@russorizio.com
John J. Ryan+
John@russorizio.com
Jane Ford Shaw
Jane@russorizio.com
Vanessa R. Wambolt
Vanessa@russorizio.com

* Also Admitted in NY
* Also Admitted in VT
+ Of Counsel

The proposed use is a permitted use subject to a Certificate of Location. Under Sec. 11.120.B, the authority to approve Certificates of Location light vehicles sales & services uses is vested in the ZBA in accordance with Sec. 14-54 of the Connecticut General Statutes. No hardship is required for said approval. The Petition is fully compliant with the site plan standards under the Commercial Center Building Type of the Regulations. The Petition will demolish a preexisting nonconforming building and will replace it with a fully conforming new construction building and use. The proposed dealership is in complete conformity with the surrounding neighborhood, which is known for its vehicle uses, and it will strengthen the attraction of the neighborhood as a destination for car buyers.

Sincerely,

A handwritten signature in blue ink, appearing to read 'CR', is written over the printed name 'Christopher Russo'.

Christopher Russo

83 NORTH AVENUE LLC ACTIVE

43 NORTH AVENUE, BRIDGEPORT, CT, 06606, United States

BUSINESS DETAILS ▼

Business Details ▲

General Information —

Business Name

83 NORTH AVENUE LLC

Business status

ACTIVE

Citizenship/place of formation

Domestic/Connecticut

Business address

43 NORTH AVENUE, BRIDGEPORT, CT, 06606, United States

Annual report due

3/31/2022

NAICS code

Lessors of Other Real Estate Property (531190)

Business ALEI

1363804

Date formed

10/22/2020

Business type

LLC

Mailing address

43 NORTH AVENUE, BRIDGEPORT, CT, 06606, United States

Last report filed

2021

NAICS sub code

531190

Principal Details —

Principal Name

BROOKSIDE CAPITAL, LLC

Principal Title

MEMBER

Principal Business address

43 NORTH AVENUE, BRIDGEPORT, CT, 06606, United States

LIST OF NEIGHBORING PROPERTIES WITHIN 100' OF 83 NORTH AVE

LOCATION	OWNER	MAILING ADDRESS	CITY	STATE	ZIP
141 NORTH AV	141 N AVE LLC	1862 EAST MAIN ST	BRIDGEPORT	CT	06610
66 NORTH AV	SYLVAN AVENUE ASSOCIATES (LIMITED PARTNERSHIP)	60 NORTH AVE	BRIDGEPORT	CT	06606
90 NORTH AV	SAMUEL M RIZZITELLI JR TRUSTEE	26 PRINDLE AVE	DERBY	CT	06418
125 CHASE ST	125 CHASE STREET LLC	385 STEPNEY RD	EASTON	CT	06612
83 NORTH AV	83 NORTH AVENUE LLC	43 NORTH AVE	BRIDGEPORT	CT	06606
12 CHASE ST	DELVENTO ARLENE A ET AL	385 STEPNEY RD	EASTON	CT	06612
43 NORTH AV	83 NORTH AVE LLC & CHASE 125 LLC	43 NORTH AVE	BRIDGEPORT	CT	06606
40 NORTH AV	SYLVAN AVENUE ASSOCIATES (LIMITED PARTNERSHIP)	60 NORTH AVE	BRIDGEPORT	CT	06606
94 NORTH AV #96	92-94 NORTH AVENUE LLC	750 DANIELS FARM ROAD	TRUMBULL	CT	06611
61 NORTH AV	61 NORTH AVENUE LLC	43 NORTH AVE	BRIDGEPORT	CT	06606



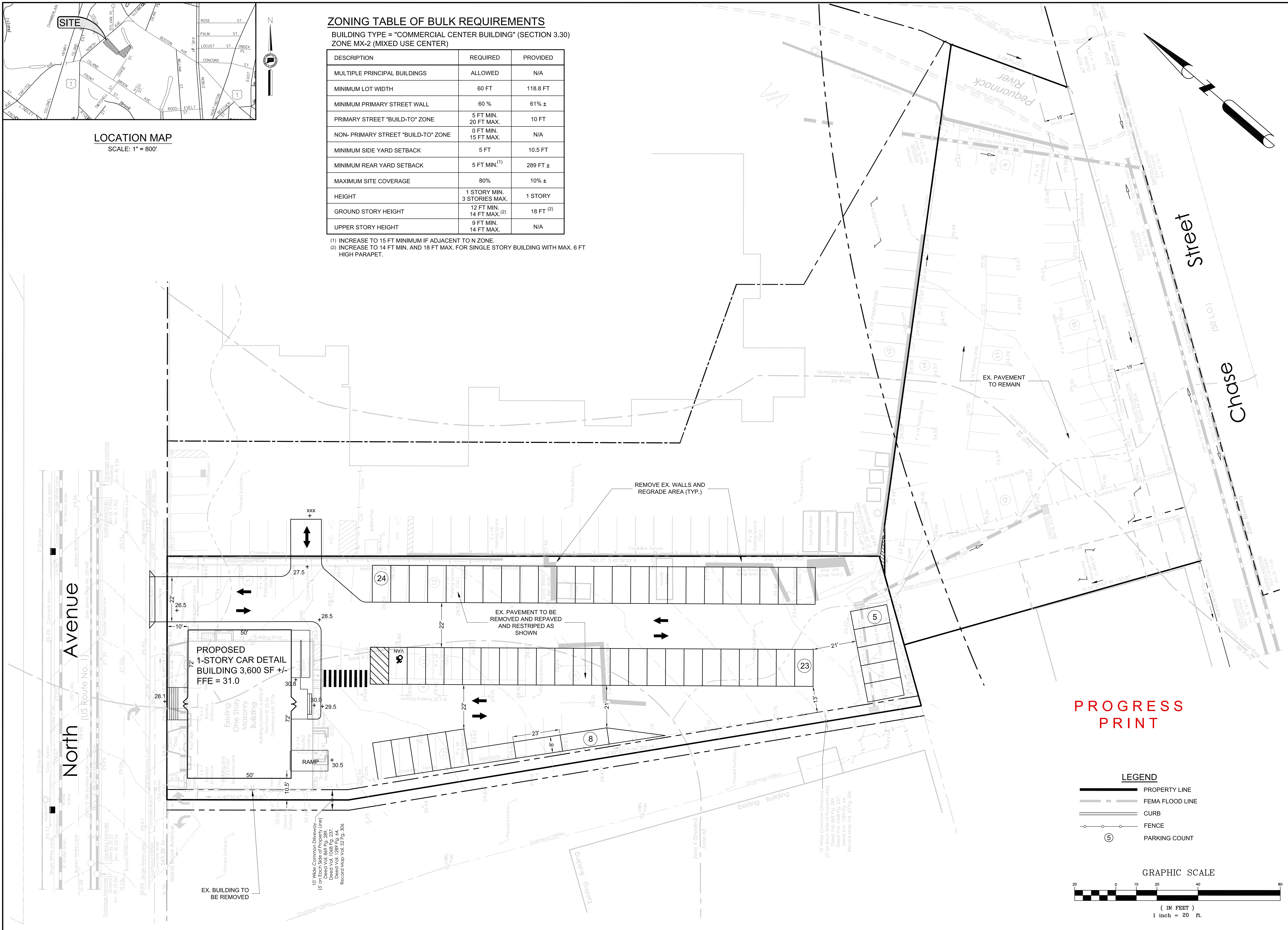


LOCATION MAP
SCALE: 1" = 800'

ZONING TABLE OF BULK REQUIREMENTS
BUILDING TYPE = "COMMERCIAL CENTER BUILDING" (SECTION 3.30)
ZONE MX-2 (MIXED USE CENTER)

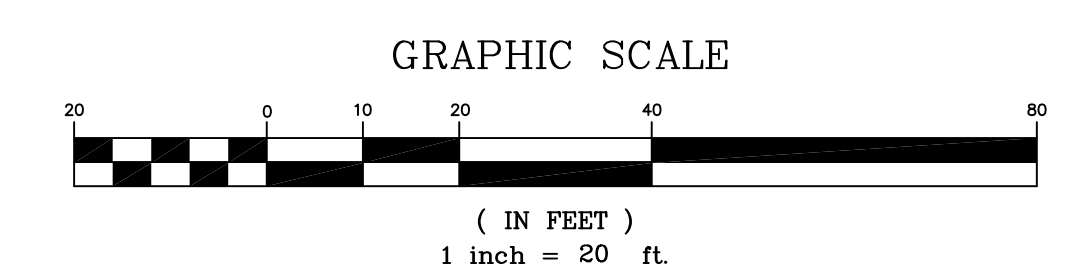
DESCRIPTION	REQUIRED	PROVIDED
MULTIPLE PRINCIPAL BUILDINGS	ALLOWED	N/A
MINIMUM LOT WIDTH	60 FT	118.8 FT
MINIMUM PRIMARY STREET WALL	60 %	61% ±
PRIMARY STREET "BUILD-TO" ZONE	5 FT MIN. 20 FT MAX.	10 FT
NON- PRIMARY STREET "BUILD-TO" ZONE	0 FT MIN. 15 FT MAX.	N/A
MINIMUM SIDE YARD SETBACK	5 FT	10.5 FT
MINIMUM REAR YARD SETBACK	5 FT MIN. ⁽¹⁾	289 FT ±
MAXIMUM SITE COVERAGE	80%	10% ±
HEIGHT	1 STORY MIN. 3 STORIES MAX.	1 STORY
GROUND STORY HEIGHT	12 FT MIN. 14 FT MAX. ⁽²⁾	18 FT ⁽²⁾
UPPER STORY HEIGHT	9 FT MIN. 14 FT MAX.	N/A

(1) INCREASE TO 15 FT MINIMUM IF ADJACENT TO N ZONE.
(2) INCREASE TO 14 FT MIN. AND 18 FT MAX. FOR SINGLE STORY BUILDING WITH MAX. 6 FT HIGH PARAPET.



PROGRESS PRINT

- LEGEND**
- PROPERTY LINE
 - FEMA FLOOD LINE
 - CURB
 - FENCE
 - PARKING COUNT



SEAL:

CHRISTIAN A. DeANGELIS, PE

REVISIONS:

No.	DESC.	DATE

PROPOSED VEHICLE DETAIL CENTER & SITE IMPROVEMENTS
CITY OF BRIDGEPORT
83 NORTH AVENUE
- PREPARED FOR -
BROOKSIDE MOTORS, LLC
(D.B.A. BMW OF BRIDGEPORT)

SHEET TITLE:
PRELIMINARY SITE PLAN

PROJ. No.: 2021-21
DATE: 15 OCTOBER 2021
DWG. No.: C-1

SHEET 1 OF 1
SCALE: 1" = 20'-0"
DESIGNED: CAD DRAWN BY: ARM CHECKED: CAD

A B C D E F G H I J

1

2

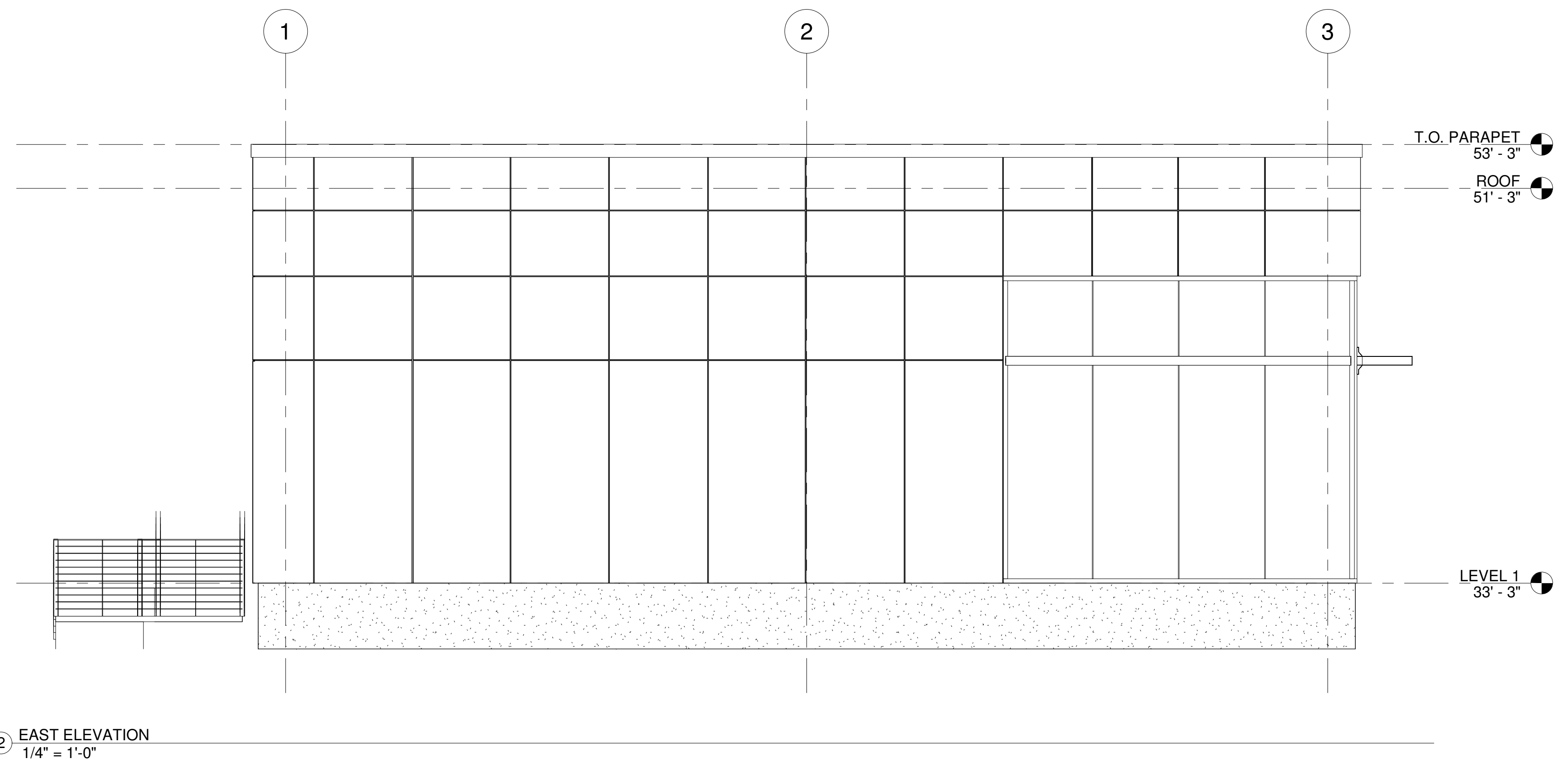
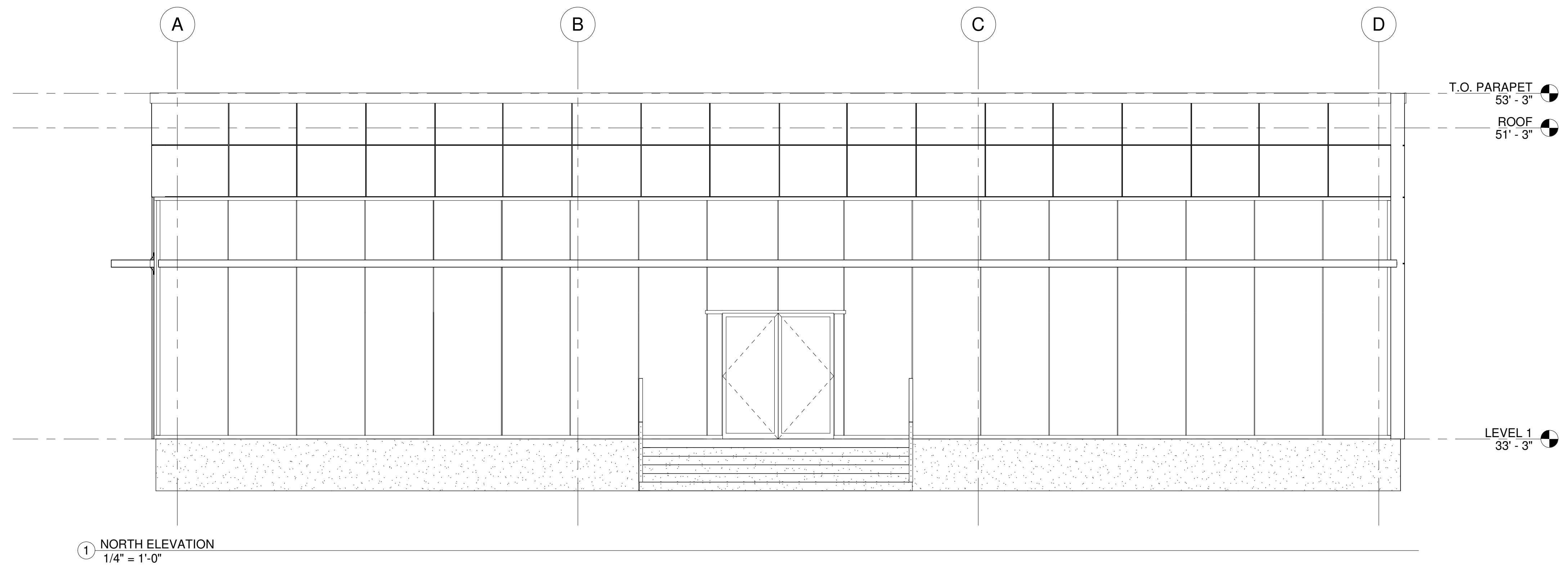
3

4

5

6

7



NOTE:
 1. ALL DOWNSPOUTS AND ROOF LEADERS TO BE RUN UNDERGROUND TO STORM WATER SYSTEM. SEE CIVIL DRAWINGS.
 2.

ALL EXTERIOR WALL CMU THAT HAS FINISHED SIDE EXPOSED TO ELEMENTS SHALL BE GROUND FACE. ALL EXTERIOR BLOCK SHALL HAVE DRY-BLOCK® SYSTEM ADDITIVE IN MIX AS WELL AS THE MORTAR. BLOCKFLASH FLASHING WEEP SYSTEM TO BE INSTALLED AT ALL EXTERIOR WALLS. TWO COATS OF CLEAR SEALER SHALL BE APPLIED TO EXTERIOR FACE OF ALL CMU.



THIS DRAWING IS THE PROPERTY OF CLARIS CONSTRUCTION IT HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF CLARIS

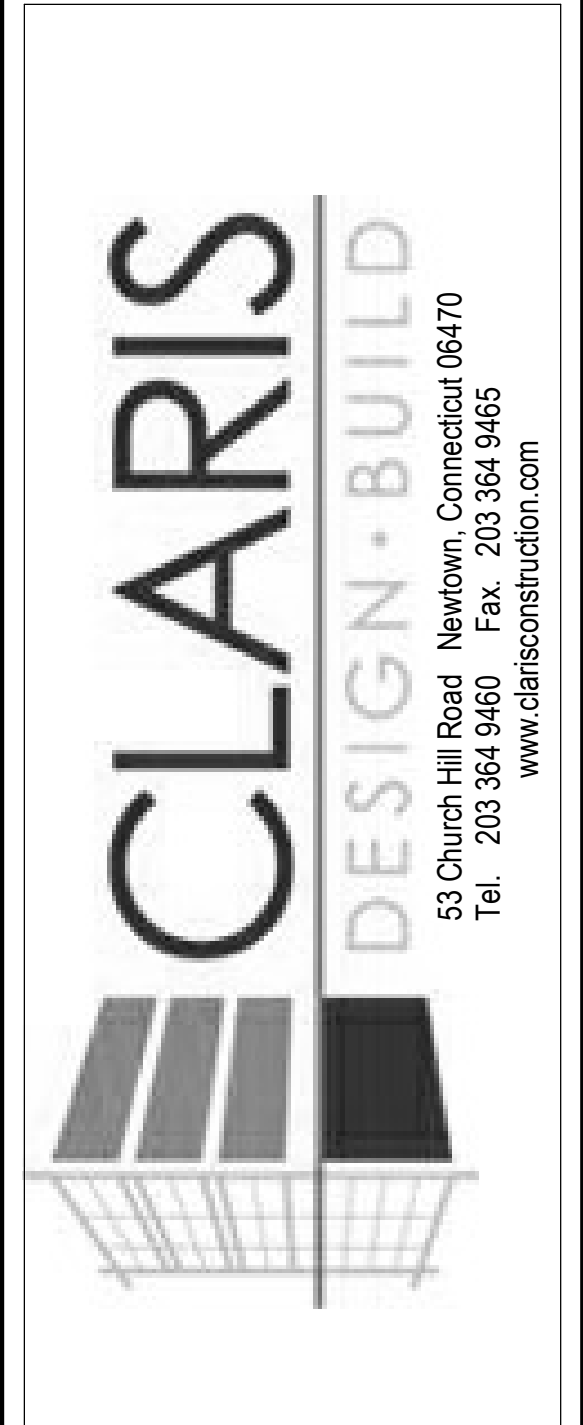
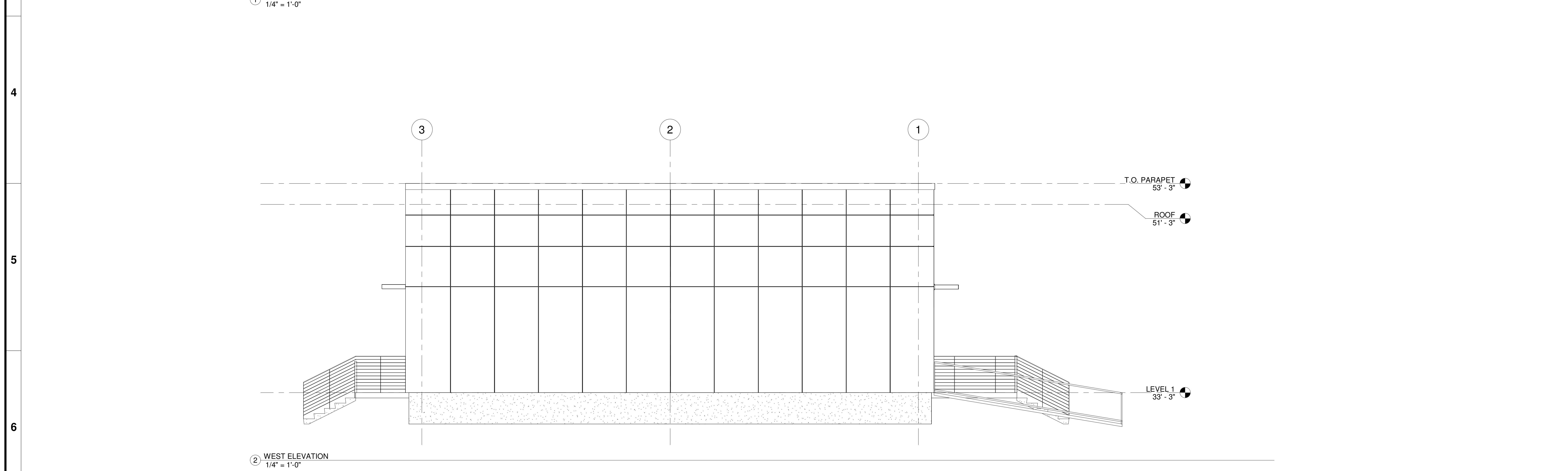
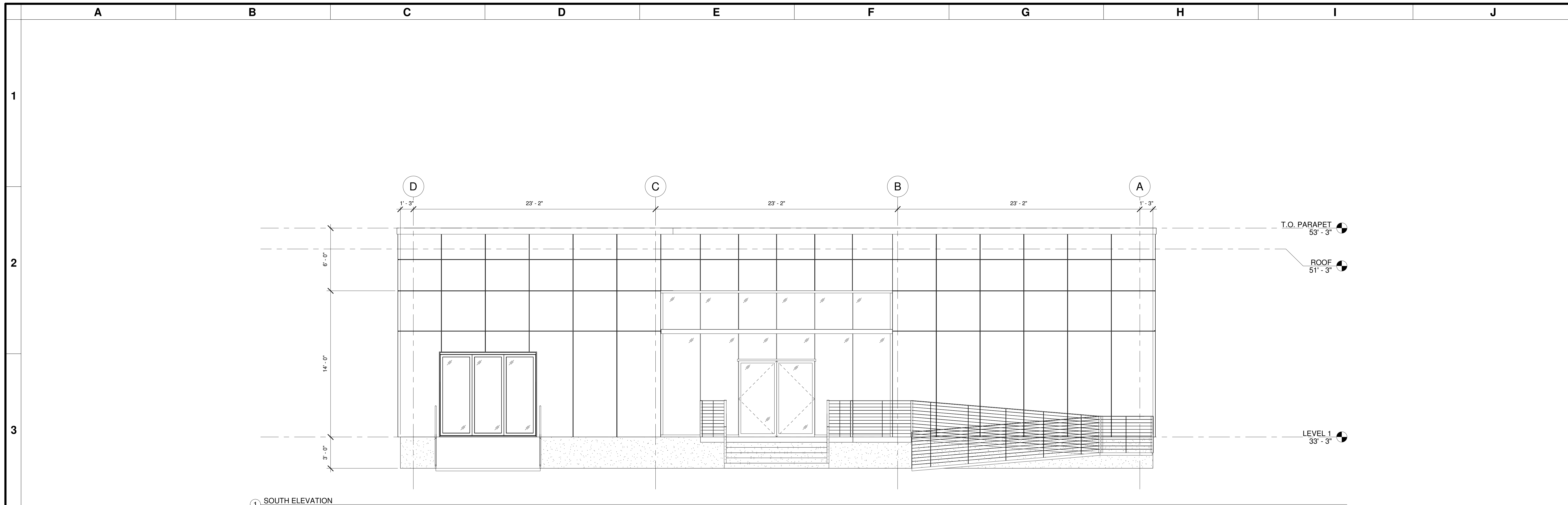
PROJECT NAME
 PROJECT ADDRESS

No.	Description	Date

ELEVATIONS

Project Number
 Date 4/28/16
 Drawn By Author
 Checked By Checker
 Scale 1/4" = 1'-0"

A-200



THIS DRAWING IS THE PROPERTY OF CLARIS CONSTRUCTION IT HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF CLARIS

PROJECT NAME
PROJECT ADDRESS

No.	Description	Date

ELEVATIONS

Project Number
Date 4/28/16
Drawn By Author
Checked By Checker
Scale 1/4" = 1'-0"

A-201



CITY OF BRIDGEPORT

Application Form

Municipal Coastal Site Plan Review

For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Zoning office.

Section I: Applicant Identification

Applicant: <u>83 NORTH AVENUE LLC</u>	Date: <u>02/08/2022</u>
Address: <u>c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824</u>	
Phone: <u>203-528-0590</u>	
Project Address or Location: <u>83 North Avenue</u>	
Interest in Property: <input checked="" type="checkbox"/> fee simple <input type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement <input type="checkbox"/> other (specify) _____	
List primary contact for correspondence if other than applicant:	
Name: <u>Chris Russo</u>	
Address: <u>Russo & Rizio, LLC, 10 Sasco Hill Rd</u>	
City/Town: <u>Fairfield</u>	State: <u>CT</u> Zip Code: <u>06824</u>
Business Phone: <u>203-528-0590</u>	
e-mail: <u>Chris@russorizio.com</u>	

Section II: Project Site Plans

<p>Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:</p> <ul style="list-style-type: none"><input checked="" type="checkbox"/> Project location<input checked="" type="checkbox"/> Existing and proposed conditions, including buildings and grading<input checked="" type="checkbox"/> Coastal resources on and contiguous to the site<input type="checkbox"/> High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)<input type="checkbox"/> Soil erosion and sediment controls<input type="checkbox"/> Stormwater treatment practices<input checked="" type="checkbox"/> Ownership and type of use on adjacent properties<input type="checkbox"/> Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description: 83 North Avenue

City or Town: Bridgeport

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO

3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:

Island Brook Channel and Pequonnock River

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:

The Site is the location of City Cement Block Corp., which was a mix concrete supplier. The proposed application is for a used car dealership and general repairer's license. The Site is located within a significant industrial corridor that contains a number of industrial uses closer to coastal resources. The Site currently contains a single building as well as parking areas and loading bay.

5. Indicate the area of the project site: 0.74 acres or square feet (circle one)

6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities

Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.

Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.

7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) Yes No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The Applicant proposes to construct a new 3,600 SF car dealership building in roughly the same location as the existing building towards North Avenue, which is outside the coastal area. There will be site clearing to remove the existing building, but there will be no increase in impervious coverage as the proposed construction will be over existing impervious.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

The Applicant is proposing no change to the impervious cover on the Site. All construction will be in accordance with stormwater best management practices.

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)	X			
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				X
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				X

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

The Site is located within the coastal zone management area designated as "Coastal Hazard Area." There are no coastal resources immediately adjacent or on-Site. Coastal waters identified as Island Brook Channel and the Pequonnock River are located east of the Site and downstream.

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- Ξ : General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);
- Definition CGS Section 22a-93(16)
- Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating - CGS Section 22a-92(b)(1)(G)
- Fisheries - CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste - CGS Section 22a-92(a)(2)
- Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- Cultural Resources - CGS Section 22a-92(b)(1)(J)
- Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

There are no applicable coastal uses or activity policies and standards on the Site. The Site has never had a water-dependent use as it would physically not be able to.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		X
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		X
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		X
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		X
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		X
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		X
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		X
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		X

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		X

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

There is no potential for water-dependent uses on the Site. The Site is located a significant distance from any body of water.

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

Part VIII: Mitigation of Potential Adverse Impacts

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

The project will not have any adverse impact on coastal resources and/or future water-dependent development opportunities.

Part IX: Remaining Adverse Impacts

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

There are no remaining adverse impacts resulting from the proposed activity.



ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

195 Brooklawn Avenue Zone _____
(Number) (Street) (Zone Classification)

On the West side of the street about 415 feet South from
(North, South, East, West) (North, South, East, West)

Briarwood Block : 1303 Lot: 11
(Street)

Dimension of Lot in Question _____
(Specify)

1. NAME OF APPLICANT / BUSINESS Lindsey's House Early Learning Center
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS A PREVIOUS APPLICATION BEEN FILED? no IF SO, GIVE DATE OF HEARING _____
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Early learning center no changes made to exterior of building

5. THIS APPLICATION RELATES TO: Check all that Apply

Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: _____

6. USE TO BE MADE OF PROPERTY Early Learning Center and office space.

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? loss of current leased space due to developments and the need to remain in the current service area.

APPLICANT Stalita Rombert Stalita Rombert DATE _____
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____ /

Mailing Address 25 Aria Circle 06610 203-650-7399
(Email) (Zip Code) (Phone #)
PROPERTY OWNERS ENDORSEMENT _____
(If other than owner) (Signature) Print Christopher Laissan

Subscribe & Sworn to before me this 28th day of February 2022
Mark M. [Signature] Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
 LISA M SPEZZANO Notary Public Connecticut
 My Commission Expires Jun 30, 2025
 Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.
 NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
 PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
 (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

Variance Statement:

We are seeking a variance for use of the property located at 195 Brooklawn Avenue. Currently it is has a variance for office space and we intend to use this location as a childcare facility and office space. Our current location has been purchased by a developer and we have been given approximately 1 year to find a new suitable location. We would like to stay within our current neighborhood supporting a rolling number of over 200 families per year within the community. 195 Brooklawn Avenue is 0.9 miles from our current location which is less than 3 minutes keeping us in the neighborhood. Currently our location occupies 6700sq ft and this is one of the few locations left in Bridgeport able to accommodate our needs. Our program also offers School Readiness which requires us to stay within Bridgeport while servicing the families living and working within Bridgeport. We respectfully request this variance because we can demonstrate that existing zoning regulations present a practical difficulty in making use of the property.



3/ 03/2022

X _____

BRIDGEPORT ROMAN CATHOLIC
238 JEWETT AVE

CHARLES LESLY JEAN
83 MADISON AVE

DAURIA VINCENT & PELLEGRINO
69 WESTFIELD AVENUE

99 MADISON VM LLC
PO BOX 17

AC MADISON LLC
442 MAIN AVE APT 2

MANA DEL CIELO
84-88 MADISON AVENUE

MATLOCK PROPERTY LLC
9 DOGWOOD DRIVE

CARRENA LUIS
24 TUCKAHOE ROAD

CRIANDE PROPERTIES LLC
179 WILLIAM STREET

ANTONIO FERREIRA SR CO-TRUSTEE
ET AL
60 ROSEMARY DR

ANTONIO FERREIRA SR CO-TRUSTEE
ET AL
60 ROSEMARY DR

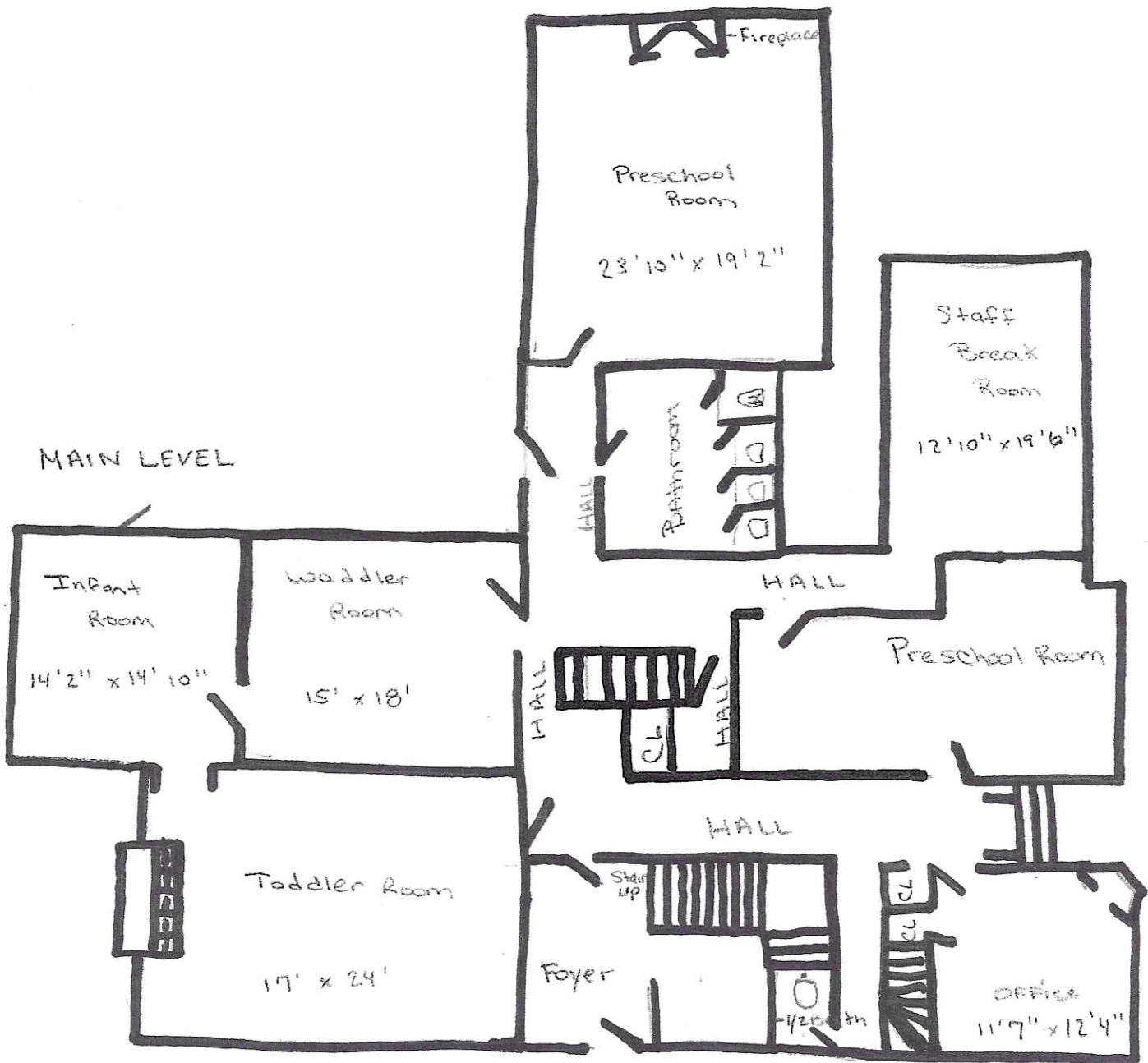
MALDONADO JOSE & MARIA D
33 GEORGE ST

ROACH NIGEL & SANDRA ROACH
45 GEORGE ST

MOUNT AERY BAPTIST CHURCH INC
73 FRANK ST

ZEPEDA RODRIGUEZ MARLON A
(SU)
1542 BARNUM AVE

195 BROOKLAWN AVENUE



EARLY LEARNING CENTER

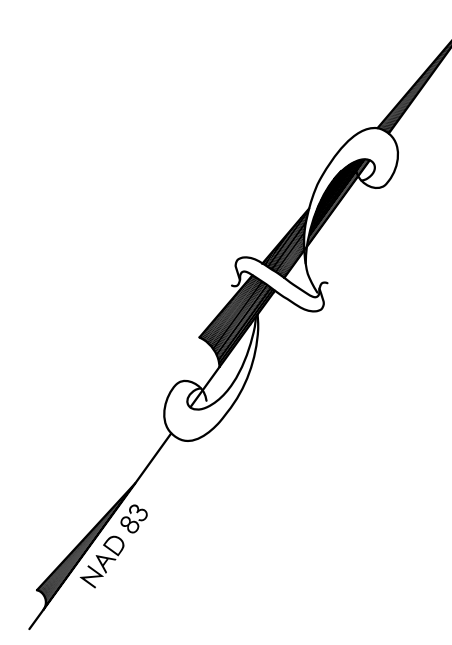
25 ASIA CIRCLE
BRIDGEPORT, CT 06610
203 650 7399
STALITA REMBERT

NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A **LIMITED PROPERTY/BOUNDARY SURVEY** BASED ON A DEFENDANT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS **A-2** AND IS INTENDED FOR **MUNICIPAL COMPLIANCE** PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD MEASUREMENTS AND OBSERVATIONS.
- LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (COR96). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON **DECEMBER 16, 2015** IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:
STATION: ORANGE
NORTHING 458307.101, EASTING 930968.510,
LATITUDE 41°16'03.13601", LONGITUDE 73°00'03.97333",
ELLIPSOID 6.5067.
- MAP REFERENCES
 A. HENRY L. BLACKMAN & SON, SCALE: 1" = 30 FT., JULY 7, 1916. PREPARED BY FRANK B. JAYNES SURVEYOR ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOLUME 9 PAGE 37.**
 B. DIVISION OF PROPERTY PREPARED FOR 257 BROOKLAWN, LLC, 257 BROOKLAWN AVENUE, BRIDGEPORT, CONNECTICUT, SCALE: 1" = 10', JULY 6, 2018. PREPARED BY LAND SURVEYING SERVICES, LLC ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOLUME 55 PAGE 289.**
 C. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 1303**

NOTES - CONTINUED

- RECORD OWNER: HUGO CRIB, LLC VOL. 4071 PG. 242
- ASSESSOR'S REFERENCE: MAP 33 | BLOCK 1303 | LOT 11
- PARCEL AREA: 20,994± SQ. FT., OR 0.482± AC.
- PARCEL IS LOCATED WITHIN THE **N3** ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL **437** OF 626, COMMUNITY **BRIDGEPORT**, CITY OF, NUMBER **090002** PANEL **0437** SUFFIX **G**, MAP NUMBER **09001C0437G**, MAP REVISED **JULY 8, 2013**. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS **ZONE X (UNSHADED)**.
- BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DEANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DEANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DEANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).
- ZONING VARIANCES GRANTED ON JANUARY 12, 1999 AND RECORDED IN VOLUME 4123 PAGE 240.

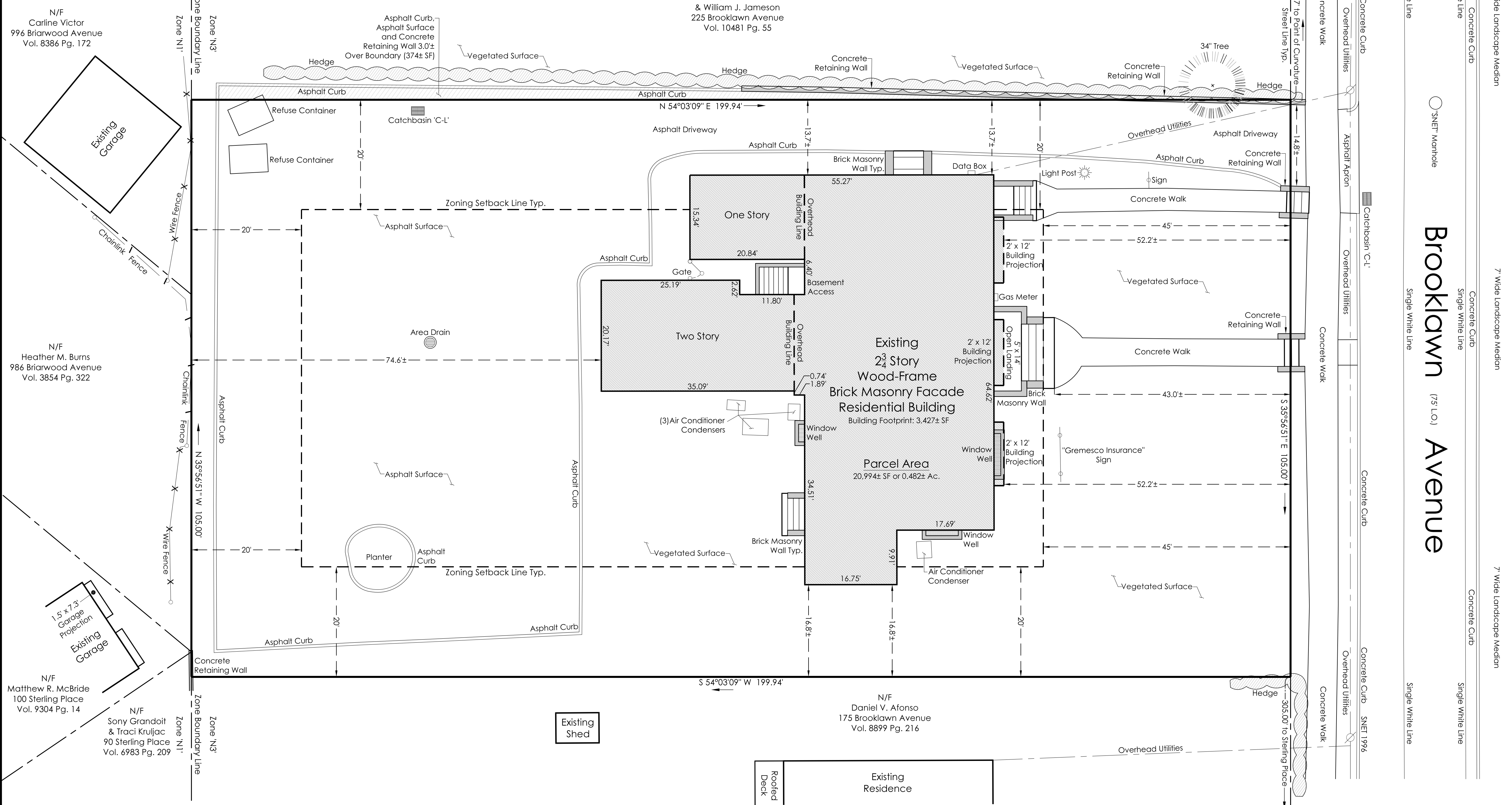


LEGEND

N/F	NOW OR FORMERLY	CB	CATCH BASIN
MON	MONUMENT	WM	WATER METER
I.P.	IRON PIPE	WV	WATER VALVE
FND	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET	RETAINING
CONC	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
UGS	UNDERGROUND	INT	INTERSECTION
MH	MANHOLE	INV	INVERT
ELEC	ELECTRIC	C.I.	CAST IRON
UTP	UTILITY POLE	V.C.	VITRIFIED CLAY
DY	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EOP	EDGE OF PAVEMENT	V.C.	EXISTING SPOT GRADE
RET	RETAINING	---	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	---	LAYOUT OF STREET WIDTH
FFE	FINISHED FLOOR ELEVATION	(2)	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
---	EXISTING CONIFER TREE	---	EXISTING DECIDUOUS TREE



LOCATION MAP
SCALE: 1" = 80'



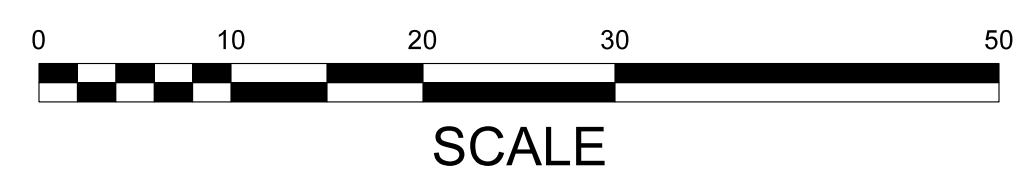
N3 Zone Development Standards			
HOUSE C BUILDING TYPE	REQUIRED	EXISTING	PROPOSED
3.110.4. BUILDING LOCATION (SEE FIGURE 3.110-B)			
1) LOT WIDTH	75 FT. MINIMUM	105.00 FT.	105.00 FT.
2) LOT SIZE	9000 SQ. FT. MINIMUM	20,994± SF	20,994± SF
3) PRIMARY STREET SETBACK	45 FT. MINIMUM (PREVAILING SETBACKS APPLY. SEE 14.20.6 FOR MEASURING. SEE 3.110.10 FOR ALLOWED ENCROACHMENTS)	52.2± FT	52.2± FT
4) PORCH, STEPS, BAY PRIMARY ENCROACHMENT	15 FT. MAXIMUM (PREVAILING SETBACKS APPLY. SEE 14.20.6 FOR MEASURING. SEE 3.110.10 FOR ALLOWED ENCROACHMENTS)	43.0± FT.	43.0± FT.
5) NON-PRIMARY STREET SETBACK	20 FT. MINIMUM (MATCH DEPTH OF ADJUTING PRIMARY YARDS ON STREET)	N/A	N/A
6) SIDE SETBACK	20 FT. MINIMUM	13.7± FT.	13.7± FT.
7) REAR SETBACK	20 FT. MINIMUM	74.6± FT.	74.6± FT.
8) SITE COVERAGE	65% (SEE 14.20.7 FOR MEASURING SITE COVERAGE)	60%	60%
3.110.5. PARKING AND ACCESSORY STRUCTURES (SEE FIGURE 3.110-C)			
1) PARKING AND DRIVEWAY ACCESS	10 FT. MAX. WIDTH AT PRIMARY LOT LINE; MAX TWO DRIVEWAYS PER LOT (SEE 8.0 FOR PARKING)	14.8± FT.	14.8± FT.
2) ATTACHED GARAGE SETBACK	N/A	N/A	N/A
ALLOWED GARAGE DOOR LOCATION	ANY FACADE MAX. 35% OF PRIMARY FACADE	N/A	N/A
3) ACCESSORY STRUCTURE LOCATION	REAR YARD ONLY (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A	N/A
STREET SIDE SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A	N/A
SIDE AND REAR SETBACK	3 FT. MIN. (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A	N/A
3.110.6. HEIGHT (SEE FIGURE 3.110-D)			
1) HEIGHT	1.5 STORIES MIN.; 2.5 STORIES MAX. (HALF STORIES ARE LOCATED FULLY WITHIN ROOF WITH CORNER AND/OR AREA LIMITATIONS PER 3.110.10. SEE 14.20.10 FOR MEASURING HEIGHT.)	2.75 STORIES	2.75 STORIES
2) STORY HEIGHT	9 FT. MIN; 14 FT. MAX. (MEASURED FLOOR-TO-FLOOR)	PRE-EXISTING	PRE-EXISTING
3) HEIGHT TO EAVES	N/A (HEIGHT TO EAVES IS MEASURED FROM THE FIRST FLOOR TO THE BOTTOM OF THE EAVE. SEE 14.20.10 FOR MEASURING EAVES.)	N/A	N/A
3.110.7. ROOFS (SEE FIGURE 3.110-D)			
1) ROOF TYPES	PITCHED, FLAT, PARAPET (SEE 6.20 FOR ROOF TYPE REGULATIONS)	PITCHED, FLAT	PITCHED, FLAT
2) TOWER	NOT ALLOWED	N/A	N/A
3.110.9. ALLOWED USES (SEE ARTICLE 4.0)			
RESIDENTIAL			
NUMBER OF PRINCIPAL UNITS	1 IN HOUSE	N/A	N/A
NUMBER OF ACCESSORY APARTMENTS	UP TO 2: 1 IN HOUSE AND/OR 1 IN BACKYARD COTTAGE	N/A	N/A
HOUSEHOLD LIVING	ALLOWED	N/A	N/A
GROUP LIVING	ALLOWED	N/A	N/A
SHORT-TERM RENTAL	ALLOWED	N/A	N/A
COMMERCIAL			
OFFICE (VARIANCE GRANTED 01-12-1999)	NOT ALLOWED	INSURANCE	N/A
RETAIL & ENTERTAINMENT	NOT ALLOWED	N/A	N/A
LIVE ENTERTAINMENT VENUE	NOT ALLOWED	N/A	N/A
CIVIC & INSTITUTIONAL			
CIVIC, LARGE	NOT ALLOWED	N/A	N/A
CIVIC, SMALL	VARIANCE REQUIRED NOT ALLOWED	N/A	DAYCARE
CIVIC, CAMPUS	NOT ALLOWED	N/A	N/A

Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P: 203 330 8700 • F: 203 330 8701

SCALE: 1"=10'
FIELD FILE: brooklawn survey.rw5
PROJECT NO.: CD1596
DATE: February 21, 2022
CAD FILE: 195 Brooklawn Avenue PS.dwg
SHEET 1 OF 1
REV:

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

WASHINGTON CABEZAS, JR. PEL 70210



PROGRESS
PRINT 2-21-2022

IMPROVEMENT LOCATION SURVEY

PREPARED FOR
LINDSEY'S HOUSE, LLC
195 BROOKLAWN AVENUE
BRIDGEPORT, CONNECTICUT
ASSESSOR'S REFERENCE: MAP 33 | BLOCK 1303 | LOT 11

SHEET 1 OF 1
FEBRUARY 21, 2022 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 10'



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

[X] Variance [] Appeal from Zoning Officer [] Extension of Time Permit / Modification of Plan of Development [] Request for Re-hearing [] Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

268 Putnam Street (Number) (Street) Zone RX1 (Zone Classification)

On the south (North, South, East, West) side of the street about _____ feet (North, South, East, West) from _____

(Street) Block : 1718 Lot: 17

Dimension of Lot in Question existing 0.34 acre parcel located in RX1 zone. (Specify)

1. NAME OF APPLICANT / BUSINESS City of Bridgeport Connecticut (Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner (Print)

3. HAS A PREVIOUS APPLICATION BEEN FILED? no IF SO, GIVE DATE OF HEARING (Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Adaptive re-use of existing historic building as a senior community center with interior renovations and elevator addition.

5. THIS APPLICATION RELATES TO: Check all that Apply [] Setback [] Coverage [] Landscaping [] Lot Area and Width [] Floor Area [] Height [] Parking [] Extension or Enlargement of Non-Conforming Use and/or Building [] Coastal Area Management Approval [] Liquor [] Use [X] Other: Flood Damage Prevention (Bridgeport CT Municipal Code)

6. USE TO BE MADE OF PROPERTY Senior community center

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? This is an approximately 100 year old building and the proposed renovations for the flood protection will change the historic appearance of the building.

APPLICANT [Signature] / Douglas R. Combs (Print) DATE March 1, 2022

If signed by agent, state capacity (lawyer, builder, etc) QA+M architecture (agent) / dcombs@qamarch.com (Email)

Mailing Address 195 Scott Swamp Rd., Farmington, CT 06032 860-677-4594 (Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT [Signature] Print Bonnie L. Lambert (If other than owner) (Signature)

Subscribe & Sworn to before me this 1st day of March 20 22 AMANDA L. KEPPLER Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary). The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application. NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED. PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

AMANDA L. KEPPLER NOTARY PUBLIC My Commission Expires Mar. 31, 2026

FEE RECEIVED: _____ DATE: _____, 20____ Clerk _____



March 3, 2022

Zoning Board of Appeals
The City of Bridgeport CT

Re: East Side Senior Center, Flood Protection

The proposed project at 268 Putnam Street is the relocation of the East Side Senior Center from 1057 East Main Street to the former Engine 10 Fire House at 268 Putnam Street. The proposed plans provide multiple gathering and educational spaces, commercial warming kitchen and office space for staff.

The existing historic brick building sits on a 0.34-acre lot that will provide a driveway for an onsite parking area, perimeter fencing and new planting. All drainage will be handled by a proposed an engineered onsite drainage system. The existing site is located along the perimeter of Flood Zone A, No Base Flood Elevations determined, as noted on FEMA maps. The existing building is a historic building and proposed renovations are to maintain the historic character and provide a view into the past.

The proposed exterior elevations will be renovated including cleaning, the repair of the existing windows and repointing and repair of the exterior masonry. Damaged masonry will be removed and replaced with new to match as per historical direction. The large garage doors will be replaced per historic guidelines as per the State Historic Preservation Offices' review.

The provisions for Flood Hazard Reduction required in The Bridgeport Connecticut Municipal Code, 15.44.150, B.3.a, requires the building to be floodproofed to one foot above an elevation provided by the City, elevation I not noted on FEMA maps. This will drastically alter the value of historic appearance of the building. The existing

A variance for this +/-100-year-old historic structure for flood hazard provisions, as noted in The Municipal Code, 15.44.140, B. Conditions For Variances, for the restoration of historic structures. This would allow for the exterior grandeur of the building to continue and not to be altered.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'Douglas Combs', is written over the text 'Respectfully submitted,'.

Douglas Combs
Project Manager
Quisenberry Arcari + Malik, architecture

15.44.140 - Variance procedure.

A. Appeal Board.

1. The zoning board of appeals as established by the city council shall hear and decide appeals and requests for variances from the requirements of this chapter.
2. The zoning board of appeals shall hear and decide appeals when it is alleged there is an error in any requirement, decision or determination made by the city engineer in the enforcement or administration of this chapter.
3. Those aggrieved by the decision of the zoning board of appeals may appeal within fifteen (15) days after such decision to the superior court, as provided in Section 8-7 of Chapter 124, Connecticut General Statutes.
4. In passing upon such application the zoning board of appeals shall consider all technical evaluations, all relevant factors, standards specified in other sections of this chapter, and:
 - a. The danger that materials may be swept onto other lands to the injury of others;
 - b. The danger to life and property due to flooding or erosion damage;
 - c. The susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner;
 - d. The importance of the services provided by the proposed facility to the community;
 - e. The necessity of the facility to a waterfront location, in the case of a functionally dependent facility;
 - f. The availability of alternative locations for proposed use which are not subject to flooding or erosion damage;
 - g. The compatibility of the proposed use with existing and anticipated development;
 - h. The relationship of the proposed use to the comprehensive plan and flood plan management program of that area;
 - i. The safety of access to the property in times of flood for ordinary and emergency vehicles;
 - j. The expected heights, velocity, duration, rate of rise and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site; and
 - k. The costs of providing governmental services during and after flood conditions, including maintenance and repair of public utilities and facilities such as sewer, gas, electrical and water systems and streets and bridges.
5. Generally, variances may be issued for new construction and substantial improvements to be erected on a lot of one-half-acre or less in size contiguous to and surrounded by lots with existing structures constructed below the base flood level, providing items listed in subsection A.4.a. through k. of this section have been fully considered. As the lot size increases beyond the one-half-acre, the technical justification required for issuing the variance increases.
6. Upon consideration of the factors listed in subsection A.4.a. through k. of this section and the purposes of this chapter, the zoning board of appeals may attach such conditions to the granting of variances as it deems necessary to further the purposes of this chapter.
7. The city engineer shall maintain the records of all appeal actions and report any variances to the Federal

Emergency Management Agency (FEMA) in its biennial report.

B. Conditions for Variances.

1. Variances may be issued for the reconstruction, rehabilitation or restoration of structures listed on the National Register of Historic Places, with regard to the procedures set forth in the remainder of this section.
2. Variances shall not be issued within any designated floodway if any increase in flood levels during the base flood discharge would result.
3. Variances shall only be issued upon a determination that the variance is the minimum necessary, considering the flood hazard to afford relief.
4. Variances shall only be issued upon:
 - a. A showing of good and sufficient cause;
 - b. A determination that failure to grant the variance would result in exceptional hardship to the applicant; and
 - c. A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, create nuisances, cause fraud on or victimization of public as identified in subsection A.4. of this section, or conflict with existing local laws or ordinances.
5. Any applicant to whom a variance is granted shall be given written notice that the structure will be permitted to be built with a lowest floor elevation below the base flood elevation and that the cost of flood insurance will be commensurate with the increased risk resulting from the reduced lowest floor elevation up to amounts as high as twenty-five dollars (\$25.00) for one hundred dollars (\$100.00) of insurance coverage.

(Ord. dated 4/1/13)

15.44.150 - Provisions for flood hazard reduction.

- A. General Standards. In all areas of special flood hazards the following standards are required:
 1. Anchoring.
 - a. All new construction and substantial improvements shall be anchored to prevent flotation, collapse or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy.
 2. Construction Material and Methods.
 - a. All new construction and substantial improvements shall be constructed with materials resistant to flood damage;
 - b. All new construction and substantial improvements shall be constructed by methods and practices that minimize flood damages.
 3. Utilities.
 - a. Electrical, heating, ventilation, plumbing, air conditioning equipment and other service facilities shall be designed and/or located so as to prevent water from entering or accumulating within the

components during conditions of flooding;

- b. All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system;
 - c. New and replacement sanitary sewerage systems shall be designed to minimize or eliminate infiltration of floodwaters into the systems and discharge from the systems into floodwaters; and
 - d. On-site waste disposal systems shall be located to avoid impairment to them or contamination from them during flooding.
4. Subdivision Proposals.
- a. All subdivision proposals shall be consistent with the need to minimize flood damage;
 - b. All subdivision proposals shall have public utilities and facilities such as a sewer, gas, electrical and water systems located and constructed to minimize flood damage;
 - c. All subdivision proposals shall have adequate drainage provided to reduce exposure to flood damage; and
 - d. Base flood elevation data shall be provided for subdivision proposals and other proposed development which contain at least fifty (50) lots or five acres (whichever is less).
5. Manufactured Homes.
- a. All manufactured homes (including recreational vehicles placed on a site for one hundred eighty (180) consecutive days or longer) to be placed, or substantially improved, shall be installed using methods and practices which minimize flood damage. They shall also be elevated and anchored to resist flotation, collapse and lateral movement. Methods of anchoring may include, but are not limited to, use of over-the-top or frame ties;
 - b. Elevation construction standards include piling foundations placed no more than ten feet apart, and reinforcement is provided for piers more than six feet above ground level.

B. Specific Standards. In all areas of special flood hazards where base flood elevation data has been provided as set forth in Section 15.44.060, basis for establishing the areas of special flood hazard or in Section 15.44.030.B. Use of other base flood data, the following standards are required:

1. Residential Construction.
 - a. New construction and substantial improvement of any residential structure shall have the lowest floor, including basement, elevated to or above base flood elevation.
2. Manufactured Homes in Zone A and AE.
 - a. All manufactured homes (including recreational vehicles placed on a site for one hundred eighty (180) consecutive days or longer) to be placed, or substantially improved, shall be elevated so that the lowest floor is above the base flood elevation. This includes manufactured homes located outside a manufactured home park or subdivision, in a new manufactured home park or subdivision, in an expansion to an existing manufactured home park or subdivision, or on a site in an existing manufactured home park or subdivision in which a manufactured home has incurred substantial damage as a result of a flood;
 - b. It shall be placed on a permanent foundation which itself is securely anchored and to which the structure is securely anchored so that it will resist flotation, lateral movement and hydrostatic and

hydrodynamic pressures. Anchoring may include, but not be limited to, the use of over-the-top or frame ties to ground anchors;

- c. It shall be installed using methods and practices which minimize flood damage;
- d. Adequate access and drainage should be provided.
- e. Recreational vehicles shall either be on site for fewer than one hundred eighty (180) consecutive days, and be fully licensed and ready for highway use, or meet all the general standards of Section 15.44.150.A., and the elevation and anchoring requirement of Sections 15.44.150.A.5.a. and b., and 15.44.150.B.2.a., b., c. and d. for a manufactured home. A recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick disconnect type utilities and security devices, and has no permanently attached additions.

3. Nonresidential Construction. New construction and substantial improvement of any commercial, industrial or other nonresidential structure shall either have the lowest floor, including basement, elevated to the level of the base flood elevation; or, together with attendant utility and sanitary facilities, shall:

- a. Be floodproofed so that below an elevation of one foot above the base flood level the structure is watertight with walls substantially impermeable to the passage of water;
- b. Have structural components capable of resisting hydrostatic and hydronamic loads and effects of buoyancy; and
- c. Be certified by a registered professional engineer or architect that the design and methods of construction are in accordance with acceptable standards of practice for meeting the provisions of this subsection. Such certifications shall be provided to the official as set forth in Section 15.44.130.C.2.

4. Enclosed Areas Below Base Flood Elevation—A and AE Zones. New construction, or substantial improvements, of elevated buildings that include fully enclosed areas formed by foundation and other exterior walls below the base flood elevation shall be designed to preclude finished living space and designed to allow for the entry and exit of floodwaters to automatically equalize hydrostatic flood forces on exterior walls.

- a. Designs for complying with this requirement must either be certified by a professional engineer or architect, or meet the following minimum criteria:
 - i. Provide a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding;
 - ii. The bottom of all openings shall be no higher than one foot above grade; and
 - iii. Openings may be equipped with screens, louvers, valves or other coverings or devices provided they permit the automatic flow of floodwater in both directions.
- b. Electrical, plumbing and other utility connections are prohibited below the base flood elevation;
- c. Access to the enclosed area shall be the minimum necessary to allow for parking of vehicles (garage door) or limited storage of maintenance equipment used in connection with the premises (standard exterior door) or entry to the living area (stairway or elevator); and

C. Coastal High Hazard Area. Coastal high hazard areas (VE zones) are located within the areas of special flood hazard established in Section 15.44.060. These areas have special flood hazards associated with high velocity

waters from tidal surges and hurricane wave wash; therefore, the following provisions shall apply:

1. Location of Structures.

- a. All new buildings, structures or substantial improvements shall be located landward of reach of the mean high tide.

2. Construction Methods.

- a. Elevation. All new buildings, structures or substantial improvements shall be elevated so that the lowest supporting member (excluding pilings or columns) is located no lower than the base flood elevation level, with all space below the lowest supporting member open so as not to impede the flow of water, except for breakaway walls as provided for in Section 15.44.150.C.2.d.
- b. Structural Support.
 - i. All new buildings, structures or substantial improvements shall be securely anchored on pilings or columns.
 - ii. All pilings and columns and the attached structures shall be anchored to resist flotation, collapse and lateral movement due to the effect of wind and water loads acting simultaneously on all building components. The anchoring and support system shall be designed with wind and water loading values which equal or exceed the one-hundred-year mean recurrence interval (one percent annual chance floods and winds).
 - iii. There shall be no fill used for structural support.
- c. Certification. Compliance with the provisions of subsection C.2.a. and b. of this section shall be certified by a registered professional engineer or architect including design specifications and plans for construction.
- d. Space Below the Lowest Floor.
 - i. Any alteration, repair, reconstruction or improvement to a structure started after the enactment of the ordinance codified in this chapter shall not enclose the space below the lowest floor unless breakaway walls are used as provided for in this section.
 - ii. Nonsupporting breakaway wall, lattice work or mesh screening shall be allowed below the base flood elevation provided they are not a part of the structural support of the building and are designed so as to break away, under abnormally high tides or wave action, without damage to the structural integrity of the building on which they are to be used and provided the following design specifications are met:
 - (A) Design-safe loading resistance of each wall shall not be less than ten nor more than twenty (20) pounds per square foot; or
 - (B) If more than twenty (20) pounds per square foot, a registered professional engineer or architect shall certify that the design wall collapse would result from a water load less than that which would occur during the base flood event, and the elevated portion of the building and supporting foundation system shall not be subject to collapse, displacement or other structural damage due to the effects of wind and water loads acting simultaneously on all

building components during the base flood event. Maximum wind and water loading values to be used in this determination shall each have one percent chance of being equalled or exceeded in any given year (one-hundred-year mean recurrence interval).

- iii. If breakaway walls are utilized, such enclosed space shall not be used for human habitation, but shall be designed to be used only for parking of vehicles, building access or limited storage of maintenance equipment used in connection with the premises.
- iv. Prior to construction, plans for any structure that will have breakaway walls must be submitted to the city engineer for approval.
- v. Any alteration, repair, reconstruction or improvement to a structure shall not enclose the space below the lowest floor except with breakaway walls, lattice work or screening as provided for in subsection C.2.d.(ii)(A) and (B) of this section.

3. Manufactured Homes in VE Zones.

- a. All manufactured homes (including recreational vehicles placed on a site for one hundred eighty (180) consecutive days or longer) to be placed, or substantially improved, shall be elevated so that the lowest structural member is above the base flood elevation and meet the construction requirements of Section 15.44.150.C.1. and 2. This includes manufactured homes located outside a manufactured home park or subdivision, in an existing manufactured home park or subdivision, in a new manufactured home park or subdivision, in an expansion to an existing manufactured home park or subdivision, or on a site in an existing manufactured home park in which a manufactured home has incurred substantial damage as a result of a flood;
- b. It shall be placed on a permanent foundation which itself is securely anchored and to which the structure is securely anchored so that it will resist flotation, lateral movement and hydrostatic and hydrodynamic pressures. Anchoring may include, but not be limited to, the use of over-the-top or frame ties to ground anchors;
- c. It shall be installed using methods and practices which minimize flood damage;
- d. Adequate access and drainage should be provided.
- e. Recreational vehicles shall either be on site for fewer than one hundred eighty (180) consecutive days, and be fully licensed and ready for highway use, or meet all the general standards of Section 15.44.150.A., and the elevation and anchoring requirement of Sections 15.44.150.A.5.a. and b., and 15.44.150.B.2.a., b., c. and d. for a manufactured home. A recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick disconnect type utilities and security devices, and has no permanently attached additions.

4. Sand Dunes. There shall be no alteration of sand dunes which would increase potential flood damage.

D. Floodways. Located within areas of special flood hazard established in Section 15.44.060 are areas designated under Section 15.44.130.B as floodways. Since the floodway is an extremely hazardous area due to the velocity of floodwaters which carry debris, potential projectiles and erosion potential, the following provisions apply:

1. Encroachments. Prohibit encroachments including fill, new construction, substantial improvements and other development unless certification, with a supporting technical data, by a registered professional engineer is provided demonstrating, through hydrologic and hydraulic analyses performed in accordance

with standard engineering practice, that encroachments shall not result in any (0.00) increase in flood levels during the occurrence of the base flood discharge.

2. In A zones where base flood elevations have been determined, but before a floodway is designated, no new construction, substantial improvement or other development (including fill) shall be permitted which will increase base flood elevations more than one foot at any point along the watercourse when all anticipate development is considered cumulatively with the proposed development.
 3. The city may request floodway data of an applicant for watercourses without FEMA-published floodways. When such data is provided by an applicant or whenever such data is available from any other source (in response to the city's request or not), the city shall adopt a regulatory floodway based on the principle that the floodway must be able to convey the waters of the base flood without increasing the water surface elevation more than one foot at any point along the watercourse.
- E. Equal Conveyance. Within the floodplain, except in those areas which are tidally influenced, as designated on the flood insurance rate map (FIRM) for the community, encroachments resulting from filling, new construction or substantial improvements involving an increase in footprint of the structure, are prohibited unless the applicant provides certification by a registered professional engineer demonstrating, with supporting hydrologic and hydraulic analyses performed in accordance with standard engineering practice, that such encroachments shall not result in any (0.00 feet) increase in flood levels (base flood elevation). Work within the floodplain and the land adjacent to the floodplain, including work to provide compensatory storage shall not be constructed in such a way to cause an increase in flood stage or flood velocity.
- F. Compensatory Storage. The water holding capacity of the floodplain, except those areas which are tidally influenced, shall not be reduced. Any reduction caused by filling, new construction or substantial improvements involving an increase in footprint to a structure, shall be compensated for by deepening and/or widening of the floodplain. Storage shall be provided on site, unless easements have been gained from adjacent property owners; it shall be provided within the same hydraulic reach and a volume not previously used for flood storage; it shall be hydraulically comparable and incrementally equal to the theoretical volume of floodwater at each elevation, up to and including one-hundred-year flood elevation, which would be displaced by the proposed project. Such compensatory volume shall have an unrestricted hydraulic connection to the same waterway or water body. Compensatory storage can be provided off-site if approved by the municipality.
- G. Aboveground Storage Tanks. Aboveground storage tanks (oil, propane, etc) which are located outside or inside of a structure must either be elevated above the base flood elevation (BFE) on a concrete pad, or be securely anchored with tie down straps to prevent flotation or lateral movement, have the top of the fill pipe extended above the BFE, and have a screw cap that does not allow for the infiltration of flood water.
- H. Portion of Structure in a Flood Zone. If any portion of a structure lies within the special flood hazard area (SFHA), the entire structure is considered to be in the SFHA. The entire structure must meet the requirements of the flood zone. This includes any additions made to the main structure.
- I. No Structures Entirely or Partially Over Water. New construction, substantial improvement and repair to structure that have sustained damage cannot be constructed or located entirely or partially over water unless it is a functionally dependent use or facility.

Bridgeport Senior Center
 268 Putnam Street
 100' Abutters List

Abutters Location	Owner Name	Street	City	State	Zip
1401 EAST MAIN ST #1403	VAZQUEZ MERCEDES	1401 EAST MAIN ST#1403	BRIDGEPORT	CT	06608
1128 KOSSUTH ST	MENDEZ ALEX	1128 KOSSUTH ST	BRIDGEPORT	CT	06608
1407 EAST MAIN ST #1413	1407 EAST MAIN STREET LLC	1407 EAST MAIN STREET	BRIDGEPORT	CT	06608
309 BERKSHIRE AV	681 MYRTLE AVENUE PROPERTIES LLC	87 JACKMAN AVENUE	BRIDGEPORT	CT	06825
299 BERKSHIRE AV	RH 299 BERKSHIRE AVE LP	46 MAIN ST #339	MONSEY	NY	10952
1140 KOSSUTH ST	MELENDEZ ESTHER	1140 KOSSUTH ST	BRIDGEPORT	CT	06608
1417 EAST MAIN ST #1423	MALDONADO ANNA	1417 EAST MAIN STREET	BRIDGEPORT	CT	06608
1148 KOSSUTH ST #1150	ALVAREZ BELKIS	1148 KOSSUTH ST	BRIDGEPORT	CT	06608
1160 KOSSUTH ST #1162	RODRIGUEZ RAMON H	1160 KOSSUTH ST	BRIDGEPORT	CT	06608
1429 EAST MAIN ST	OMONTE ENTERPRISES INC	P.O. BOX 5781	BRIDGEPORT	CT	06610
290 PUTNAM ST #292	GALARZA LUIS A & GLORIA	31 MARSHALL AVE	TRUMBULL	CT	06611
268 PUTNAM ST	BRIDGEPORT CITY OF	EXEMPT PARCEL N/A	BRIDGEPORT	CT	00000
1166 KOSSUTH ST #1168	GUZMAN SANDRA T	1166 KOSSUTH AVENUE	BRIDGEPORT	CT	06608
1192 KOSSUTH ST #1194	GONZALEZ SHERYL M	12 SCENIC HILL LANE	MONROE	CT	06468
263 PUTNAM ST #269	TOMATORE RUSSELL J	263 PUTNAM ST #269	BRIDGEPORT	CT	06608
1465 EAST MAIN ST #1485	RH 1465 E MAIN STREET LP	46 MAIN ST #339	MONSEY	NY	10952

7019 1120 0000 1214 2504

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
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Sent To Anna Maldonado
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Sent To Esther Melendez
 Street and Apt. No., or PO Box No. 1140 Kossuth St.
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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	
Total Postage and Fees	\$7.38	

Sent To Alex Mendez
 Street and Apt. No., or PO Box No. 1120 Kossuth St.
 City, State, ZIP+4® Bridgeport, CT 06608

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	
Total Postage and Fees	\$7.38	

Sent To RH 1465 E Main Street LP
 Street and Apt. No., or PO Box No. 46 Main St #339
 City, State, ZIP+4® Monsey, NY 10952

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	
Total Postage and Fees	\$7.38	

Sent To 1407 East Main Street LLC
 Street and Apt. No., or PO Box No. 1407 East Main St.
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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	
Total Postage and Fees	\$7.38	

Sent To Belkis Alvarez
 Street and Apt. No., or PO Box No. 1140 Kossuth St
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Street and Apt. No., or PO Box No.
116 Fossuth Ave.
City, State, ZIP+4®
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 Adult Signature Required \$0.00
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Postage \$0.58
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\$

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Sent To Sheryl M. Gonzalez
Street and Apt. No., or PO Box No.
12 Scenic Hill Lane
City, State, ZIP+4®
Monroe, CT 06468

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 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58
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Total Postage and Fees \$7.38
\$

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03/04/2022

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Street and Apt. No., or PO Box No.
263 Putnam St. #269
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Bridgewater, CT 06608

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\$

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Sent To Ramon H. Rodriguez
Street and Apt. No., or PO Box No.
1160 Fossuth St.
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 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58
\$
Total Postage and Fees \$7.38
\$

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Street and Apt. No., or PO Box No.
31 Marshall Ave.
City, State, ZIP+4®
Trumbull, CT 06611

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 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58
\$
Total Postage and Fees \$7.38
\$

01329
MAR 04 2022
Postmark Here
03/04/2022

Sent To Omonte Enterprises Inc.
Street and Apt. No., or PO Box No.
P.O. Box 5781
City, State, ZIP+4®
Bridgewater, CT 06610

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Postage \$0.58

Total Postage and Fees \$7.38

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 249 Berkshire Ave., LP
 Apt. # 339
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 Monsey, NY 10952

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9642 4727 0000 0277 6702



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Postage \$0.58

Total Postage and Fees \$7.38

Sent To
 Mercedes Vazquez
 1401 East Main St., Apt. 1403
 Bridgeport, CT 06608

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 - Adult Signature Required \$0.00
 - Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To
 Lebi Myrtle Ave. Properties, LLC
 87 Jackson Ave.
 Bridgeport, CT 06608

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0542 4727 0000 0277 6702



RENOVATION FOR THE:
EAST SIDE SENIOR CENTER

268 Putnam Street ,Bridgeport, CT

CONSTRUCTION DOCUMENTS BID REVIEW
APRIL 1, 2021



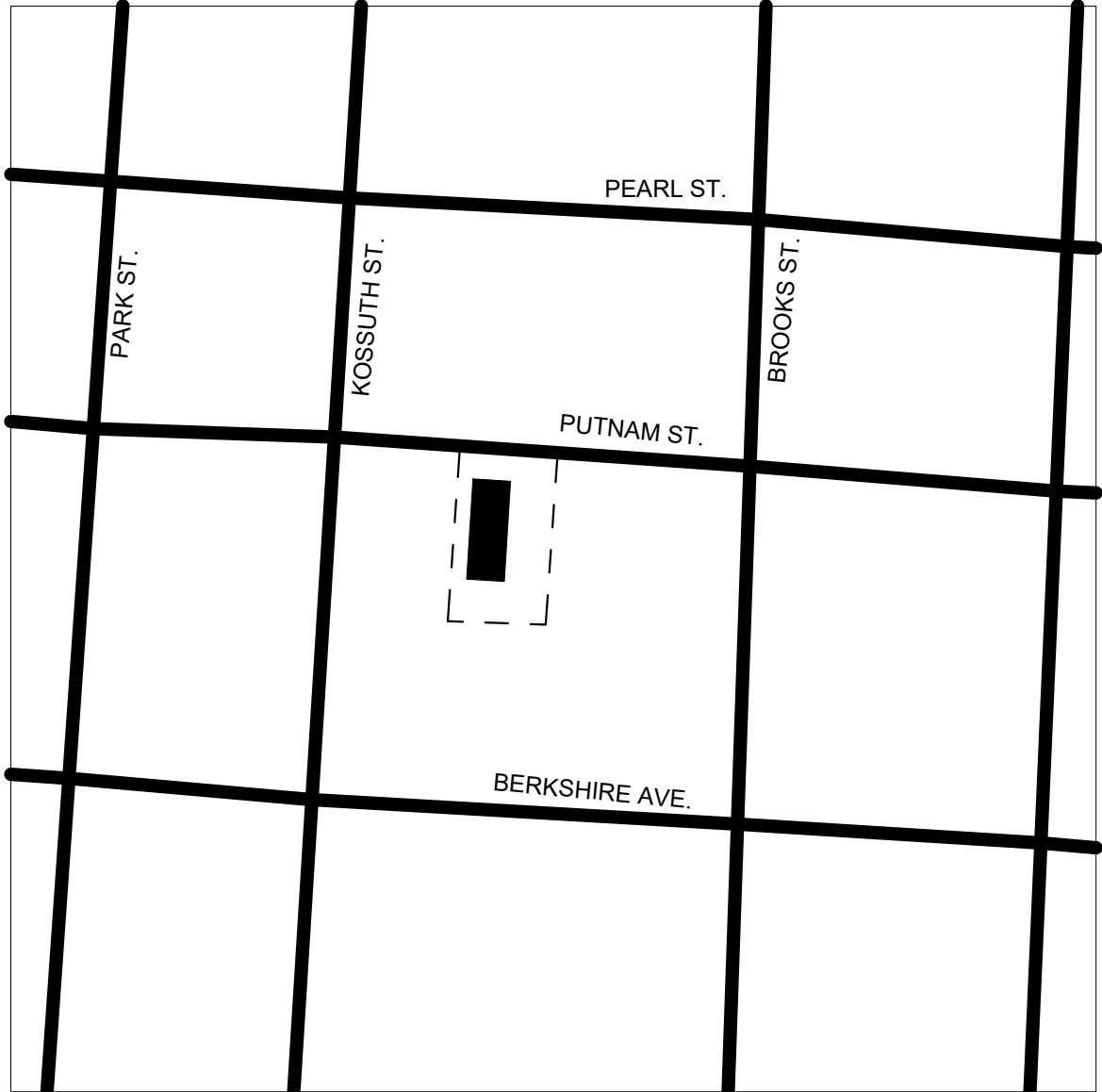
QA+M
architecture
Quisenberry Arcari Malik

195 Scott Swamp Road
Farmington, CT 06032
www.qamarch.com

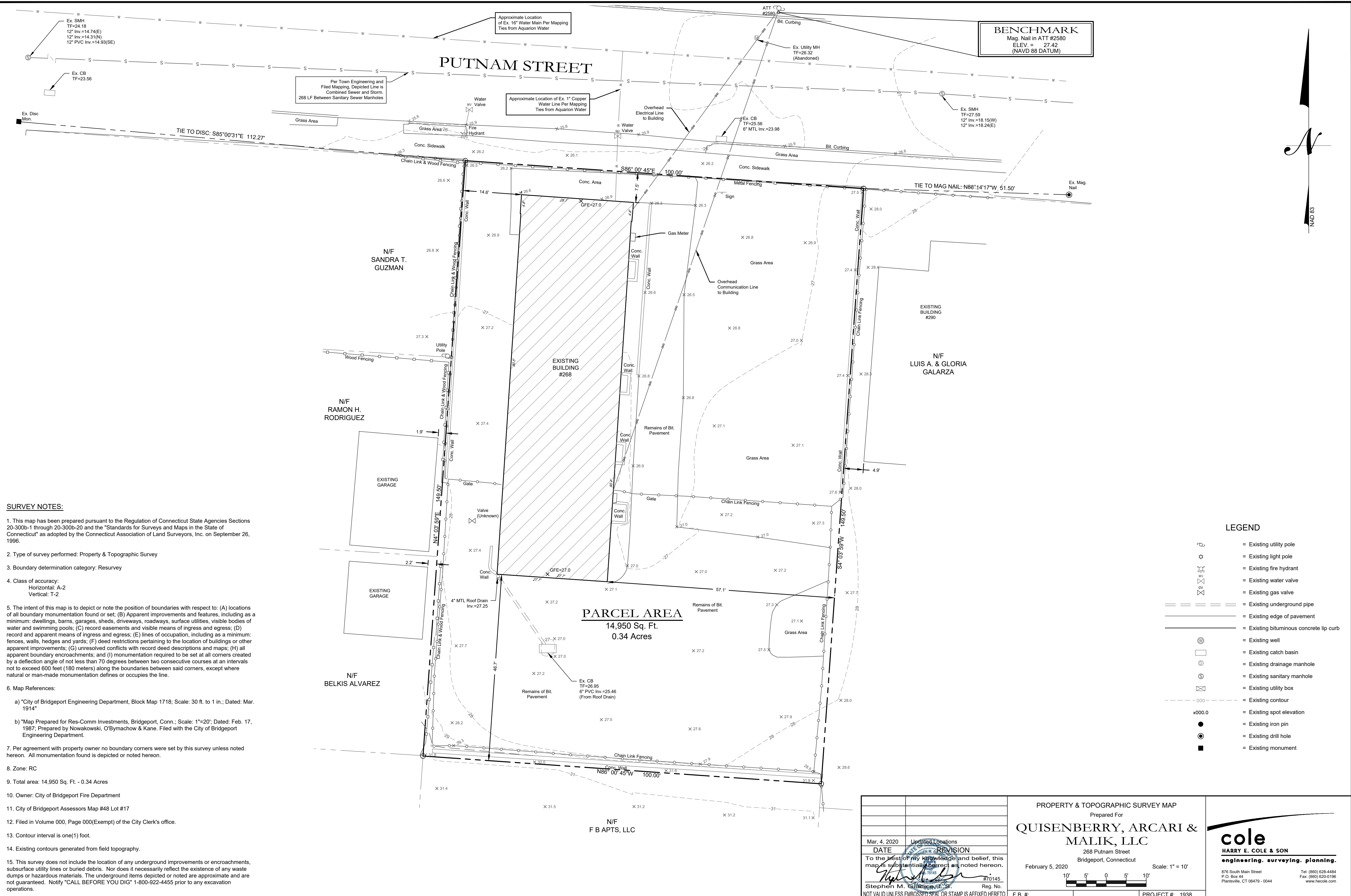
TRUE NORTH: 

PROJECT NORTH: 

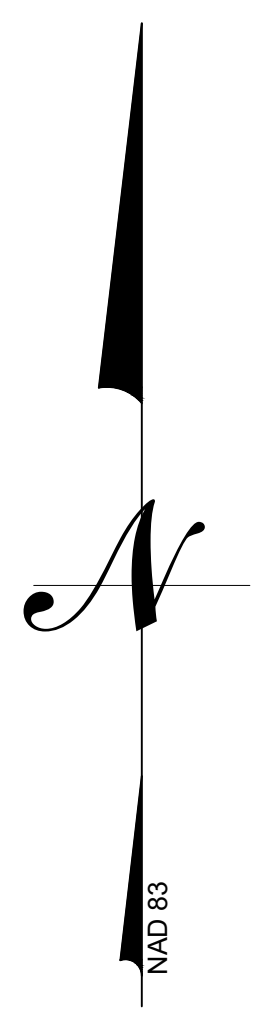
LOCATION MAP:



DRAWING NAME: P:\Land\Projects\1938\1938.dwg; PLOT DATE: Mar 4, 2020 10:45am; OPERATOR: J...;



BENCHMARK
Mag. Nail in ATT #2580
ELEV. = 27.42
(NAVD 88 DATUM)



- SURVEY NOTES:**
- This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 - Type of survey performed: Property & Topographic Survey
 - Boundary determination category: Resurvey
 - Class of accuracy:
Horizontal: A-2
Vertical: T-2
 - The intent of this map is to depict or note the position of boundaries with respect to: (A) locations of all boundary monumentation found or set; (B) Apparent improvements and features, including as a minimum: dwellings, barns, garages, sheds, driveways, roadways, surface utilities, visible bodies of water and swimming pools; (C) record easements and visible means of ingress and egress; (D) record and apparent means of ingress and egress; (E) lines of occupation, including as a minimum: fences, walls, hedges and yards; (F) deed restrictions pertaining to the location of buildings or other apparent improvements; (G) unresolved conflicts with record deed descriptions and maps; (H) all apparent boundary encroachments; and (I) monumentation required to be set at all corners created by a deflection angle of not less than 70 degrees between two consecutive courses at an intervals not to exceed 600 feet (180 meters) along the boundaries between said corners, except where natural or man-made monumentation defines or occupies the line.
 - Map References:
 - City of Bridgeport Engineering Department, Block Map 1718; Scale: 30 ft. to 1 in.; Dated: Mar. 1914"
 - Map Prepared for Res-Comm Investments, Bridgeport, Conn.; Scale: 1"=20'; Dated: Feb. 17, 1987; Prepared by Nowakowski, O'Byrnachow & Kane. Filed with the City of Bridgeport Engineering Department.
 - Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.
 - Zone: RC
 - Total area: 14,950 Sq. Ft. - 0.34 Acres
 - Owner: City of Bridgeport Fire Department
 - City of Bridgeport Assessors Map #48 Lot #17
 - Filed in Volume 000, Page 000(Exempt) of the City Clerk's office.
 - Contour interval is one(1) foot.
 - Existing contours generated from field topography.
 - This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.

LEGEND

	= Existing utility pole
	= Existing light pole
	= Existing fire hydrant
	= Existing water valve
	= Existing gas valve
	= Existing underground pipe
	= Existing edge of pavement
	= Existing bituminous concrete lip curb
	= Existing well
	= Existing catch basin
	= Existing drainage manhole
	= Existing sanitary manhole
	= Existing utility box
	= Existing contour
	= Existing spot elevation
	= Existing iron pin
	= Existing drill hole
	= Existing monument

PROPERTY & TOPOGRAPHIC SURVEY MAP Prepared For QUISENBERRY, ARCARI & MALIK, LLC 288 Putnam Street Bridgeport, Connecticut February 5, 2020 Scale: 1" = 10' 		 876 South Main Street P.O. Box 44 Plantsville, CT 06479 - 0044 Tel: (860) 628-4484 Fax: (860) 620-0198 www.hecole.com
Mar. 4, 2020 Updated Locations DATE REVISION To the best of my knowledge and belief, this map is substantially correct as noted hereon. Stephen M. Gidycz, L.S. Reg. No. #70145 NOT VALID UNLESS EMBOSSED SEAL OR STAMP IS AFFIXED HERETO	F.B. #: PROJECT #: 1938	



RENOVATION FOR THE:

EAST SIDE SENIOR CENTER

BID #:
Bridgeport, CT
 Project #: 1844

Revision 1-4	12/21/2021
Revision 1-1	12/31/2021
Revision 8	11/19/2021
Revision 6	11/15/2021
Revision 5	11/5/2021

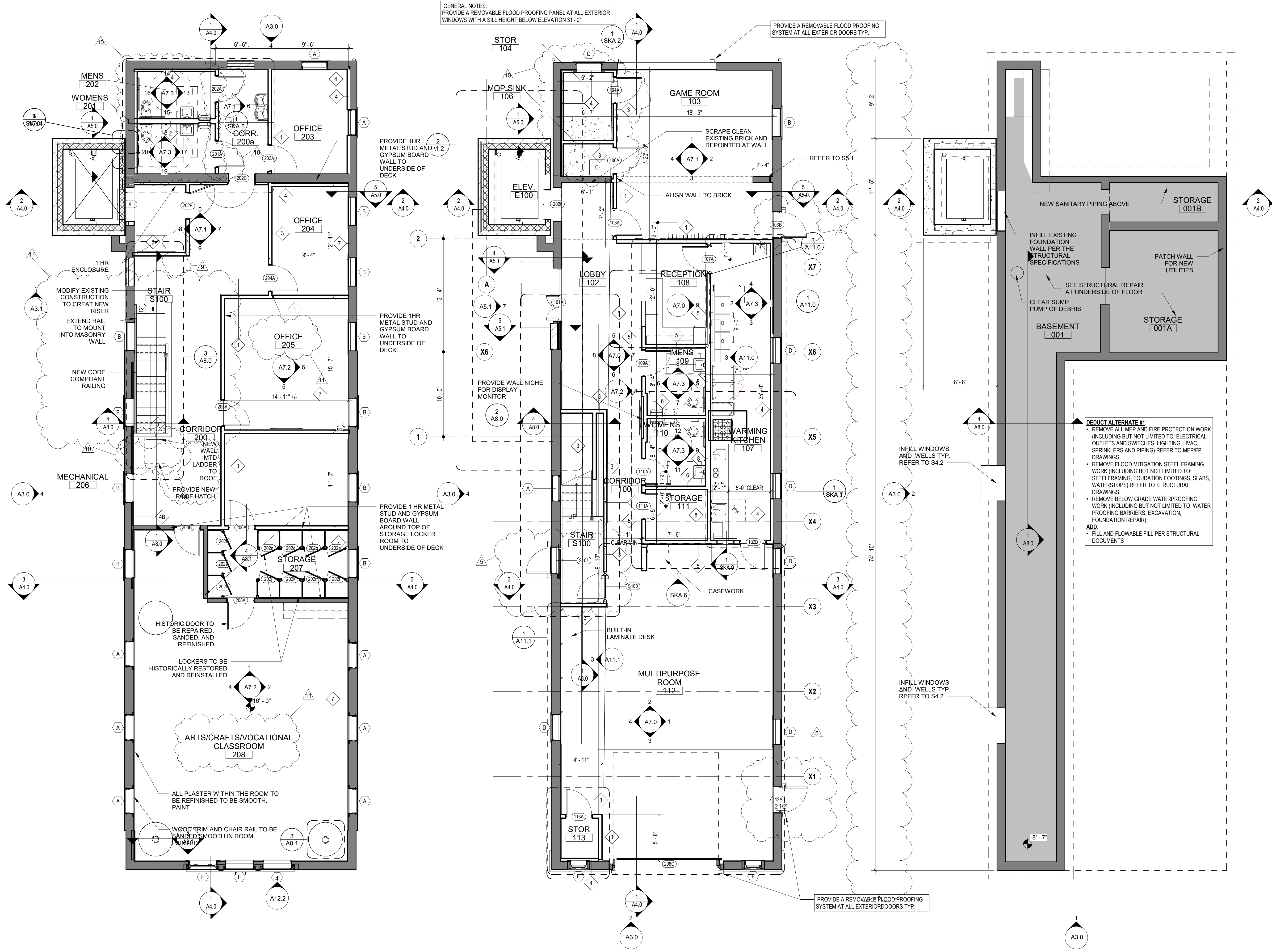
Revisions
 Issue Dates:

N CONSTRUCTION DOCUMENTS BID REVIEW
 APRIL 1, 2021

FLOOR PLANS
A1.1

GENERAL NOTES:
 PROVIDE A REMOVABLE FLOOD PROOFING PANEL AT ALL EXTERIOR WINDOWS WITH A SILL HEIGHT BELOW ELEVATION 31'-0"

PROVIDE A REMOVABLE FLOOD PROOFING SYSTEM AT ALL EXTERIOR DOORS TYP.



3 PROPOSED-SECOND FLOOR PLAN
 A1.1 3/16" = 1'-0"

2 PROPOSED-FIRST FLOOR PLAN
 A1.1 3/16" = 1'-0"

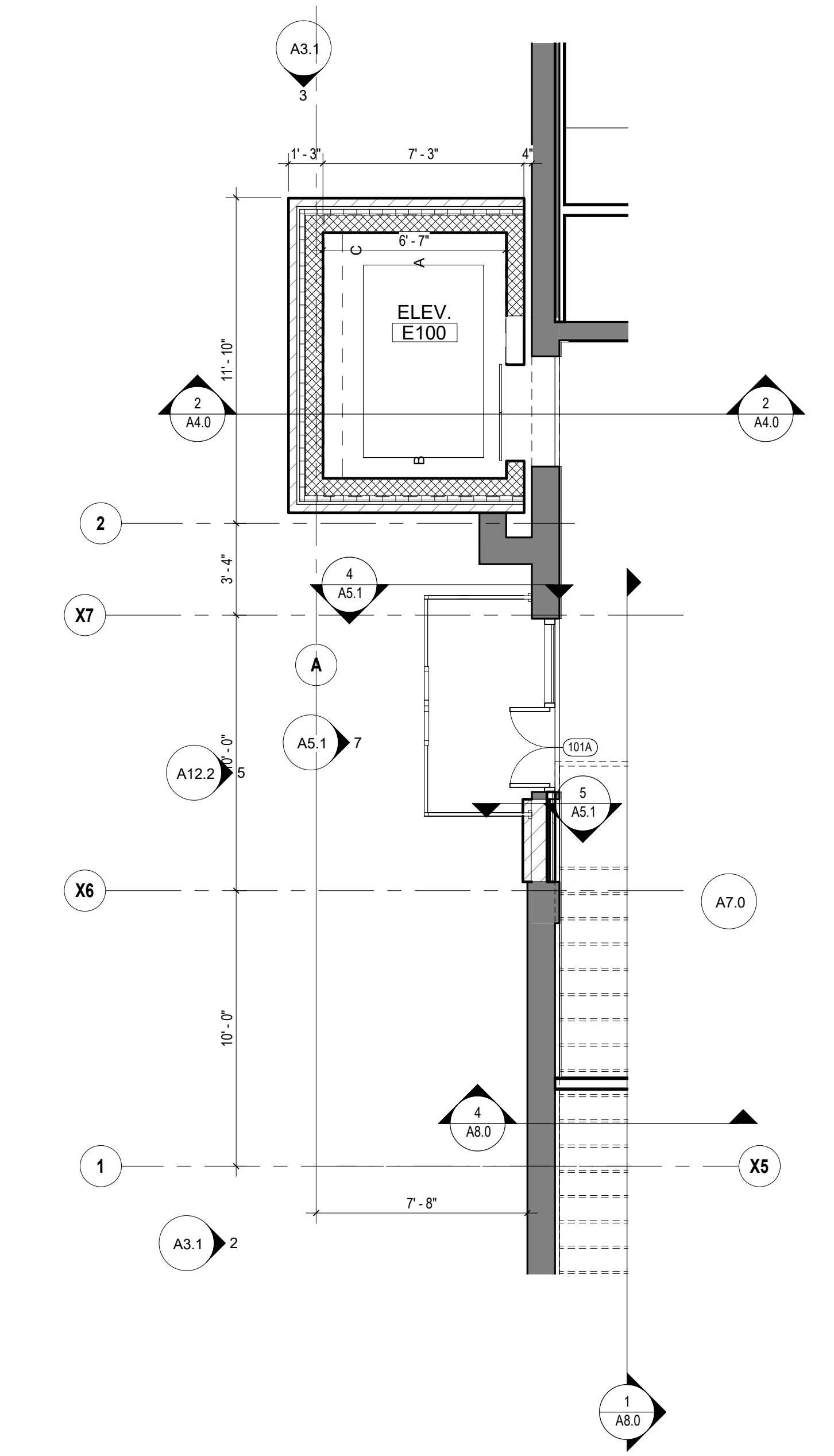
1 PROPOSED-BASEMENT
 A1.1 3/16" = 1'-0"

C:\Users\jmaloney\Documents\Bridgeport SC_CD_Central_jmaloneyBJHWH.rvt 3/1/2022 5:42:53 PM

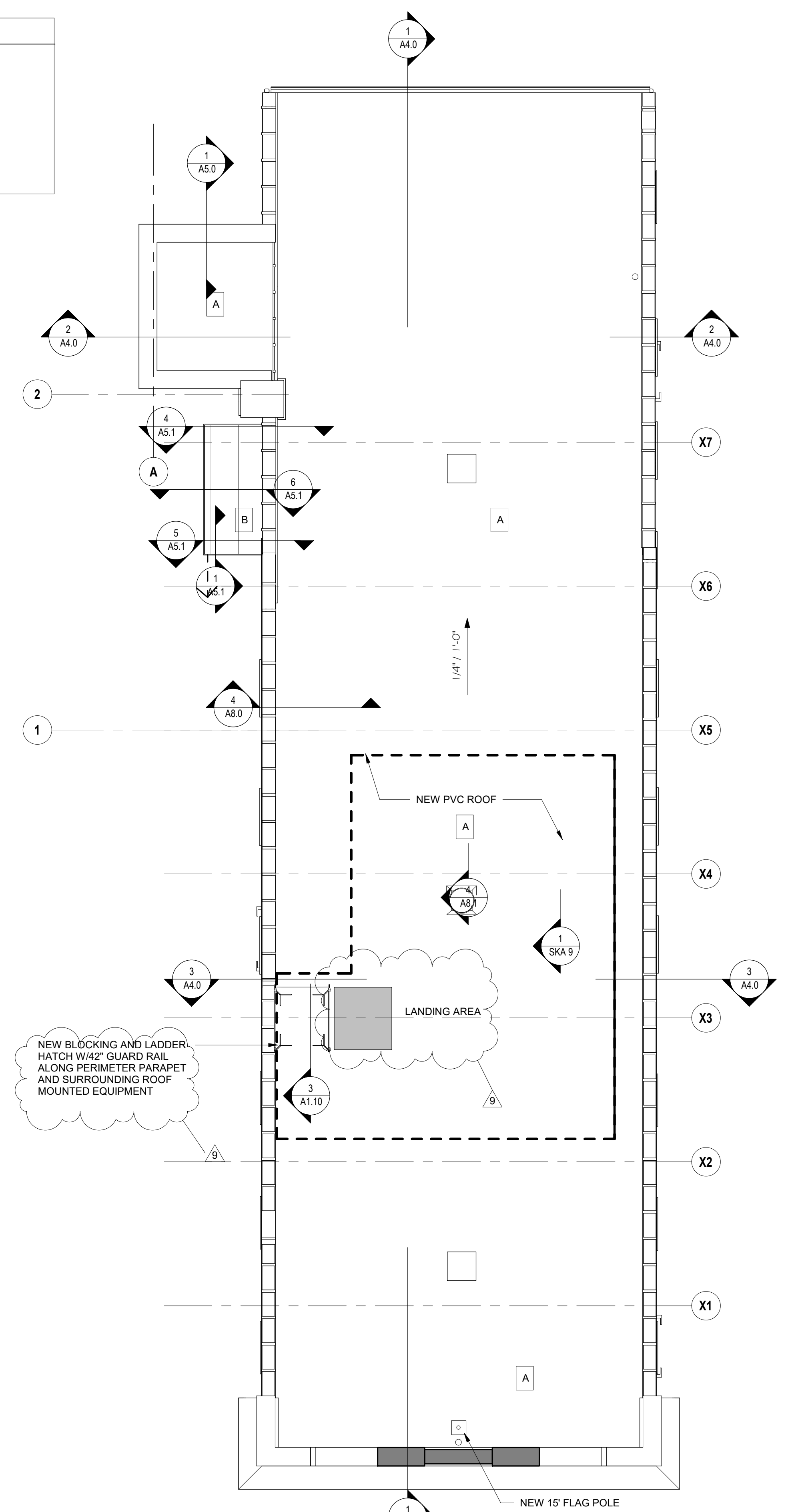
GENERAL NOTES:

ROOF TYPE A :
 PVC MEMBRANE
 5/8" COVERBOARD
 POLYISO INSULATION (R-30 MIN)
 AIR AND VAPOR BARRIER

ROOF TYPE B :
 STANDING SEAM METAL ROOF
 FELT UNDERLAYMENT
 FIRE TREATED 3/4" PLYWOOD



2 ENLARGED ADDITION FLOOR PLAN
 A1.2 1/4" = 1'-0"



1 PROPOSED - ROOF PLAN
 A1.2 3/16" = 1'-0"

RENOVATION FOR THE:
EAST SIDE SENIOR CENTER
 BID #:
Bridgeport, CT
 Project #: 1844

Revision 1.0	12/1/2021
Building Official comments	11/24/2021
Revision 6	11/15/2021

Revisions

Issue Dates:

N CONSTRUCTION DOCUMENTS BID REVIEW
 APRIL 1, 2021

ROOF PLAN

A1.2



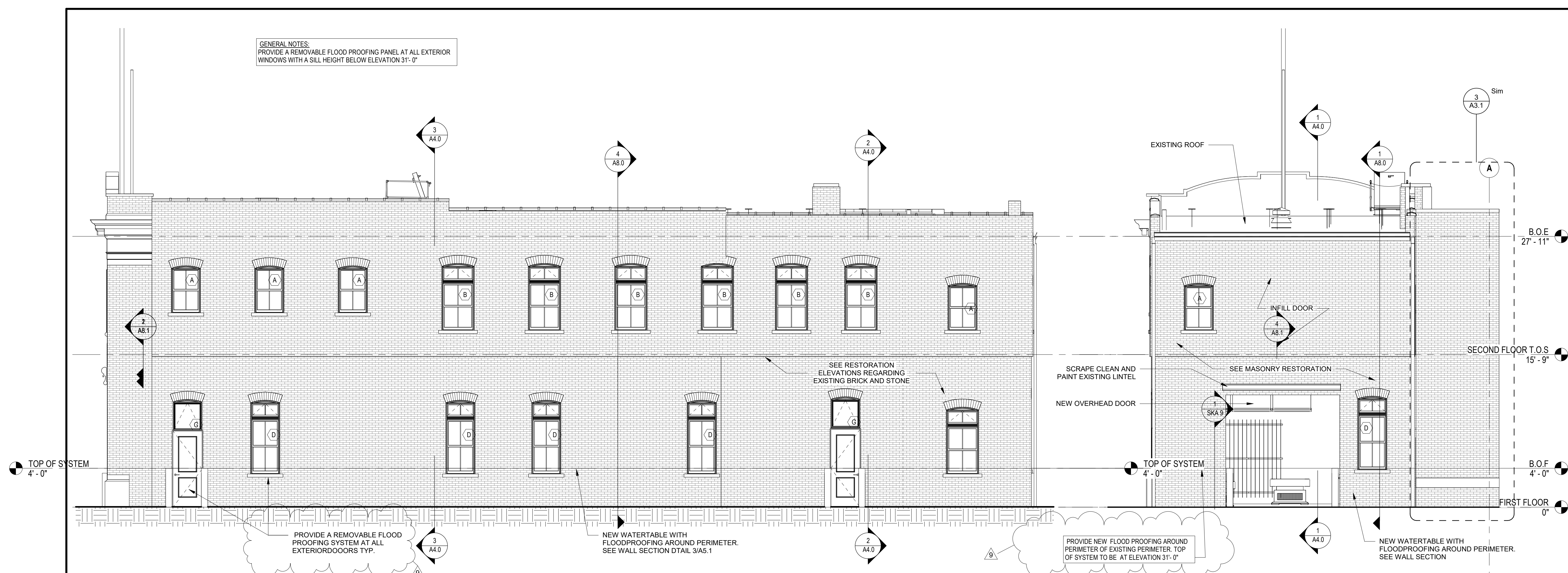
RENOVATION FOR THE:
EAST SIDE SENIOR CENTER
 BID #:
Bridgeport, CT
 Project #: 1844

Revision 3	Date 3
Revisions	
Issue Dates:	

N CONSTRUCTION DOCUMENTS BID REVIEW
 APRIL 1, 2021

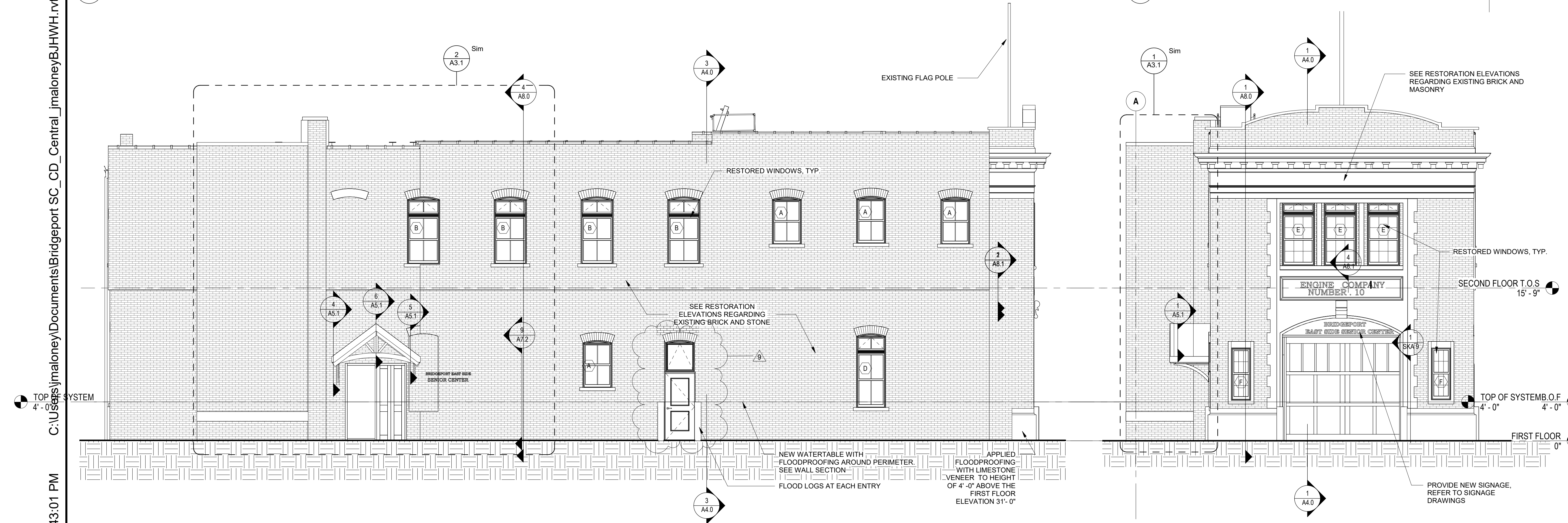
EXTERIOR ELEVATIONS
A3.0

GENERAL NOTES:
 PROVIDE A REMOVABLE FLOOD PROOFING PANEL AT ALL EXTERIOR WINDOWS WITH A SILL HEIGHT BELOW ELEVATION 31'-0"



3 WEST ELEVATION
 A3.0 3/16" = 1'-0"

4 SOUTH ELEVATION
 A3.0 3/16" = 1'-0"



2 EAST ELEVATION
 A3.0 3/16" = 1'-0"

1 NORTH ELEVATION
 A3.0 3/16" = 1'-0"

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PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



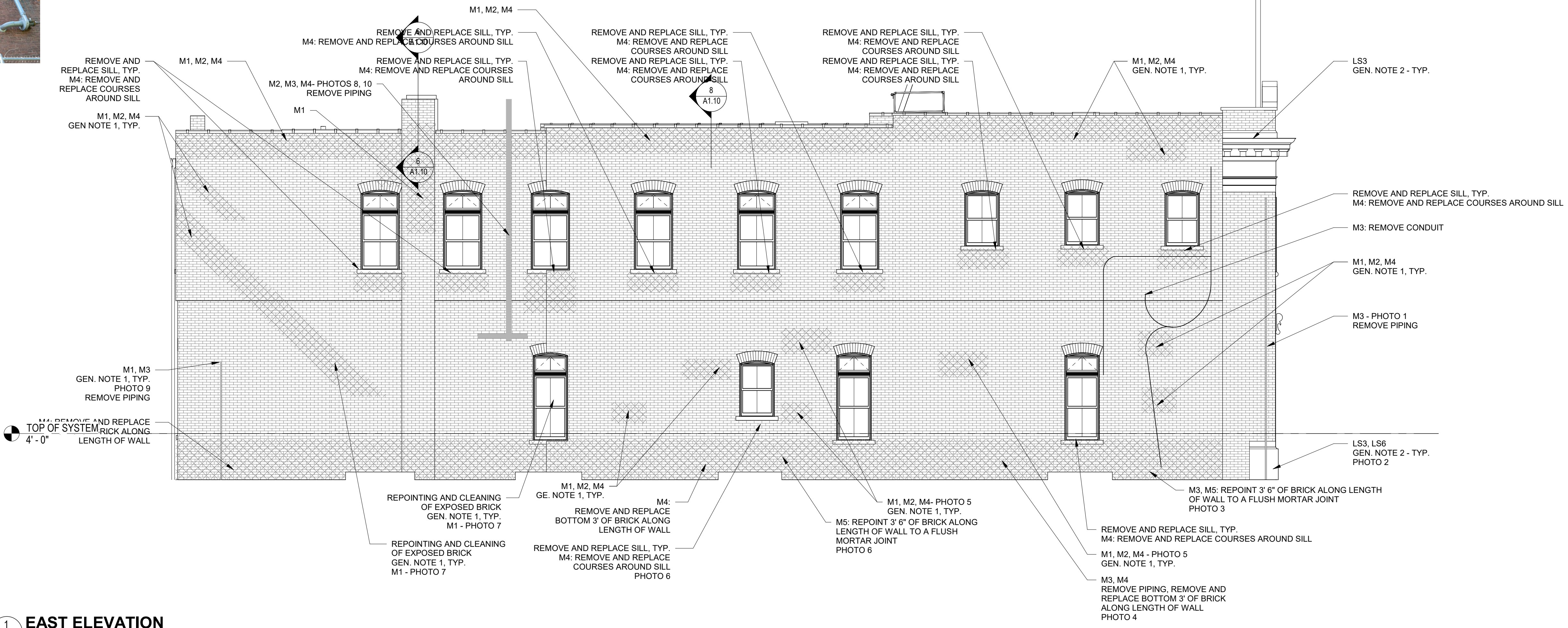
PHOTO 8



PHOTO 9



PHOTO 10



1 EAST ELEVATION
A3.2 3/16" = 1'-0"

RESTORATION NOTES
GENERAL

- CLEAN 100 PERCENT OF THE BRICK MASONRY ON THE NORTH, EAST, AND WEST ELEVATIONS TO REMOVE GENERAL SOILING, STAINING, RUST, PAINT, EFFLORESCENCE, AND BIOLOGICAL GROWTH USING DESIGNATED CHEMICAL CLEANERS AND LOW-PRESSURE WATER RINSE, IN A MANNER TO ACHIEVE A CLEAN AND UNIFORM APPEARANCE. **AFTER COMPLETING RESTORATION, TREAT ALL EXTERIOR BRICK SURFACES WITH SILANE-SILOXANE SEALER. FOLLOW MANUFACTURER'S INSTRUCTIONS. PROVIDE TEST AREA FOR APPROVAL PRIOR TO COMPLETING THE WORK.**
- CLEAN 100 PERCENT OF THE LIMESTONE ON THE EAST ELEVATION. GENERAL SOILING, STAINING, RUST, PAINT, EFFLORESCENCE, AND BIOLOGICAL GROWTH USING DESIGNATED CHEMICAL CLEANERS AND LOW-PRESSURE WATER RINSE, IN A MANNER TO ACHIEVE A CLEAN AND UNIFORM APPEARANCE. **NOTE:** LIMESTONE ELEMENTS SHALL BE CLEANED USING A SEPARATE METHOD THAN THAT REQUIRED FOR THE BRICK MASONRY. MASK OFF LIMESTONE COMPONENTS DURING GENERAL BRICK CLEANING. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040110.
- REPOINT 100 PERCENT OF ALL LIMESTONE HORIZONTAL JOINTS IN SILLS, BAND COURSES, HEADERS, ETC. SEE NOTES ON ELEVATIONS. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040515. SEE DETAIL 1/A-3. REPOINT ADJACENT BRICK WHERE NOTED ON DETAILS AND ELEVATIONS
- SCRAPE AND PAINT ALL EXPOSED STEEL LINTELS, TO REMAIN, WITH POWER TOOLS TO REMOVE ALL RUST AND LOOSE MATERIAL. PREPARE SURFACES FOR NEW RUST-INHIBITING PRIMER AND FINISH COAT OF PAINT. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040140 (3.7 AND 3.8).
- ALL NEW ANCHORS AND PINS SHALL BE STAINLESS STEEL.
- RESTORATION TAGS: RESTORATION REQUIREMENTS ARE TAGGED ON THE ELEVATION DRAWINGS WITH PHOTOGRAPHS, WHERE APPLICABLE. EACH TAG INCLUDES THE RESTORATION NOTE NUMBER, THE UNIT OF MEASUREMENT, AND THE REQUIRED QUANTITY, WHERE APPLICABLE. THE TAG EXAMPLE BELOW INDICATES REPOINTING MASONRY, NOTE M1: 100% REPOINTING OF GRAPHICALLY NOTED JOINTS. THE REFERENCE PHOTOGRAPH IS 01 ON THE SAME SHEET. -M1: 100% PHOTO: 01
- SEALANT: NEW SEALANT WHERE NOTED. RAKE OUT MORTAR, CLEAN AND PREP FOR NEW SEALANT AND BACKER ROD.
 - SINGLE-COMPONENT, NONSAG, NEUTRAL-CURING SILICONE JOINT SEALANT (FOR SILICONE WEATHERSEAL): ASTM C 920, TYPE S, GRADE NS, CLASS 100/50, FOR USE NT.
 - PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE ONE OF THE FOLLOWING:
 - DOW CORNING CORPORATION: 790
 - GE ADVANCED MATERIALS - SILICONES: SILPRUF LM SCS2700.
 - TREMCO INCORPORATED: SPECTREM 1.
 - CYLINDRICAL SEALANT BACKINGS: ASTM C 1330, TYPE C (CLOSED-CELL MATERIAL WITH A SURFACE SKIN) TYPE O (OPEN CELL MATERIAL), TYPE B (BICELLULAR MATERIAL WITH A SURFACE SKIN), OR ANY OF THE PRECEDING TYPES, AS APPROVED IN WRITING WITH JOINT SEALANT MANUFACTURER FOR JOINT APPLICATION INDICATED, AND OF SIZE AND DENSITY TO CONTROL SEALANT DEPTH AND OTHERWISE CONTRIBUTE TO PRODUCING OPTIMUM SEALANT PERFORMANCE.
- QUANTITIES NOTED ARE APPROXIMATE AND PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AS INDICATED GRAPHICALLY ON THE DRAWINGS AND FOR PERFORMING THE INDICATED WORK UNDER THE BASE CONTRACT. THE CONTRACTOR FOR THE WORK OF THIS SECTION SHALL HAVE VISITED THE SITE, EXAMINED THE PREMISES, DETERMINED FOR THEMSELVES THE EXISTING CONDITIONS, CHARACTER OF EQUIPMENT AND FACILITIES NEEDED FOR THE PERFORMANCE OF THE WORK, AND ALL MATTERS, WHICH MAY IN ANY WAY AFFECT THE WORK BEFORE SUBMITTING A BID.

MASONRY

- M1** REPOINT JOINTS IN BRICK MASONRY AS NEEDED TO MATCH ADJACENT SURFACES. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040515. DETAIL 1/A-3. THE SAND USED SHOULD MATCH THAT OF THE ORIGINAL MORTAR IN COLOR AND PARTICLE SIZE.
- M2** ROUT OUT CRACKS IN BRICKS AND FILL WITH COMPOSITE PATCHING MATERIAL, MATCH THE COLOR, THE SURFACE TEXTURE OF THE PATCH TO THE TEXTURE OF THE BRICK, AND PROFILE OF ADJACENT BRICK. ROUT OUT JOINT ALONG THE CRACK LINE AND REPOINT. FOLLOW THE REQUIREMENTS OF SPECIFICATION SECTION 040120.
- M3** REMOVE ANCHORS, PINS, CONDUIT, ETC. WHERE OCCURRING. PATCH HOLES AND SPALLS IN MASONRY LEFT BY REMOVAL OF PINS, ANCHORS, CONDUIT, AND ALL OTHER ELEMENTS DESIGNATED FOR REMOVAL WITH COMPOSITE PATCHING MATERIAL, MATCH THE COLOR, THE SURFACE TEXTURE OF THE PATCH TO THE TEXTURE OF THE BRICK, AND PROFILE OF ADJACENT BRICK. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040120.
- M4** REMOVE AND REINSTALL LOOSE BRICKS NOTED. REPLACE DAMAGED BRICK WITH NEW BRICK THAT MATCHES SURROUNDING ORIGINAL BRICK IN COLOR, TEXTURE, AND PROFILE. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040120. DETAIL 6/A-3.
- M5** REPOINT JOINTS IN BRICK TO A FLUSHED MORTAR JOINT.

LIMESTONE

- LS1** SOUND OUT ALL LIMESTONE CAPS, LEDGE BAND COURSES, HEADERS, AND SILLS FOR CRACKED, LOOSE, SPALLING, OR OTHERWISE DEFECTIVE SECTIONS AS NOTED. REMOVE DAMAGED OR CRACKED LIMESTONE SECTIONS FROM JOINT-TO-JOINT AS INDICATED ON THE ELEVATIONS. REPLACE THE REMOVED SECTIONS WITH NEW LIMESTONE TO MATCH EXISTING PROFILE, SIZE, AND COLOR IN KIND. SECURE THE NEW LIMESTONE UNITS IN PLACE WITH GROUT, STAINLESS STEEL ANCHORS, AND PINS, AS SPECIFIED. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040140. DETAILS 2/A-3, 3/A-3, 4/A-3 AND 5/A-3.
- LS2** REMOVE LIMESTONE COMPONENTS AS NOTED AND STORE IN SAFE CLEAN LOCATION FOR REINSTALLATION. MARK ALL COMPONENTS TO REINSTALL IN THE EXACT LOCATION AND SEQUENCE FROM WHERE THEY WERE REMOVED. PATCH COMPONENTS AS NOTED PRIOR TO REINSTALLATION.
- LS3** ALL SURFACES SHALL BE CLEAN, DRY, AND SOUND FREE FROM GROSS IRREGULARITIES. PATCH ALL SPALLS, CRACKS, HOLES, ETC. PER LS4, LS5, LS6. PREPARE ALL SURFACES AND JOINTS PER REQUIREMENTS OF SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION OF A LIQUID APPLIED, WATERPROOF ELASTOMERIC, CRACK-BRIDGING, ANTI-CARBONATION, UV-STABLE MILDEW RESISTANT MEMBRANE (BASIS OF DESIGN: CONPRO LASTIC BY CONPROCO). INSTALL ON 100% OF THE TOP HORIZONTAL CORNICE BAND, COLOR TO MATCH THE LIMESTONE. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 099653.
- LS4** PATCH LIMESTONE SPALLS WITH COMPOSITE PATCHING MATERIAL TO MATCH ADJACENT CLEANED SURFACE. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040140.
- LS5** ROUT OUT CRACKS IN LIMESTONE SURFACES AND INJECT EPOXY ADHESIVE INTO CRACKS. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040140.
- LS6** REMOVE OLD PATCHES AND COAT ANY EXPOSED FERROUS METAL WITH RUST-INHIBITING COATING. REPATCH WITH COMPOSITE PATCHING MATERIAL TO MATCH SURROUNDING SURFACE. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040140.

STEEL LINTELS

- SL1** REMOVE ASSOCIATED BRICK MASONRY AND LIMESTONE AS INDICATED. PROVIDE TEMPORARY SHORING FOR WALL ABOVE TO PREVENT ANY MATERIAL DISPLACEMENT OR CRACKING. REMOVE DAMAGED STEEL LINTEL AND REPLACE WITH A NEW GALVANIZED STEEL LINTEL. MATCH EXISTING SIZE AND PROFILE. SEE DETAIL 8/A-3. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040120 (3.7 AND 3.8).
- SL2** SCRAPE EXPOSED SURFACES OF STEEL TO REMAIN WITH POWER TOOLS TO REMOVE ALL RUST AND LOOSE MATERIAL. APPLY NEW COATING PER SPECIFICATIONS WITH RUST-INHIBITING PRIMER AND FINISH COAT OF PAINT. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040140 (3.7 AND 3.8).



RENOVATION FOR THE:
EAST SIDE SENIOR CENTER
BID #:
Bridgeport, CT
Project #: 1844

Revisions
Issue Dates:

CONSTRUCTION DOCUMENTS BID REVIEW
APRIL 1, 2021

EAST ELEVATION - RESTORATION

A3.2

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RENOVATION FOR THE:

**EAST SIDE
SENIOR CENTER**

BID #:

Bridgeport, CT
Project #: 1844

Revisions

Issue Dates:



CONSTRUCTION DOCUMENTS BID REVIEW
APRIL 1, 2021

**NORTH AND SOUTH
ELEVATIONS - RESTORATION**

A3.3



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



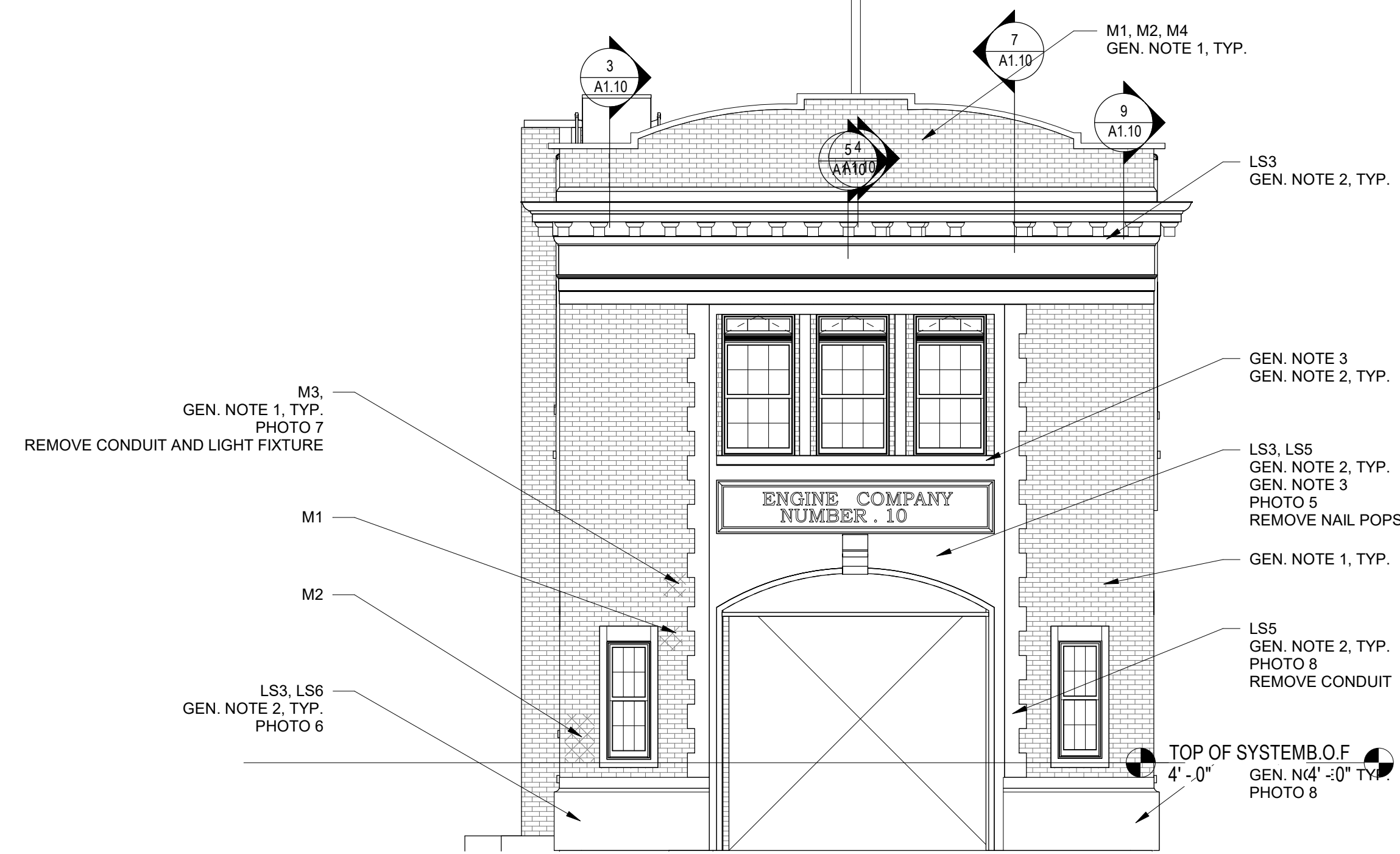
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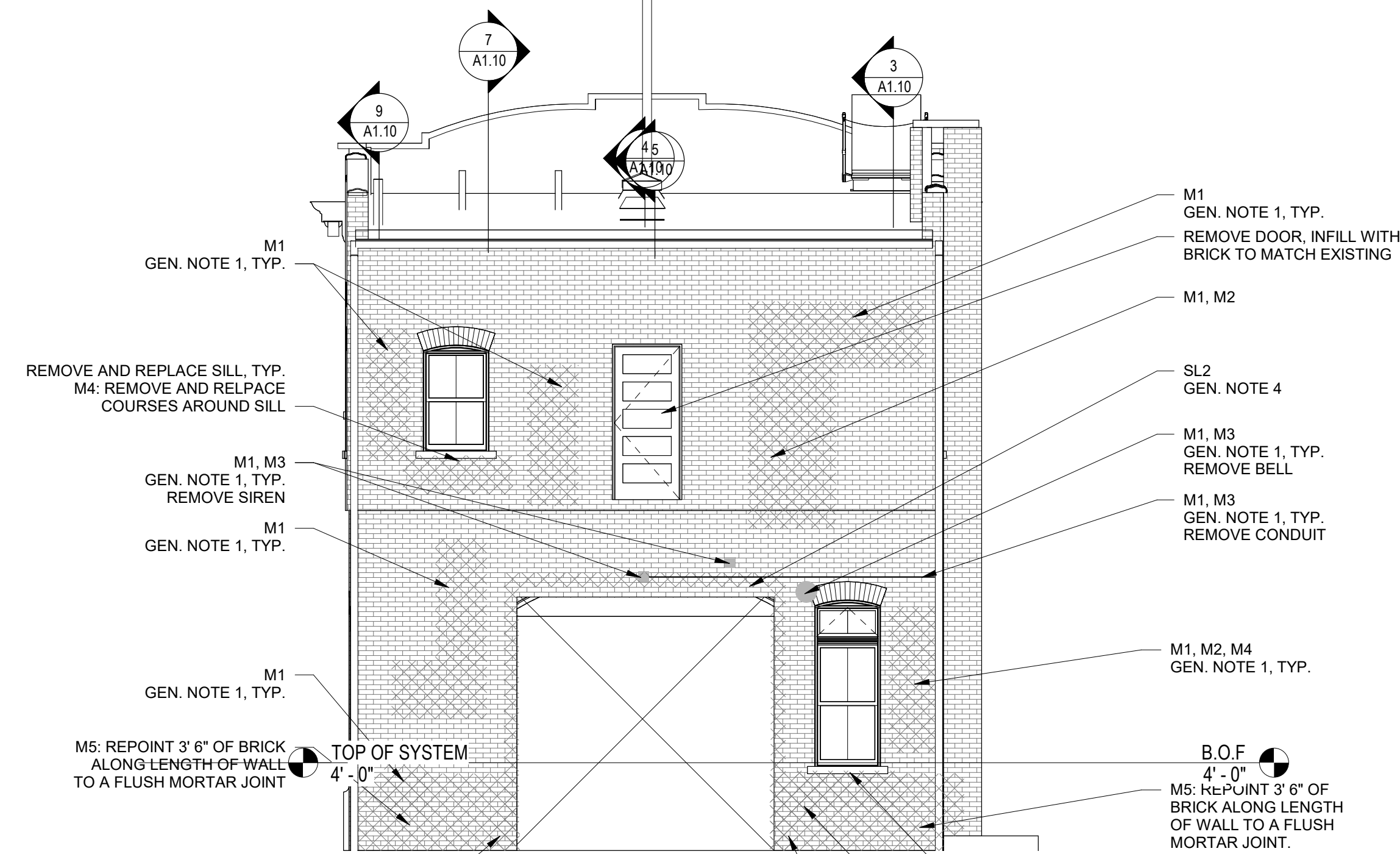
PHOTO 7



PHOTO 8



1 NORTH ELEVATION
A3.3 3/16" = 1'-0"



2 SOUTH ELEVATION
A3.3 3/16" = 1'-0"

RESTORATION NOTES
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PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 8



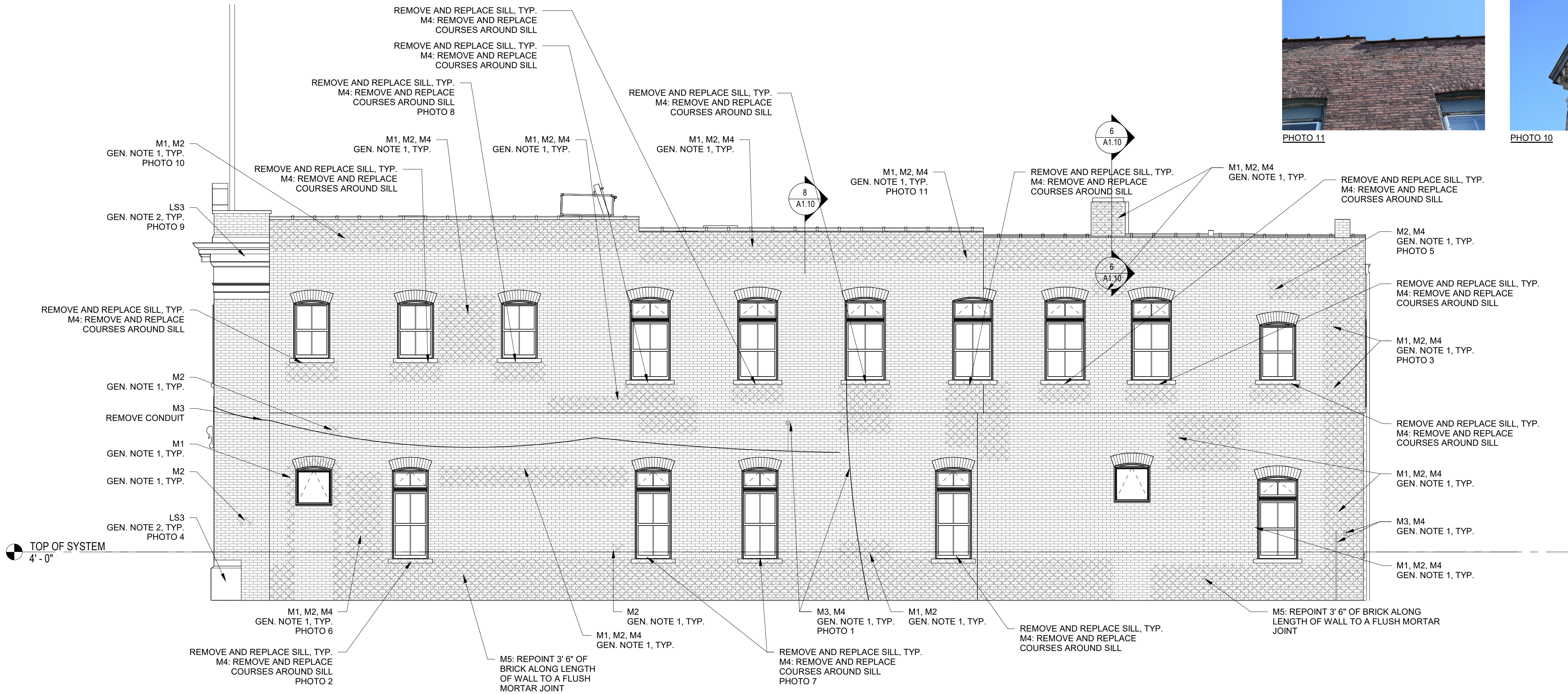
PHOTO 9



PHOTO 10



PHOTO 11



1 WEST ELEVATION
A3.4 3/16" = 1'-0"

RESTORATION NOTES

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- LS1** ROUT OUT ALL LIMESTONE CAPS, LEDGE BAND COURSES, HEADERS, AND SILLS FOR CRACKED, LOOSE, SPALLING, OR OTHERWISE DEFECTIVE SECTIONS AS NOTED. REMOVE DAMAGED OR CRACKED LIMESTONE SECTIONS FROM JOINT-TO-JOINT AS INDICATED ON THE ELEVATIONS. REPLACE THE REMOVED SECTIONS WITH NEW LIMESTONE TO MATCH EXISTING PROFILE, SIZE, AND COLOR IN KIND. SECURE THE NEW LIMESTONE UNITS IN PLACE WITH GROUT, STAINLESS STEEL ANCHORS, AND PINS, AS SPECIFIED. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040140. DETAILS 2/A-3, 3/A-3, 4/A-3 AND 5/A-3.
- LS2** REMOVE LIMESTONE COMPONENTS AS NOTED AND STORE IN SAFE CLEAN LOCATION FOR REINSTALLATION. MARK ALL COMPONENTS TO REINSTALL IN THE EXACT LOCATION AND SEQUENCE FROM WHERE THEY WERE REMOVED. PATCH COMPONENTS AS NOTED PRIOR TO REINSTALLATION.
- LS3** ALL SURFACES SHALL BE CLEAN, DRY, AND SOUND FREE FROM GROSS IRREGULARITIES. PATCH ALL SPALLS, CRACKS, HOLES, ETC. PER LS4, LS5, LS6. PREPARE ALL SURFACES AND JOINTS PER REQUIREMENTS OF SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION OF A LIQUID APPLIED, WATERPROOF ELASTOMERIC, CRACK-BRIDGING, ANTI-CARBONATION, UV-STABLE MILDEW RESISTANT MEMBRANE (BASIS OF DESIGN: CONPRO LASTIC BY CONPRO). INSTALL ON 100% OF THE TOP HORIZONTAL CORNICE BAND. COLOR TO MATCH THE LIMESTONE. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 099653.
- LS4** PATCH LIMESTONE SPALLS WITH COMPOSITE PATCHING MATERIAL TO MATCH ADJACENT CLEANED SURFACE. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040140.
- LS5** ROUT OUT CRACKS IN LIMESTONE SURFACES AND INJECT EPOXY ADHESIVE INTO CRACKS. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040140.
- LS6** REMOVE OLD PATCHES AND COAT ANY EXPOSED FERROUS METAL WITH RUST-INHIBITING COATING. REPATCH WITH COMPOSITE PATCHING MATERIAL TO MATCH SURROUNDING SURFACE. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040140.

STEEL LINTELS

- SL1** REMOVE ASSOCIATED BRICK MASONRY AND LIMESTONE AS INDICATED. PROVIDE TEMPORARY SHORING FOR WALL ABOVE TO PREVENT ANY MATERIAL DISPLACEMENT OR CRACKING. REMOVE DAMAGED STEEL LINTEL AND REPLACE WITH A NEW GALVANIZED STEEL LINTEL. MATCH EXISTING SIZE AND PROFILE. SEE DETAIL 8/A-3. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040120 (3.7 AND 3.8).
- SL2** SCRAPE EXPOSED SURFACES OF STEEL TO REMAIN WITH POWER TOOLS TO REMOVE ALL RUST AND LOOSE MATERIAL. APPLY NEW COATING PER SPECIFICATIONS WITH RUST-INHIBITING PRIMER AND FINISH COAT OF PAINT. FOLLOW REQUIREMENTS OF SPECIFICATION SECTION 040140 (3.7 AND 3.8).



RENOVATION FOR THE:
EAST SIDE SENIOR CENTER
BID #:
Bridgeport, CT
Project #: 1844

Revisions
Issue Dates:

CONSTRUCTION DOCUMENTS BID REVIEW
APRIL 1, 2021

WEST ELEVATION - RESTORATION

A3.4

CODES THIS PROJECT WAS DESIGNED TO

INTERNATIONAL BUILDING CODE	2015
IBC CONNECTICUT SUPPLEMENT	2018
INTERNATIONAL EXISTING BUILDING CODE	2015
INTERNATIONAL MECHANICAL CODE	2015
INTERNATIONAL PLUMBING CODE	2015
NFPA 70 NATIONAL ELECTRIC CODE	2017
INTERNATIONAL ENERGY CONSERVATION CODE	2015
CONNECTICUT FIRE SAFETY CODE	2018

REHABILITATION ACT 1973, SECTION 504
INCLUDING UNIFORM FEDERAL ACCESSIBILITY
STANDARDS (UFAS) AND SECTION 504
REGULATIONS

ICC/ANSI A117.1 - 2009

THE AMERICANS WITH DISABILITIES ACT, TITLE II,
INCLUDING THE AMERICANS WITH DISABILITIES ACT
ACCESSIBILITY GUIDELINES (ADAAG) AND ADA
REGULATIONS

(H) CURRENT CONNECTICUT PUBLIC HEALTH CODES
(O) CURRENT O.S.H.A. - TITLE 29/LABOR
(GS) CONNECTICUT GENERAL STATUTES

BUILDING INFORMATION

EAST SIDE SENIOR CENTER
BRIDGEPORT, CT 06608

PROPOSED CONSTRUCTION START: 2020
LEVEL 3 ALTERATION; CHANGE OF USE
HISTORIC BUILDING (SHPO REQ.)

1. MIXED USE 1 HOUR SEPERATED GROUP CLASSIFICATION
NA BASEMENT STORAGE (S-1)
FIRST FLOOR ASSEMBLY (A-3)
SECOND FLOOR BUSINESS (B)

2. CONSTRUCTION TYPE
EXISTING/NEW CONSTRUCTION TYPE 2B

3. BUILDING HEIGHT STORIES / FEET
ALLOWABLE HEIGHT [TYPE A] 2 / 75
ACTUAL HEIGHT 2 / 32

4. BUILDING AREA (MIXED USE SEPERATED)
USE GROUP (MOST RESTRICTIVE A-3) ACTUAL / ALLOWABLE
NA BASEMENT (S-1) 820/ 38,000
FIRST FLOOR (A-3) 2,545/ 38,000
SECOND FLOOR (B) 2,415/ 38,000

7. FIRE RESISTANCE RATINGS
GENERAL BUILDING CONSTRUCTION 0 HOUR
STAIR SHAFTS 1 HOUR
ELEVATOR SHAFT 1 HOUR
EXIT ACCESS CORRIDORS 20 MINS
VERTICAL SHAFT 1 HOUR
USE SEPARATION 1 HOUR

8. OCCUPANT LOAD DESIGN LOAD PER ROOM SEE CODE PLAN
TOTAL BUILDING OCCUPANCY 138 PEOPLE
TOTAL EXIT CAPACITY 796 PEOPLE

9. MODIFICATIONS N/A LOCAL APPROVAL / STATE APPROVAL
1. IEBC E1205.6 (non conforming stair) [Y / N] [Y / N]
1. IEBC E908.1 (No additional insulation, per SHPO request) [Y / N] [Y / N]

10. HANDICAPPED ACCESSIBLE BUILDING [X] DESIGNATED [] NON-DESIGNATED

11. MINIMUM PLUMBING FIXTURE COUNT 138 PEOPLE [92 (A-3), 46 (B)]
TOTAL FACILITY O.L.:

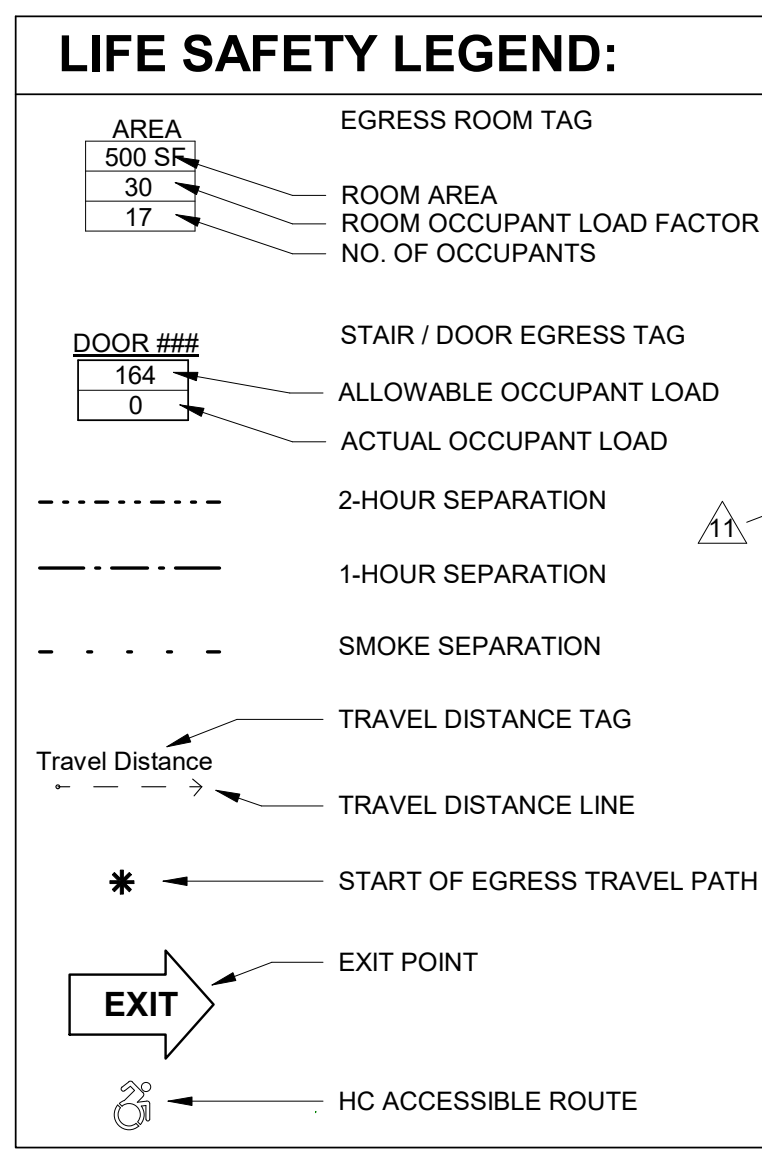
FIXTURES	REQUIREMENTS	REQUIRED/ PROVIDED
WATER CLOSETS (A-3):	1/125 M - 1/65 F	1M 1W / 1M 1W
(B):	1/25 M - 1/25 F	1M 1W / 1M 1W
LAVATORIES (A-3):	1/200	2/2
(B):	1/40 F	2/2
DRINKING FOUNTAINS		2/2
SERVICE SINK	1/100	1

12. FIRE PROTECTION SYSTEMS
FIRE SUPPRESSION [X] FULL [] LIMITED [] NONE
FIRE DETECTION [X] FULL [] LIMITED [] NONE

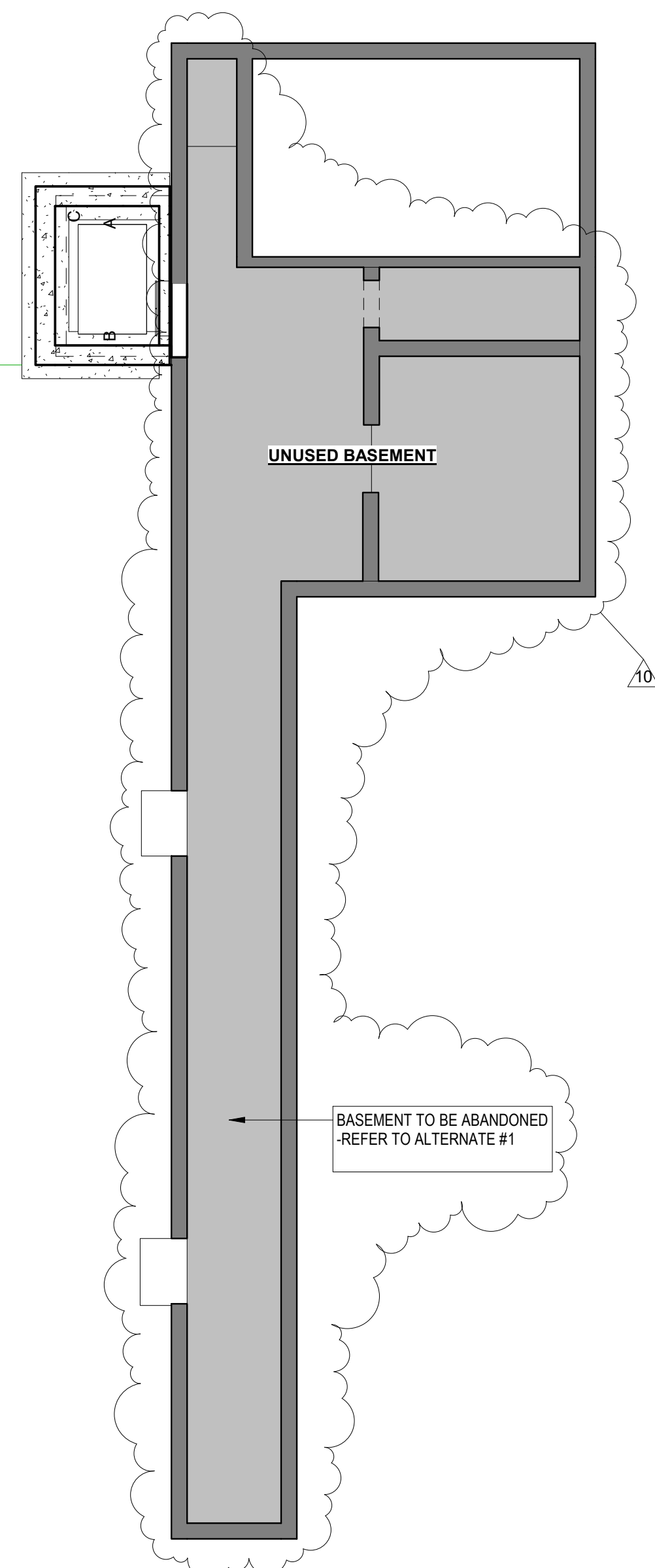
13. NUMBER OF EXITS
EXITS REQUIRED 2
EXITS PROVIDED 4

14. TRAVEL DISTANCE
MAXIMUM TRAVEL DISTANCE ALLOWED (B) 100'-0" (1006.3.2)
(A-3) 250'-0"
ACTUAL TRAVEL DISTANCE SEE CODE PLAN

15. THRESHOLD BUILDING CONDITIONS [] YES [X] NO

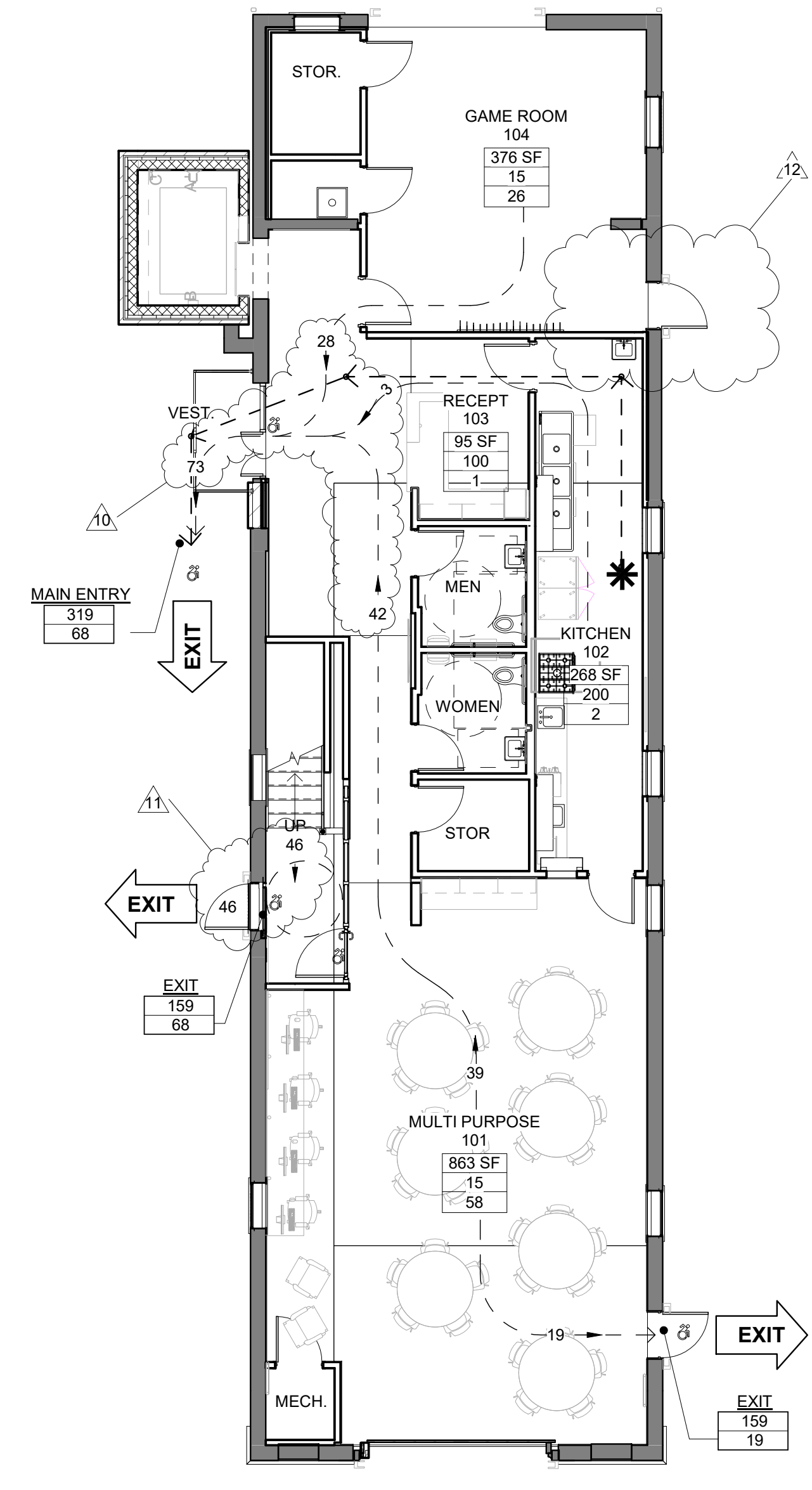


**BASEMENT:
STORAGE (S-1)**



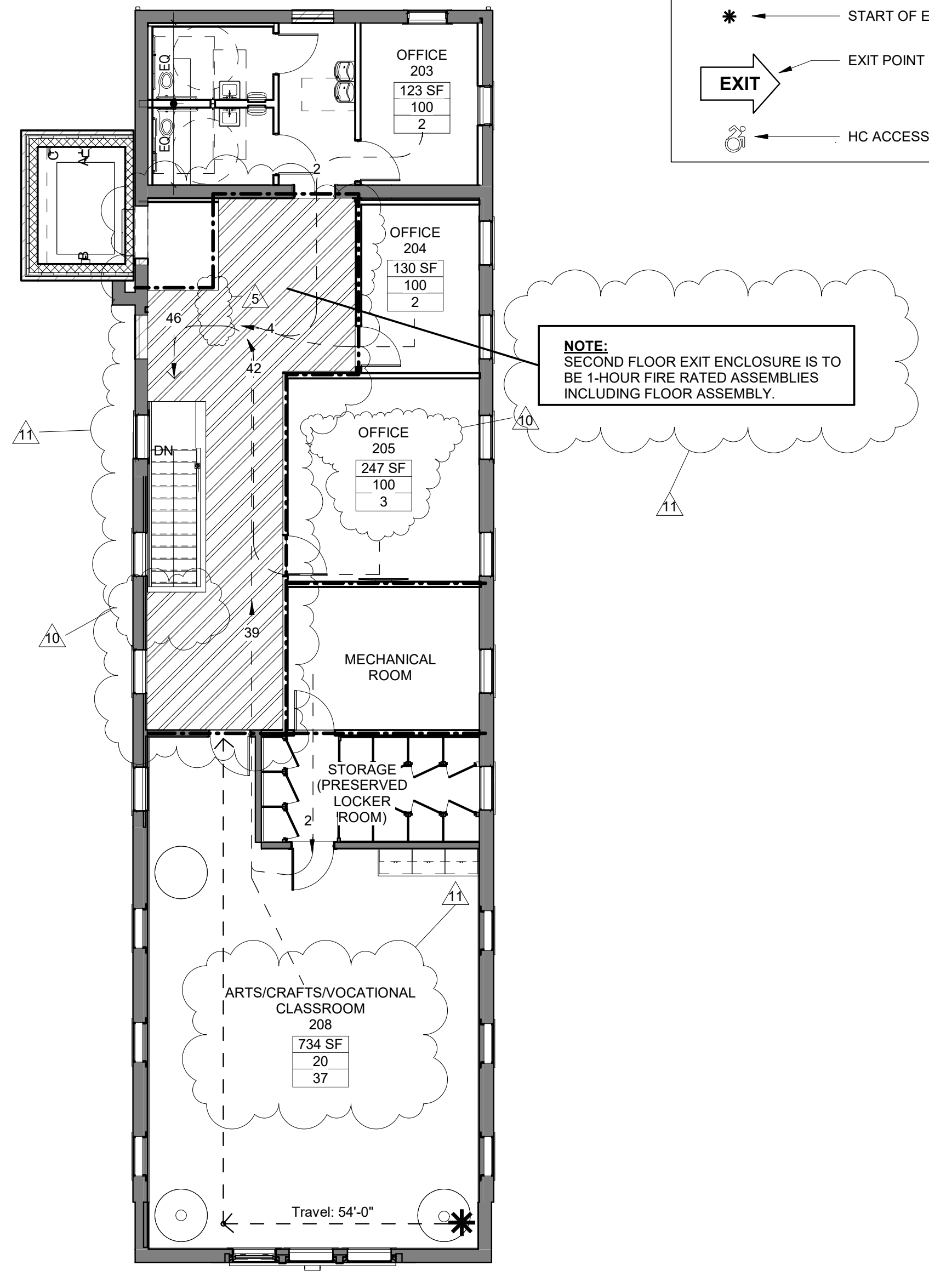
2 EGRESS PLAN - BASEMENT
R1.0 1/8" = 1'-0"

**FIRST FLOOR:
ASSEMBLY (A-3)**



3 EGRESS PLAN - FIRST FLOOR
R1.0 1/8" = 1'-0"

**SECOND FLOOR:
BUSINESS (B)**



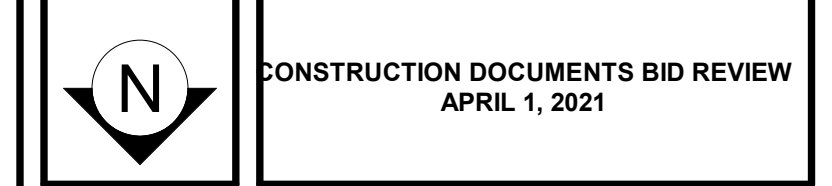
4 EGRESS PLAN - SECOND FLOOR
R1.0 1/8" = 1'-0"



RENOVATION FOR THE:
EAST SIDE SENIOR CENTER
BID #:
Bridgeport, CT
Project #: 1844

Revision 12	12/06/2021
Revision 11	12/3/2021
Building Official comments	11/24/2021
Revision 8	11/19/2021
Revision 6	11/15/2021
Revision 5	11/5/2021

Revisions
Issue Dates:



CODE INFORMATION
R1.0



RENOVATION FOR THE:

EAST SIDE SENIOR CENTER

Bridgeport, CT
Project #: 1844
To Design # 6337

Revisions:

Issue Dates:

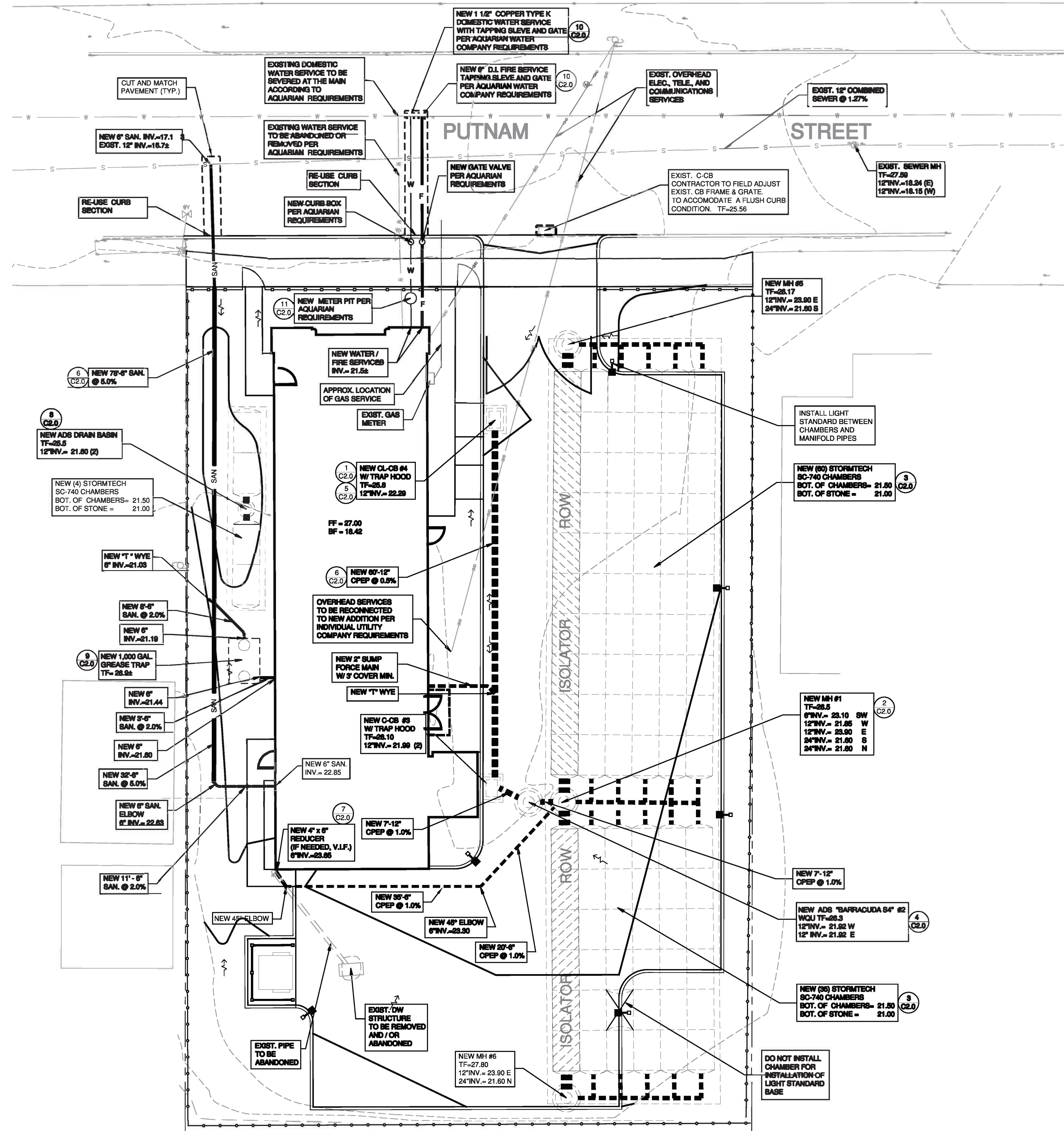


BID DOCUMENTS
APRIL 1, 2021

UTILITIES PLAN

C-1.0

LEGEND	
	SANITARY LATERAL
	FIRE SERVICE
	MAN HOLE
	CATCH BASIN - CL-CB OR C-CB
	STORM PIPE
	BOTTOM
	CATCH BASIN - CURB TYPE
	CATCH BASIN - LEVEL TYPE
	CORRUGATED POLYETHYLENE PIPE
	DUCTILE IRON
	INVERT
	MAN HOLE
	SANITARY
	TOP OF FRAME
	FINISHED FLOOR
	BASEMENT FLOOR



GENERAL UTILITY NOTES

ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BRIDGEPORT, WPCA, AND THE STATE OF CONNECTICUT, AND THE CITY OF BRIDGEPORT.

CALL BEFORE YOU DIG 1-800-922-4455. EXISTING UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SOURCES. THE LOCATIONS ARE ONLY APPROXIMATE AND THERE MAY BE ADDITIONAL UTILITIES WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE WORK AREA, NOTIFY EACH AFFECTED UTILITY COMPANY AND DIG TEST PITS AS REQUIRED PRIOR TO COMMENCING CONSTRUCTION. TORRES ENGINEERING, INC. MAKES NO STATEMENT AS TO THE CONDITION OR SUITABILITY OF ANY UTILITIES FOR ANY INTENDED USE.

ALL PROPRIETARY PRODUCTS AND MATERIALS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

SANITARY AND STORM DRAINAGE SHALL MEET THE REQUIREMENTS OF THE WPCA, STORM DRAINAGE MANUAL, ENGINEERING, AND THE CITY.

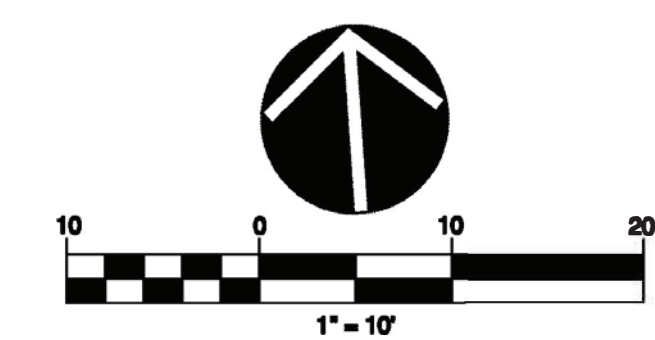
FIRE SERVICE SHALL MEET THE REQUIREMENTS, SPECIFICATIONS, AND DETAILS OF THE AQUARIAN WATER COMPANY.

ALL DAMAGE TO PUBLIC FACILITIES WITHIN THE STREET RIGHT OF WAY DURING SITE CONSTRUCTION SHALL BE REPAIRED BY THE APPLICANT.

PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURES. CONTRACTOR IS TO CUT PIPES FLUSH WITH STRUCTURE WALLS.

NOTE:

CONTRACTOR IS RESPONSIBLE FOR REMOVING SEDIMENT THAT ACCUMULATES IN THE DOWNSTREAM OFF-SITE DRAINAGE SYSTEMS AND DOWNSTREAM AS A RESULT OF THE PROJECT.



LEGEND

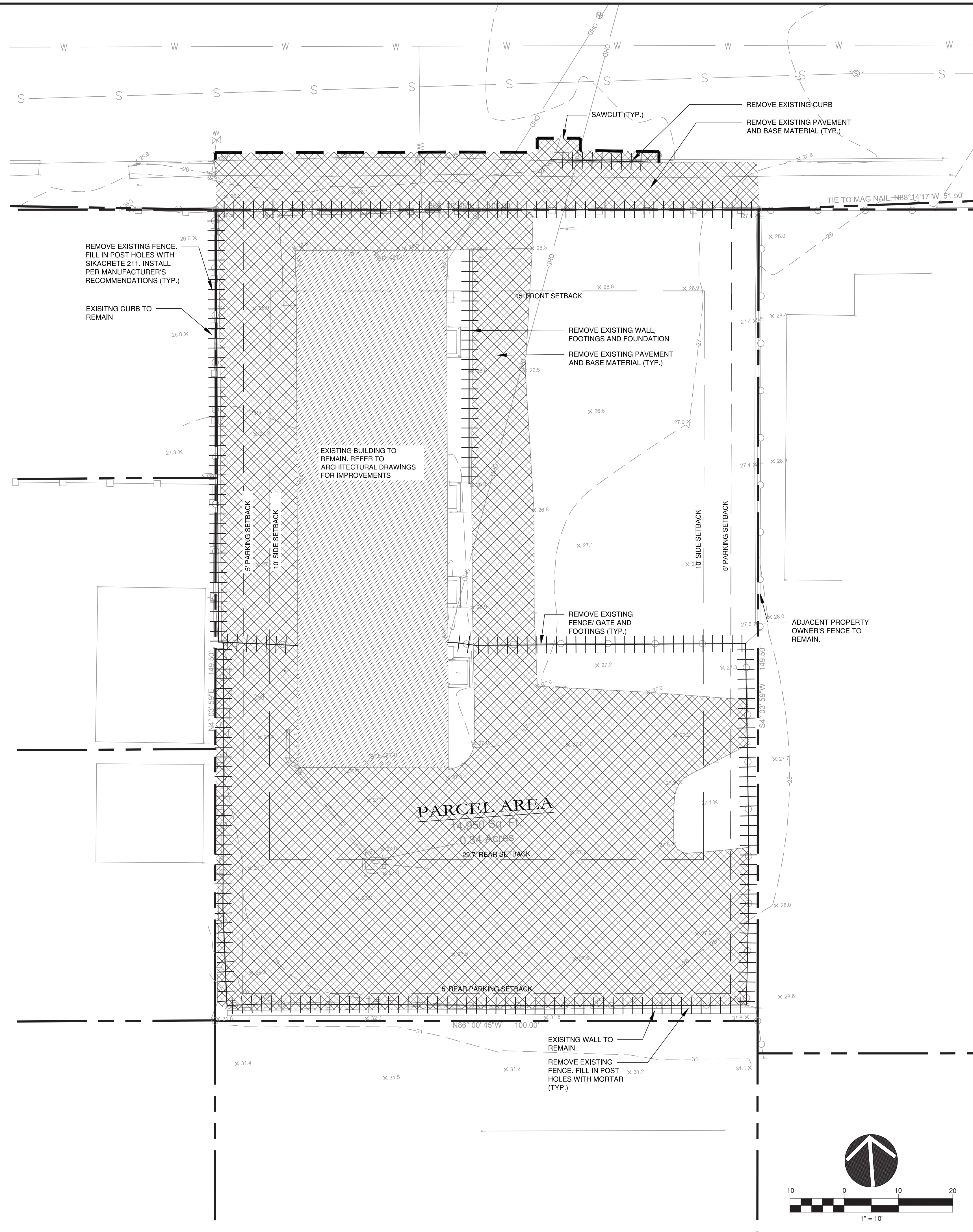
- EXISTING**
- PROPERTY LINE
 - BUILDING
 - CURB
 - CONTOUR 1 FT
 - CONTOUR 5 FT
 - SPOT GRADE
 - CATCH BASIN
 - YARD DRAIN
 - MANHOLE
 - HYDRANT
 - UTILITY POLE
 - SITE ELEMENT TO BE REMOVED
 - SITE ELEMENT TO BE REMOVED
 - SAW CUT

DEMOLITION NOTES

1. CONTRACTOR SHALL STRIP AND STORE TOPSOIL IN ALL AREAS TO BE DISTURBED OR REGRADED. LOCATION OF TOPSOIL STOCKPILE TO BE DESIGNATED BY THE LANDSCAPE ARCHITECT.
2. ALL MATERIAL TO BE REMOVED SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AWAY FROM THE SITE OR DELIVERED AS DIRECTED BY THE OWNER.
3. LOCATION OF ALL UTILITIES ARE SHOWN DIAGMAMMATICALLY & MAY BE INCOMPLETE. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DONE BY THIS WORK SHALL BE REPAIRED BY THE CONTRACTOR.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND VEGETATION. DAMAGE TO VEGETATION SHALL BE REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS BY THE CONTRACTOR.
5. BEFORE BEGINNING ANY WORK, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1.800.922.4455, THE RESPECTIVE UTILITY COMPANIES AND LOCAL AUTHORITIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES. ANY COSTS INCURRED BY THE CONTRACTOR AS A RESULT OF FAILURE TO CONTACT PROPER AUTHORITIES SHALL BE BORN BY THE CONTRACTOR.
6. OWNER'S REPRESENTATIVE SHALL BE CONSULTED BEFORE ANY WORK SHALL COMMENCE.
7. PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FROM ANY UTILITY COMPANY OR OTHER GOVERNMENT AGENCIES HAVING JURISDICTION OVER THE WORK.
8. CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
9. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO HIS CONTRACT OPERATIONS.
10. CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS AND DRIVEWAYS.
11. CONTRACTOR SHALL MAINTAIN PROPER SIGNS, BARRICADES, AND FENCES TO PROPERLY PROTECT THE WORK EQUIPMENT, PERSONS AND PROPERTY FROM DAMAGE.
12. ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS APPLICABLE, AND LEGALLY DISPOSED OF OFF-SITE BY CONTRACTOR.

SURVEY REFERENCE

SURVEY INFORMATION FROM PLAN ENTITLED: "PROPERTY AND TOPOGRAPHIC SURVEY MAP PREPARED FOR QUISENBERRY, ARCARI & MALIK, LLC FOR 288 PUTNAM STREET, BRIDGEPORT, CONNECTICUT". SCALE 1" = 10', DATED FEBRUARY 5, 2020, BY HARRY E. COLE & SON ENGINEERING, SURVEYING AND PLANNING 876 SOUTH MAIN STREET, P.O. BOX 44, PLANTSVILLE, CT 06479-0044.



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 SITE DESIGN
 LANDSCAPE ARCHITECTURE
 URBAN PLANNING



RENOVATION FOR THE:
EAST SIDE SENIOR CENTER
 Bridgeport, CT
 Project #: 1844
 To Design # 6337

Revisions:
 Issue Dates:

PERMIT SET
 JULY 12, 2021

DEMOLITION PLAN
L-1.0

LEGEND

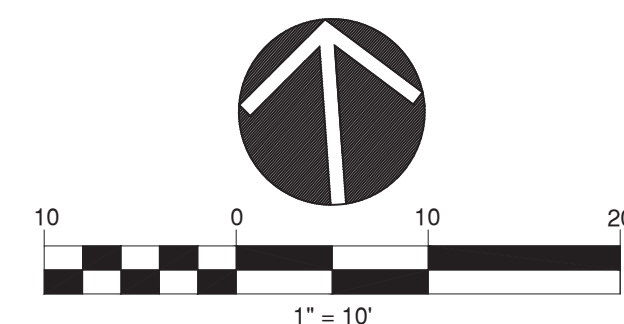
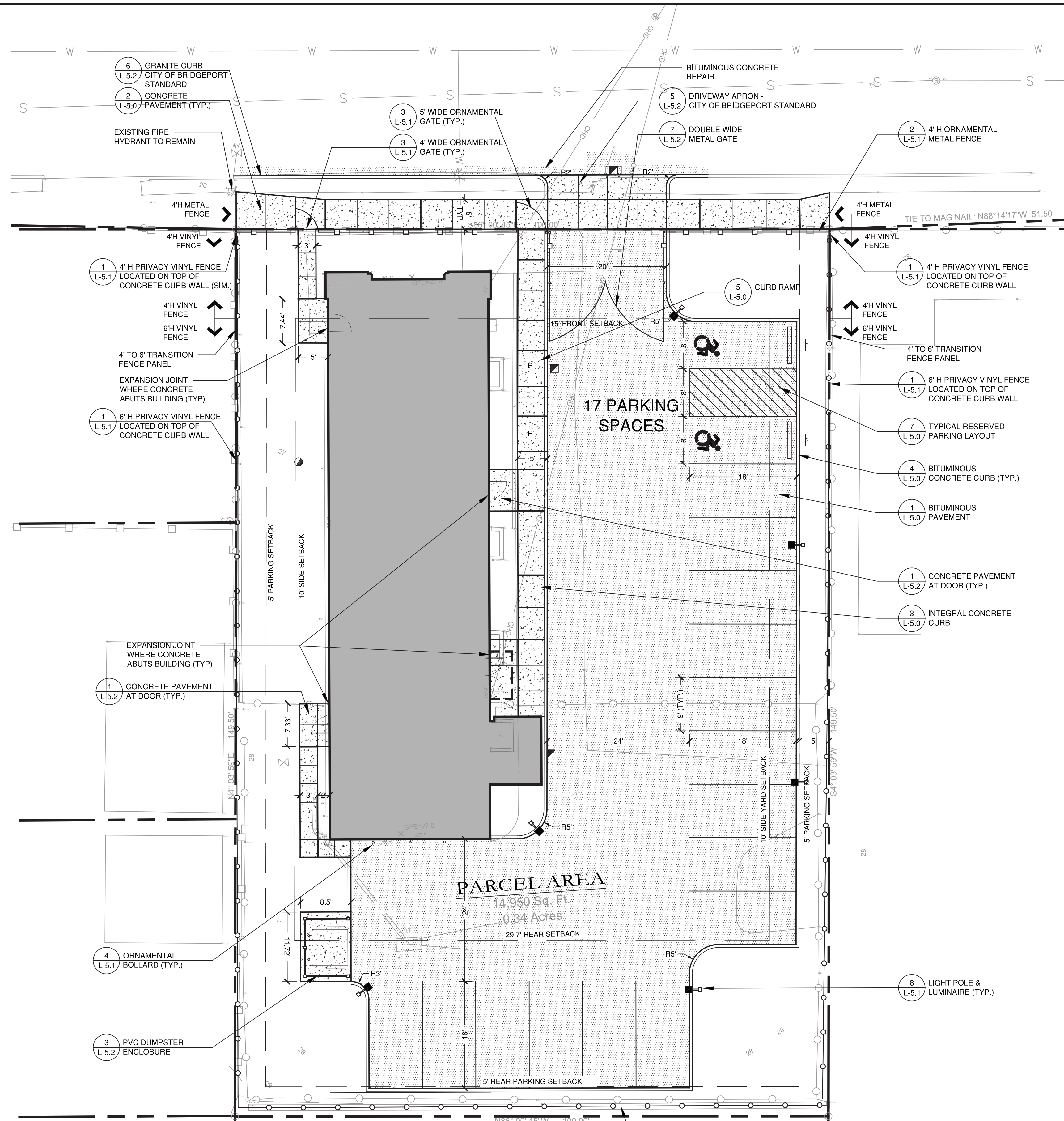
EXISTING	PROPOSED
PROPERTY LINE	BUILDING
CURB	CHAIN LINK FENCE
CHAIN LINK FENCE	ORNAMENTAL FENCE
ORNAMENTAL FENCE	BITUMINOUS PAVEMENT
BITUMINOUS PAVEMENT	CONCRETE PAVEMENT
CONCRETE PAVEMENT	LIGHT
LIGHT	SIGN
SIGN	EXPANSION JOINT
EXPANSION JOINT	CONTROL JOINT
CONTROL JOINT	DETAIL
DETAIL	DETAIL NAME

LAYOUT NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
2. MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 616/817 AND THE CITY OF BRIDGEPORT SPECIFICATIONS.
3. CONTRACTOR TO SECURE ALL NECESSARY TRADE PERMITS.
4. NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
6. LOAM AND SEED ALL DISTURBED AREAS NOT COVERED BY OTHER IMPROVEMENTS.
7. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED.
8. ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
9. FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
11. CONTRACTOR SHALL CONTROL DUST CAUSED BY HIS OPERATIONS BY APPLYING WATER OR DUST PALLIATIVE, OTHER THAN CALCIUM CHLORIDE.
12. CONTRACTOR SHALL CONTROL NOISE TO AS GREAT AN EXTENT AS POSSIBLE. ALL POWER EQUIPMENT USED DURING CONSTRUCTION SHALL BE EQUIPPED WITH MUFFLERS.
13. MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
14. PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.
15. EXPANSION AND SCORE JOINTS FOR NEW CONCRETE WALKS SHALL BLEND TO MATCH EXISTING PATTERNS. CONTRACTOR TO ARRANGE TIMELY ON-SITE CONFERENCES WITH LANDSCAPE ARCHITECT TO APPROVE LAYOUT OF JOINT PATTERNS.
16. PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, TREE GRATES, BUILDING WALLS, SITE WALLS, STAIRS, LIGHT POLE BASES, MANHOLES, GRATES/VAULTS, EXISTING CONCRETE PAVING, FIRE HYDRANTS AND ALL OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 25 FEET.
17. A DIGITAL CAD FILE CAN BE PROVIDED TO THE CONTRACTOR FOR THE LAYOUT OF SITE IMPROVEMENTS IN THE FIELD.

ZONING INFORMATION

ZONE:	REQUIRED	EXISTING	PROPOSED	CONFORMANCE
USE	R-C	R-C	R-C	YES
MIN. LOT AREA	9000 SF	14,950 SF	14,950 SF	YES
MIN. FRONTAGE	60'	100'	100'	YES
FRONT YARD	15' OR PREVAILING	15'	15'	YES
REAR YARD	LESSER OF 20% OF LOT DEPTH OR 50'	29.7'	29.7'	YES
SIDE YARD	10' MIN OR 40% OF BUILDINGS TOTAL HEIGHT	10'	10'	YES
PARKING SETBACKS	5' SIDE AND REAR	5' SIDE AND REAR	5' SIDE AND REAR	YES
MAX. IMPERVIOUS COVERAGE	70%	71.9%	69.5%	YES
MAX. BUILDING COVERAGE	60%	17.6%	18.66%	YES
MAX. BUILDING HEIGHT	4 STORIES OR 45'	32'	32'	YES
LANDSCAPED AREA	30%	28.1%	30.5%	YES
PARKING SPACES	4/ 1,000SF	NA	4,250 SF = 17 SPACES REQUIRED 17 SPACES PROPOSED	YES



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SITE DESIGN
LANDSCAPE ARCHITECTURE
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**RENOVATION FOR THE:
EAST SIDE
SENIOR CENTER**

Bridgeport, CT
Project #: 1844
To Design # 6337

Revisions:
Issue Dates:

PERMIT SET
JULY 12, 2021

**LAYOUT/
IMPROVEMENTS PLAN**

L-2.0

LEGEND

EXISTING	PROPOSED
BUILDING	
DECIDUOUS TREE	
FLOWERING TREE	
EVERGREEN SHRUBS	
LAWN	
GROUNDCOVER	

PLANTING NOTES

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.A.N. STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND SHALL BE LOCATED AT THE GROWING SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE REMOVED, WILL BE DONE AT THE CONTRACTORS EXPENSE.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
- ALL SHRUB AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL, 18" DEEP.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
- WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
- CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE UNLESS NOTED OTHERWISE IN SPECS.
- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.

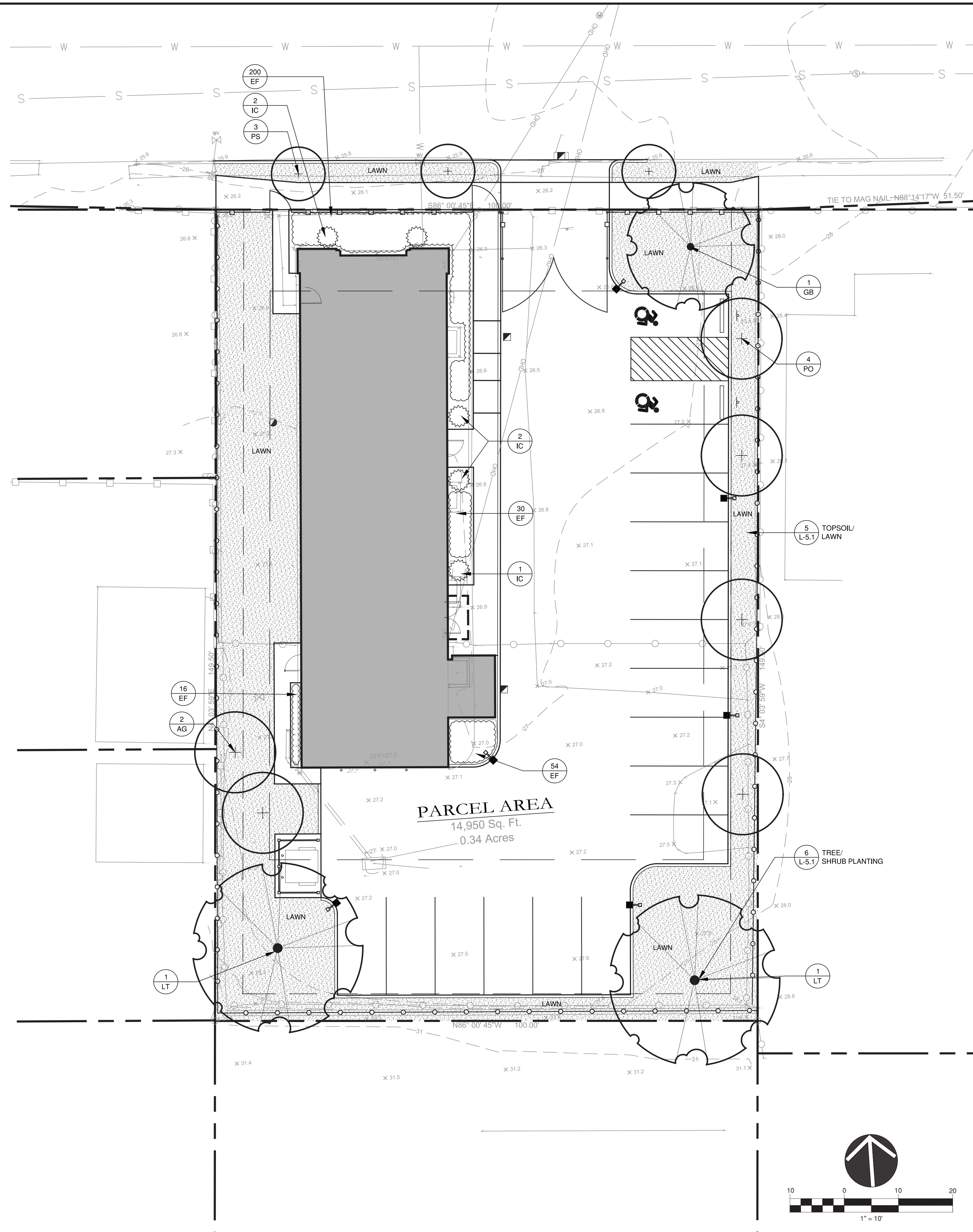
SEEDING

FERTILIZE ACCORDING TO SOIL TEST OR AT THE RATE OF 1000 LBS. PER ACRE WITH 10-10-10 FERTILIZER, 40% OF THE NITROGEN TO BE A SLOW RELEASE FORM, LIME TO A PH OF 6.5 AT A RATE OF 100 LBS. PER 1000 SF.

HART'S WEAR 'N TEAR MIX (1-860-529-2537)
 35% KENTUCKY BLUEGRASS
 35% CREEPING RED FESCUE
 20% METOLIUS PERENNIAL RYEGRASS
 10% DESCHUTES PERENNIAL RYEGRASS

PLANT SCHEDULE

CATEGORY	SYM.	NO.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
DECIDUOUS TREES	AG	2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SHADBLOW	8-10' HT.	B&B; CLUMP
	GB	1	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	3-3 1/2" CAL.	B&B
	LT	2	LIRIODENDRON TULIPIFERA	TULIP TREE	3-3 1/2" CAL.	B&B
	PS	3	PRUNUS SARGENTII 'RANCHO'	RANCHO SARGENT CHERRY	3-3 1/2" CAL.	B&B; 5' MINIMUM BRANCHING HEIGHT
SHRUBS	PO	4	PRUNUS X INCAME 'OKAME'	OKAME CHERRY	3-3 1/2" CAL.	B&B
	IC	5	ILEX CRENATA 'STEEDS'	STEEDS UPRIGHT JAPANESE HOLLY	36-42" HT.	CONT. OR B&B
GROUNDCOVER	EF	300	ELONYMOUS FORTUNEII 'COLORATUS'	COLORATUS WINTERCREEPER	1 GAL.	CONTAINER, 18" O.C.



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 URBAN PLANNING

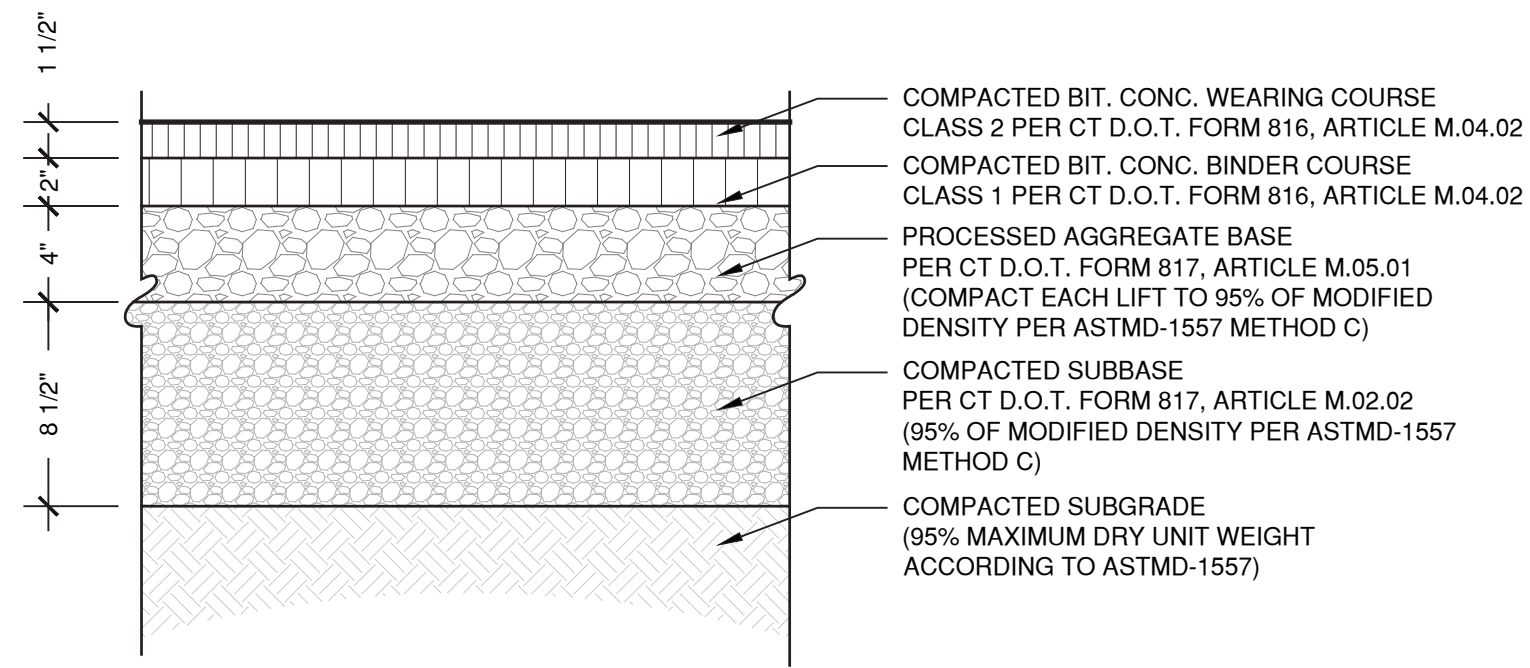


RENOVATION FOR THE:
EAST SIDE SENIOR CENTER
 Bridgeport, CT
 Project #: 1844
 To Design # 6337

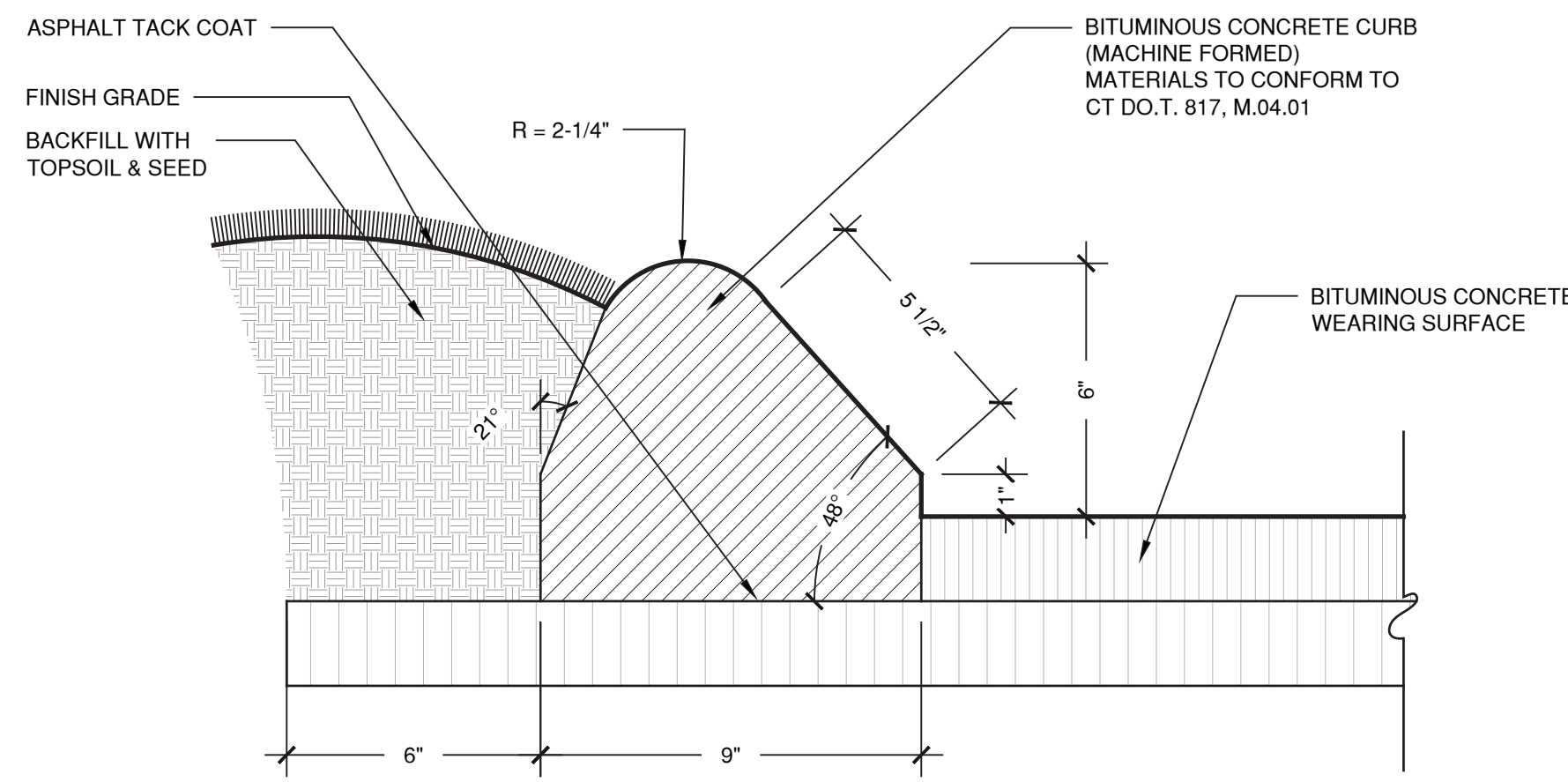
Revisions:
 Issue Dates:

PERMIT SET
 JULY 12, 2021

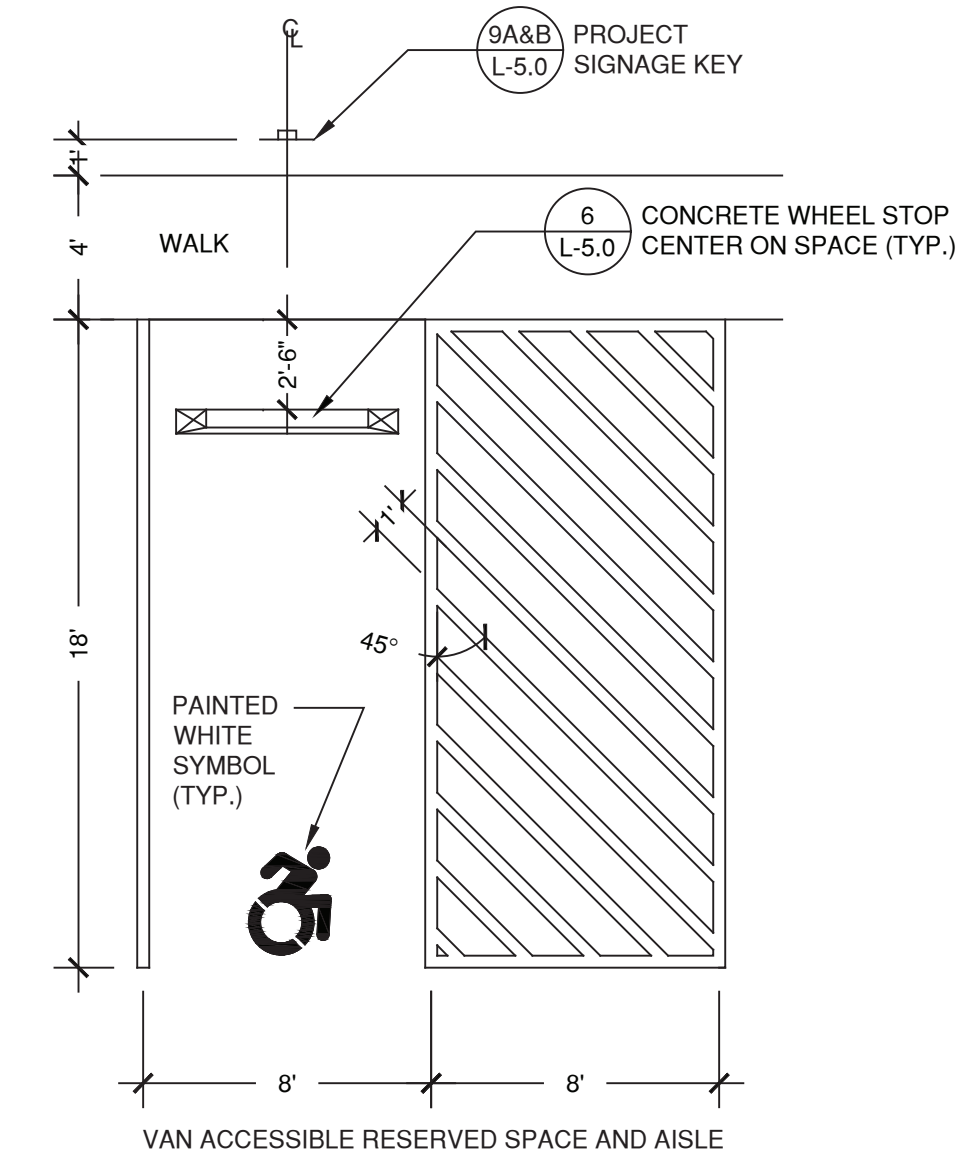
PLANTING PLAN
L-4.0



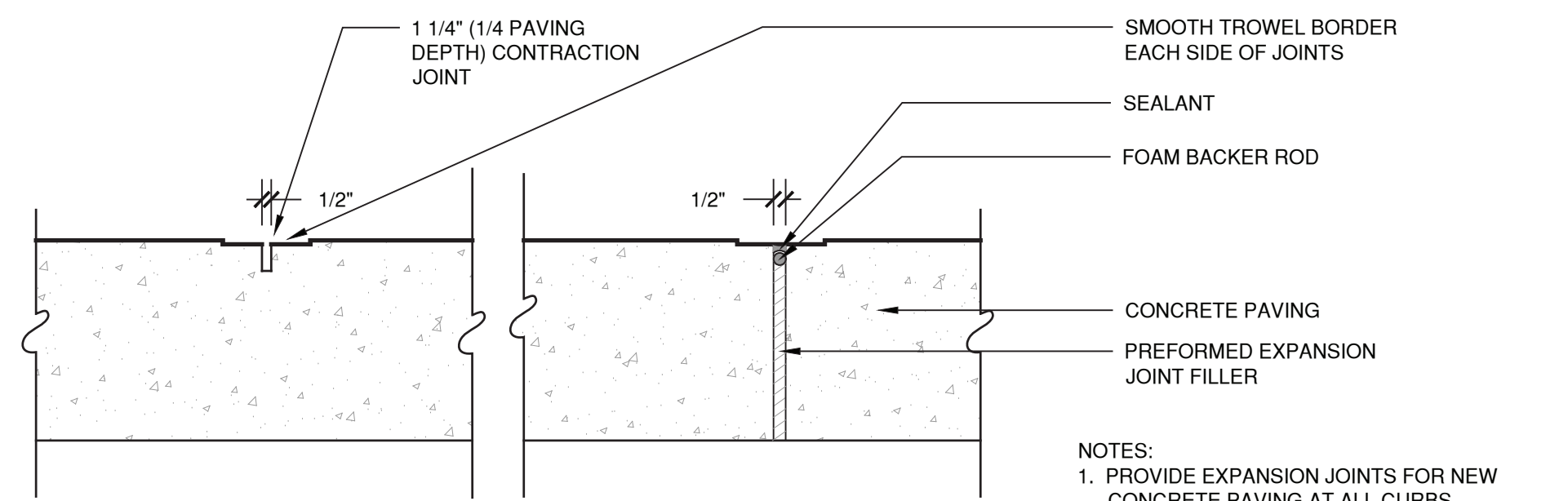
1 BITUMINOUS CONC. PAVEMENT
 SCALE 1 1/2" = 1'-0" (VEHICULAR)



4 BITUMINOUS CONCRETE CURB
 SCALE 3" = 1'-0"

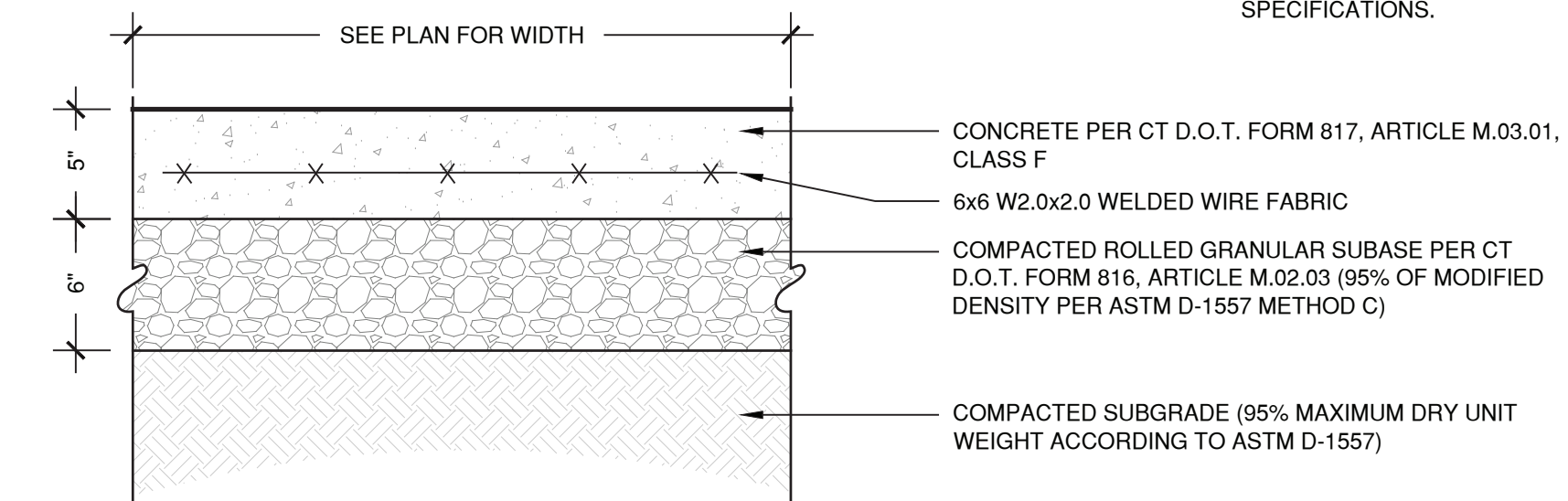


7 TYPICAL RESERVED PARKING LAYOUT
 SCALE 3/16" = 1'-0"

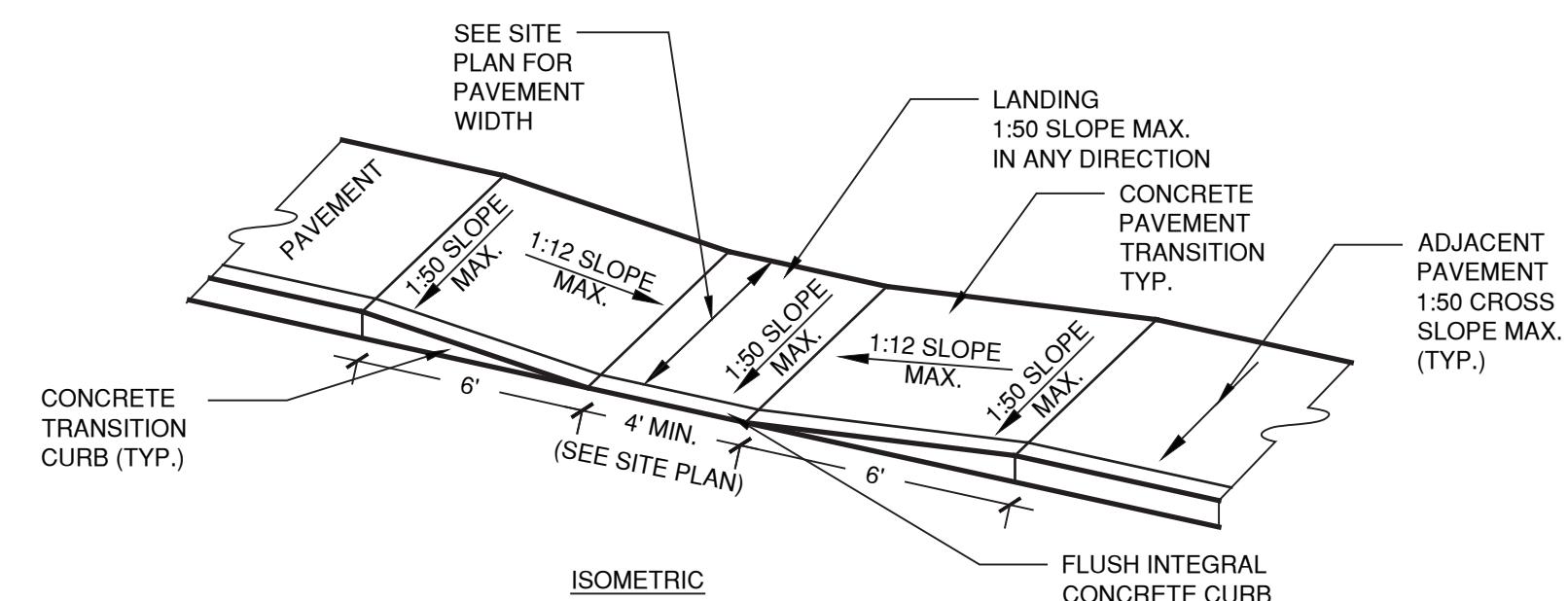
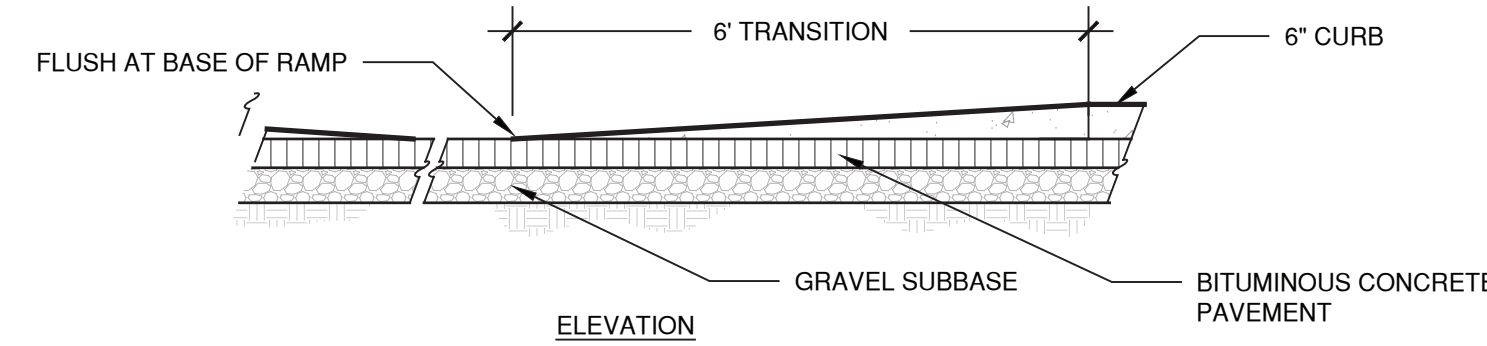


EXPANSION & CONTRACTION JOINTS

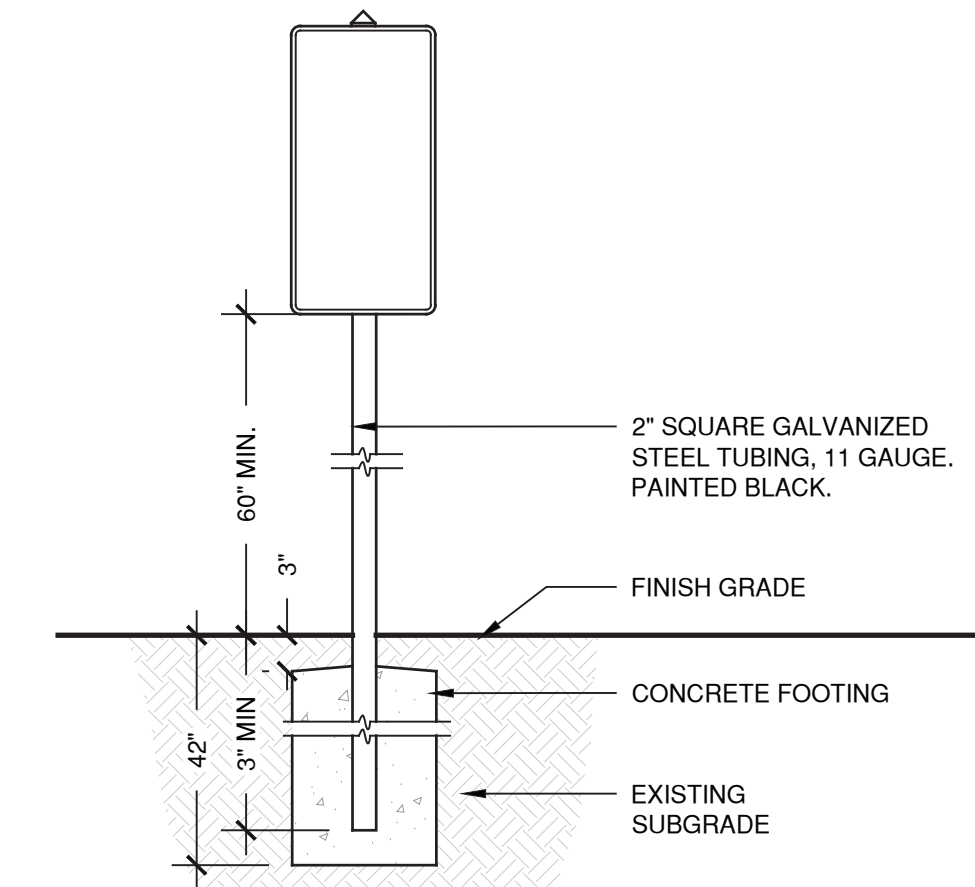
NOTES:
 1. PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, BUILDING WALLS, SITE WALLS, STAIRS, LIGHT POLE BASES, MANHOLES, GRATES/WAULTS, EXISTING CONCRETE PAVING AND ALL OTHER FIXED MATERIALS.
 2. AIR CURING IS NOT ACCEPTABLE. SEE SPECIFICATIONS.



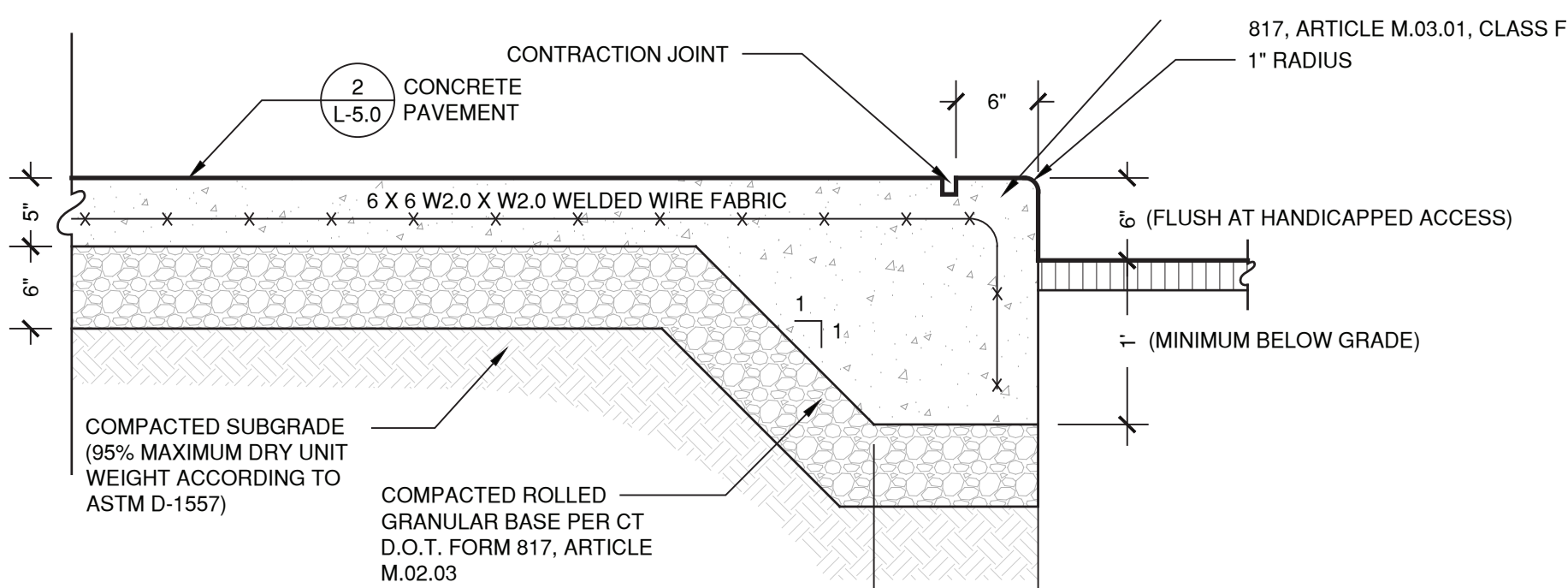
2 CONCRETE PAVEMENT
 SCALE 1 1/2" = 1'-0"



5 CURB RAMP
 SCALE 1/2" = 1'-0"

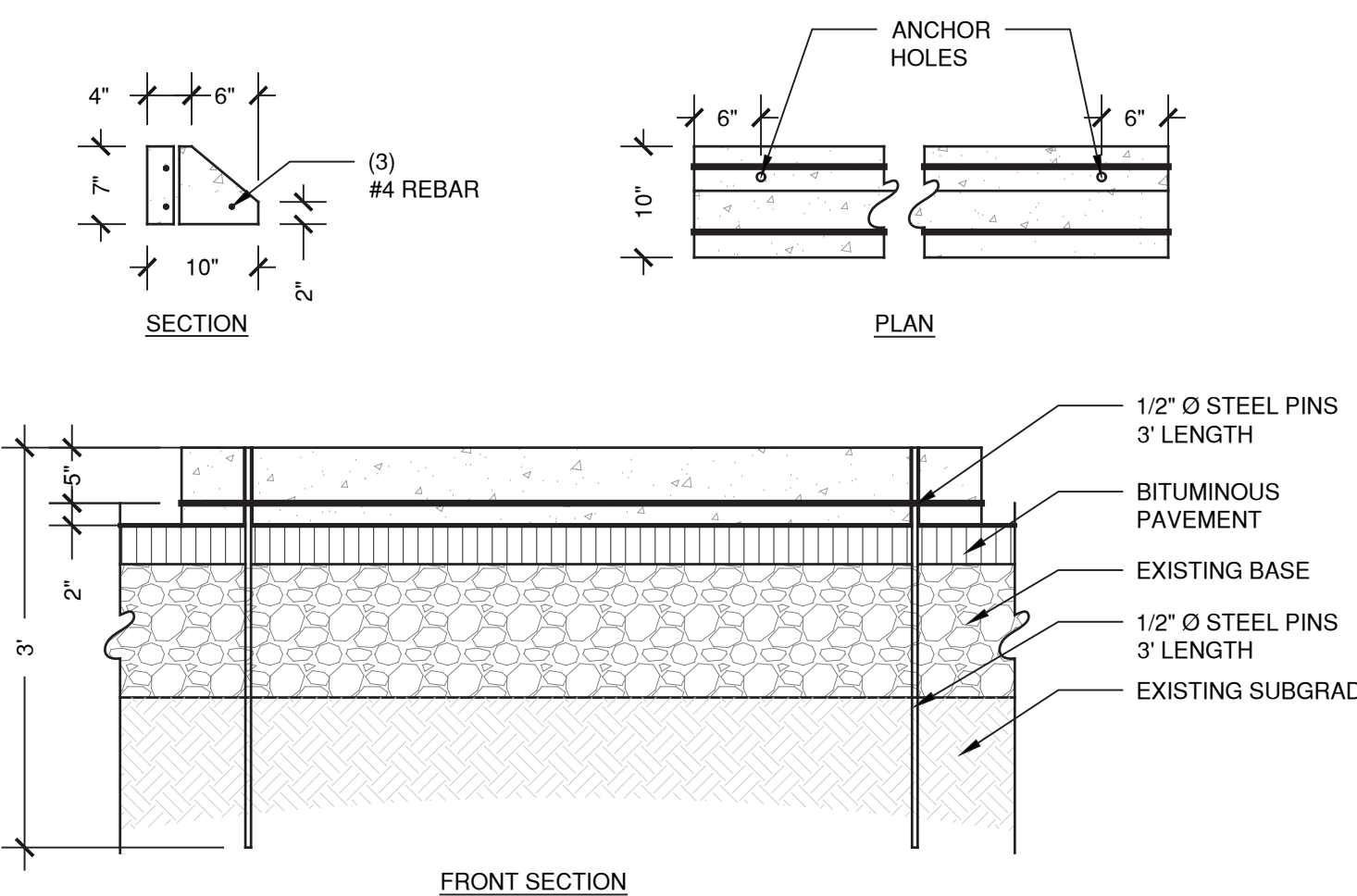


8 SIGNAGE POST
 SCALE 3/4" = 1'-0"

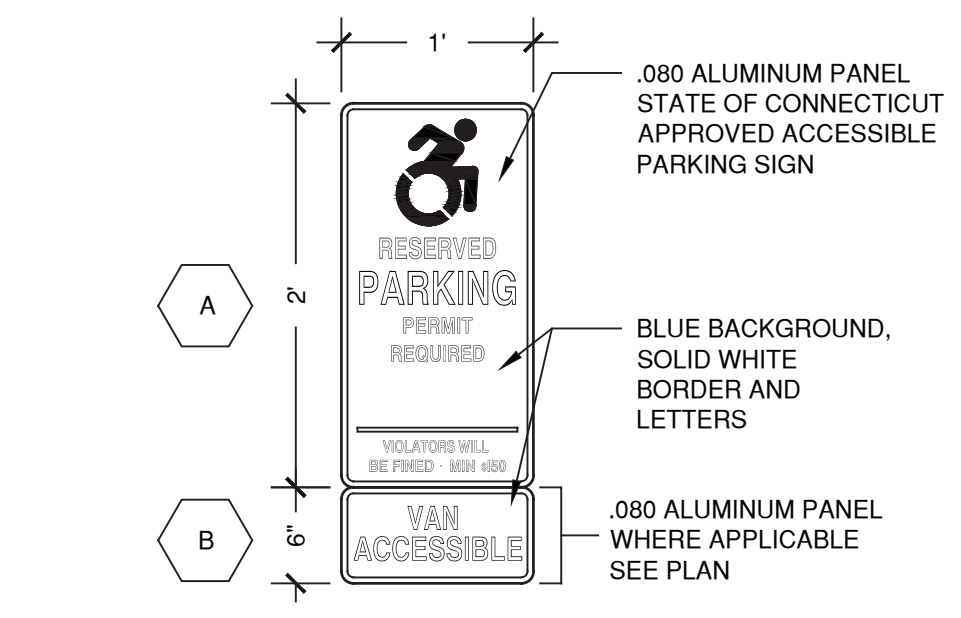


3 INTEGRAL CONCRETE CURB
 SCALE 1" = 1'-0"

NOTE:
 1. MATCH CONCRETE PAVEMENT



6 CONCRETE WHEELSTOP
 SCALE 3/4" = 1'-0"



9 PROJECT SIGNAGE KEY
 SCALE 1" = 1'-0"

QA+M
 architecture
 QuisenberryArcariMalik
 195 Scott Swamp Road
 Farmington, CT 06032
 qamarch.com

todesign
 114 WEST MAIN STREET
 SUITE 202
 NEW BRITAIN, CT 06051
 860-612-1700
 todesignllc.com
 SITE DESIGN
 LANDSCAPE ARCHITECTURE
 URBAN PLANNING



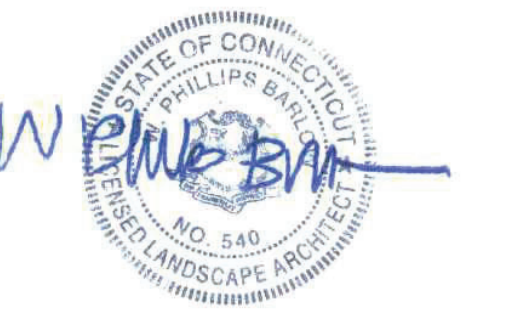
RENOVATION FOR THE:
EAST SIDE SENIOR CENTER
 Bridgeport, CT
 Project #: 1844
 To Design # 6337

Revisions:
 Issue Dates:

PERMIT SET
 JULY 12, 2021

DETAILS
L-5.0

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RENOVATION FOR THE:

EAST SIDE SENIOR CENTER

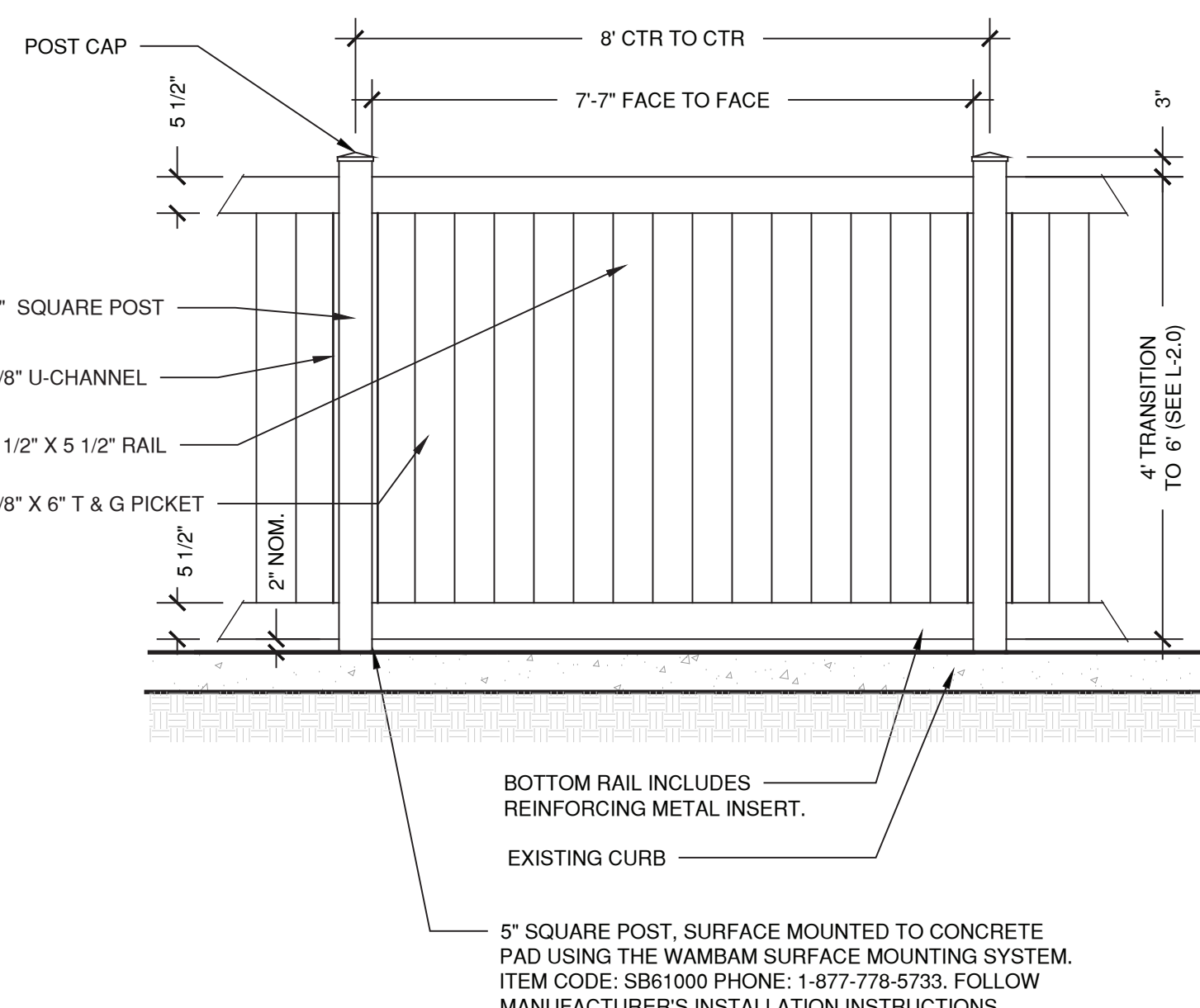
Bridgeport, CT
 Project #: 1844
 To Design # 6337

Revisions:
 Issue Dates:

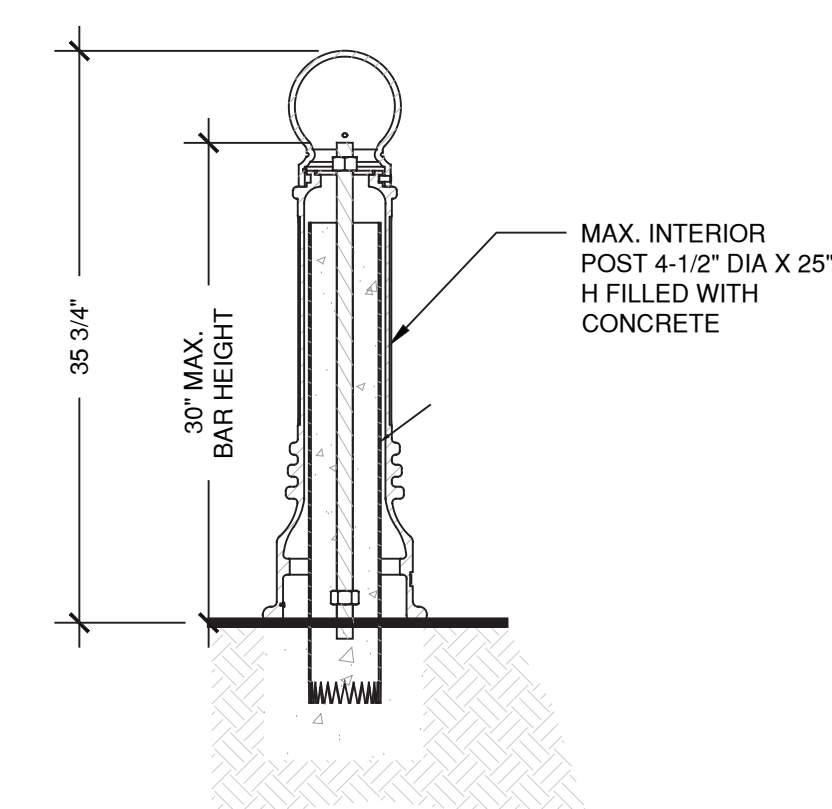
PERMIT SET
 JULY 12, 2021

DETAILS

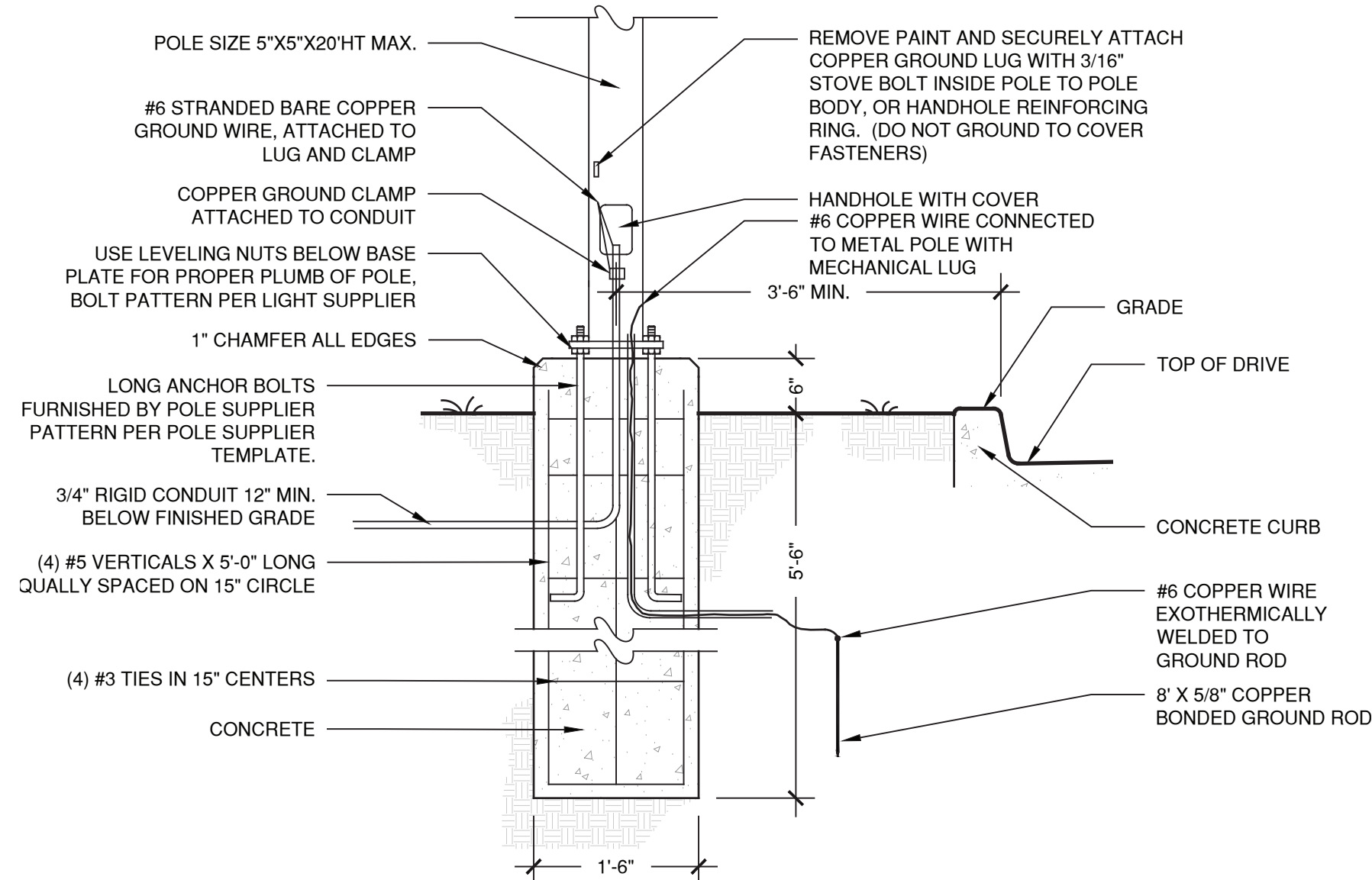
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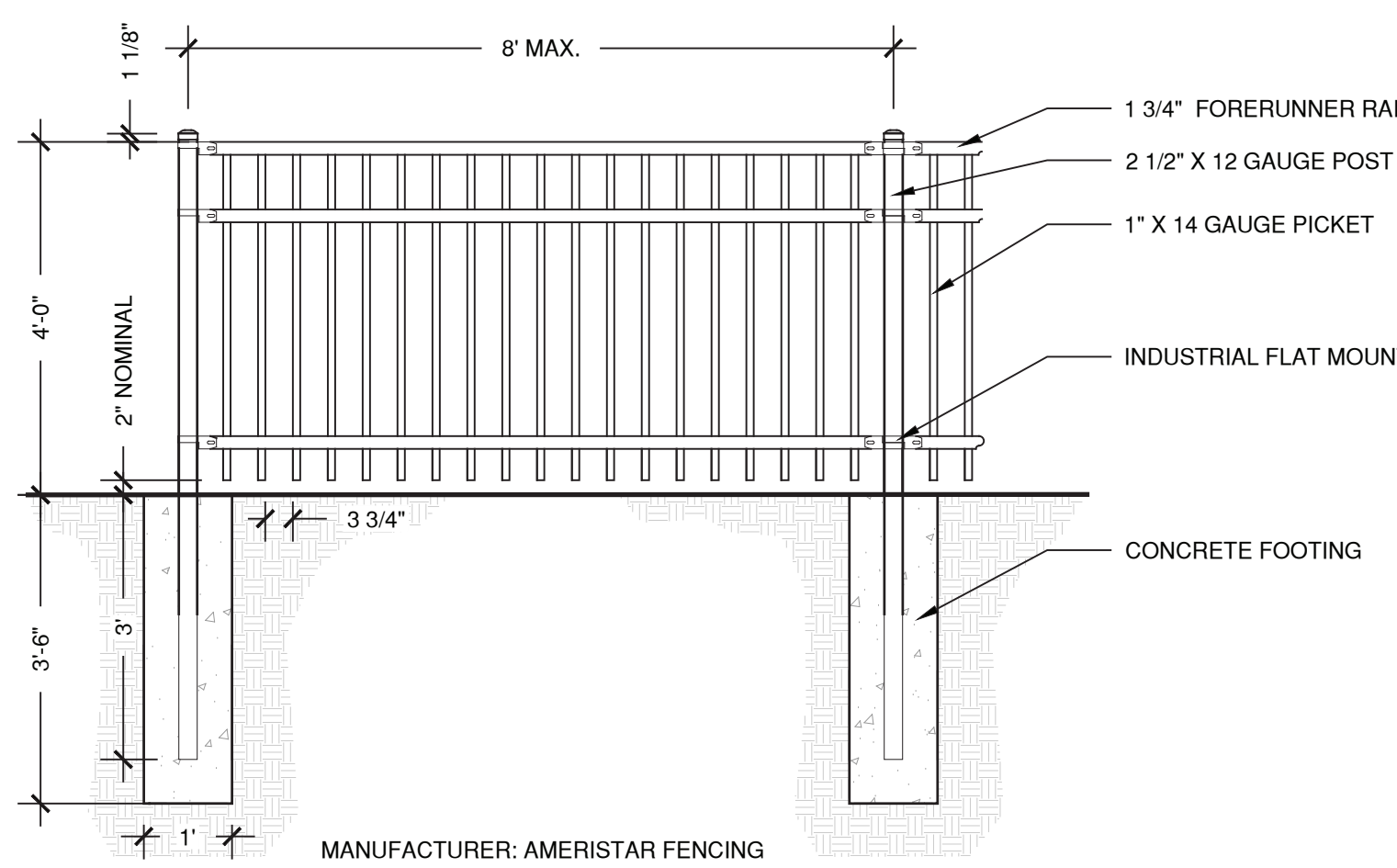
1 VINYL PRIVACY STYLE FENCE
 SCALE 1/2" = 1'-0"



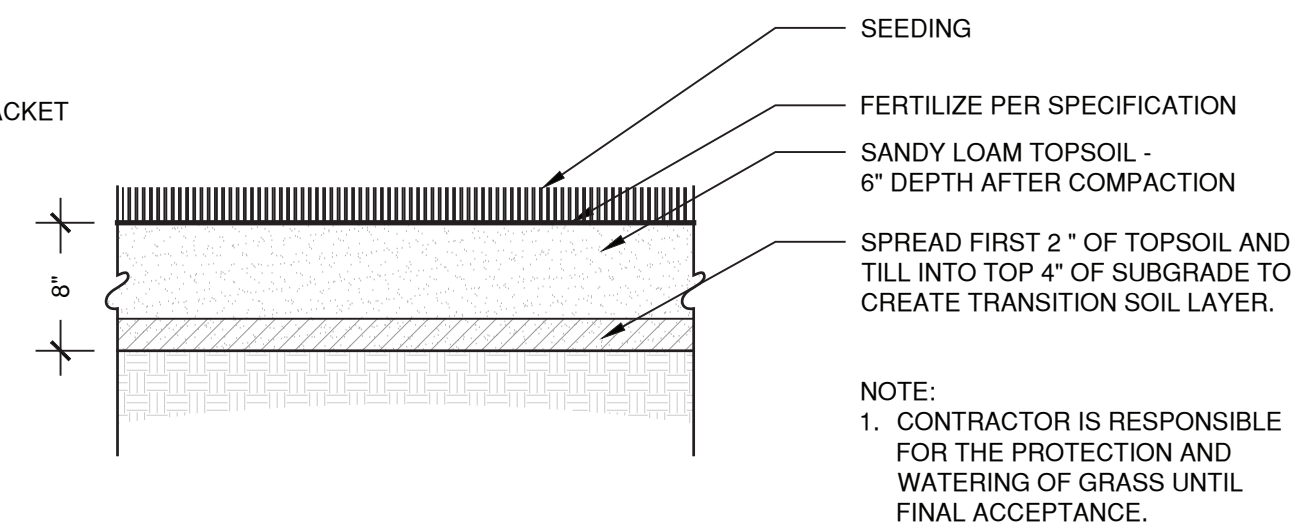
4 ORNAMENTAL BOLLARD
 SCALE 1" = 1'-0"



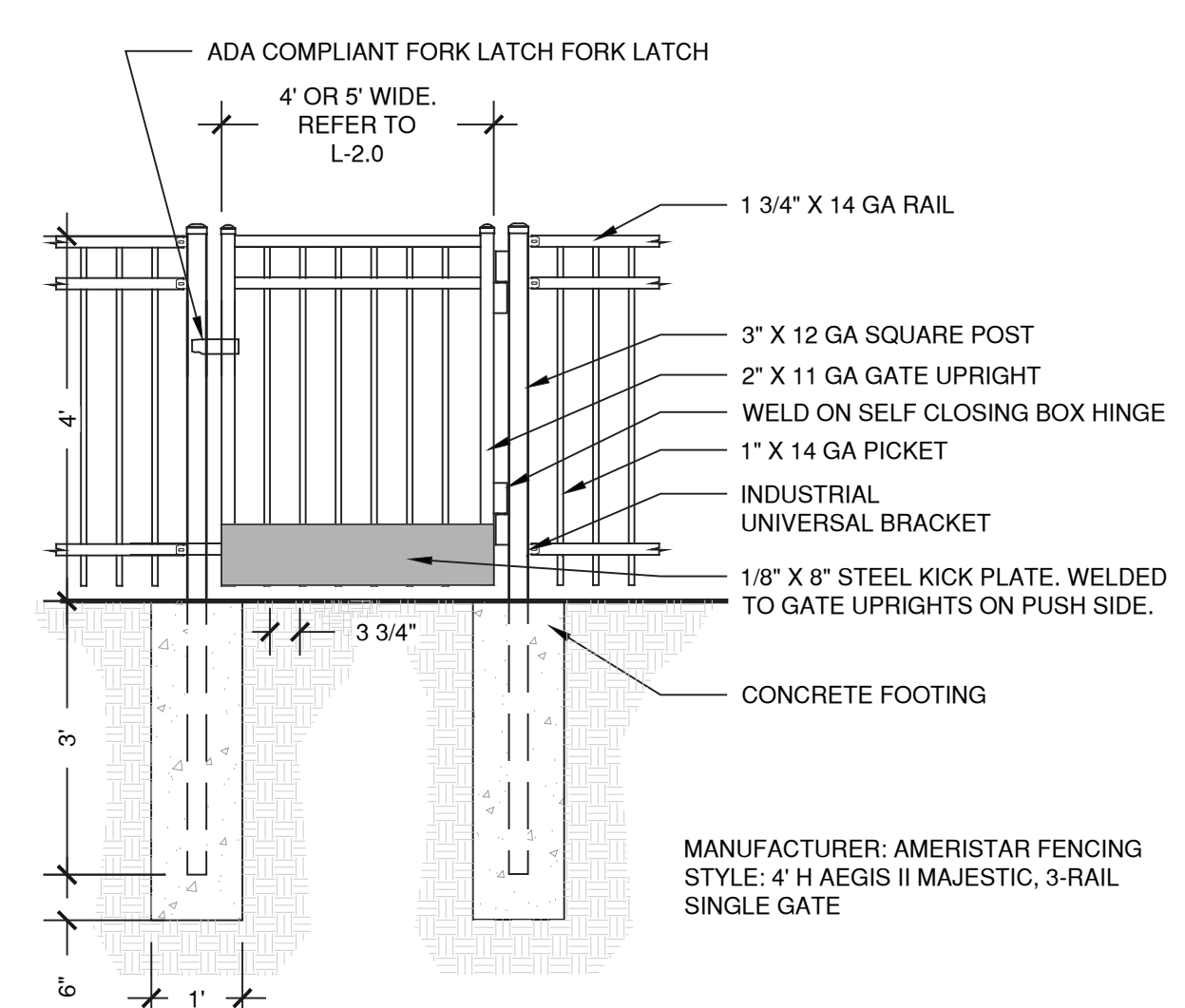
7 LIGHT POLE BASE
 SCALE 3/4" = 1'-0"



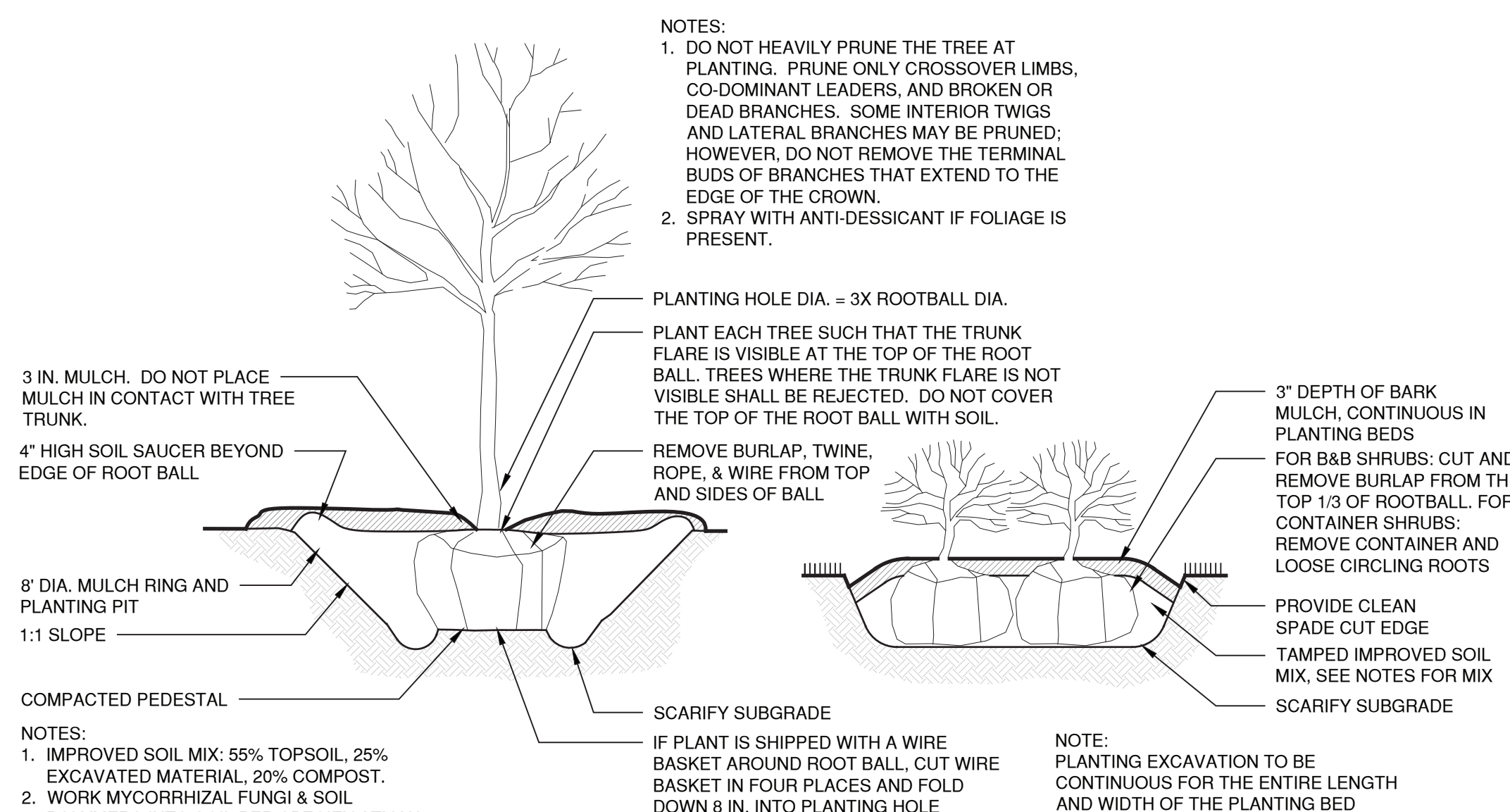
2 4' ORNAMENTAL METAL FENCE
 SCALE 1/2" = 1'-0"



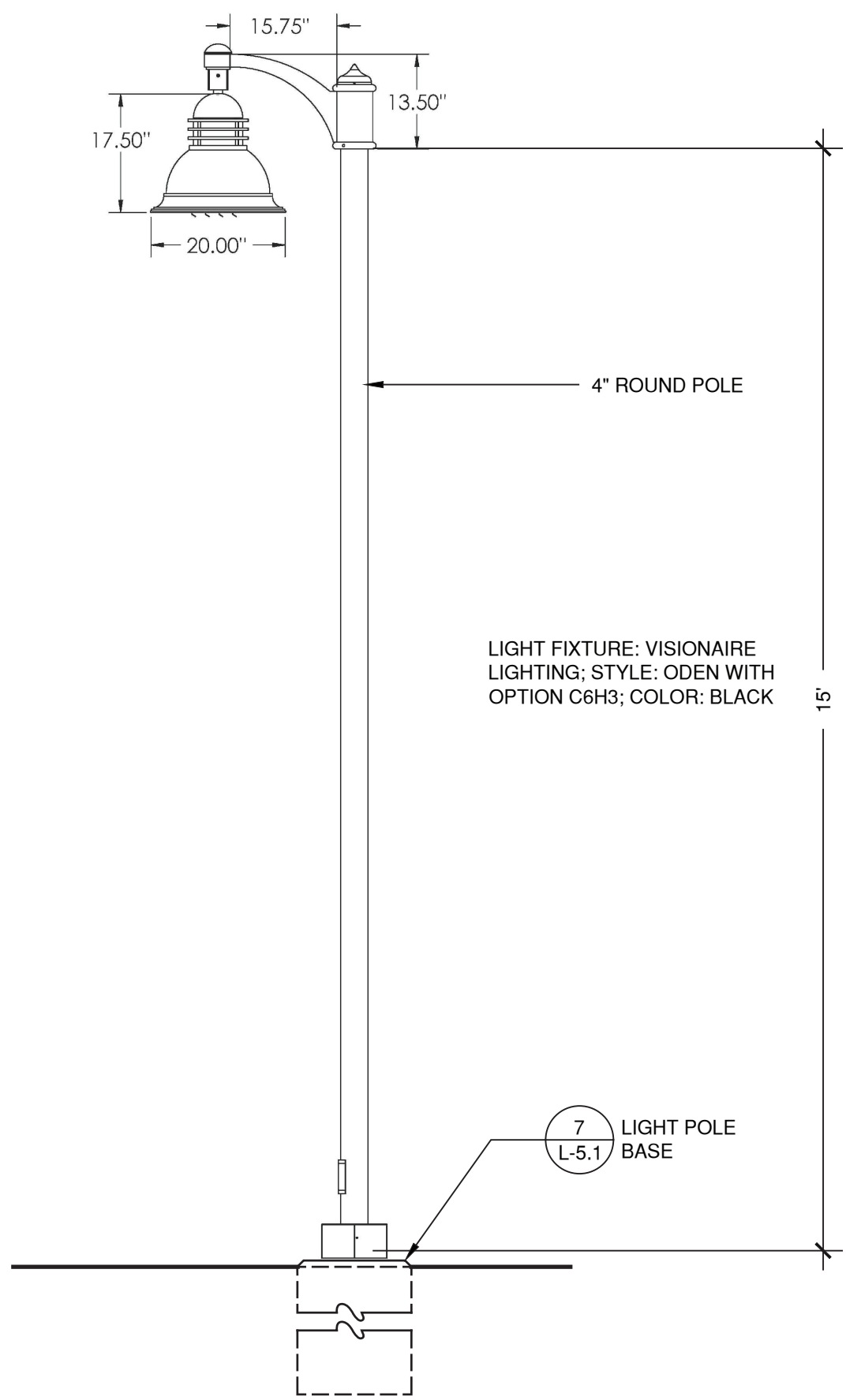
5 TOPSOIL/LAWN
 SCALE 1" = 1'-0"



3 ORNAMENTAL GATE
 SCALE 1/2" = 1'-0"



6 TREE / SHRUB PLANTING
 SCALE 1" = 1'-0"



8 LIGHT POLE & LUMINAIRE
 SCALE 1/2" = 1'-0"

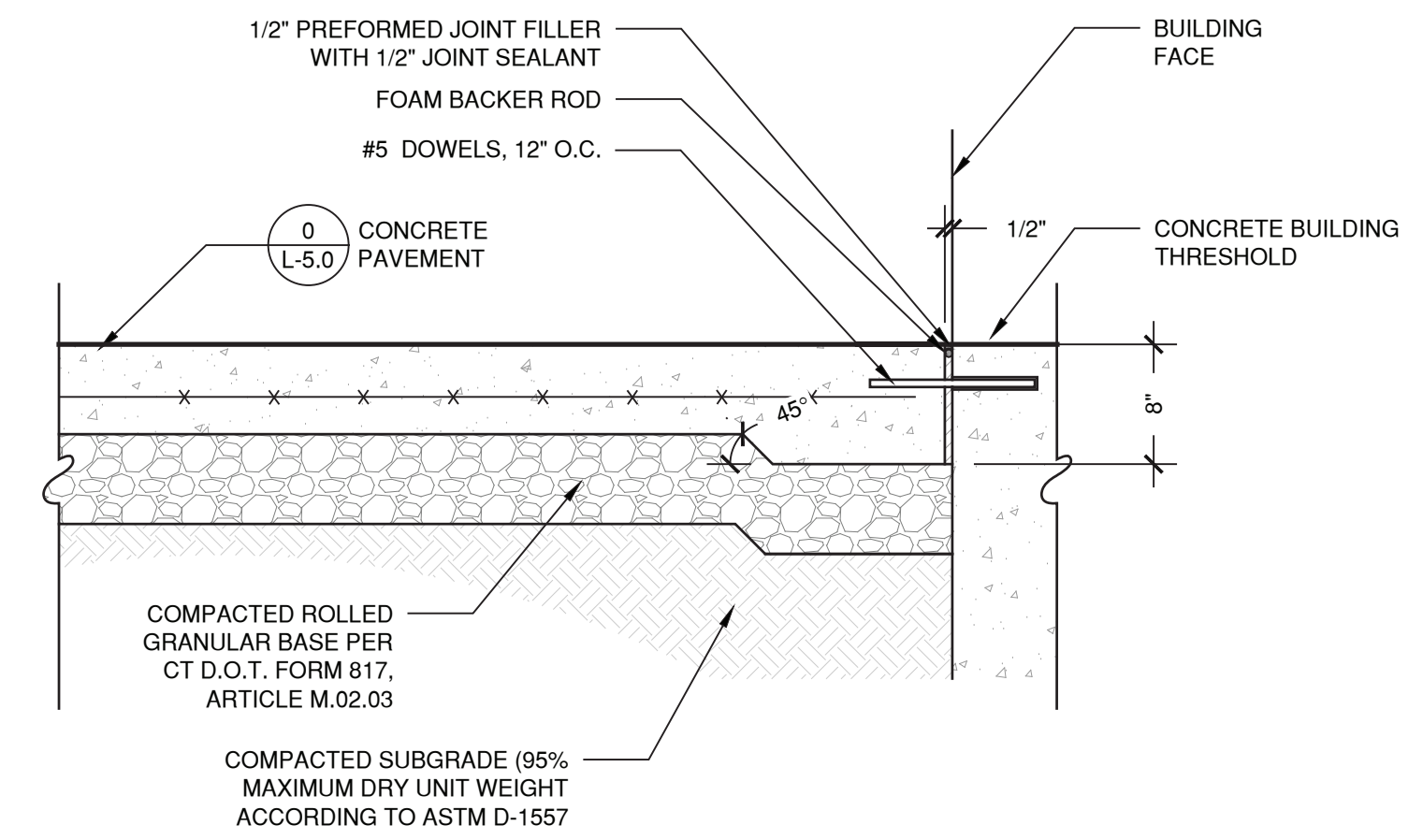


RENOVATION FOR THE:
EAST SIDE SENIOR CENTER
 Bridgeport, CT
 Project #: 1844
 To Design # 6337

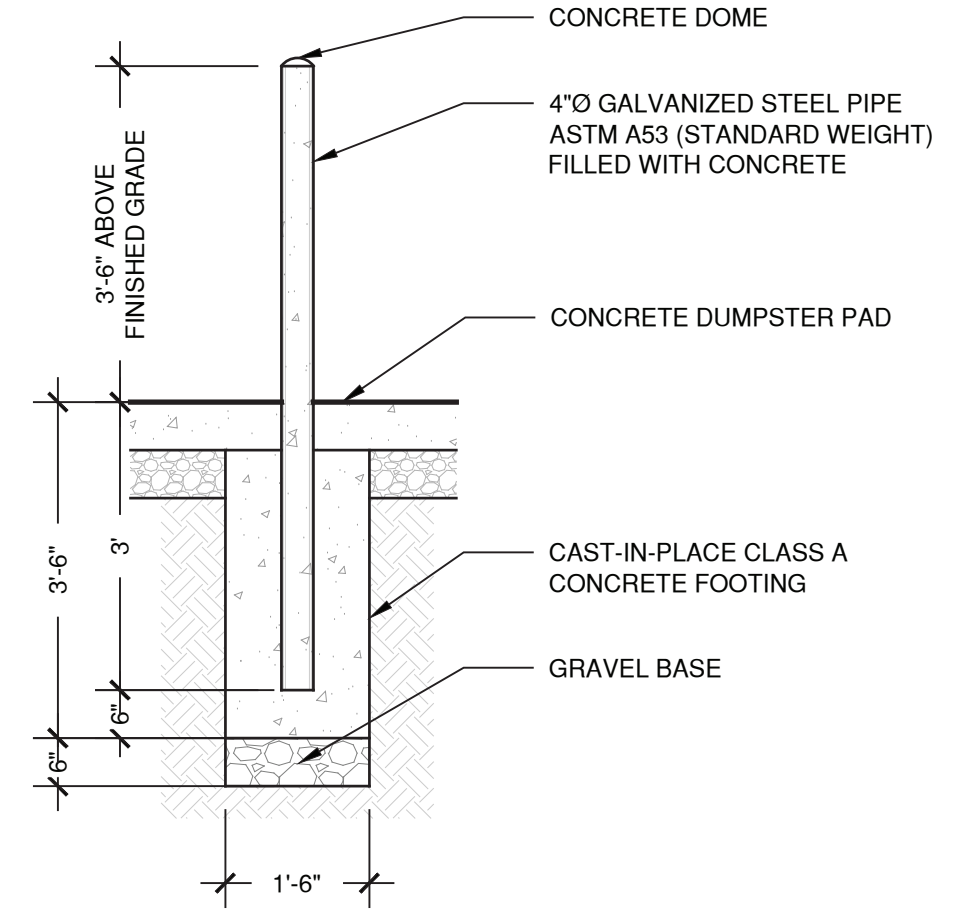
Revisions:
 Issue Dates:

PERMIT SET
 JULY 12, 2021

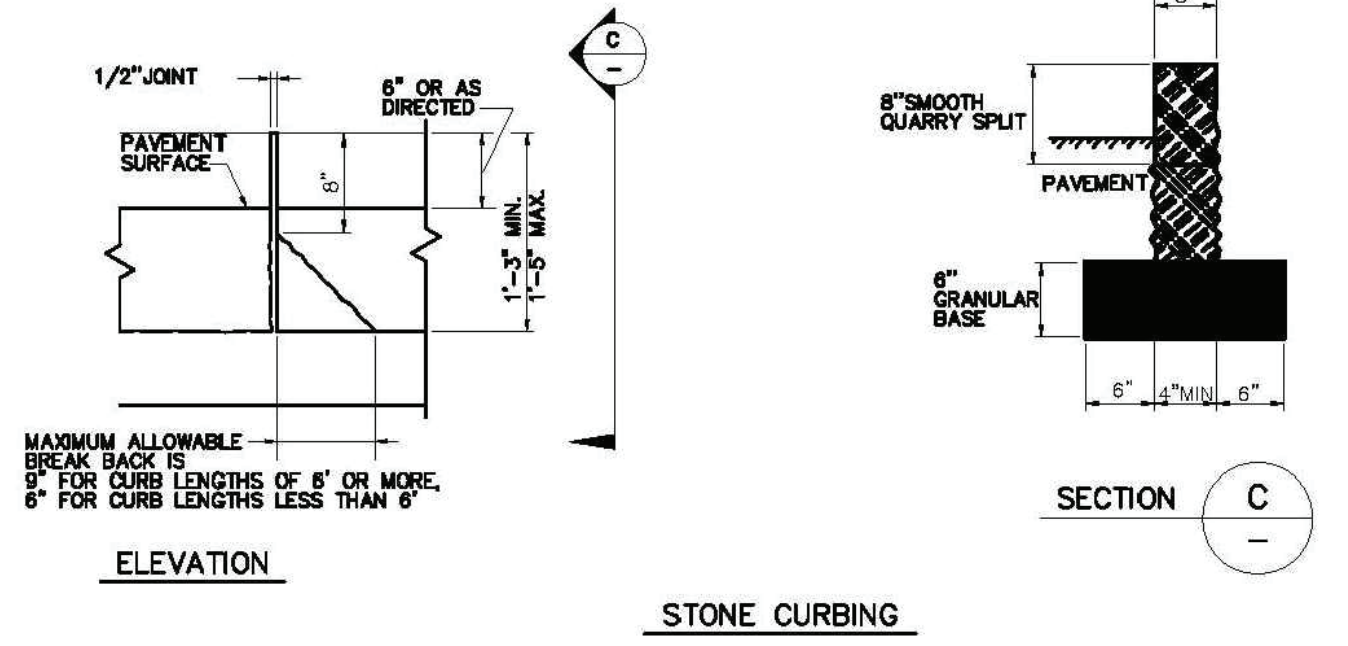
DETAILS
L-5.2



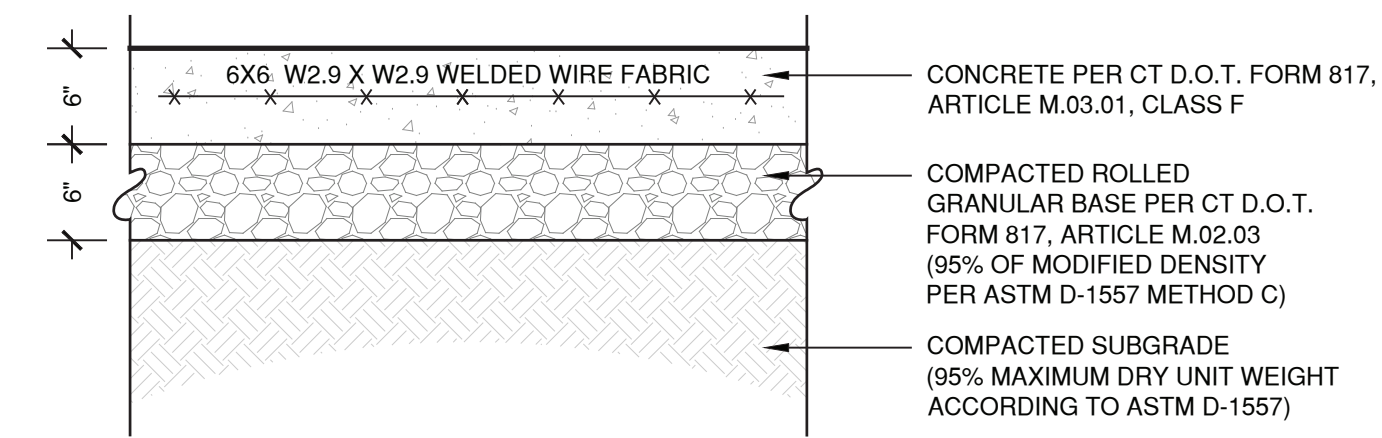
1 CONCRETE PAVEMENT AT DOOR
 SCALE 1" = 1'-0"



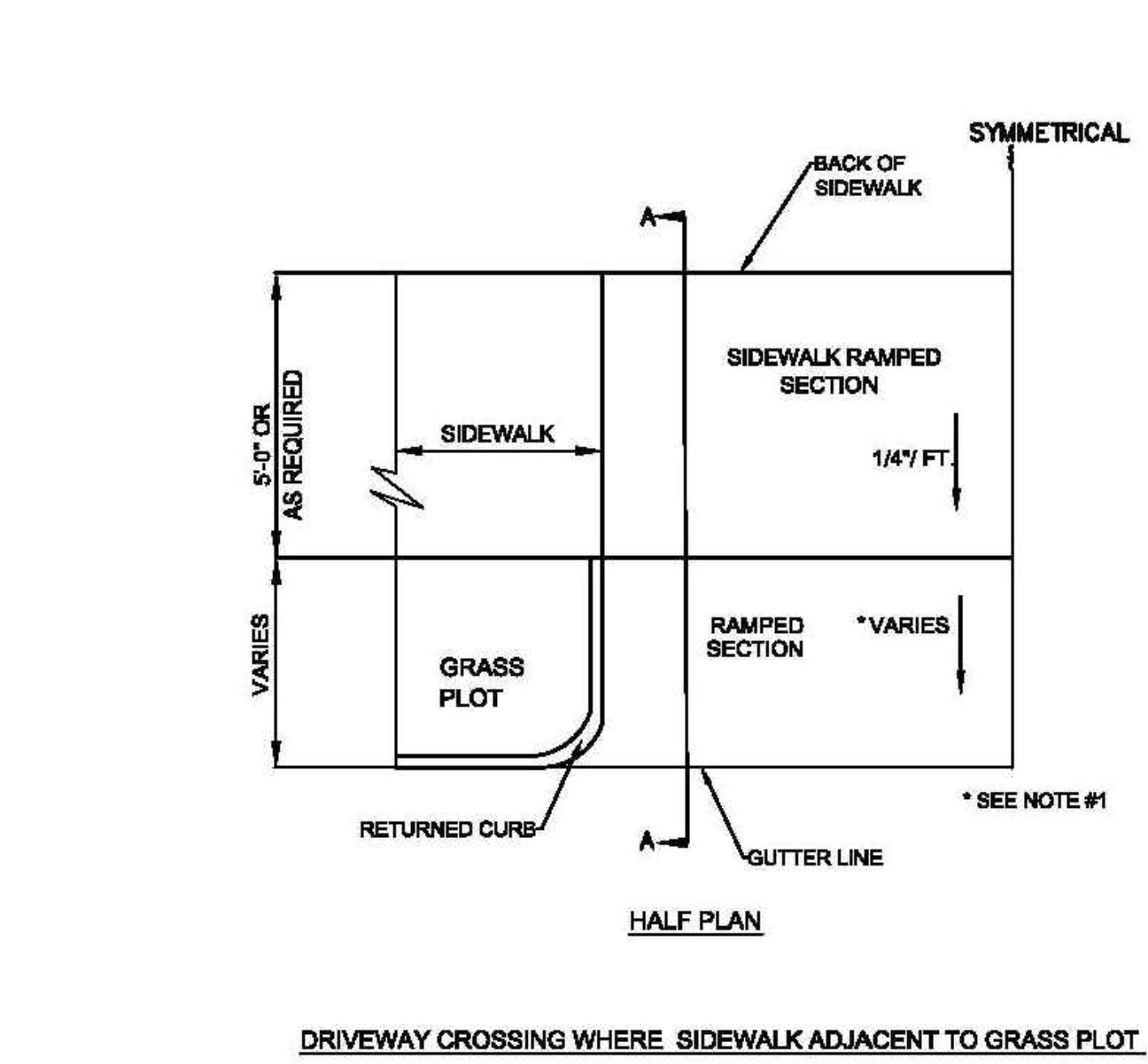
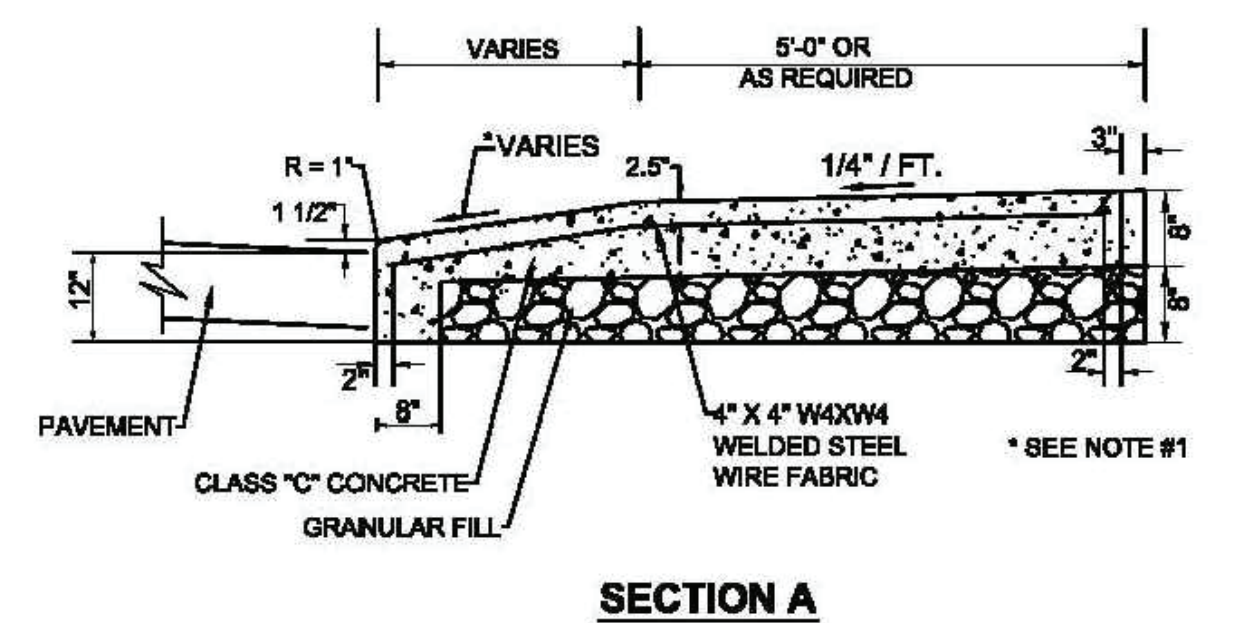
4 4" STEEL BOLLARD AT DUMPSTER PAD
 SCALE 1/2" = 1'-0"



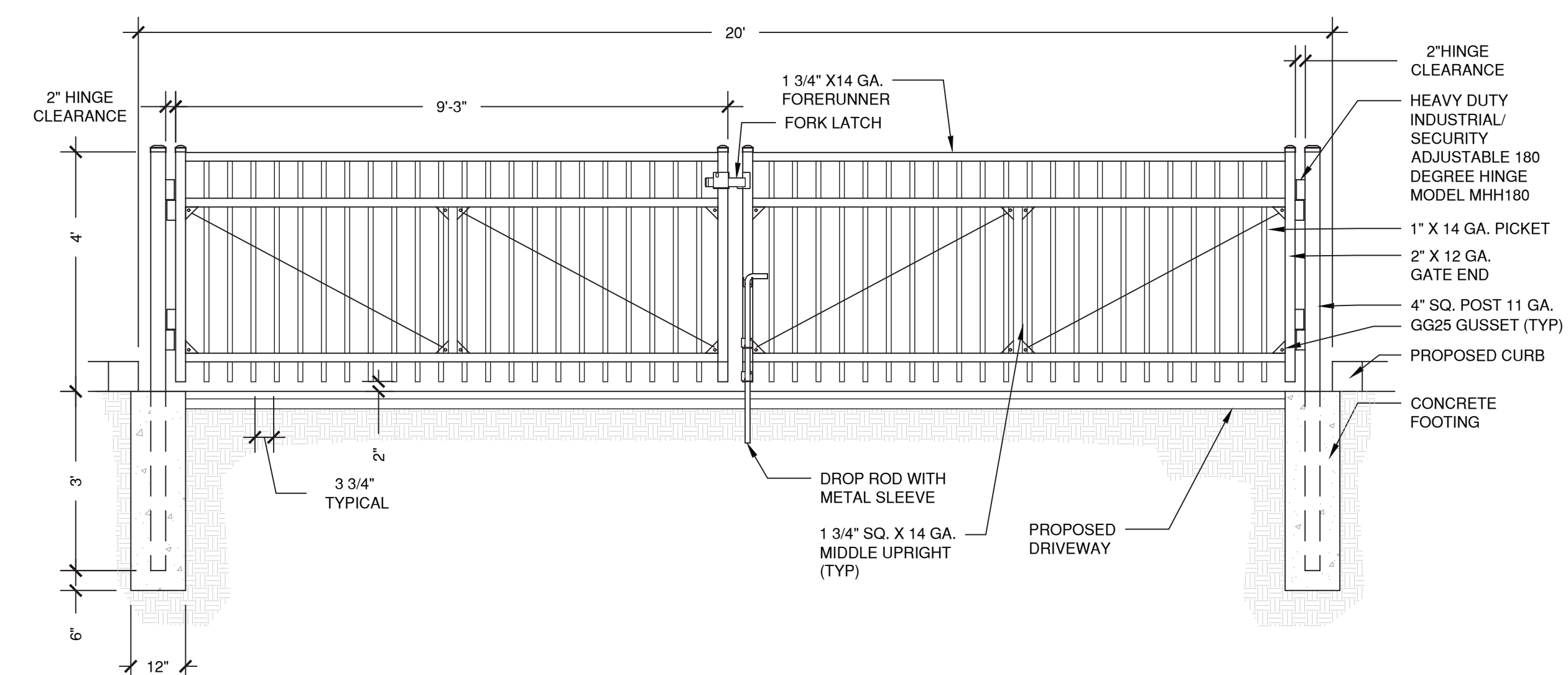
6 GRANITE CURB - CITY OF BRIDGEPORT STANDARD
 SCALE NTS



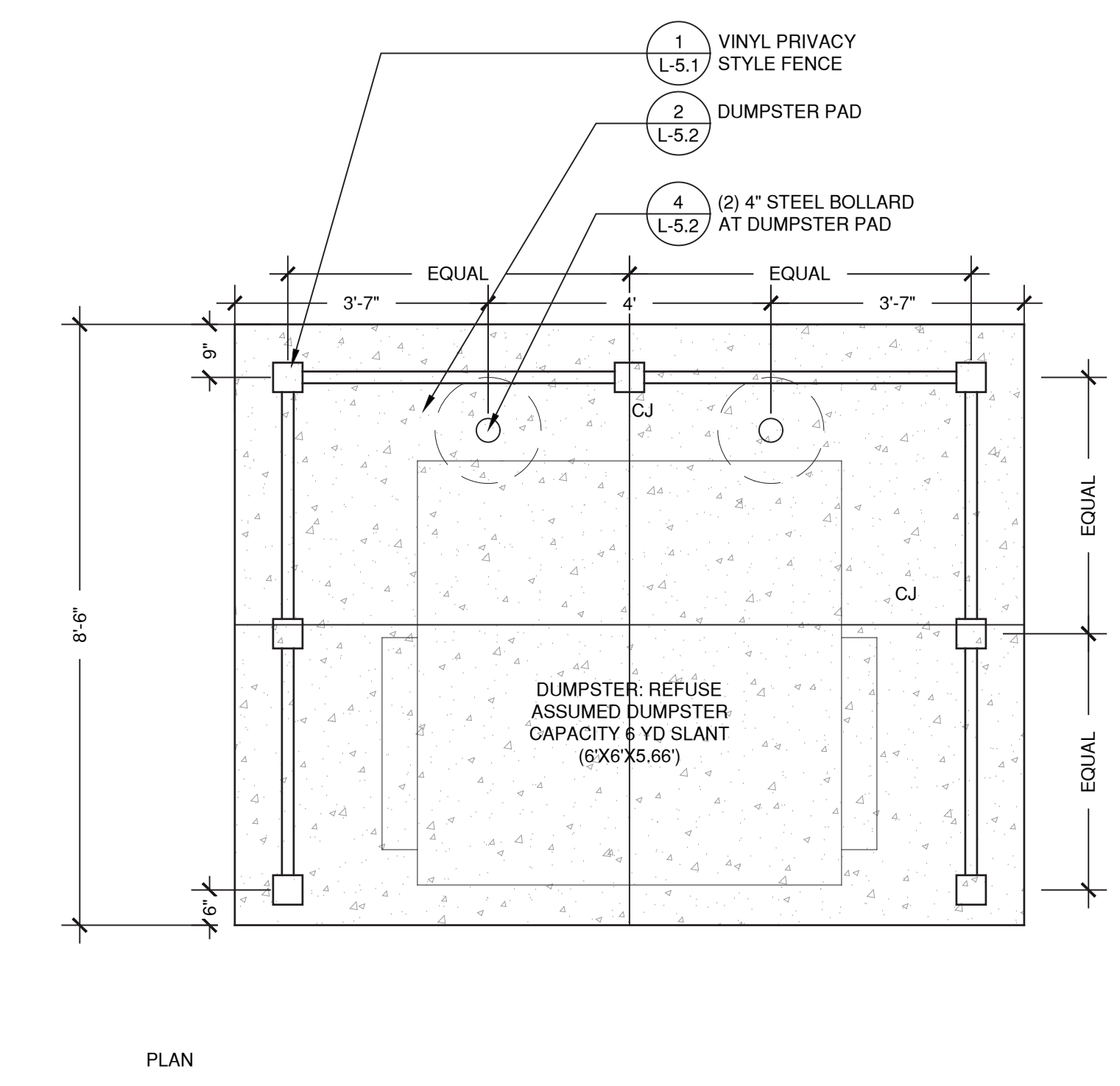
2 DUMPSTER PAD
 SCALE 1" = 1'-0"



5 DRIVEWAY APRON - CITY OF BRIDGEPORT STANDARD
 SCALE NTS



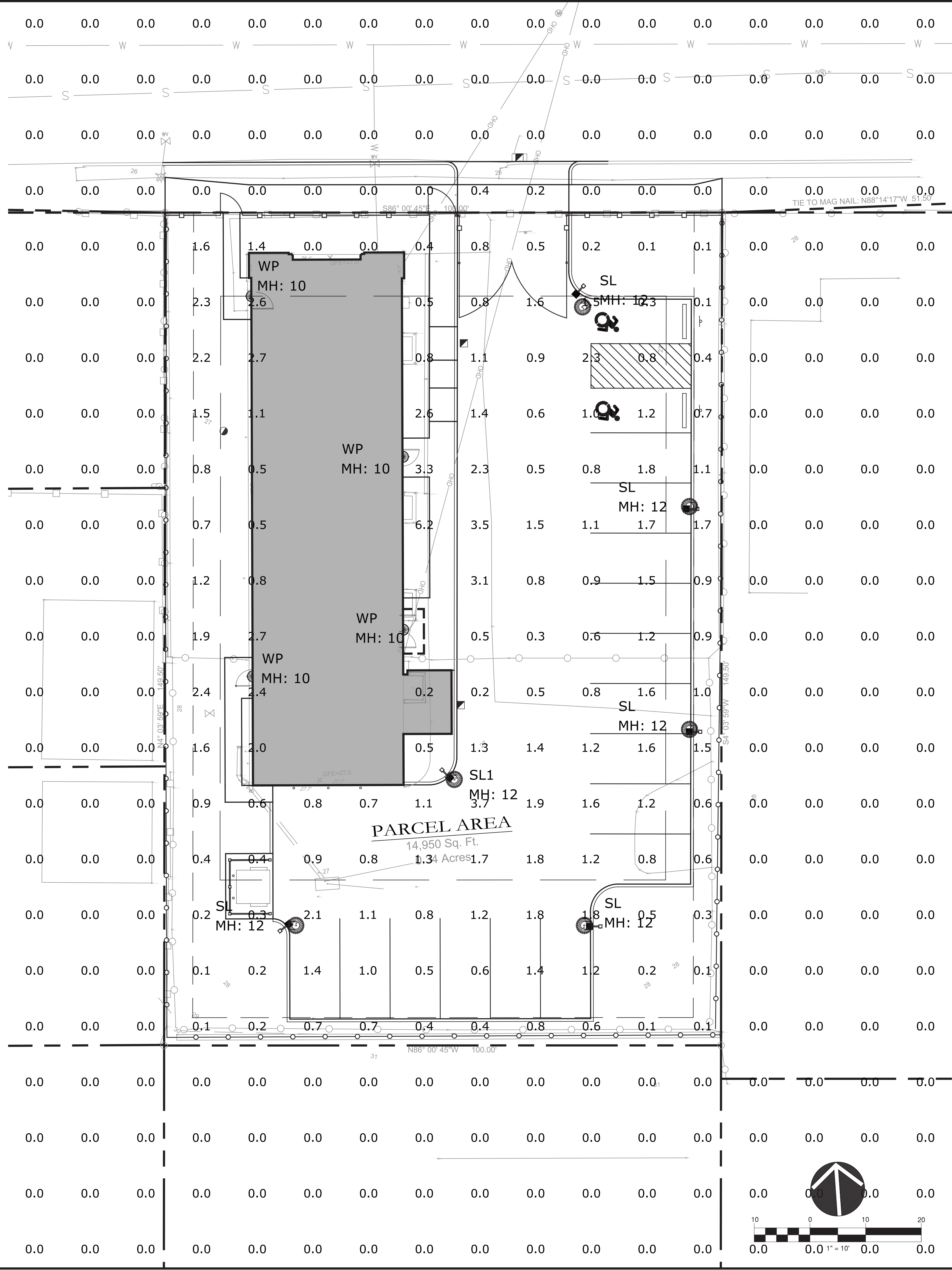
7 DOUBLE WIDE METAL GATE
 SCALE NTS = 1'-0"



3 PVC DUMPSTER ENCLOSURE
 SCALE 1/2" = 1'-0"

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Luminaire Schedule						
Symbol	Qty	Label	Description	LLF	Lum. Lumens	Lum. Watts
⊙	1	SL1	Visionaire - ODN-1-L-T4-16LC-3-3K-UNV-AM-BK-C6H1 on RNTS-4R-7-12'-9BC-343-S1 pole. Pole Arm TN 101 Arm	0.900	2174	18
⊙	4	WP	Visionaire - PGR5-1-T4-16LC-3-3K-UNV-WM	0.900	2322	17
⊙	5	SL	Visionaire - ODN-1-L-T4-16LC-3-3K-UNV-AM-BK-C6H1-CLS on RNTS-4R-7-12'-9BC-343-S1 pole. Pole Arm TN 101 Arm	0.900	1587	18



QA+M
architecture
QuisenberryArcariMalik
195 Scott Swamp Road
Farmington, CT 06032
qamarch.com

todesign
114 WEST MAIN STREET
SUITE 202
NEW BRITAIN, CT 06051
860-612-1700
todesignllc.com

SITE DESIGN
LANDSCAPE ARCHITECTURE
URBAN PLANNING



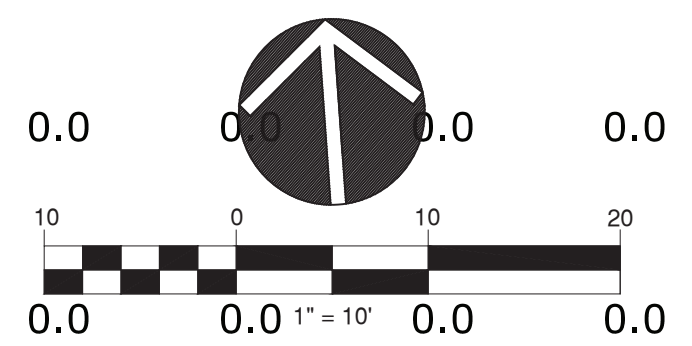
RENOVATION FOR THE:
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Project #: 1844
To Design # 6337

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Issue Dates:

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JULY 12, 2021

PHOTOMETRICS PLAN
L-6.0

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CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

436-500 North Avenue Zone MX2
(Number) (Street) (Zone Classification)

On the North side of the street about 15 feet North from
(North, South, East, West) (North, South, East, West)

Lindley Street Block : 2131 Lot: 3
(Street)

Dimension of Lot in Question 12.36' x 237.15' x 6.35' x 108.2' x 208.98' x 60.58' x 274.97' - see Schedule A
(Specify)

1. NAME OF APPLICANT / BUSINESS JEM 500 North, LLC
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Wendy's Restaurant with Drive Through Facility

5. THIS APPLICATION RELATES TO: Check all that Apply
 Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: §3.30.4 Primary Street Wall

6. USE TO BE MADE OF PROPERTY Wendy's Restaurant with drive through facility

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached.

APPLICANT [Signature], Diane Lord DATE 3/3/22
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) Lawyer, dlord@wwbkw.com
(Email)

Mailing Address 1000 Bridgeport Ave., Suite 501, Shelton, CT 06484 203-366-3939
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT [Signature] Print Eli Shilian
(If other than owner) (Signature)

Subscribe & Sworn to before me this 2nd day of March 20 22
Notary Public in & for the County of Fairfield, State of Connecticut
[Signature] Kings New York

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: _____ DATE: _____, 20____ Clerk _____

FOR OFFICE USE ONLY (Rev. 6/22/16)

IZIDOR MIKHILI
NOTARY PUBLIC-STATE OF NEW YORK
No. 02MI62182181
Qualified in Kings County
My Commission Expires March 01, 2018

22

SCHEDULE A

Property Description 436-500 North Avenue Bridgeport, CT

Being a certain parcel of land situated in the City of Bridgeport and State of Connecticut, as depicted on a map entitled "Property and Topographic Survey, of property located at 436-500 North Avenue, Bridgeport, Connecticut, prepared for JEM 500 North LLC", scale 1"=20'. Dated Aug. 20, 2021, by Rose-Tiso & Co., LLC, being more particularly bounded and described as follows:

Commencing at a point, said point being the intersection of the northwesterly street line of North Avenue with the northerly street line of Lindley Street, said point also being the southeasterly corner of land now or formerly of 512 North Avenue, LLC, said point also being the southernmost point of the parcel herein described,

Thence in a northwesterly direction, bounded westerly by land now or formerly of 512 North Avenue, LLC the following 3 courses:

N 00° 09' 08" W, 237.15 feet,
N 56° 22' 25" W, 6.35 feet, and
N 00° 09' 08" W, a distance of 108.20 feet to a point,

Thence S 72° 56' 31" E, bounded northwesterly by land now or formerly of Estate of F. Francis D'addario, a distance of 208.98 feet to a point;

Thence in a southwesterly direction along the westerly street line of North Avenue the following four courses:

Along a curve to the right having a radius of 391.72 feet, an interior angle of 80° 51' 39" and an arc length of 60.58 feet,
S 33° 54' 27" W, 274.97 feet and
S 57° 19' 45" W, a distance of 12.36 feet to the point of a commencement.

Said described parcel of land contains 35,859 sq. ft. or 0.8233 Acres.

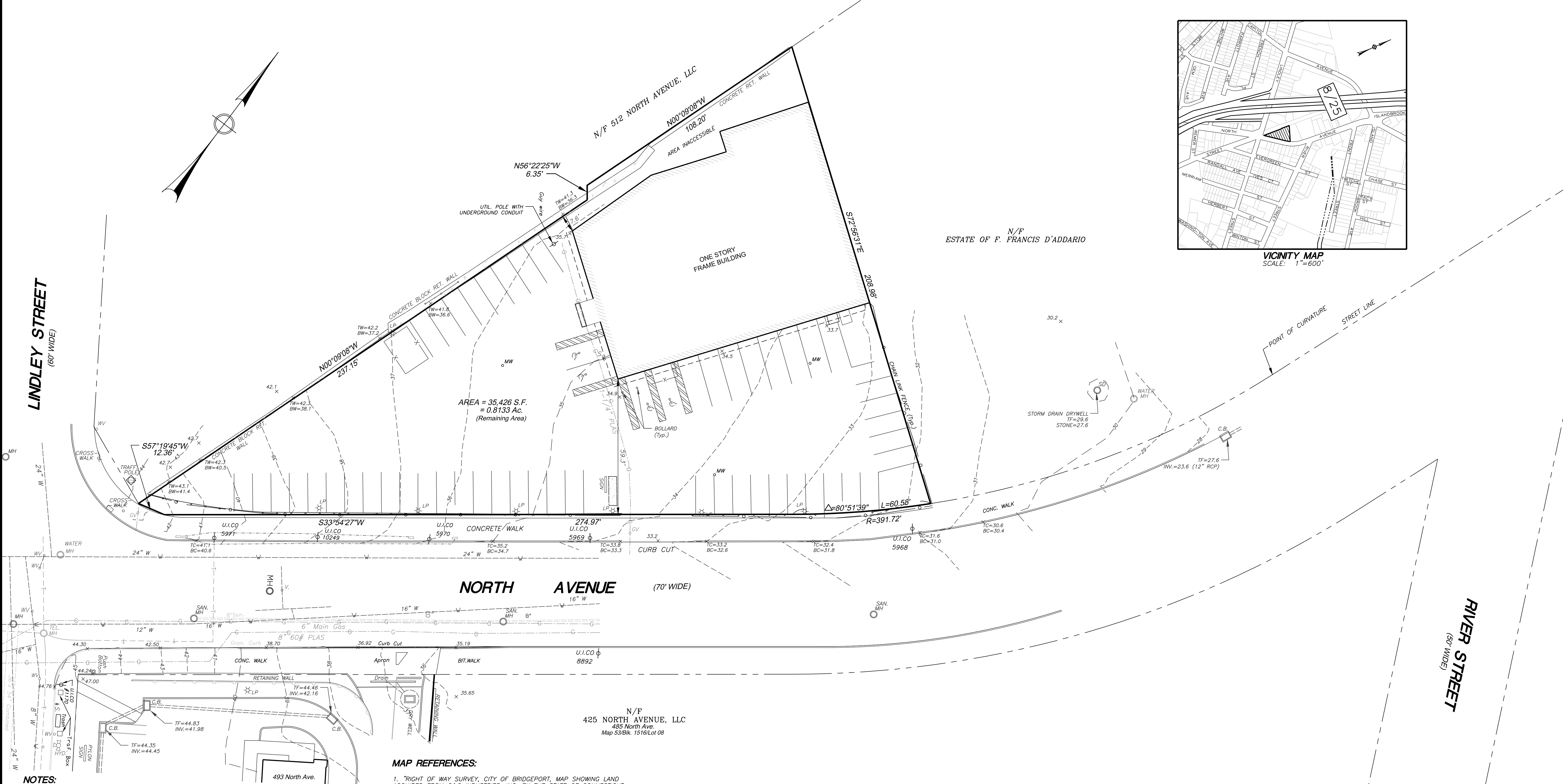
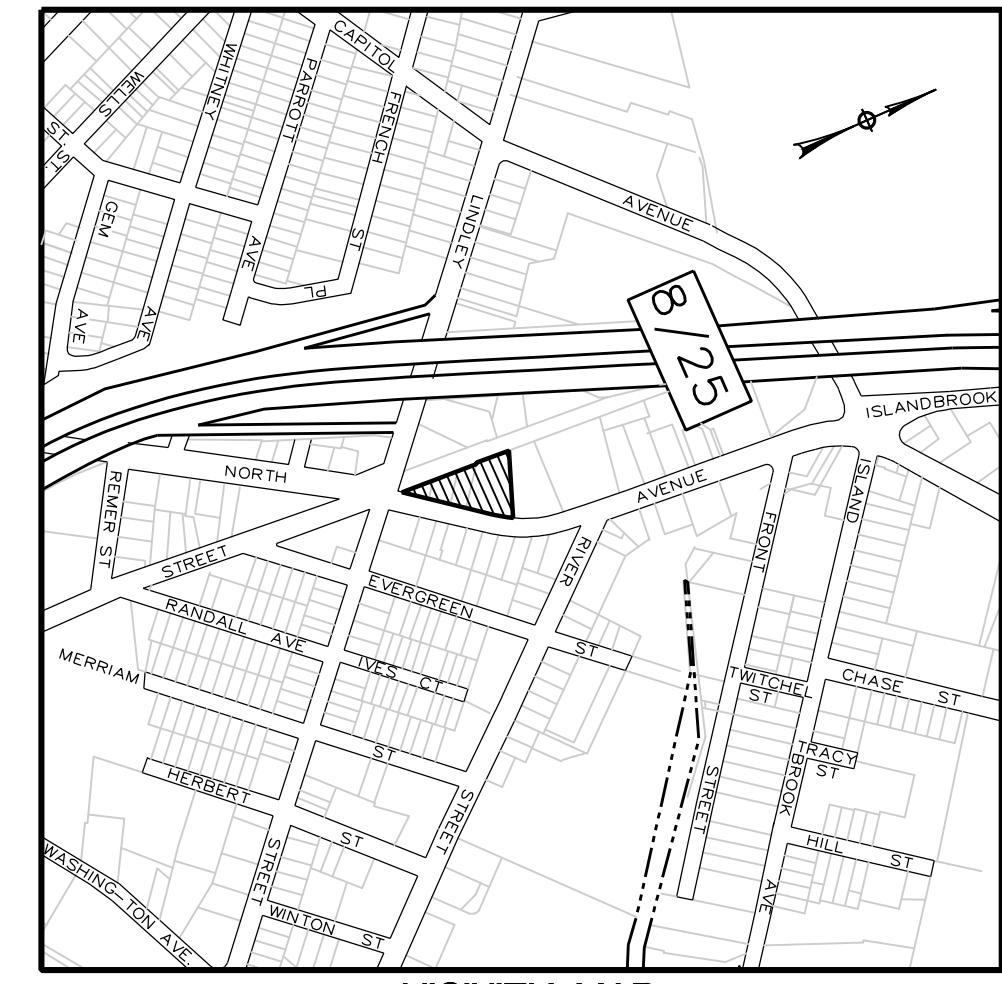
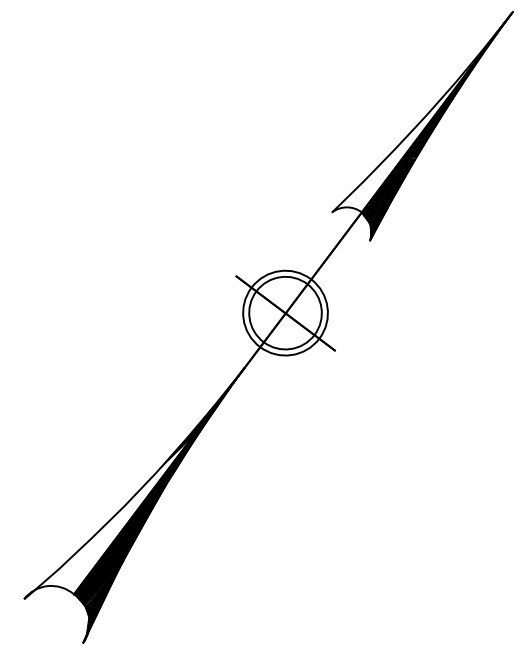
JEM 500 NORTH, LLC
436-500 NORTH AVENUE, BRIDGEPORT, CT
ABUTTING PROPERTY OWNERS & OWNERS
WITHIN 100 FEET OF SUBJECT PROPERTY

ABUTTING PROPERTY OWNERS

Property Description	Owner(s)	Mailing Address
360 Lindley St.	512 North Avenue, LLC	120 River St. Bridgeport, CT 06604
410 North Ave.	Estate of Francis Daddario	PO Box 7056 Bridgeport, CT 06601

**Non-Abutting Property
Owners within 100'**

493 North Ave.	Shiangling Lin Wong	183 S. Bonnie Ave., #5 Pasadena, CA 91106
133 Evergreen St.	425 North Avenue, LLC	3421 Main St., Unit D Stratford, CT 06614
485 North Ave.	425 North Avenue, LLC	3421 Main St., Unit D Stratford, CT 06614
380 Lindley St.	Charlie Lindley, LLC	323 North Ave. Bridgeport, CT 06604
415 North Ave.	HOCAP Corp.	469 Brooklawn Ave. Fairfield, CT 06825



- MAP REFERENCES:**
- "RIGHT OF WAY SURVEY, CITY OF BRIDGEPORT, MAP SHOWING LAND ACQUIRED FROM O&G INDUSTRIES, INC. BY THE STATE OF CONNECTICUT, DEPT. OF TRANSPORTATION, RECONSTRUCTION OF HOUSATONIC AVENUE." DATED JAN. 1999, SCALE 1:250, PROJ. No. 15-263, SERIAL No. 5, SHEET 1 OF 1. BRIDGEPORT TOWN CLERK MAP VOL. 53, PG. 51.
 - "RIGHT OF WAY SURVEY, CITY OF BRIDGEPORT, MAP SHOWING LAND ACQUIRED FROM MAIN AND SUMMIT CORP. BY THE STATE OF CONNECTICUT, DEPT. OF TRANSPORTATION, RECONSTRUCTION OF HOUSATONIC AVENUE." DATED JAN. 1999, SCALE 1:250, PROJ. No. 15-263, SERIAL No. 4, SHEET 1 OF 1. BRIDGEPORT TOWN CLERK MAP VOL. 53, PG. 11.
 - "PLOT PLAN, OF PROPERTY LOCATED AT 436 NORTH AVENUE, BRIDGEPORT, CONN., PREPARED FOR MEDICAL LABORATORY SERVICES, INC." MAP DATED APR. 24, 1991, REVISED MAY 23, 1991, SCALE 1"=20', PREPARED BY KASPER ASSOCIATES, INC., BRIDGEPORT, CONN.
 - "MAP OF PROPERTY FOR FRANK J. AND MARIE J. PINTO, BRIDGEPORT, CONN." DATED MAY 22, 1968, SCALE 1"=20', PREPARED BY THOMAS J. HARDIMAN, TOWN CLERK MAP VOL. 35, PG. 40.
 - "PLAN OF SURVEY, LOT No. 55, MAP OF A. L. WINTON, BRIDGEPORT, CONN. FOR PAT DINARDO." DATED SEPT. 10, 1971, SCALE 1"=20', PREPARED BY FULLER & CO., INC., BRIDGEPORT, CONN. TOWN CLERK MAP VOL. 36, PG. 14.
 - "MAP OF SURVEY OF PROPERTY IN BRIDGEPORT, CONN. FOR DINARDO BROTHERS, INC." DATED MAY 23, 1961, SCALE 1"=20', PREPARED BY FULLER & CO., INC. TOWN CLERK MAP VOL. 29, PG. 18.
 - "LAND TO BE CONVEYED FROM CON-RAIL TO O & G INDUSTRIES INC., SITUATE IN BRIDGEPORT, CONNECTICUT." DATED MAR. 20, 1981, SCALE 1"=40', PREPARED BY KENNETH S. RYAN, L.S. TOWN CLERK MAP VOL. 48, PG. 14.
 - "ALTA/ACSM AS-BUILT, PREPARED FOR KEY LINCOLN MERCURY, 425 NORTH AVENUE, BRIDGEPORT, CONNECTICUT." DATED SEPT. 17, 2000, LAST REVISED JUNE 14, 2001, SCALE 1"=20', PREPARED BY LAND SURVEYING SERVICES, LLC, EASTON, CONN. AND U.S. SURVEYOR, AES GROUP, INC., NEWBURGH, INDIANA. BRIDGEPORT TOWN CLERK MAP VOL. 53, PG. 112.

- NOTES:**
- THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20, "THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1996. THE TYPE OF SURVEY IS AN IMPROVEMENT LOCATION SURVEY. IT IS A RESURVEY CONFORMING TO CLASS A-2 HORIZONTAL ACCURACY STANDARDS.
 - ADDITIONAL PROPERTY CORNER MONUMENTATION NOT SET.
 - PROPERTY IS SUBJECT TO THE FOLLOWING VARIANCES, RECORDED IN VOL. 7156 PAGE 177, VOL. 7322 PAGE 300 AND VOL. 7322 PAGE 301.
 - PROPERTY IS SUBJECT TO A SPECIAL PERMIT RECORDED IN VOL. 7780 PAGE 207.

- LEGEND**
- + S. SIGN
 - BOLLARD
 - ⊙ LIGHT POLE
 - ⊙ UTILITY POLE
 - ⊙ G.V. GAS VALVE
 - ⊙ W.V. WATER VALVE
 - ⊙ HYD. HYDRANT
 - ⊙ C.B. CATCH BASIN
 - ⊙ M.H. MAN HOLE
 - G — UNDERGROUND GAS LINE
 - E — UNDERGROUND ELECTRIC LINE
 - T — UNDERGROUND TELEPHONE LINE
 - W — EXIST. WATER LINE
 - S — EXIST. SAN. SEWER LINE
 - SS — EXIST. STORM SEWER LINE

Certified To: Stormfield Capital Funding I, LLC, ISAOA/ATIMA, and CATIC:

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Philip L. Tiso
 PHILIP L. TISO, L.S. CONN. LIC. No. 12324
 NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE SIGNATURE AND THE EMBOSSED SEAL OF THE ABOVE NAMED LAND SURVEYOR.

AREA = 35,859 S.F. = 0.8232 ACRES

REVISIONS		
NO.	DESCRIPTION	DATE

0 10 20 40 60
 SCALE IN FEET

PROPERTY AND TOPOGRAPHIC SURVEY

OF PROPERTY LOCATED AT
436-500 NORTH AVENUE
BRIDGEPORT, CONNECTICUT

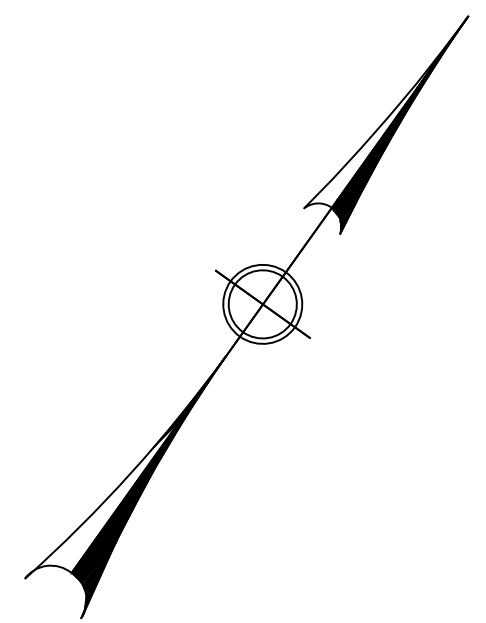
PREPARED FOR
JEM 500 NORTH LLC

DATE: AUG. 20, 2021
 SCALE: 1" = 20'
 DRAWN BY: PKG
 CHECKED BY: PLT
 SHEET 1 OF 1
 DWG: 2611-M1.dwg
 PATH: S:\Survey\2611-436-500NorthAve\dwg

Rose Tiso & Co., LLC.
 ARCHITECTS • SURVEYORS • ENGINEERS
 30 WENTWOOD AVENUE, FAIRFIELD, CT 06424
 TEL: 203.254.1234 FAX: 203.254.1234

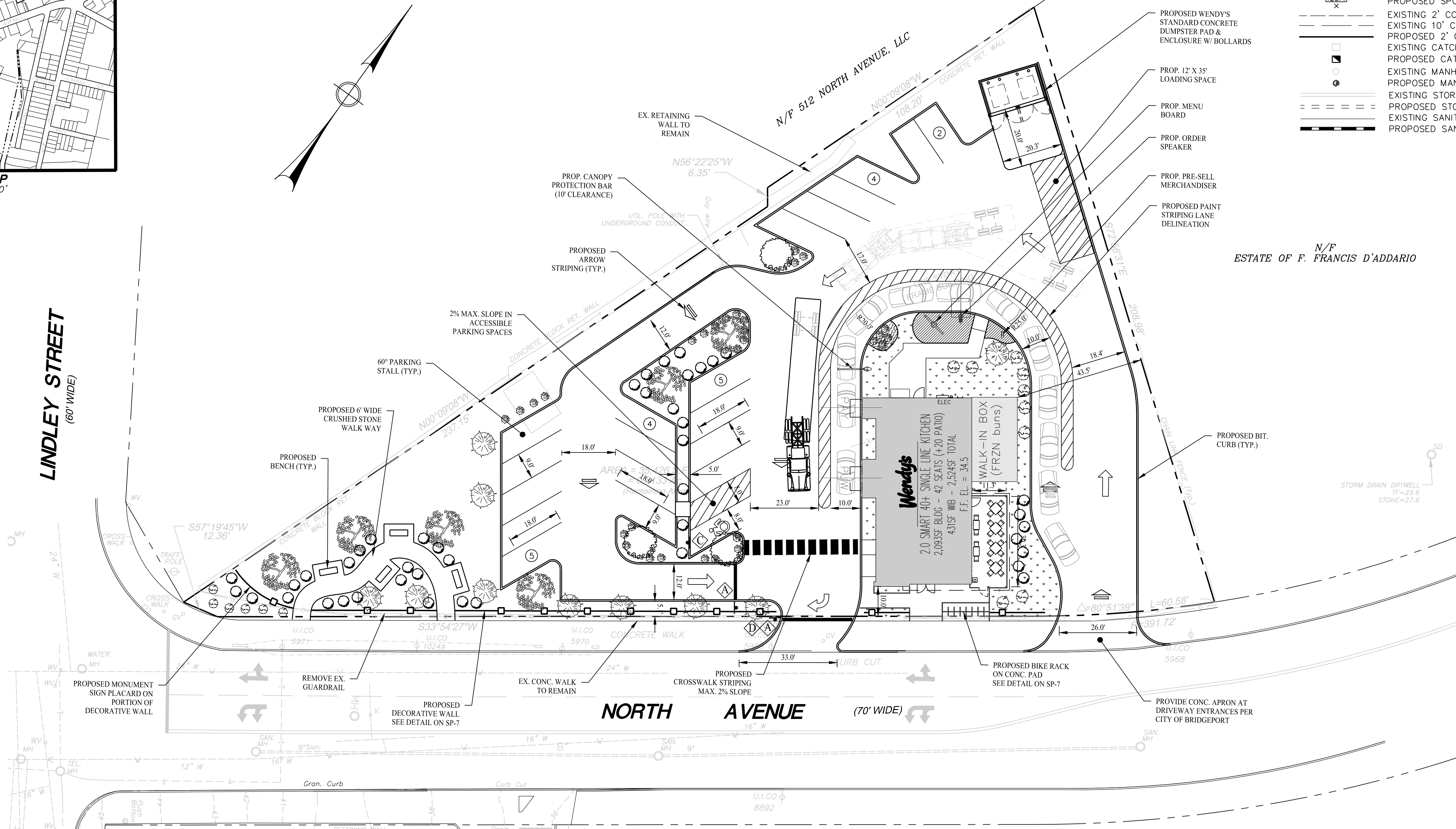


VICINITY MAP
SCALE: 1"=600'



LEGEND

	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	PROPERTY LINE
	STREAM
	WETLANDS
	PROPOSED BUILDING
	PROPOSED SPOT ELEVATION
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	PROPOSED 2' CONTOUR
	EXISTING CATCH BASIN
	PROPOSED CATCH BASIN
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING STORM PIPES
	PROPOSED STORM PIPES
	EXISTING SANITARY PIPES
	PROPOSED SANITARY PIPES



REVISIONS

NO.	BY	DATE	DESCRIPTION
1.	SFS	12/28/2021	SITE PLAN REVISED
2.	SFS	1/27/2022	ZONING RE-SUBMISSION
3.	SFS	2/23/2022	ENGINEERING COMMENTS

PROJECT TITLE
COMMERCIAL DEVELOPMENT

**436-500 NORTH AVE.
BRIDGEPORT, CONNECTICUT**

Prepared For:
JEM 500 NORTH, LLC

PLANT LIST

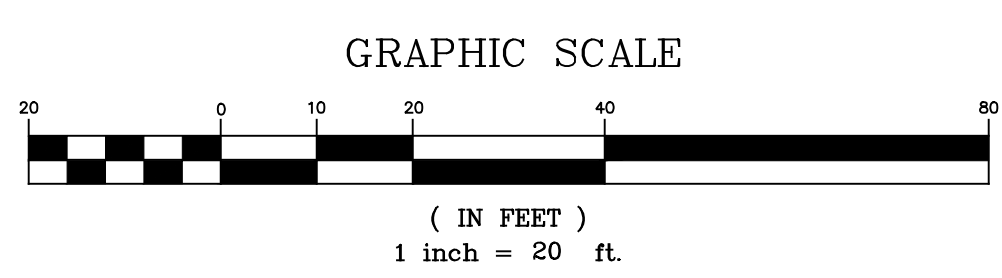
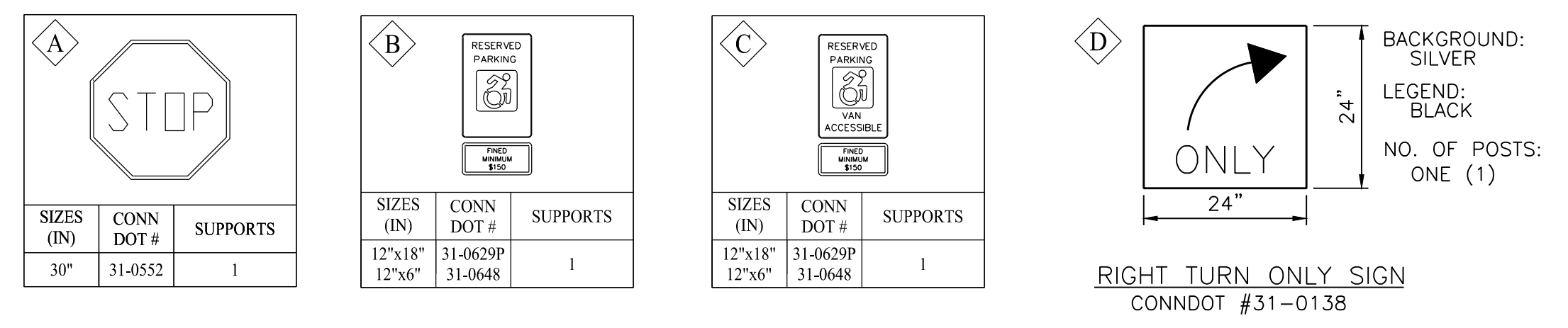
KEY	QUANT.	BOTANICAL NAME	COMMON NAME	SIZE
TREES:				
	10	QUERCUS PALUSTRIS	PIN OAK	2-2 1/2" CAL
	6	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	2-2 1/2" CAL
	3	CORNUS KOUSA	KOREAN DOGWOOD	2" CAL.
UPLAND SHRUBS & GRASSES:				
	44	Azalea Delaware Valley White	White Azalea	18-24" HT.
	31	Rhododendron PJM	PJM Rhododendron	24-30" HT.
	14	Calamagrostis Acutiflora	Feather Reed Grass	36-60" HT.
			MULCH	
			GROUNDCOVER	
			SEASONAL COLOR	
			TURF SEEDING / SOO	

ZONING COMPLIANCE TABLE

ZONE: MX2: COMMERCIAL CENTER BUILDING TYPE 3.30

ZONING REQUIREMENT	MX2 ZONE	EXISTING	PROPOSED
LOT WIDTH	60 FT. MIN.	347.9'	347.9'
PRIMARY STREETWALL	60% MIN. - 208.75 FT. MIN.	115.2*	215.4'
PRIMARY STREET BUILD-TO-ZONE	3 FT. MIN. 20 FT. MAX.	59.3*	10.0'
NON-PRIMARY STREET BUILD-TO-ZONE	0 FT. MIN. 15 FT. MAX.	N/A	N/A
SIDE SETBACK	5 FT. MIN.	0.0*	43.5'
REAR SETBACK	5 FT. MIN.	7.6'	71.1'
SITE COVERAGE	80% MAX.	96.4%*	71.7%
BUILDING HEIGHT	3 STORIES MAX.	1 STORY	1 STORY

*EXISTING NON-CONFORMING CONDITION



SHEET TITLE
SITE PLAN

DESIGNED BY: PMR	SCALE: 1" = 20'
DRAWN BY: SFS	DATE: 10-15-21
CHECKED BY: MJS	PROJECT NUMBER: 2611
CAD FILE: R:\2611\dwg	

SEAL

SHEET NUMBER
SP-1

REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

**COMMERCIAL
DEVELOPMENT**

436 & 500 NORTH AVE.
BRIDGEPORT, CT 06608


Prepared For:
JEM 500 NORTH, LLC

SHEET TITLE

**FLOOR
PLAN**

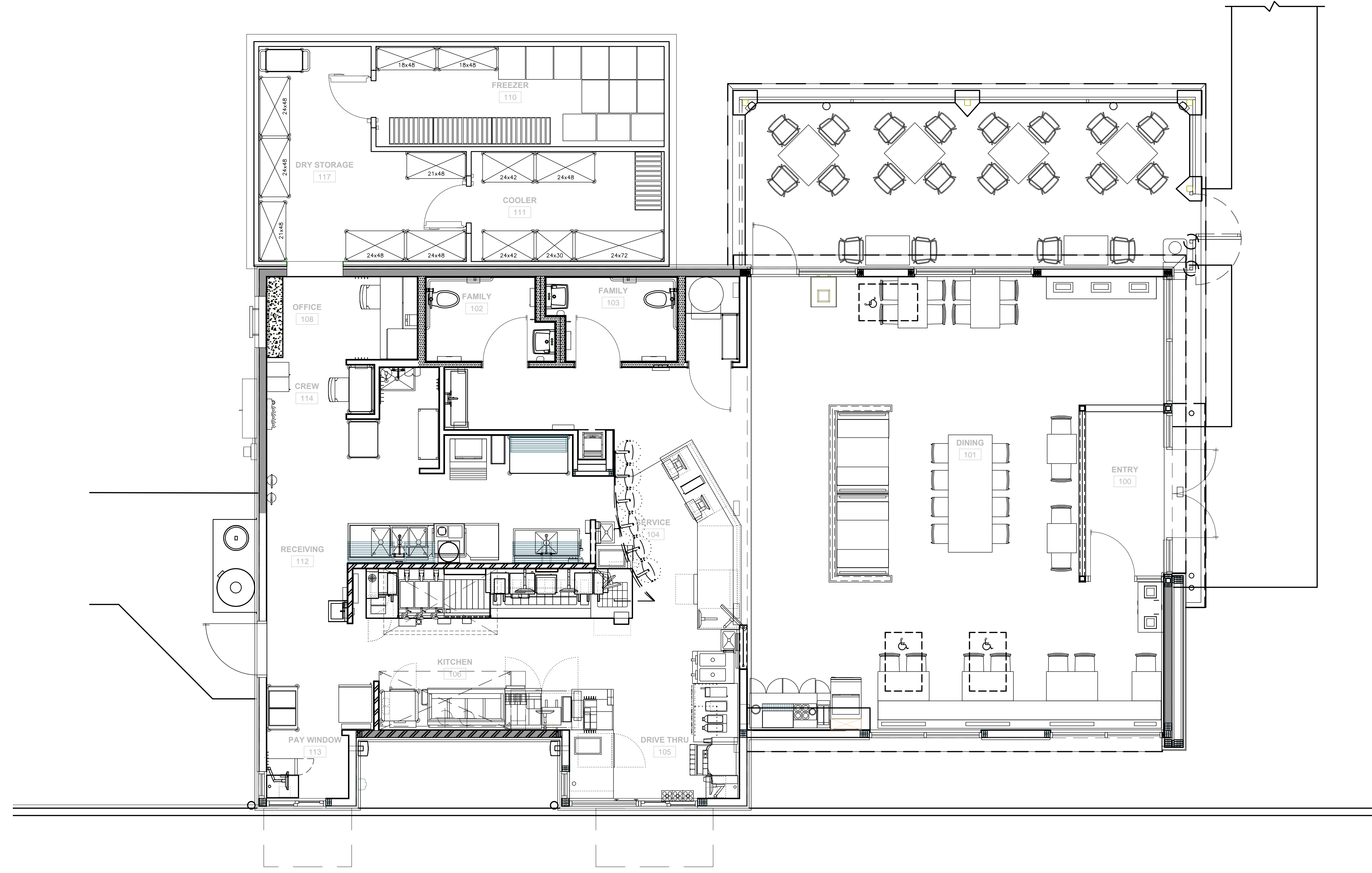
DESIGNED BY: PMR	SCALE: AS NOTED
DRAWN BY: MS	DATE: 10-25-2021
CHECKED BY: PMR	PROJECT NUMBER: 2611
CAD FILE: R:/2611/ARCH_P&Z	

SEAL

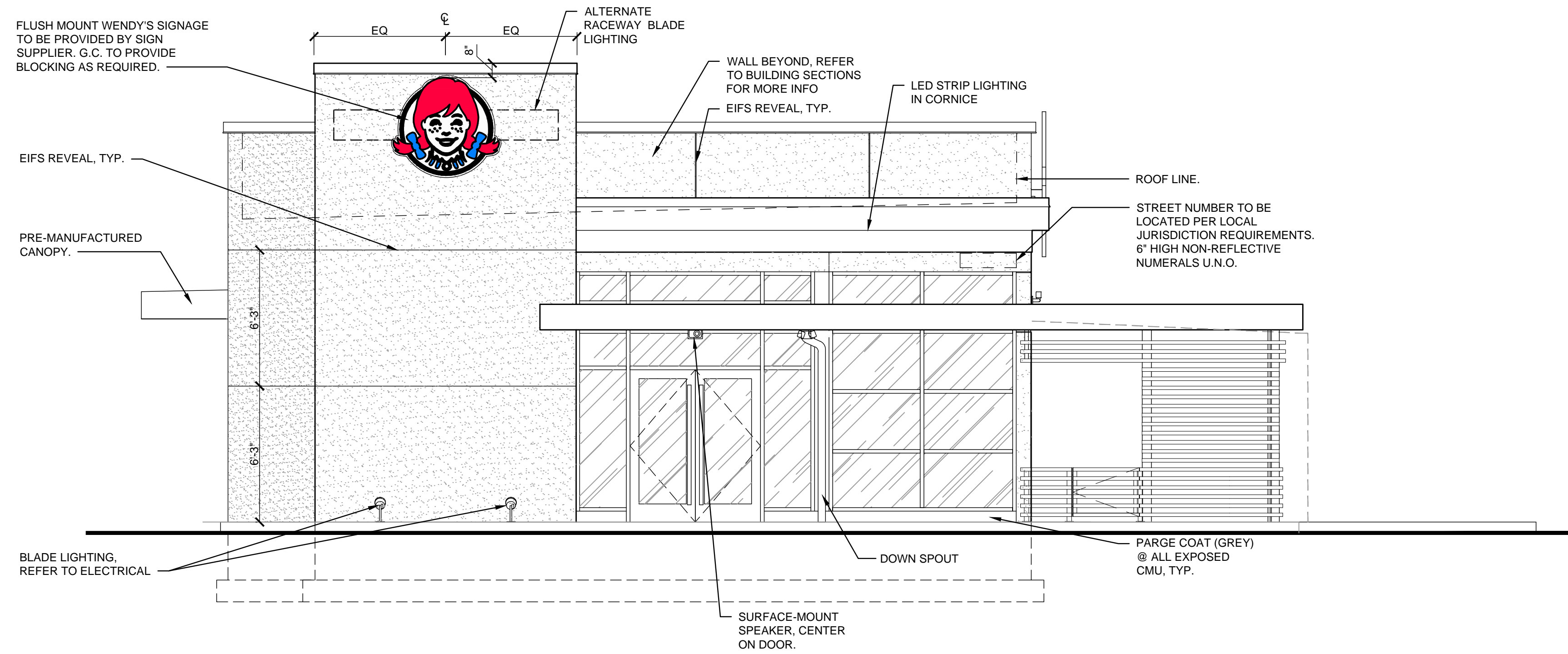


SHEET NUMBER

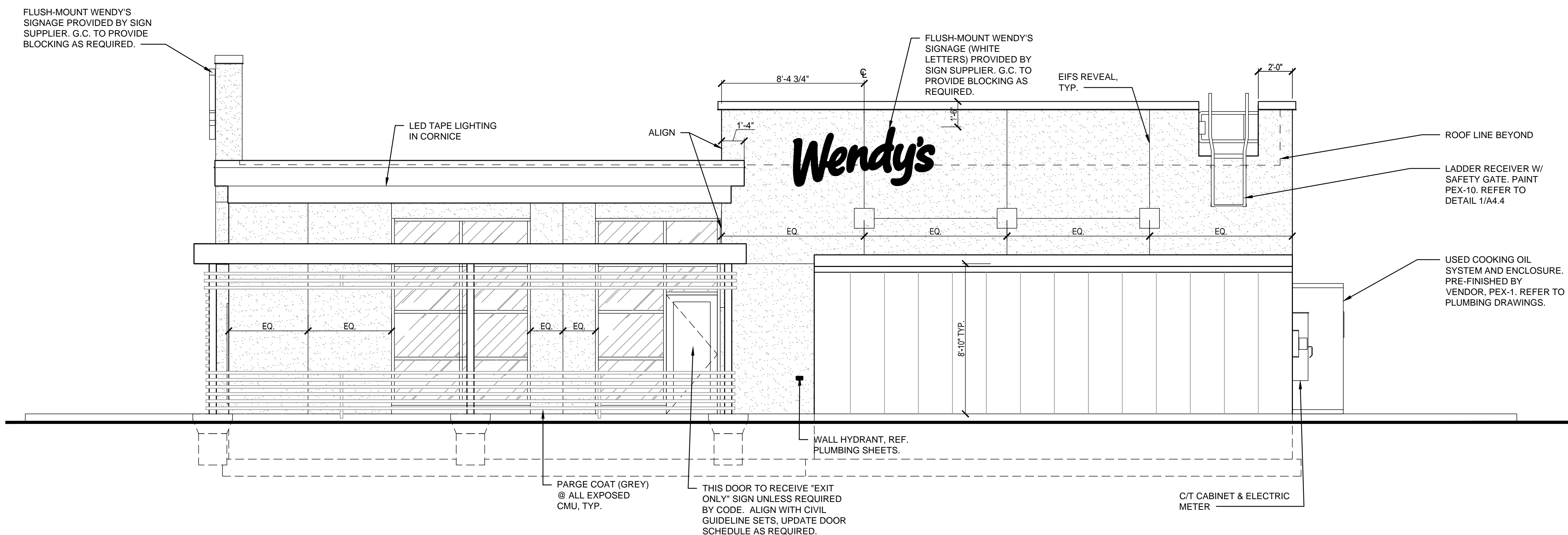
A-1.1



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

COMMERCIAL DEVELOPMENT

**436 & 500 NORTH AVE.
BRIDGEPORT, CT 06608**

Prepared For:
JEM 500 NORTH, LLC

SHEET TITLE

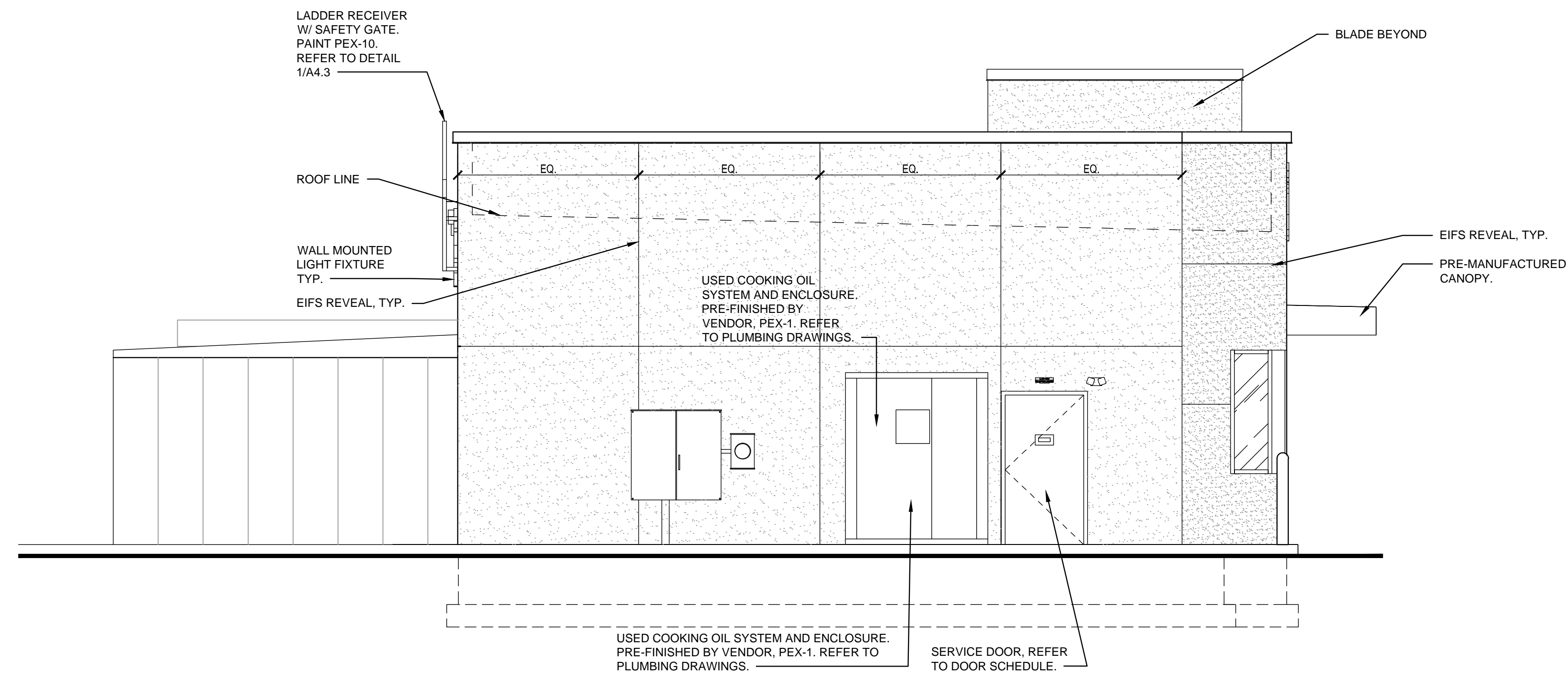
EXTERIOR ELEVATIONS

DESIGNED BY: PMR	SCALE: AS NOTED
DRAWN BY: MS	DATE: 10-25-2021
CHECKED BY: PMR	PROJECT NUMBER: 2611
CAD FILE: R:/2611/ARCH_P&Z	

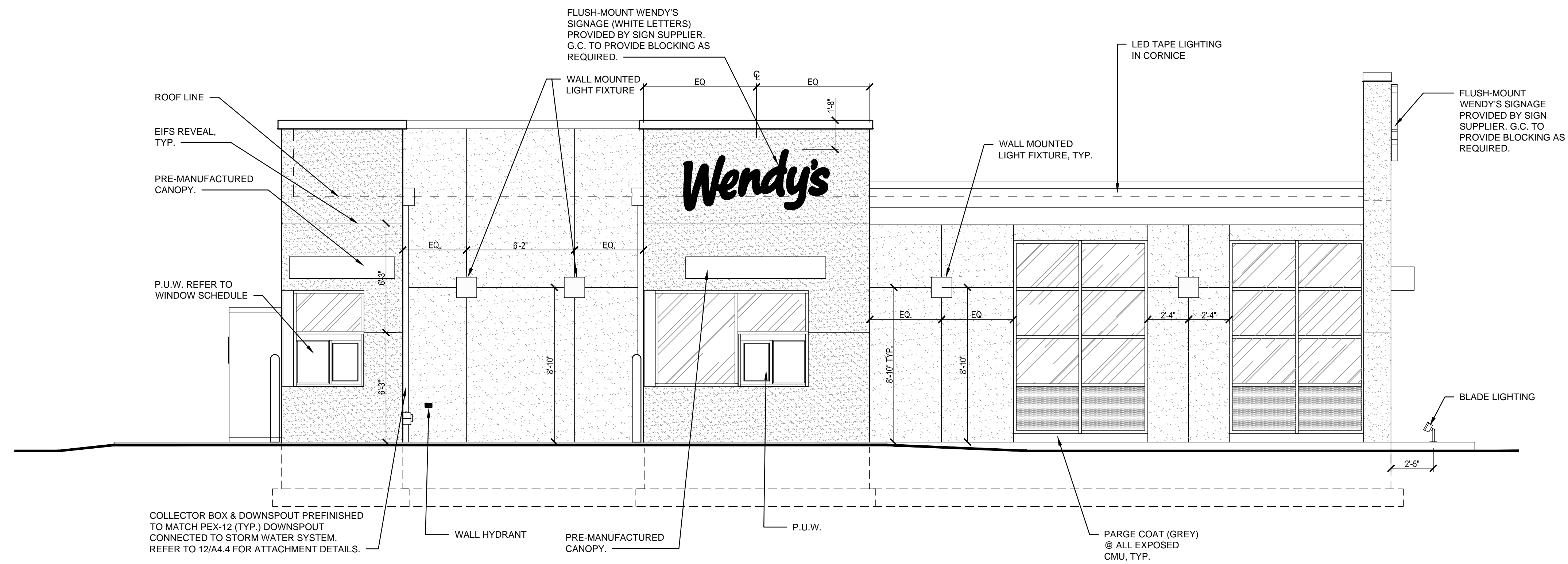
SEAL

SHEET NUMBER

A-2.1



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

COMMERCIAL DEVELOPMENT

436 & 500 NORTH AVE.
BRIDGEPORT, CT 06608

Prepared For:
JEM 500 NORTH, LLC

SHEET TITLE

EXTERIOR ELEVATIONS

DESIGNED BY: PMR	SCALE: AS NOTED
DRAWN BY: MS	DATE: 10-25-2021
CHECKED BY: PMR	PROJECT NUMBER: 2611
CAD FILE: R/2611/ARCH_P&Z	

SEAL

SHEET NUMBER

A-2.2



ZONING BOARD OF APPEALS APPLICATION CHECKLIST

Required Information

- All items must be submitted in sets of (11) Eleven
- All plans & drawings must be full size (24"x36"), drawn to scale and in a PROFESSIONAL manner and must include a title block noting the name, address & telephone number of preparer.
- Site Development Plan prepared in accordance with Sec. 14-2-3b of the Bridgeport Zoning Regulations. Include the Zone Development Standards table indicating both required as well as the proposed Standards.
- Elevation views of a proposed new structure or elevation views of an existing building where an addition or change is proposed.
- Floor plan of building(s) or section of building(s) being considered by the Board.
(All sets **FOLDED DOWN** to 8" x 12")
- A Design Standard submission for new developments.
- A written statement citing the specific provision(s) of the Regulations from which the variance is sought.
- A list of the names & addresses of all property owners within 100 ft of all property lines of the subject property. The Tax Assessor's Office (Room 105) can assist with this information or visit the COB website: <http://gis.cdm.com/BridgeportCT/map.htm>
- All applications must include the following:
 - a) Mailing address & zip code of applicant or authorized agent.
 - b) Daytime telephone number of applicant or authorized agent.
 - c) Signature of owner(s) & applicant(s)
 - d) Filing fee - cash, check or money order payable to the ZONING BOARD OF APPEALS or BPT. ZBA.
- All items submitted must be saved and properly installed on a USB flash drive.**
The information on the USB flash drive must include the application, site plans, and all other hard copy information (landscaping, floor elevations, etc) that will be submitted. It also **must be labelled** with the property address and the date of hearing. **All plans and paper work that is submitted to the zoning office must be FOLDED (8"x12" or smaller) and Collated into 11 separate packets.**

Notes:

1. Applications that do not provide ALL of the above required information will be considered "incomplete" and will be not be accepted. Applications will be limited to the first 10 submitted, regardless of the submission deadline.
2. No application will be assigned for a public hearing until such time as the City Engineering Department has reviewed and submitted comments to the Zoning Office.
3. A Use Variance approval by the Z.B.A. requires a Site Plan Review by the Planning & Zoning Commission as set forth in Section 14-2-2. This approval may be in addition to other requirements of the Zoning Regulations. All required approvals must be obtained prior to the use and/or development of any parcel granted a Variance.
4. Proposed signs are not accepted as part of any petition. Signage is regulated under Sec. 11-7 of the Zoning Regulations.

Applicant's Signature

Date

Reviewers Initials

Date



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

_____ Zone _____
(Number) (Street) (Zone Classification)

On the _____ side of the street about _____ feet _____ from
(North, South, East, West) (North, South, East, West)

_____ Block : _____ Lot: _____
(Street)

Dimension of Lot in Question _____
(Specify)

1. NAME OF APPLICANT / BUSINESS _____
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) _____

3. HAS A PREVIOUS APPLICATION BEEN FILED? _____ IF SO, GIVE DATE OF HEARING _____
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT _____

5. THIS APPLICATION RELATES TO: Check all that Apply

Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management
Approval Liquor Use Other: _____

6. USE TO BE MADE OF PROPERTY _____

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? _____

APPLICANT _____ / Sarah Schaffer DATE _____
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____ Architect / sschaffer@brharch.com
(Email)

Mailing Address _____ 03071 (603) 878-4823
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print Sarah Schaffer
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20_____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).

The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.

NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

_____ FEE RECEIVED: _____ DATE: _____, 20____ Clerk _____

Rite Aid Pharmacy – Reverse Vending Machine Installation

Abstract/ Background:

According to the “Store Obligations to Take Back Beverage Container” law certain stores throughout Connecticut are required “to have at least two RVMs at their locations. This requirement applies to stores that are part of a chain that (1) does the same general type of business; (2) operates at least 10 stores in Connecticut under common ownership; and (3) has at least 7,000 sq. ft. that is used to display goods for sale.”

(<https://www.cga.ct.gov/2021/rpt/pdf/2021-R-0156.pdf>) This law can also be found in “Substitute Senate Bill No. 1037, Public Act No. 21-58” on page 13, section 7(a) where it states in part “...place of business is part of a chain engaged in the same general field of business that operates ten or more units in this state under common ownership and whose business has not less than seven thousand square feet devoted to the display of merchandise for sale to the public shall install and maintain not less than two reverse vending machines...”

(<https://www.cga.ct.gov/2021/ACT/PA/PDF/2021PA-00058-R00SB-01037-PA.PDF>).

Local Zoning Compliance:

In accordance with the law stated above the Rite Aid, located at 1060 East Main Street, are seeking a variance for the regulation 4.70.5 of the zoning code, specifically “(6) Outdoor vending machines may not be located within 5 feet of the public right-of-way, or located in such a manner as to encourage or require customers to stand or park in the right-of-way in order to use the machine.” With this variance Rite Aid would place two reverse vending machines on the public sidewalk along East Main Street. Please refer to submitted drawings for further specificity of proposed reverse vending machines’ location.



ADDRESS WITHIN 100FT OF SITE	PROPERTY OWNER'S NAME	PROPERTY OWNER'S ADDRESS
1025 EAST MAIN STREET	AFSA ENTERPRISE LLC	1025 EAST MAIN STREET BRIDGEPORT, CT 06608
1001 EAST MAIN STREET #1007	1001-1007 EAST MAIN ST INC	51 LAKE AVENUE YONKERS, NY 10703
426 ARCTIC STREET #436	EAST MAIN DEVELOPMENT LLC	1025 EAST MAIN STREET BRIDGEPORT, CT 06608
1053 EAST MAIN STREET #1057	EAST MAIN DEVELOPMENT LLC	1025 EAST MAIN STREET BRIDGEPORT, CT 06608
1071 EAST MAIN STREET	OPTIMUS HEALTH CARE INC	1071 EAST MAIN STREET BRIDGEPORT, CT 06608
1070 EAST MAIN STREET #1086	1070 EAST MAIN ST LLC	1070-1086 EAST MAIN STREET BRIDGEPORT, CT 06608
491 ARCTIC STREET #493	STEPHANIE STEWART	493 ARCTIC STREET BRIDGEPORT, CT 06608

ADDRESS WITHIN 100FT OF SITE	PROPERTY OWNER'S NAME	PROPERTY OWNER'S ADDRESS
499 ARCTIC STREET	JUAN HERNANDEZ	499 ARCTIC STREET BRIDGEPORT, CT 06608
509 ARCTIC STREET #511	CITY OF BRIDGEPORT	45 LYON TERRANCE BRIDGEPORT, CT 06604
234 BROOKS STREET	HUNTLEY J STONE	234 BROOKS STREET BRIDGEPORT, CT 06608
216 BROOKS STREET #220	ROBERTO CEDENO ANGEL R LLAMAS-MAYEN	216-220 BROOKS STREET BRIDGEPORT, CT 06608
208 BROOKS STREET	JOSE A ET AL ORTIZ	208 BROOKS STREET BRIDGEPORT, CT 06608
200 BROOKS STREET #202	EST OF LUCILLE LITTLE C/O CHARLES LITTLE	200 BROOKS STREET BRIDGEPORT, CT 06608
194 BROOKS STREET #196	RIGOBERTO GONZALEZ	194-196 BROOKS STREET BRIDGEPORT, CT 06608
184 BROOKS STREET	CHARLOTTE OWENS	184 BROOKS STREET BRIDGEPORT, CT 06608
172 BROOKS STREET #178	RAPAJ QUN	228 PURDY HILL ROAD MONROE, CT 06468
164 BROOKS STREET #170	164 BROOKS ASSOC LLC	23 MATTABASSETT STREET BERLIN, CT 06037
547 barnum avenue	BTTC LL LLC	55 FIFTH AVEUNE 15 TH FLOOR NEW YORK, NY 10003
982 EAST MAIN STREET #988	OPTIMUS HEALTH CARE INC	988 EAST MAIN STREET BRIDGEPORT, CT 06608
975 EAST MAIN STREET	OPTIMUS HEALTH CARE INC	975 EAST MAIN STREET BRIDGEPORT, CT 06608
547 BARNUM AVENUE	BTTC LL LLC	55 FIFTH AVENUE 15 TH FLOOR NEW YORK, NY 10003

APPLICANT: SARAH SCHAFFER

833 TURNPIKE ROAD
P.O. BOX 104
NEW IPSWICH NEW
HAMPSHIRE 03071

(603) 878-4834
SSCHAFFER@BRHARCH.COM



BRUCE
RONAYNE
HAMILTON
ARCHITECTS

ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

833 TURNPIKE ROAD
P.O. BOX 104
NEW IPSWICH
NEW HAMPSHIRE 03071

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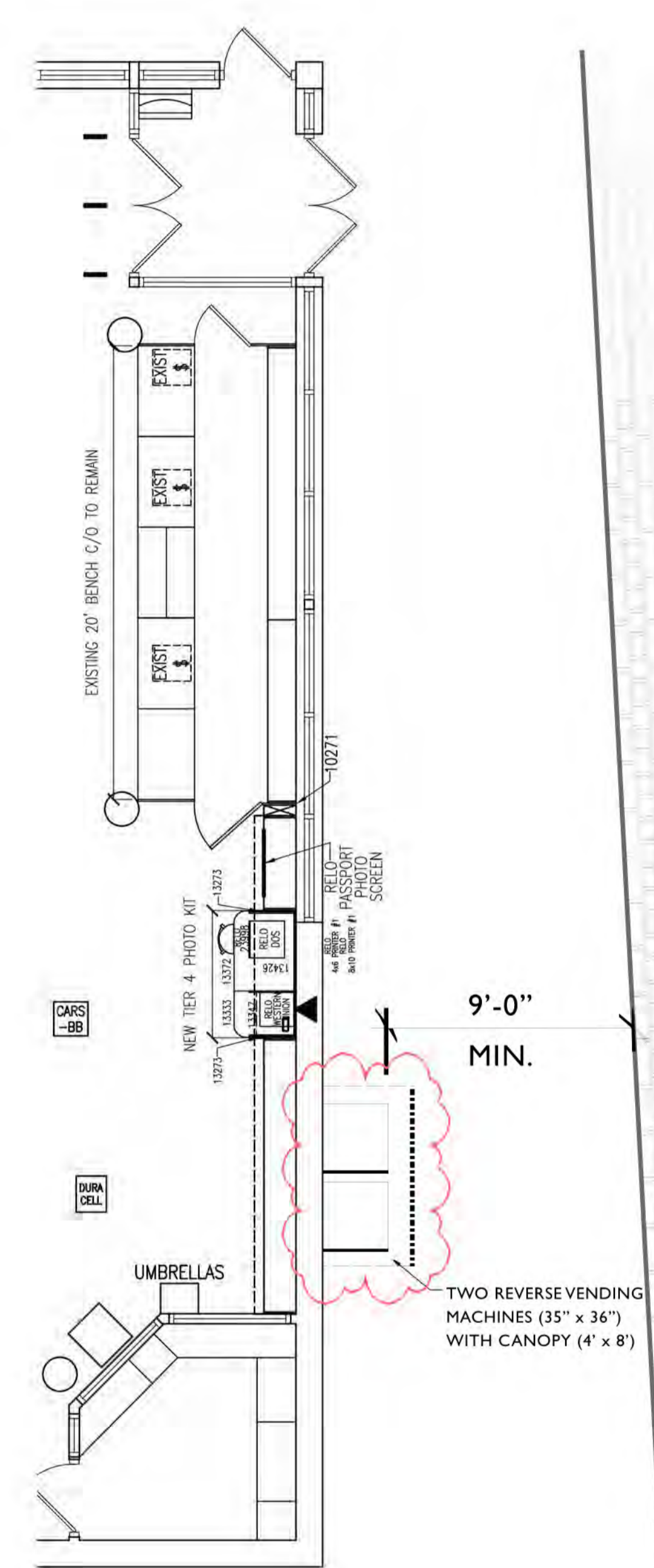
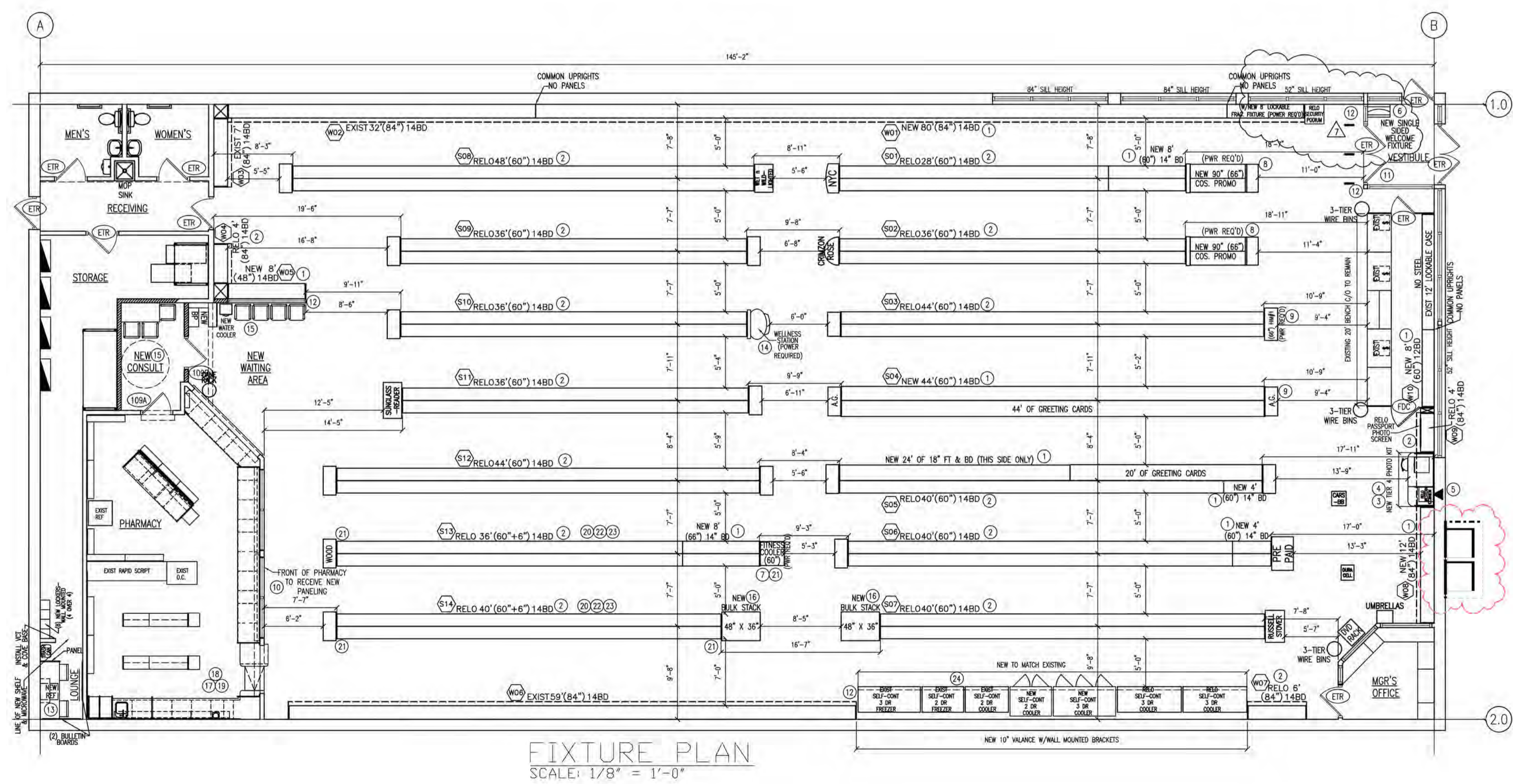
REV. NO.	DESCRIPTION OF REV.	REV. DATE

PROJECT:
Rite Aid - Bridgeport
1060 East Main Street, Bridgeport CT 06608

SUBJECT:
FLOOR PLAN + CALLOUTS

FOR NO. 2142
SCALE: As indicated
DATE: 2/24/2022
DRAWN BY: SS
SHEET NO. 56

A-1.0



A-1.0

APPLICANT: SARAH SCHAFFER

833 TURNPIKE ROAD
P.O. BOX 104
NEW IPSWICH NEW
HAMPSHIRE 03071

(603) 878-4834
SSCHAFFER@BRHARCH.COM

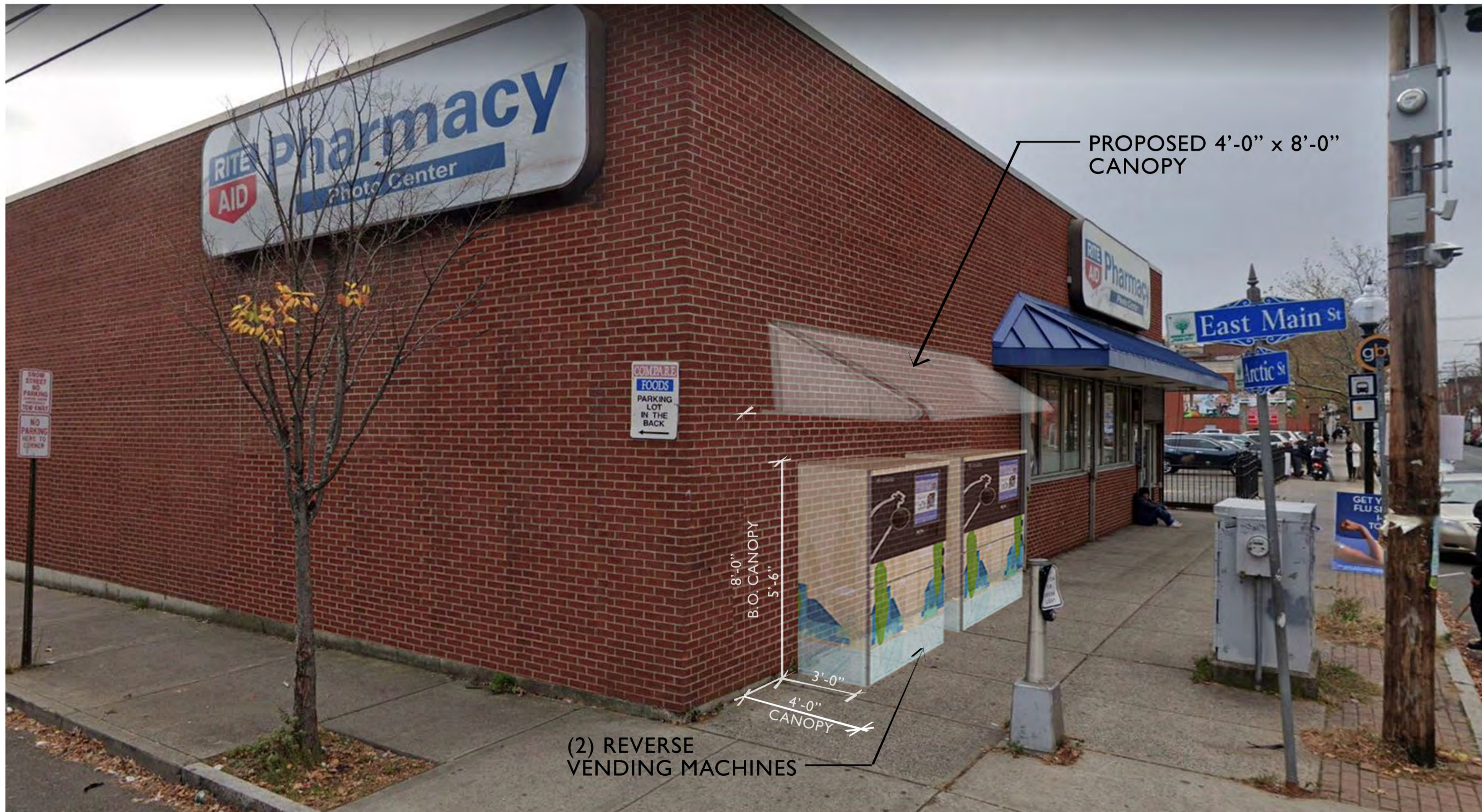


BRUCE
RONAYNE
HAMILTON
ARCHITECTS

ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

833 TURNPIKE ROAD
P.O. BOX 104
NEW IPSWICH
NEW HAMPSHIRE 03071

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REV. NO.	DESCRIPTION OF REV.	REV. DATE

PROJECT: **Rite Aid - Bridgeport**
1060 East Main Street, Bridgeport CT 06608

SUBJECT: **SITE PLAN + ELEVATION VIEW**

JOB NO. 2142
SCALE: As indicated
DATE: 2/24/2022
DRAWN BY: SS