

# PETITION TO THE BOARD OF APPEALS

## City of Bridgeport, Connecticut

The undersigned presents the following petition for:

(Check all that Apply)

- Variance 
  Appeal from Zoning Officer 
  Extension of Time Permit / Modification of Plan of Development 
  Request for Re-hearing 
  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

On the 795 (Number) Grand St (Street) side of the street about \_\_\_\_\_ feet Corner (North, South, East, West) from \_\_\_\_\_ (North, South, East, West)

Zone RC (Zone Classification)

On the NE (North, South, East, West) side of the street about \_\_\_\_\_ feet \_\_\_\_\_ (North, South, East, West) from Lexington Ave (Street) Block: 1016 Lot: 1

Dimension of Lot In Question 50 x 100 (Specify)

- NAME OF PETITIONER / BUSINESS TU Bodeguita LLC (Print)
- PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) \_\_\_\_\_
- HAS ANY PREVIOUS PETITION BEEN FILED? \_\_\_\_\_ IF SO, GIVE DATE OF HEARING \_\_\_\_\_ (Yes or No)
- DESCRIBE PROPOSED DEVELOPMENT \_\_\_\_\_

5. THIS PETITION RELATES TO:

(Check all that Apply)

- Setback 
  Coverage 
  Landscaping 
  Lot Area and Width 
  Floor Area 
  Height 
  Parking 
  Extension or Enlargement of Non-Conforming Use and/or Building 
  Coastal Area Management Approval 
  Liquor 
  Use 
  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY Retail grocery store with a grocery liquor license

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? Many customers are requesting and encouraging us to get the license because of certain disabilities they want to face

PETITIONER to face infirmary and rate increase  
 \_\_\_\_\_ (Signature) Joshua M. Ortiz (Print) DATE 8-2-22

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ (Email) Jonally77@yahoo.com

Mailing Address 795 Grand St 06604 (Zip Code) \_\_\_\_\_ (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ (Signature) \_\_\_\_\_ (Print) John Shan

Subscribe & Sworn to before me this 2nd day of August 2022  
 \_\_\_\_\_ Notary Public In & for the County of Fairfield, State of Connecticut.

### Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All questions must be answered in detail (use separate sheet if necessary).  
 The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for  
**The Zoning Board of Appeals** to process this petition.  
**NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_

*To Whom It May Concern;*

Tu Bodeguita Grocery Store is located at 795 Grand Street Bridgeport CT 06604, which is where most of the customers around the neighborhood walk to the store to buy their wants and needs. The grocery provides a sense of calm and relief to the community because we are always open on time before you go to work, closed right before The Late Night Show with Jimmy Fallon. It's just a check in moment behind your house because we have long operation hours. We buy items that the customers ask for; we provide daily household needs and more than the basic necessities for the neighborhood. We have stability because grocery stores are often the extensions of there home for many customers. Around the community there are many different cultures and country's that we tend to carry international products/items that customers recommend/refer us that they need for we can purchase it. Without further a due , we would like to satisfy the neighborhood by keeping products/items customers want and need .

*Thanks , Sincerely  
Tu Bodeguita Grocery*

CRUZ JOEL ET AL  
000788 GRAND ST  
BRIDGEPORT, CT 06604

ANDRADE FABIAN & GLADYS  
000253 LINEN AVE  
BRIDGEPORT, CT 06604

GONCALVES FERNANDO  
000793 GRAND ST  
BRIDGEPORT, CT 06604

LOPEZ JUAN  
000770 GRAND ST  
BRIDGEPORT, CT 06604

ALVES ALVINA  
810-812 GRAND ST  
BRIDGEPORT, CT 06604

MONTEIRO PROFIRIO & ALZIRA  
000385 LEXINGTON AVE  
BRIDGEPORT, CT 06604

AIRES GONCALVES VAZ & LUISA  
000783 GRAND ST  
BRIDGEPORT, CT 06604

CALIA PAUL F  
000800 GRAND ST  
BRIDGEPORT, CT 06604

GARCIA ALFRED & ROSA  
100 EUCLID AVE  
STRATFORD, CT 06614-1921

CRUICKSHANK LOVEN DA ETAL  
000119 EXETER ST  
BRIDGEPORT, CT 06606

VENTURA DELTIN & MARIA  
000265 LINEN AVE  
BRIDGEPORT, CT 06606

RAMIREZ LUIS ETAL  
000769 GRAND ST  
BRIDGEPORT, CT 06606

CAPE VERDEAN ASSOC BPT  
PO BOX 6241  
BRIDGEPORT, CT 06606

ALVES FERNANDO  
000809 GRAND ST  
BRIDGEPORT, CT 06604

MOISE GENE I  
17 BRIDGE ST  
STAMFORD, CT 06095-4501

MONTEIRO MANUEL &  
26 SALLY ANN DR  
TRUMBULL, CT 06611

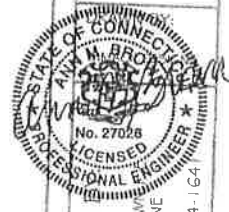
SHEET #

A2.0

REV. NOTES

DATE :

OCT 2, 2020



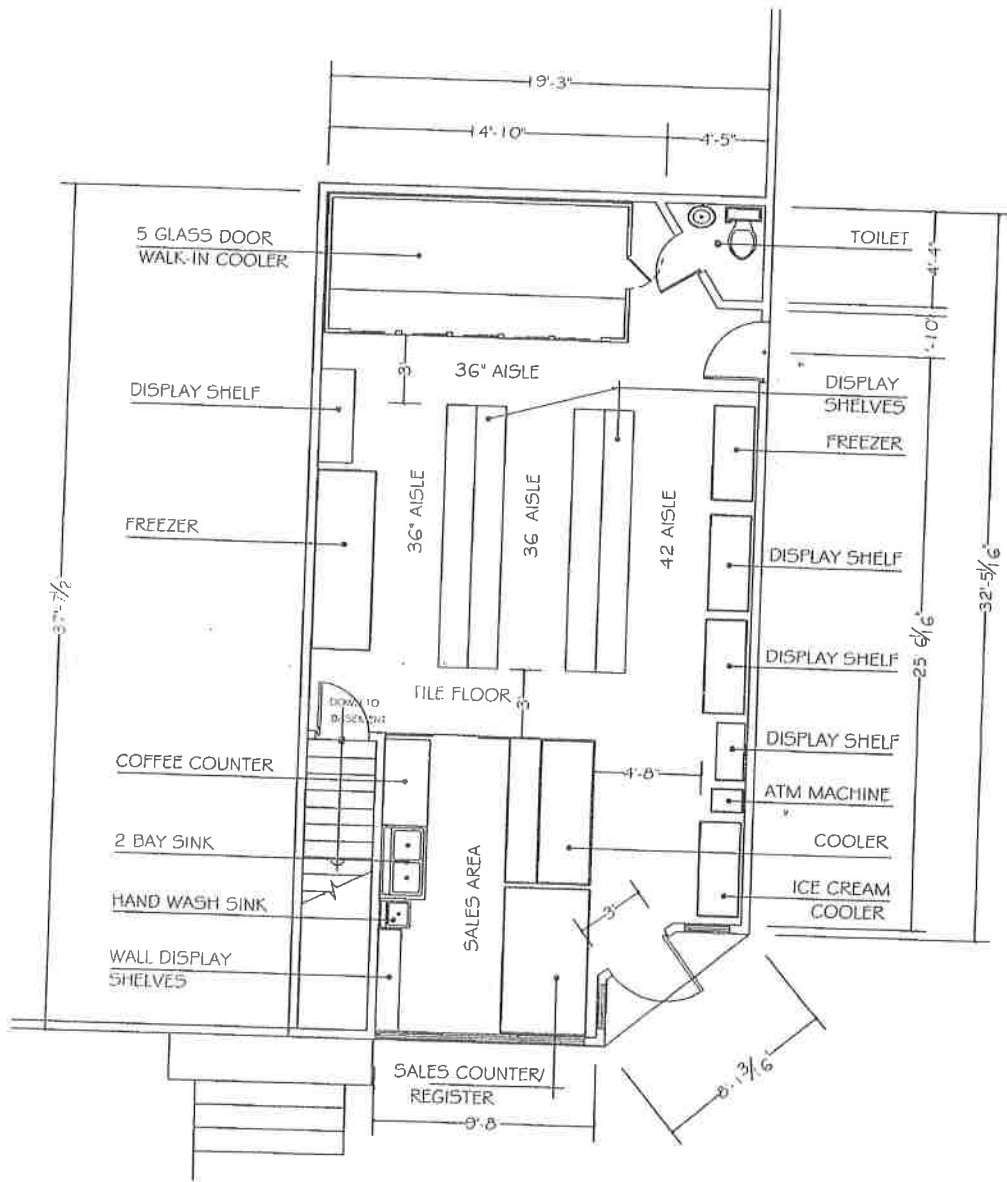
APPROVED

ANN M. BROWN  
9 LAUREL LANE  
SHERMAN CT  
(PH) 203-354-1641

APPLICATION FOR LIQUOR LICENSE AT  
ODEGITA GROCERY STORE  
795 GRAND STREET, BRIDGEPORT

Mblu 40/10/16/1

ODEGITA GROCERY STORE  
c/o JOSHUA M. ORTIZ  
795 GRAND STREET  
BRIDGEPORT CT 06604



### FLOOR PLAN

SCALE 3/16"=1'-0"

28A  
11-10-2020

SHEET #  
51

REV. NOTES

DATE :  
9/7/2020

DRAWN BY:  
WIMACK  
DESIGNS

APPROVED BY:  
ANN BROWN P.  
9 LAUREL LANE  
SHERMAN CT  
(PH) 203-354-1541

APPLICATION FOR LIQUOR LICENSE AT  
ODEGUITA GROCERY STORE  
795 GRAND STREET, BRIDGEPORT  
Mbl: 4010121

ODEGUITA GROCERY STORE  
c/o JOSHUA M. ORTIZ  
795 GRAND STREET  
BRIDGEPORT CT 06604

LOCATION MAP  
NOT TO SCALE



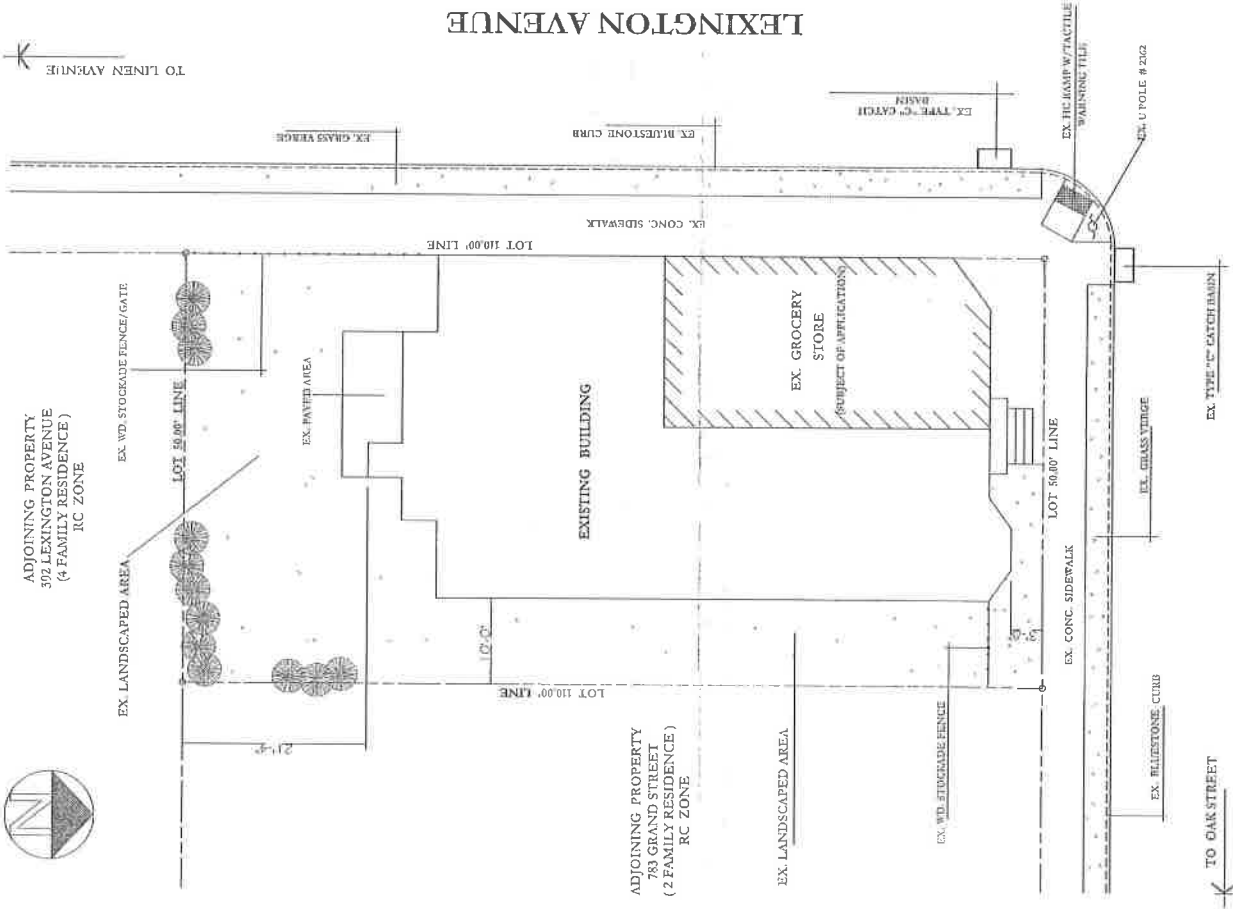
**RC ZONE DEVELOPMENT STANDARDS**

STANDARDS	REQUIRED	EXISTING	PROPOSED
LOT			
lot area, minimum	9,000 s.f.	5,000.0 s.f.	5,000.0 s.f. *
Frontage, minimum	60 ft.	50.0 ft.	50.0 ft. *
Depth, minimum	n.a.	n.a.	n.a.
Lot area per dwelling unit, min.	2,700-sf	1,508.0 s.f.	1,508.0 s.f. *
PRINCIPAL BLD'G SETBACK			
Front lot line, min. from	15 ft. or Prevailing	3'-8"	3'-8" (Prevailing)
Side lot line, min. from	10 ft. (1)	0'-0"	0'-0"
One Side	Note 1	10'-0"	10'-0"
Both sides shall add up to	Note 1	10'-0"	10'-0"
Rear lot line	20'-0"	10'-0"	10'-0"
Maximum	Lesser of 20% of lot depth or 50ft(20')	21'-4"	21'-4"
ACCESSORY STRUCTURE SETBACK			
Setback Minimums			
From lot line	3 ft.	N/A	N/A
Side Lot Line	3 ft.	N/A	N/A
Rear Lot Line	Note 2(50')	N/A	N/A
Floor Area Maximum	Note 4		
COVERAGE			
Building Coverage, Max.	60%	53.8%	53.8%
Site Coverage, Max.	70%	59.2%	59.2%
LANDSCAPED AREA			
Minimum	30.00%	40.8%	40.8%
HEIGHT			
Principal building Maximum	4 Stories or 45'	2 Stories / 25'-0"	2 Stories / 25'-0"
ACCESSORY STRUCTURE			
Flat or Rounded Roof	12R	N/A	N/A
1" or Ridge	15ft		
Off Street Parking Requirement	1.5 spaces/RU (4.5 spaces required)	0 spaces (EX. CONDITION)	0 spaces *
	3.5 spaces/2000 (1.5 spaces required)		
	(5 spaces required)		

Note 1

Side setback shall be either ten (10)ft min. or forty (40) percent of building height, whichever is greater.

**CSA**  
~~1-10-2020~~  
9-13-2022



Special Note :

\* DENOTES VARIANCE REQUIRED

**SITE PLAN**

SCALE 1" = 10'



ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1173-1179 North Avenue Zone MX1

On the South side of the street about 0 feet East from

Madison Avenue Block : 46/1003 Lot: 1

Dimension of Lot in Question Approx. 44.76' x 141.93' x 51.20' x 137.00'

1. NAME OF APPLICANT / BUSINESS Khan North Ave LLC

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING

4. DESCRIBE PROPOSED DEVELOPMENT

Proposed exterior renovation of existing building to rehabilitate deteriorating facade

5. THIS APPLICATION RELATES TO: Check all that Apply
Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: Facade material

6. USE TO BE MADE OF PROPERTY Mixed-use commercial and retail

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See Attached

APPLICANT [Signature] DATE 08/04/2022

If signed by agent, state capacity (lawyer, builder, etc)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824

PROPERTY OWNERS ENDORSEMENT Print

Subscribe & Sworn to before me this day of 20 Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: DATE: 20 Clerk

Lisa S. Broder\*  
L.Broder@russorizio.com  
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Fax 203-576-6626  
5 Brook St., Suite 2B, Darien, CT 06820  
Tel 203-309-5500  
[www.russorizio.com](http://www.russorizio.com)

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Jane Ford Shaw  
Jane@russorizio.com  
Vanessa R. Wambolt  
Vanessa@russorizio.com

\* Also Admitted in NY  
\* Also Admitted in VT  
+ Of Counsel

August 9, 2022

Paul Boucher  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604

**Re: Application for Variances – 1173-1179 North Avenue**

Dear Mr. Boucher:

Please accept this Application to the Bridgeport Zoning Board of Appeals for variances on behalf of my client, Khan North Ave, LLC, for the properties located at 1173-1179 North Avenue (the "Site") in the MX1 Zone.

### **Variances Requested**

Variance of Section 6.40, Table 6-3 of the Bridgeport Zoning Regulations (the "Regulations") to allow stucco to cover greater than Thirty percent (30%) of the existing façade

### **Proposed Development & Use**

The Applicant proposes to renovate the exterior of an existing three-story building to rehabilitate a deteriorating facade. The Site currently contains the existing building with a commercial ground floor containing Two (2) commercial units and Two (2) upper stories containing a total of Four (4) residential dwelling units within the MX1 Zone. The Site is located at the corner of North and Madison Avenues and it contains approximately 0.15 acres. The Site is located directly across North Avenue from the Bridgeport Correctional Center. It is also surrounded by a laundromat, car wash and other mixed-use developments.

The Applicant proposes to renovate exterior of the existing building. The existing building is brick masonry. The current brick façade has significant structural issues because

the bricks were previously painted. The painting of the bricks trapped moisture that deteriorated the structural integrity of the bricks over time. After consultation with an architect, it was advised that stucco be applied over the brick to prevent further deterioration of the façade on the north, east and west elevations. The Applicant will not remove or cover the lentil stones above the windows, which are one of the defining features of the façade. In addition, the existing bay windows on the second floor of the north elevation façade are subject to significant amounts of water and air infiltration due to poor flashing. To avoid further damage to the building from water, the Applicant proposes to remove the bay windows and replace them with windows that exactly match the windows located directly above them on the third floor. The proposed north elevation façade will look entirely consistent.

The Applicant proposes that many of the exterior features will remain. The existing parapet cap is proposed to be replaced with one of the same design. Existing trim on the roof and ground floor will remain and all the windows on the façade will remain except for the bay windows. The existing storefront and entries will also remain. The condition of the building is deteriorating in its current form and the Application takes the necessary steps to preserve the building and most of its features for decades to come.

### **Hardship**

Granting the Applicant the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Applicant as the renovations proposed are intended to prevent further deterioration to the existing facades of the building. Unfortunately, due to prior conditions with the painting of the brick on the façade and poor flashing around a bay window, the existing façade is deteriorating from water and air exposure. The Application proposes a remedy to prevent further deterioration and rehabilitate the exterior facades of the existing building. The Application proposes for many of the defining features of the building to remain. However, the proposed solution to provide a stucco finish to the existing brick to prevent further deterioration is necessary to preserve the building. In addition, the removal of the bay windows will halt the infiltration of water and air to the interior of the façade and building. The Applicant's proposed replacement windows exactly match the windows located above them on the third floor to maintain the character of the building. The Application presents a solution to stop the deterioration of the existing building, while maintaining as many of the features and character as possible. It will not have any impact on the surrounding neighborhood.

For these reasons, we respectfully request approval of the above-stated variance.

Sincerely,

  
Christopher Russo



**PROPERTIES WITHIN 1173-1179 NORTH AVENUE**

<b>LOCATION</b>	<b>OWNER NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
381 MADISON AV #385	BABANIS DENNIS	PO BOX 3645	BRIDGEPORT	CT	06605
391 MADISON AV #395	PARIS CHARLES M	391 MADISON AVE	BRIDGEPORT	CT	06606
405 MADISON AV	ROSENBAUM SANDRA	405 MADISON AVE	BRIDGEPORT	CT	06610
407 MADISON AV	SOTO WILSON	150 PRICE ST	BRIDGEPORT	CT	06610
392 MADISON AV	514 GRAND STREET LLC	65 HIGH RIDGE ROAD UNIT 301	STAMFORD	CT	06905
1193 NORTH AV #1199	VEMAA HOUSING CORP	636 BALDWIN AVE	BALDWIN	NY	11510
394 MADISON AV #396	PEMBROKE LAUNDRY & CLEANERS	396 MADISON AVE	BRIDGEPORT	CT	06604
1173 NORTH AV #1179	KHAN NORTH AVE LLC	1125 NORTH AVE	BRIDGEPORT	CT	06604
1169 NORTH AV #1171	CASIMIRO PATRICIA ETAL	1159 NORTH AVE	BRIDGEPORT	CT	06604
97 WALLACE ST #99	ADRADA CARLOS V	73 KEELER AVE	BRIDGEPORT	CT	06606
1108 NORTH AV	STATE OF CONNECTICUT	1108 NORTH AVE	BRIDGEPORT	CT	06604
475 MADISON AV	S.A.R. REALTY LLC	471 MADISON AVENUE	BRIDGEPORT	CT	06606

# KHAN NORTH AVE LLC ACTIVE

1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

## BUSINESS DETAILS ▼

### Business Details ▲

#### General Information —

**Business Name**

KHAN NORTH AVE LLC

**Business status**

ACTIVE

**Citizenship/place of formation**

Domestic/Connecticut

**Business address**

1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

**Annual report due**

3/31/2023

**NAICS code**

Lessors of Residential Buildings and Dwellings (531110)

**Business ALEI**

1295995

**Date formed**

1/14/2019

**Business type**

LLC

**Mailing address**

1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

**Last report filed**

2022

**NAICS sub code**

531110

#### Principal Details —

**Principal Name**

YASMEEN KHAN

**Principal Title**

MEMBER

**Principal Business address**

1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

Principal Residence address  
1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

**Agent details**

Agent name  
YASMEEN KHAN

Agent Business address  
1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

Agent Mailing address  
1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

Agent Residence addresss  
1125 NORTH AVENUE , BRIDGEPORT, CT, 06604, United States

**Filing History**

 **Business Formation - Certificate of Organization**  
**0006320785**

Filing date: 1/14/2019

Filing time:


Volume Type  
B

Volume  
2587

Start page  
1118

Pages  
2

Date generated  
1/14/2019

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Volume  
407

Start page  
2142

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3

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THESE DOCUMENTS ARE FOR MINOR EXTERIOR IMPROVEMENTS & REPAIRS AT 1179 NORTH AVENUE, BRIDGEPORT, CONNECTICUT ONLY

THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.

DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT

**CONSTRUCTION DOCUMENT**

PRINTED 03-30-2022

(SEAL)

MINOR EXTERIOR IMPROVEMENTS & REPAIRS

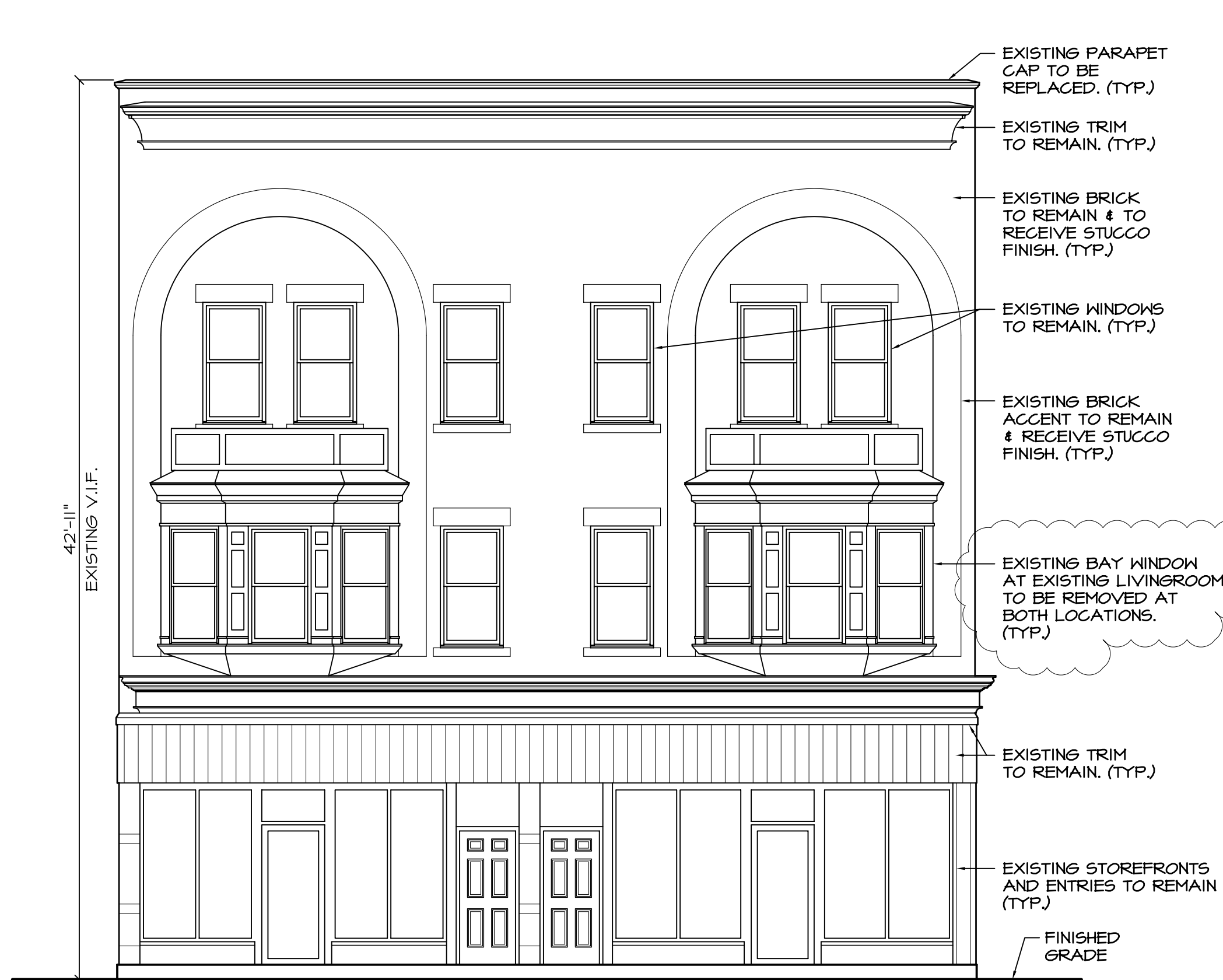
1179 NORTH AVENUE BRIDGEPORT, CONNECTICUT

EXISTING CONDITIONS NORTH ELEVATION, NORTH ELEVATION, TYPICAL WINDOW TYPE, TYPICAL DETAILS & NOTES

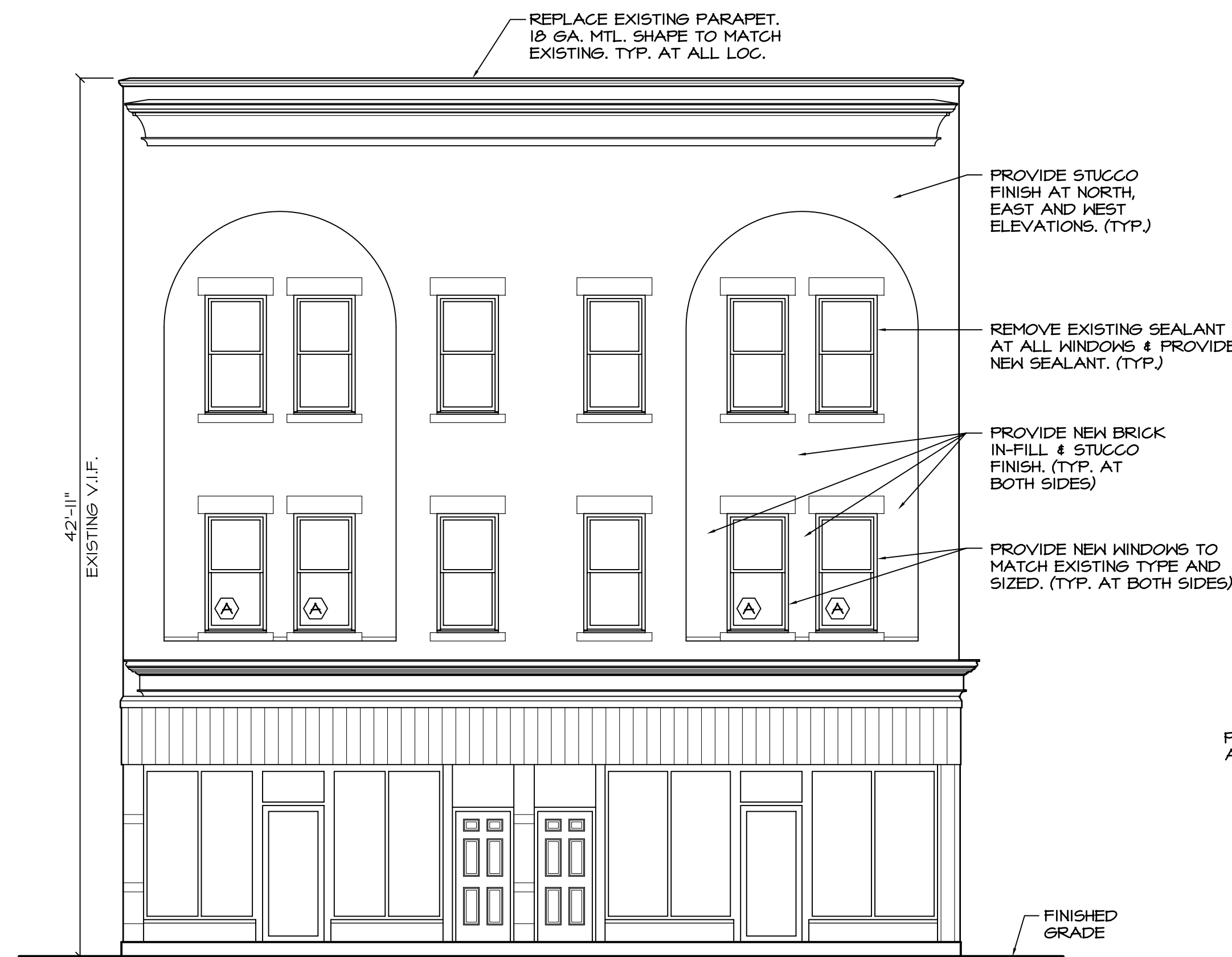
REVISIONS		
No.	DATE	DESCRIPTION
1	4-5-2022	PER B.O. COMMENTS

DATE: MARCH 30, 2022

A-1.0



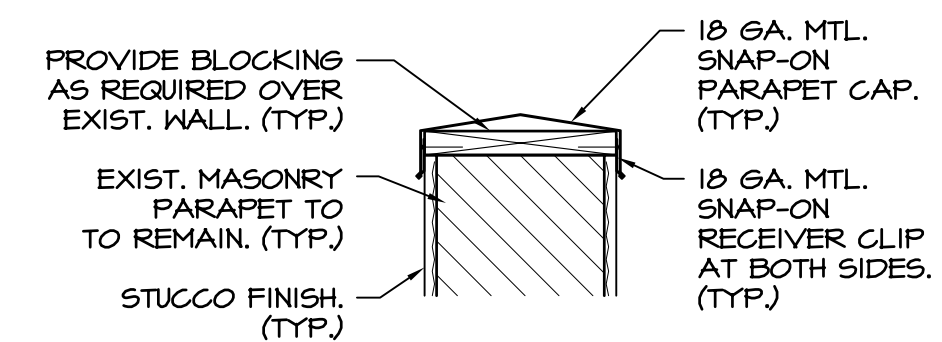
**1 EXISTING CONDITIONS NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



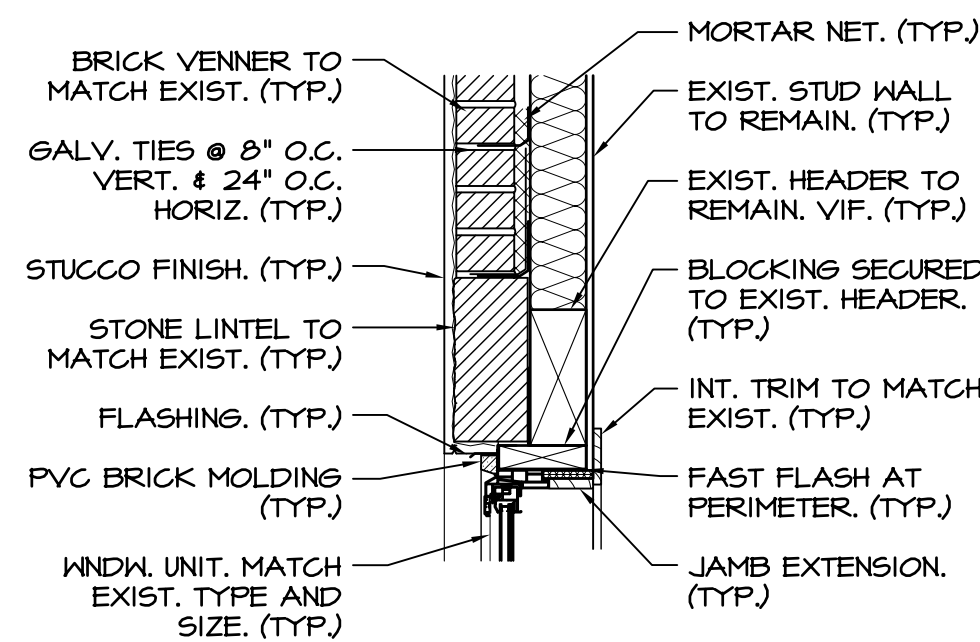
**2 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

- NOTES:
1. THE UNIT SHOWN IS APPROXIMATE TO THE EXISTING UNIT SIZED. FIELD VERIFY THE EXISTING AND MATCH. (TYP.)
  2. MAKE PROVISIONS FOR ROUGH OPENING IN COORDINATION WITH THE MANUFACTURER'S REQUIREMENTS.
  3. INSTALLATION SHALL BE IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS.

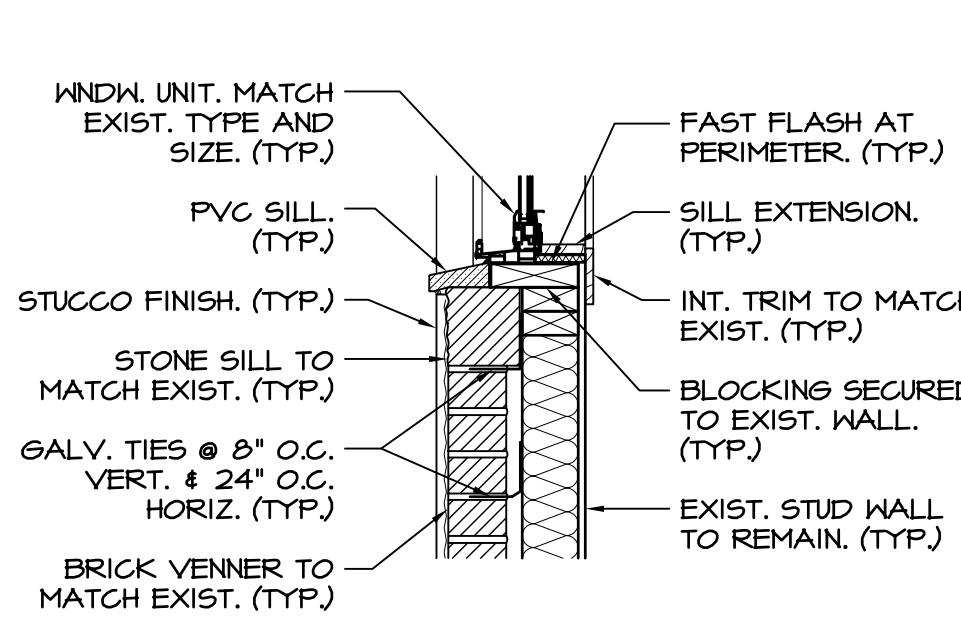
**3 TYP. WINDOW TYPE**  
SCALE: 1/4" = 1'-0"



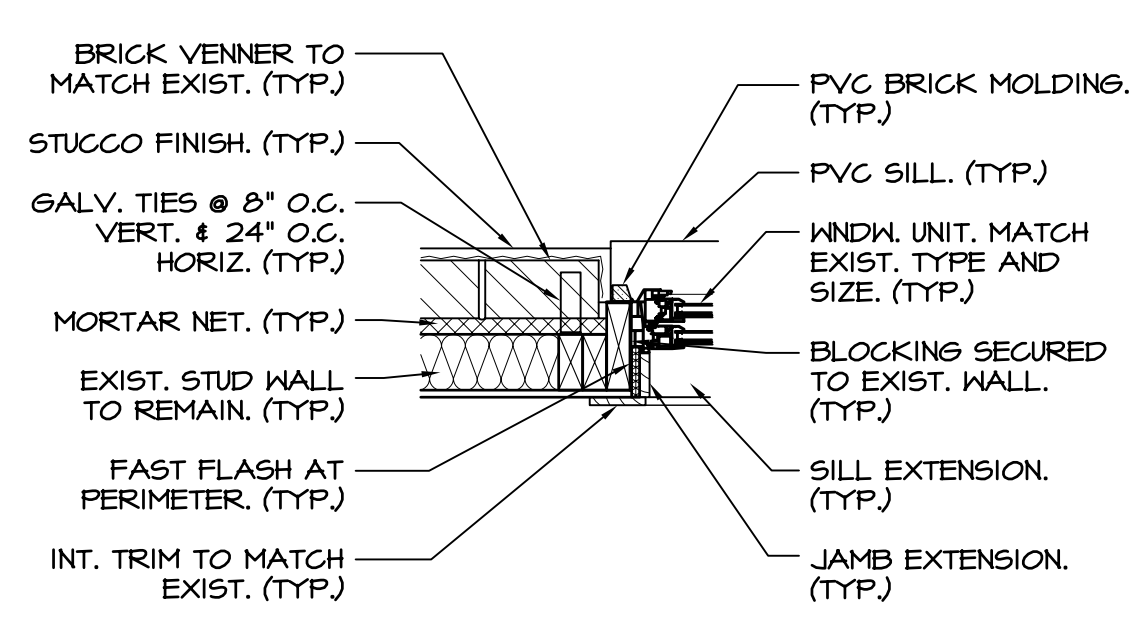
**4 TYPICAL PARAPET CAP**  
SCALE: 1" = 1'-0"



**5 TYPICAL WINDOW HEAD**  
SCALE: 1" = 1'-0"



**6 TYPICAL WINDOW SILL**  
SCALE: 1" = 1'-0"



**7 TYPICAL WINDOW JAMB**  
SCALE: 1" = 1'-0"

NOTES:

1. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT.
2. THE EXISTING CONDITIONS ARE FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD.
3. ALL DIMENSIONS ARE APPROXIMATE AND ORIGINATE FROM FINISHED EXISTING COMPONENTS OR AS NOTED. PROVIDE ADJUSTMENTS PER SITE CONDITIONS THROUGHOUT CONSTRUCTION. VERIFY ALL CONDITIONS IN THE FIELD. TYPICAL FOR ALL LOCATIONS UNDER ALL CONDITIONS.
4. ALL WORK SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL CODES, ORDINANCES, REGULATIONS AND LAWS FROM ALL LOCAL, STATE AND FEDERAL AGENCIES HAVING JURISDICTION. TYPICAL FOR ALL CONDITIONS.
5. COORDINATE ALL NEW WORK AND ANY MINOR DEMOLITION WORK WITH THE EXISTING CONDITIONS IN THE FIELD. TYPICAL FOR ALL CONDITIONS.
6. THE CONTRACTOR WILL BE ERECTING A PIPE SCAFFOLDING ALONG THE NORTH ELEVATION. THE SCAFFOLDING SHALL MAINTAIN FULL ACCESS TO THE EXISTING DOORS INTO THE BUILDING AND SHALL PROVIDE PROTECTION FROM FALLING DEBRIS FOR THE ENTIRE DURATION OF ITS USE. THE CONTRACTOR SHALL NOTIFY THE BUILDING DEPARTMENT OF THE TYPE, SIZE AND EXTEND OF ALL SCAFFOLDING COMPONENTS AND SHALL SECURE AUTHORIZATION FROM THE CITY OF BRIDGEPORT BEFORE ERECTION AND UTILIZATION, AS REQUIRED. TYPICAL.
7. REMOVE THE 2 EXISTING BAY WINDOW AT THE FRONT ELEVATION AS NOTED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT UPON EXPOSING THE EXISTING FRAMING COMPONENTS TO REMAIN AND TO BE RE-USED BEFORE PROCEEDING WITH THE INSTALLATION OF THE NEW WINDOWS. (TYPICAL)
8. PROVIDE NEW WINDOWS AS NOTED. REFER TO THE WINDOW TYPE. WINDOW TO MATCH EXISTING TYPE, SIZE AND FINISH. TYPICAL.
9. REMOVE ALL EXISTING WINDOW SEALANT AT ALL EXISTING WINDOWS TO REMAIN. PROVIDE NEW WINDOW SEALANT AT ALL LOCATIONS. SEALANT TO BE MASTERSEAL NPI SEALANT OR EQUAL. INSTALLATION SHALL BE IN COMPLIANCE WITH THE MANUFACTURER'S REQUIREMENTS. TYPICAL.
10. THE CONTRACTOR SHALL PROVIDE BRICK VENEER TO MATCH THE EXISTING TYPE, SIZE AND TEXTURE AT ALL AREAS, AS REQUIRED. JOINT SIZE TO MATCH EXISTING. MORTAR TYPE TO BE TYPE N AND MIXED PER ASTM C270. JOINT FINISH TO BE FLUSH TO RECEIVE STUCCO FINISH. PROVIDE BRICK TIES AT 8" O.C. VERTICALLY AND 24" O.C. HORIZONTALLY. TIES TO BE SECURED TO EXISTING SHEATHING TO REMAIN. PROVIDE MORTAR NET PROTECTION AT ALL NEW STONE LINTELS AND PROVIDE TUBE TYPE KEEP HOLES OVER TOP. MIN. OF 3 PER LINTEL. STONE LINTEL TO MATCH EXISTING TYPE AND SIZE. BEARING SHALL MATCH EXISTING BUT NOT LESS THAN 6" AT BOTH ENDS. PROVIDE KEEP HOLE EXTENSIONS AT ALL EXISTING TO REMAIN THROUGH STUCCO FINISH. TYPICAL AT ALL LOCATIONS.
11. PROVIDE NEW STUCCO FINISH AT ENTIRE SURFACE OF NORTH ELEVATION, EAST ELEVATION AND WEST ELEVATION. STUCCO TO BE A 2 PART APPLICATION MIN. STUCCO TO BE OVER A GALV. EXPANDED METAL LATH SECURED TO EXISTING MASONRY WITH GALV. FASTENERS AT 6" O.C. BOTH WAYS. STUCCO SCRATCH COAT TO BE QUIKRETE STUCCO BASE WITH WATER STOP OR EQUAL. FINISH STUCCO COAT TO BE QUIKRETE STUCCO FINISH COAT OR EQUAL. COLOR AND TEXTURE TO BE AS SELECTED BY THE OWNER. FINISH STUCCO SYSTEM TO BE 5/8" NOMINAL TOTAL THICKNESS. TYPICAL AT ALL LOCATIONS.
12. PROVIDE A NEW PARAPET CAP AT FULL PERIMETER. PARAPET CAP TO BE 18 GA. MTL. MIN. ALL LAPS TO BE 6" MIN. VERIFY CONDITION OF EXISTING EXISTING BLOCKING AND REPLACE AS REQUIRED. ALL FASTENERS TO BE SCREW TYPE MIN. TYPICAL.
13. ALL FLASHING FOR BRICK VENEER SHALL BE ALUMINUM 22 GA. MIN. FAST FLASH FLASHING SHALL BE AS MANUFACTURED BY PROSOCO OR EQUAL. FAST FLASH INSTALLATION SHALL BE IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS. TYPICAL.
14. ALL INTERIOR TRIM SHALL BE WOOD, PAINT GRADE TO MATCH EXISTING. ALL EXTERIOR TRIM SHALL BE PVC AS NOTED. PVC TO BE AS MANUFACTURED BY VERSATEX OR EQUAL. TYPICAL.
15. THE CONTRACTOR SHALL PROVIDE AN ASPHALT ONE-PLY TORCH-DOWN ROOF OVER THE EXISTING ROOF. THE CONTRACTOR SHALL PROVIDE ALL THE MATERIAL DATA SHEETS AS REQUIRED BY THE CITY OF BRIDGEPORT FOR EVALUATION AND APPROVAL. TYPICAL.
16. THE CONTRACTOR SHALL PROVIDE POWER WASHING FOR ENTIRE EXTERIOR OF THE BUILDING. THE CONTRACTOR SHALL PROVIDE THE POWER WASHER TYPE, WAND TYPE, WAND HEAD TYPE AND THE PRESSURE TO BE USED FOR EVALUATION AND APPROVAL BY THE CITY OF BRIDGEPORT. PROVIDE THE DETERGENT TYPE, IF ANY. TYPICAL.



CITY OF BRIDGEPORT

# ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

- Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development
- Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

On the 1500 (Number) Barnum Ave (Street) Zone RX2 (Zone Classification)  
 On the South (North, South, East, West) side of the street about 500± feet West from Elizabeth (Street) Block: 1020 Lot: 22 B

Dimension of Lot in Question 106 X 135 X 136 X 109 (Specify)

1. NAME OF APPLICANT / BUSINESS Fix 9 Go LLC (Print) DBA Fix90 Auto Sales and Service
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Lessee
3. HAS A PREVIOUS APPLICATION BEEN FILED? NO IF SO, GIVE DATE OF HEARING \_\_\_\_\_ (Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT \_\_\_\_\_

5. THIS APPLICATION RELATES TO: Check all that Apply
- Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking
  - Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management
  - Approval  Liquor  Use  Other: used car dealership license

6. USE TO BE MADE OF PROPERTY To reestablish used car dealership at same address

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? \_\_\_\_\_

APPLICANT X Abel Piazza (Signature) Abel Piazza (Print) DATE 8/16/2020  
Abel P. Piazza (Email) 203-526-6120

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_  
 Mailing Address 7 Edward Rd Seymour Ct 06483 (Zip Code) 203-526-6820 (Phone #)

PROPERTY OWNERS ENDORSEMENT [Signature] (Signature) Print Robert DeLibro

Subscribe & Sworn to before me this 18th day of August 2022  
Kathleen Dorsey Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**

All questions must be answered in detail (use separate sheet if necessary).  
 The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
 The Zoning Board of Appeals to process this application.

**KATHLEEN DORSEY**  
**NOTARY PUBLIC**  
 COMMISSION EXPIRES NOV. 30, 2023

NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.  
 PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
 (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

APPLICATION FOR BUSINESS LICENSE  
K-7 REV 01-2021

STATE OF CONNECTICUT  
DEPARTMENT OF MOTOR VEHICLES  
DEALERS AND REPAIRERS UNIT  
dmv.dmv.ct.gov

DMV USE ONLY

INSTRUCTIONS:

- 1. SECTION 1&2 Must be completed by the APPLICANT
- 2. SECTION 3 Must be completed and signed by the local authorities of the city or town in which the location is proposed
- 3. Submit the completed application with required attachments by mail to: DEPARTMENT OF MOTOR VEHICLES, DEALERS AND REPAIRERS UNIT Room 102, 60 STATE ST. WETHERSFIELD, CT 06151-2011

SECTION 1 BUSINESS INFORMATION

PLEASE CHECK ONE BOX ONLY:  
TYPE OF LICENSE:

- NEW DEALER
- USED DEALER
- GENERAL REPAIRER
- LIMITED REPAIRER
- LEASING
- MANUFACTURER

PLEASE CHECK ONE BOX ONLY:  
TRANSACTION TYPE:

- NEW LICENSE
- CHANGE MEMBER
- ADD PROPERTY
- CHANGE LOCATION
- CHANGE OF BUSINESS NAME (DBA, LLC, ETC.)

Name Under which Business is to be Conducted (Please include DBA if applicable):

EX 200 LLC DBA MX90 Auto sales and service

Existing License number (if applicable):

Full Address of Location for Which License is Requested:

1500 Barnum Ave Bridgeport CT 06610

Business License # from Secretary of State:

Mailbox Address, if Different From Above:

7 Edward Rd Sayman CT 06403

FEIN #:

If Incorporated or LLC, Under the Laws of which State:

CT

E Mail Address:

Abel.Piazza7@gmail.com

The Business Holds a Factory Franchise to Sell the Following Make(s) of Vehicle(s) at The Above Location for (New, Used, Car Dealers Only):

List all Makes of Vehicles Manufactured by the Applicant which are offered in the State of Connecticut. (Manufacturers Only)

If applicant firm is owned by individual or partnership, enter data below for all owners. If owned by a corporation, enter data for officers. If LLC, Enter data for members.

NAME	TITLE	HOME ADDRESS	PHONE #	SOCIAL SECURITY #	DATE OF BIRTH
Abel Piazza	MANAGING MEMBER	7 Edward Rd Bridgeport CT 06610	203 586-6888	598-50-9707	11-29-84
Juan Rafael Arino	Member	104 Sheridenght Bridgeport CT 06610	203 993-3080	133-97-0463	6-22-85

New/Used Car Dealers and Manufacturers only (MUST CHECK ONE)

- I am applying for a Dealer's license and do not hold, or intend to apply for a Manufacturer's license
- I am applying for a Manufacturer's license and do not hold, or intend to apply for a Dealer's license

SECTION 2 TO BE COMPLETED BY LEASING COMPANIES ONLY

Do you lease vehicles for periods of 30 days or more?

- YES
- NO

Leasing company's normal business hours

CONTACT PERSON FOR REGISTRATION RENEWAL ISSUES

Name: Abel Piazza

Phone #: 203-586-6888

Fax #

Email: Abel.Piazza7@gmail.com

CERTIFICATION (To be signed by Owner, Partner, Managing Member or Authorized Officer in presence of notary)

Pursuant to CGS 53a-157b, I declare that the statements made by me in this application or in any documents attached hereto are true and complete to the best of my knowledge and belief.

Signed (Owner, Partner, Managing Member or Officer):

X Abel Piazza

Title:

Managing member

Date:

8-16-2021

Subscribed and sworn to before me:

Bridgeport, CT

Signed: Notary Public, Justice of the Peace, or Commissioner of Superior Court:

X Katherine Dorsey

Date Commission Expires:

11-30-2023

SECTION 3 CERTIFICATION OF LOCAL APPROVAL FOR PROPOSED LOCATION - NOT APPLICABLE FOR LEASING OR MANUFACTURERS

Pursuant to CGS 14-54, local approval is hereby granted for the above named firm or individuals to conduct a business of the type checked above at the location specified in this application.

Are there any restrictions placed on the licensee's use of property?  YES  NO

(If "YES," a copy of the restrictions MUST be attached to this application.)

Signature of Authorized Official:

X

Printed Name of Authorized Officer:

Title:

Date:

Signatures of Building Officials and Fire Marshal indicate compliance with applicable laws and regulations (Required for New and Used Dealers, General and Limited Repairer ONLY)

Signature of Building Official:

X

Printed Name of Building Official:

Date:

Signature of Local Fire Marshal:

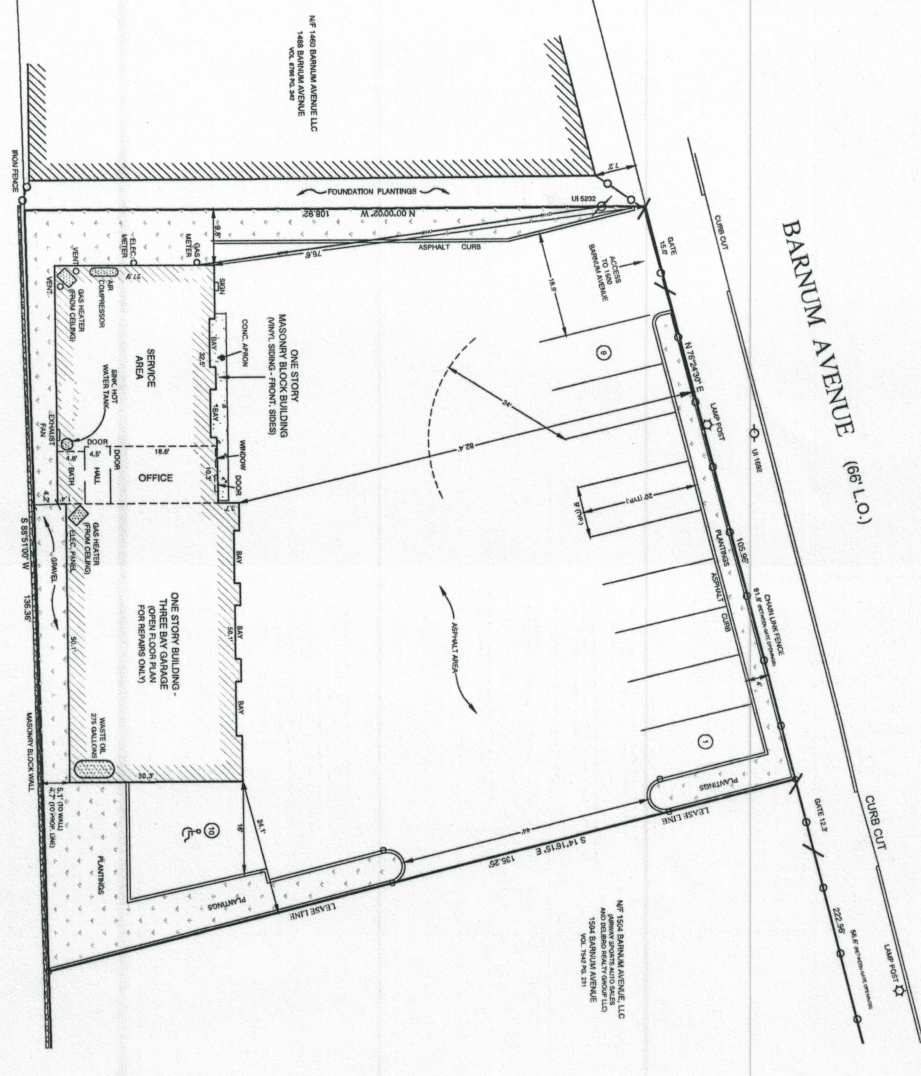
X

Printed Name of Local Fire Marshal:

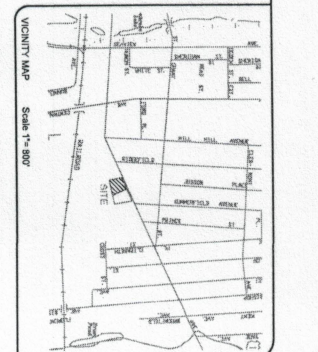
Date:

ATTACH ADDITIONAL PAGES IF NECESSARY

DEVELOPMENT STANDARDS		ZONE R02	PROVIDED
3.04.1 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.2 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.3 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.4 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.5 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.6 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.7 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.8 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.9 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.10 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.11 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.12 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.13 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.14 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.15 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.16 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.17 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.18 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.19 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.20 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.21 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.22 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.23 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.24 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.25 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.26 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.27 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.28 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.29 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'
3.04.30 BUILDING LOCATION	REQUIRED	ADJACENT TO SIDEWALK, BUILDING TO MAX. FEET FROM SIDEWALK	100'



BARNUM AVENUE (68' L.O.)



MP 1504 BARNUM AVENUE, LLC  
 1504 BARNUM AVENUE  
 WILMINGTON, CT 06401

CITY OF BRIDGEPORT ASSESSOR MAP #4 - BLOCK 168 - LOT NO. 228  
 #1504 BARNUM AVENUE CITY OF BRIDGEPORT  
 COUNTY OF FAIRFIELD STATE OF CONNECTICUT

- NOTES**
- This survey (or map) has been prepared pursuant to the regulations of Connecticut State Agencies Sections 36-200a, 36-200b, 36-200c, 36-200d, 36-200e, 36-200f, 36-200g, 36-200h, 36-200i, 36-200j, 36-200k, 36-200l, 36-200m, 36-200n, 36-200o, 36-200p, 36-200q, 36-200r, 36-200s, 36-200t, 36-200u, 36-200v, 36-200w, 36-200x, 36-200y, 36-200z, 36-200aa, 36-200ab, 36-200ac, 36-200ad, 36-200ae, 36-200af, 36-200ag, 36-200ah, 36-200ai, 36-200aj, 36-200ak, 36-200al, 36-200am, 36-200an, 36-200ao, 36-200ap, 36-200aq, 36-200ar, 36-200as, 36-200at, 36-200au, 36-200av, 36-200aw, 36-200ax, 36-200ay, 36-200az, 36-200ba, 36-200bb, 36-200bc, 36-200bd, 36-200be, 36-200bf, 36-200bg, 36-200bh, 36-200bi, 36-200bj, 36-200bk, 36-200bl, 36-200bm, 36-200bn, 36-200bo, 36-200bp, 36-200bq, 36-200br, 36-200bs, 36-200bt, 36-200bu, 36-200bv, 36-200bw, 36-200bx, 36-200by, 36-200bz, 36-200ca, 36-200cb, 36-200cc, 36-200cd, 36-200ce, 36-200cf, 36-200cg, 36-200ch, 36-200ci, 36-200cj, 36-200ck, 36-200cl, 36-200cm, 36-200cn, 36-200co, 36-200cp, 36-200cq, 36-200cr, 36-200cs, 36-200ct, 36-200cu, 36-200cv, 36-200cw, 36-200cx, 36-200cy, 36-200cz, 36-200da, 36-200db, 36-200dc, 36-200dd, 36-200de, 36-200df, 36-200dg, 36-200dh, 36-200di, 36-200dj, 36-200dk, 36-200dl, 36-200dm, 36-200dn, 36-200do, 36-200dp, 36-200dq, 36-200dr, 36-200ds, 36-200dt, 36-200du, 36-200dv, 36-200dw, 36-200dx, 36-200dy, 36-200dz, 36-200ea, 36-200eb, 36-200ec, 36-200ed, 36-200ee, 36-200ef, 36-200eg, 36-200eh, 36-200ei, 36-200ej, 36-200ek, 36-200el, 36-200em, 36-200en, 36-200eo, 36-200ep, 36-200eq, 36-200er, 36-200es, 36-200et, 36-200eu, 36-200ev, 36-200ew, 36-200ex, 36-200ey, 36-200ez, 36-200fa, 36-200fb, 36-200fc, 36-200fd, 36-200fe, 36-200ff, 36-200fg, 36-200fh, 36-200fi, 36-200fj, 36-200fk, 36-200fl, 36-200fm, 36-200fn, 36-200fo, 36-200fp, 36-200fq, 36-200fr, 36-200fs, 36-200ft, 36-200fu, 36-200fv, 36-200fw, 36-200fx, 36-200fy, 36-200fz, 36-200ga, 36-200gb, 36-200gc, 36-200gd, 36-200ge, 36-200gf, 36-200gg, 36-200gh, 36-200gi, 36-200gj, 36-200gk, 36-200gl, 36-200gm, 36-200gn, 36-200go, 36-200gp, 36-200gq, 36-200gr, 36-200gs, 36-200gt, 36-200gu, 36-200gv, 36-200gw, 36-200gx, 36-200gy, 36-200gz, 36-200ha, 36-200hb, 36-200hc, 36-200hd, 36-200he, 36-200hf, 36-200hg, 36-200hh, 36-200hi, 36-200hj, 36-200hk, 36-200hl, 36-200hm, 36-200hn, 36-200ho, 36-200hp, 36-200hq, 36-200hr, 36-200hs, 36-200ht, 36-200hu, 36-200hv, 36-200hw, 36-200hx, 36-200hy, 36-200hz, 36-200ia, 36-200ib, 36-200ic, 36-200id, 36-200ie, 36-200if, 36-200ig, 36-200ih, 36-200ii, 36-200ij, 36-200ik, 36-200il, 36-200im, 36-200in, 36-200io, 36-200ip, 36-200iq, 36-200ir, 36-200is, 36-200it, 36-200iu, 36-200iv, 36-200iw, 36-200ix, 36-200iy, 36-200iz, 36-200ja, 36-200jb, 36-200jc, 36-200jd, 36-200je, 36-200jf, 36-200jg, 36-200jh, 36-200ji, 36-200jj, 36-200jk, 36-200jl, 36-200jm, 36-200jn, 36-200jo, 36-200jp, 36-200jq, 36-200jr, 36-200js, 36-200jt, 36-200ju, 36-200jv, 36-200jw, 36-200jx, 36-200jy, 36-200jz, 36-200ka, 36-200kb, 36-200kc, 36-200kd, 36-200ke, 36-200kf, 36-200kg, 36-200kh, 36-200ki, 36-200kj, 36-200kl, 36-200km, 36-200kn, 36-200ko, 36-200kp, 36-200kq, 36-200kr, 36-200ks, 36-200kt, 36-200ku, 36-200kv, 36-200kw, 36-200kx, 36-200ky, 36-200kz, 36-200la, 36-200lb, 36-200lc, 36-200ld, 36-200le, 36-200lf, 36-200lg, 36-200lh, 36-200li, 36-200lj, 36-200lk, 36-200ll, 36-200lm, 36-200ln, 36-200lo, 36-200lp, 36-200lq, 36-200lr, 36-200ls, 36-200lt, 36-200lu, 36-200lv, 36-200lw, 36-200lx, 36-200ly, 36-200lz, 36-200ma, 36-200mb, 36-200mc, 36-200md, 36-200me, 36-200mf, 36-200mg, 36-200mh, 36-200mi, 36-200mj, 36-200mk, 36-200ml, 36-200mm, 36-200mn, 36-200mo, 36-200mp, 36-200mq, 36-200mr, 36-200ms, 36-200mt, 36-200mu, 36-200mv, 36-200mw, 36-200mx, 36-200my, 36-200mz, 36-200na, 36-200nb, 36-200nc, 36-200nd, 36-200ne, 36-200nf, 36-200ng, 36-200nh, 36-200ni, 36-200nj, 36-200nk, 36-200nl, 36-200nm, 36-200nn, 36-200no, 36-200np, 36-200nq, 36-200nr, 36-200ns, 36-200nt, 36-200nu, 36-200nv, 36-200nw, 36-200nx, 36-200ny, 36-200nz, 36-200oa, 36-200ob, 36-200oc, 36-200od, 36-200oe, 36-200of, 36-200og, 36-200oh, 36-200oi, 36-200oj, 36-200ok, 36-200ol, 36-200om, 36-200on, 36-200oo, 36-200op, 36-200oq, 36-200or, 36-200os, 36-200ot, 36-200ou, 36-200ov, 36-200ow, 36-200ox, 36-200oy, 36-200oz, 36-200pa, 36-200pb, 36-200pc, 36-200pd, 36-200pe, 36-200pf, 36-200pg, 36-200ph, 36-200pi, 36-200pj, 36-200pk, 36-200pl, 36-200pm, 36-200pn, 36-200po, 36-200pp, 36-200pq, 36-200pr, 36-200ps, 36-200pt, 36-200pu, 36-200pv, 36-200pw, 36-200px, 36-200py, 36-200pz, 36-200qa, 36-200qb, 36-200qc, 36-200qd, 36-200qe, 36-200qf, 36-200qg, 36-200qh, 36-200qi, 36-200qj, 36-200qk, 36-200ql, 36-200qm, 36-200qn, 36-200qo, 36-200qp, 36-200qq, 36-200qr, 36-200qs, 36-200qt, 36-200qu, 36-200qv, 36-200qw, 36-200qx, 36-200qy, 36-200qz, 36-200ra, 36-200rb, 36-200rc, 36-200rd, 36-200re, 36-200rf, 36-200rg, 36-200rh, 36-200ri, 36-200rj, 36-200rk, 36-200rl, 36-200rm, 36-200rn, 36-200ro, 36-200rp, 36-200rq, 36-200rr, 36-200rs, 36-200rt, 36-200ru, 36-200rv, 36-200rw, 36-200rx, 36-200ry, 36-200rz, 36-200sa, 36-200sb, 36-200sc, 36-200sd, 36-200se, 36-200sf, 36-200sg, 36-200sh, 36-200si, 36-200sj, 36-200sk, 36-200sl, 36-200sm, 36-200sn, 36-200so, 36-200sp, 36-200sq, 36-200sr, 36-200ss, 36-200st, 36-200su, 36-200sv, 36-200sw, 36-200sx, 36-200sy, 36-200sz, 36-200ta, 36-200tb, 36-200tc, 36-200td, 36-200te, 36-200tf, 36-200tg, 36-200th, 36-200ti, 36-200tj, 36-200tk, 36-200tl, 36-200tm, 36-200tn, 36-200to, 36-200tp, 36-200tq, 36-200tr, 36-200ts, 36-200tt, 36-200tu, 36-200tv, 36-200tw, 36-200tx, 36-200ty, 36-200tz, 36-200ua, 36-200ub, 36-200uc, 36-200ud, 36-200ue, 36-200uf, 36-200ug, 36-200uh, 36-200ui, 36-200uj, 36-200uk, 36-200ul, 36-200um, 36-200un, 36-200uo, 36-200up, 36-200uq, 36-200ur, 36-200us, 36-200ut, 36-200uu, 36-200uv, 36-200uw, 36-200ux, 36-200uy, 36-200uz, 36-200va, 36-200vb, 36-200vc, 36-200vd, 36-200ve, 36-200vf, 36-200vg, 36-200vh, 36-200vi, 36-200vj, 36-200vk, 36-200vl, 36-200vm, 36-200vn, 36-200vo, 36-200vp, 36-200vq, 36-200vr, 36-200vs, 36-200vt, 36-200vu, 36-200vv, 36-200vw, 36-200vx, 36-200vy, 36-200vz, 36-200wa, 36-200wb, 36-200wc, 36-200wd, 36-200we, 36-200wf, 36-200wg, 36-200wh, 36-200wi, 36-200wj, 36-200wk, 36-200wl, 36-200wm, 36-200wn, 36-200wo, 36-200wp, 36-200wq, 36-200wr, 36-200ws, 36-200wt, 36-200wu, 36-200wv, 36-200ww, 36-200wx, 36-200wy, 36-200wz, 36-200xa, 36-200xb, 36-200xc, 36-200xd, 36-200xe, 36-200xf, 36-200xg, 36-200xh, 36-200xi, 36-200xj, 36-200xk, 36-200xl, 36-200xm, 36-200xn, 36-200xo, 36-200xp, 36-200xq, 36-200xr, 36-200xs, 36-200xt, 36-200xu, 36-200xv, 36-200xw, 36-200xx, 36-200xy, 36-200xz, 36-200ya, 36-200yb, 36-200yc, 36-200yd, 36-200ye, 36-200yf, 36-200yg, 36-200yh, 36-200yi, 36-200yj, 36-200yk, 36-200yl, 36-200ym, 36-200yn, 36-200yo, 36-200yp, 36-200yq, 36-200yr, 36-200ys, 36-200yt, 36-200yu, 36-200yv, 36-200yw, 36-200yx, 36-200yy, 36-200yz, 36-200za, 36-200zb, 36-200zc, 36-200zd, 36-200ze, 36-200zf, 36-200zg, 36-200zh, 36-200zi, 36-200zj, 36-200zk, 36-200zl, 36-200zm, 36-200zn, 36-200zo, 36-200zp, 36-200zq, 36-200zr, 36-200zs, 36-200zt, 36-200zu, 36-200zv, 36-200zw, 36-200zx, 36-200zy, 36-200zz

**LEASED AREA**  
 USE: USED CAR DEALERSHIP  
 -PREPARED FOR-  
**FIX&GO LLC**  
 (DBA: FIX&GO AUTO SALES AND SERVICE)  
 #1504 BARNUM AVENUE  
 BRIDGEPORT, CONNECTICUT

AUGUST 18, 2022  
 SHEET 1 OF 1

**HAMMONS LLC**  
 LAND SURVEYORS & CIVIL ENGINEERS  
 1111 WINDY HILL ROAD  
 BRIDGEPORT, CT 06605  
 PHONE: 203.333.1111  
 FAX: 203.333.1112  
 www.hammonsllc.com

CONFORMANCE: ASHRAE 90.1-2010  
 DRAWING NO.: 11101  
 CHECKED BY: [Signature]  
 DATE: DEC. 3, 2021

SCALE: 1" = 40'

1818 WINDY HILL ROAD AND AHEAD, THIS MAP BE DEMONSTRATELY CORRECT AS NOTED HEREON.

MP 1504 BARNUM AVENUE, LLC  
 1504 BARNUM AVENUE  
 WILMINGTON, CT 06401

MP 1460 BARNUM AVENUE, LLC  
 1460 BARNUM AVENUE  
 WILMINGTON, CT 06401

MP 1504 BARNUM AVENUE, LLC  
 1504 BARNUM AVENUE  
 WILMINGTON, CT 06401

**LEGEND**

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**August 20, 2022**

**Bridgeport Zoning commission**

**My name is Abel Piazza, and my partners name is Juan Aquino we are business partners and would like to open FixGo Auto Sales and Service at the location of 1500 Barnum Ave Bridgeport CT 06610**

**We want to be proud of our business and run a clean establishment and that's why we chose this location as our future landlord has kept this premise in immaculate condition and continue making Bridgeport proud.**

**We promise to keep the premise in the same clean condition during our tenancy and hopefully someday purchase the property. We also promise not to store any parts or tires outside the building and have no intention of becoming a blight customer to the zoning department.**

**If you grant us the permission, we will follow the rules and regulations issued to us. The former approval is for 20 "for sale vehicles" that's what we are asking for again.**

**Thank you very much for considering my partner and I to be part of Bridgeport**

**Abel Piazza**





CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

[X] Variance [ ] Appeal from Zoning Officer [ ] Extension of Time Permit / Modification of Plan of Development [ ] Request for Re-hearing [ ] Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

4315 MAIN ST (Number) EAST (Street) Zone 225 - COM GARAGE (Zone Classification) On the SOUTH side of the street about 5' feet EAST from OF MAIN ST. (Street) Block: B1 / Lot: 23156 Dimension of Lot in Question 50 X 100 (Specify)

1. NAME OF APPLICANT / BUSINESS BRAKECENTERS OF AMERICA AT BRIDGEPORT, INC (Print) 2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) OWNER 3. HAS A PREVIOUS APPLICATION BEEN FILED? NO IF SO, GIVE DATE OF HEARING 4. DESCRIBE PROPOSED DEVELOPMENT USED CAR DEALERS LICENSE

5. THIS APPLICATION RELATES TO: Check all that Apply [ ] Setback [ ] Coverage [ ] Landscaping [ ] Lot Area and Width [ ] Floor Area [ ] Height [ ] Parking [ ] Extension or Enlargement of Non-Conforming Use and/or Building [ ] Coastal Area Management Approval [ ] Liquor [ ] Use [X] Other: USED CAR DEALER LICENCE

6. USE TO BE MADE OF PROPERTY CLASSIC CAR DEALERSHIP / BRAKE STOP

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? NEED TO EXPAND OFFERINGS BEYOND BRAKES TO MAKE ENDS MEET.

APPLICANT [Signature] WILLIS E. PELLETIER, JR (Print) DATE 7/21/22

If signed by agent, state capacity (lawyer, builder, etc) WILLIS PELLETIER 1 BRAXE2USAG.AOL.COM (Email)

Mailing Address 35 OLD BATTERY RD. BRIDGEPORT, CT 06605 (Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT [Signature] WILLIS E. PELLETIER JR (Print)

Subscribe & Sworn to before me this \_\_\_ day of \_\_\_ 20\_\_\_ Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION All questions must be answered in detail (use separate sheet if necessary). The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application. NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.

## Proposed Use of Property

4315 Main St. Bridgeport, CT 06606

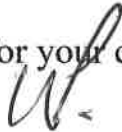
Brake Centers of America has operated at this location for fifteen years (And in Bridgeport for thirty three years). The Business is owned and operated by Willis E. Pelletier, Jr. And wife Maureen C, Pelletier, both lifelong Bridgeport residents.

The business is a true brake specialty shop. Customers call to make a "While you wait" appointment and are scheduled in. Because of this we never have excess cars on our property. There are no cars left on our lot at night, other than on the occasion where a customer drops off a vehicle at night for next day service.

Most repairs are made in an hours time.

Our son Kevin Pelletier, Vice President accesses classic cars to sell. We are looking to accommodate this expansion of the business by obtaining a CT State Used Car License. We will have up to five vehicles for sale at a time. To achieve this we need to add a service bay to the building.

Thank you for your consideration.



Willis E. Pelletier, Jr.  
35 Old Battery Rd. Bridgeport, CT 06605  
Cell: 203-218-8273  
Email: BrakesUSA@aol.com

**INSTRUCTIONS:**

- SECTION 1&2 Must be completed by the APPLICANT
- SECTION 3 Must be completed and signed by the local authorities of the city or town in which the location is proposed
- Submit the completed application with required attachments by mail to: DEPARTMENT OF MOTOR VEHICLES, DEALERS AND REPAIRERS UNIT Room 102, 60 STATE ST, WETHERSFIELD, CT 06161-2011

**SECTION 1 BUSINESS INFORMATION**

PLEASE CHECK ONE BOX ONLY:  
TYPE OF LICENSE:

NEW DEALER  USED DEALER  GENERAL REPAIRER  LIMITED REPAIRER  LEASING  MANUFACTURER

PLEASE CHECK ONE BOX ONLY:  
TRANSACTION TYPE:

NEW LICENSE  CHANGE MEMBER  ADD PROPERTY  CHANGE LOCATION  CHANGE OF BUSINESS NAME (DBA, LLC, ETC.)

Name Under which Business is to be Conducted (Please include DBA if applicable):

BRAKE CENTERS OF AMERICA AT BRIDGEPORT, INC

Existing License number (if applicable):

R7479

Full Address of Location for Which License is Requested:

4315 MAIN ST. BRIDGEPORT, CT 06606

Business License # from Secretary of State:

Mailing Address, if Different From Above:

35 OLD BATTERY RD. BRIDGEPORT, CT 06605

FEB #:

If Incorporated or LLC, Under the Laws of which State:

CT

E Mail Address

BRAKESUSA@AOL.COM

The Business Holds a Factory Franchise to Sell the Following Make(s) of Vehicle(s) at The Above Location for (New, Used, Car Dealers Only):

List all Makes of Vehicles Manufactured by the Applicant which are offered in the State of Connecticut. (Manufacturers Only)

If applicant firm is owned by individual or partnership, enter data below for all owners. If owned by a corporation, enter data for officers. If LLC, Enter data for members.

NAME	TITLE	HOME ADDRESS	PHONE #	SOCIAL SECURITY #	DATE OF BIRTH
WILLIS G. PELLETIER	PRES	35 OLD BATTERY RD. BR	203-218-8273	045 50 9520	7/7/57
MAUREEN PELLETIER	SEC	"	203-218-8272	047-60-8280	4/8/59
KEVIN PELLETIER	VP	"	203-260-1803	043 02 5310	4/23/00

New/Used Car Dealers and Manufacturers only (MUST CHECK ONE)

I am applying for a Dealer's license and do not hold, or intend to apply for a Manufacturer's license

I am applying for a Manufacturer's license and do not hold, or intend to apply for a Dealer's license

**SECTION 2 TO BE COMPLETED BY LEASING COMPANIES ONLY**

Do you lease vehicles for periods of 30 days or more?

YES  NO

Leasing company's normal business hours

CONTACT PERSON FOR REGISTRATION RENEWAL ISSUES

Name WILLIS PELLETIER

Phone # 203-218-8273

Fax #

BRAKESUSA@AOL.COM  
Email

**CERTIFICATION (To be signed by Owner, Partner, Managing Member or Authorized Officer in presence of notary)**

Pursuant to CGS 53a-157b, I declare that the statements made by me in this application or in any documents attached hereto are true and complete to the best of my knowledge and belief.

Signed (Owner, Partner, Managing Member or Officer)

X *Willis*

Title

PRESIDENT

Date

3/15/22

Subscribed and sworn to before me:

Place Sworn (Town/City and State of)  
Shelton, CT

Signed (Notary Public, Justice of the Peace, or Commissioner of Superior Court)

*K. Mary Terry*

Date Commission Expires

8/31/22

**SECTION 3 CERTIFICATION OF LOCAL APPROVAL FOR PROPOSED LOCATION - NOT APPLICABLE FOR LEASING OR MANUFACTURERS**

Pursuant to CGS 14-54, local approval is hereby granted for the above named firm or individuals to conduct a business of the type checked above at the location specified in this application.

Are there any restrictions placed on the licensee's use of property?  YES  NO (If "YES," a copy of the restrictions MUST be attached to this application.)

Signature of Authorized Zoning Official

Printed Name of Authorized Zoning Official

Title of Zoning Official

Date

X

Signatures of Building Officials and Fire Marshal indicate compliance with applicable laws and regulations (Required for New and Used Dealers, General and Limited Repairer ONLY)

Signature of Building Official

Printed Name of Building Official

Date

X

Signature of Local Fire Marshal

Printed Name of Local Fire Marshal

Date

X

PROPERTY OWNERS WITHIN 100'

Application of Willis E. Pelletier, Jr.  
Brake Centers of America  
4315 Main St.  
Bridgeport, CT 06606

KFC 4301 Main St.  
Stern Leo and H. Stern Reingold Etal.  
MBLU 81/2314/16  
899 Skokie Blvd. Suite 500  
Northbrook IL 60062

Merritt Canteen  
Merritt Canteen Realty  
4355 Main St. Bridgeport, CT 06606  
Vol 6084, Page 193

Merritt Car Wash  
Backwash Realty  
30 Perronette Dr Bridgeport, CT 06606  
Vol 10456, Page 165

CAR WASH  
1240 S.F. BUILDING  
4130 SF LOT

275  
WASTE  
OIL

OH  
DOOR

BAS

25

16

BAY  
2

LIFT

16

HEAT  
OIL

AIR  
COMPRESSOR

25

BAS

30

BAY  
1

16

STOCK  
ROOM

BR

LIFT

28

14

14

AOF

12

OFFICE

12

12

WAIT ROOM

14

16

OH  
DOOR

SIGN

PARRIENETTE ST.

MERIT CANTEN

KFC

1215 MAIN ST

