



ZONING BOARD OF APPEALS APPLICATION CHECKLIST

Required Information

- All items must be submitted in sets of (11) Eleven
- All plans & drawings must be full size (24"x36"), drawn to scale and in a PROFESSIONAL manner and must include a title block noting the name, address & telephone number of preparer.
- Site Development Plan prepared in accordance with Sec. 14-2-3b of the Bridgeport Zoning Regulations. Include the Zone Development Standards table indicating both required as well as the proposed Standards.
- Elevation views of a proposed new structure or elevation views of an existing building where an addition or change is proposed.
- Floor plan of building(s) or section of building(s) being considered by the Board.
(All sets **FOLDED DOWN** to 8" x 12")
- A Design Standard submission for new developments.
- A written statement citing the specific provision(s) of the Regulations from which the variance is sought.
- A list of the names & addresses of all property owners within 100 ft of all property lines of the subject property. The Tax Assessor's Office (Room 105) can assist with this information or visit the COB website: <http://gis.cdm.com/BridgeportCT/map.htm>
- All applications must include the following:
 - a) Mailing address & zip code of applicant or authorized agent.
 - b) Daytime telephone number of applicant or authorized agent.
 - c) Signature of owner(s) & applicant(s)
 - d) Filing fee - cash, check or money order payable to the ZONING BOARD OF APPEALS or BPT. ZBA.
- All items submitted must be saved and properly installed on a USB flash drive.**
The information on the USB flash drive must include the application, site plans, and all other hard copy information (landscaping, floor elevations, etc) that will be submitted. It also **must be labelled** with the property address and the date of hearing. **All plans and paper work that is submitted to the zoning office must be FOLDED (8"x12" or smaller) and Collated into 11 separate packets.**

Notes:

1. Applications that do not provide ALL of the above required information will be considered "incomplete" and will be not be accepted. Applications will be limited to the first 10 submitted, regardless of the submission deadline.
2. No application will be assigned for a public hearing until such time as the City Engineering Department has reviewed and submitted comments to the Zoning Office.
3. A Use Variance approval by the Z.B.A. requires a Site Plan Review by the Planning & Zoning Commission as set forth in Section 14-2-2. This approval may be in addition to other requirements of the Zoning Regulations. All required approvals must be obtained prior to the use and/or development of any parcel granted a Variance.
4. Proposed signs are not accepted as part of any petition. Signage is regulated under Sec. 11-7 of the Zoning Regulations.

Applicant's Signature

Date

Reviewers Initials

Date



ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

424 Exeter Zone _____
(Number) (Street) (Zone Classification)

On the _____ side of the street about _____ feet _____ from
(North, South, East, West) (North, South, East, West)

_____ Block : _____ Lot: _____
(Street)

Dimension of Lot in Question _____
(Specify)

1. NAME OF APPLICANT / BUSINESS Jessica Sarmiento

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) owner
(Print)

3. HAS A PREVIOUS APPLICATION BEEN FILED no IF SO, GIVE DATE OF HEARING _____
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Garage

5. THIS APPLICATION RELATES TO: *Check all that Apply*

Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management
Approval Liquor Use Other: garage to be built within home

6. USE TO BE MADE OF PROPERTY _____

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? The lot we are building on does not allow any other space to build a garage.

APPLICANT _____ / _____ DATE _____
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____ / _____
(Email)

Mailing Address _____
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print _____
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20 _____

Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.

**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**



August 4, 2022

City of Bridgeport
Zoning Board of Appeals

Re: 424 Exeter Street Variance

Ladies and Gentlemen:

This letter and attached plan are for the proposed single family residence a property located at 424 Exeter Street. The request below is for a variance for the proposed project which is within the NX-1 zone of the City of Bridgeport regulations effective January 1, 2022.

Variance(s) of the following regulations requested:

Section 3.90.5: Parking Accessories and Structures: Attached garage setback 20 ft. min. behind primary facade in rear of building.

List of Names and Addresses

Manuel Sarmiento
406 Exeter Street
Bridgeport CT 06606

Paulette Blackford
436 Exeter Street
Bridgeport CT 06606

Maurice McNeil
425 Exeter St
Bridgeport CT 06606

Frew Patricia and Victor
417 Exeter Street
Bridgeport CT 06606

Norma A Ramos
Shirley Ramos
149 Broadway NA
Bridgeport CT 06606

Steven Senecharles
139 Broadway NA
Bridgeport CT 06606

Rafael Diaz
129 Broadway NA
Bridgeport CT 06606

SITE ENGINEERING DESIGN MEMO

Proposed Single Family Home
424 Exeter Street
Bridgeport, Connecticut
Job No. 2705

Prepared For:
Jessica Sarmiento

Prepared By:

 **ROSE
•TISO
& CO. LLC**
ARCHITECTS • SURVEYORS • ENGINEERS
WWW.ROSETISO.COM
35 BRENTWOOD AVENUE, FAIRFIELD, CT 06425
TEL: (203) 610-6262 • FAX: (203) 610-6404

July 29, 2022

Stephen Santacroce

Stephen Santacroce
Project Engineer

EXISTING STORM WATER RUNOFF

INTRODUCTION:

Jessica Sarmiento is proposing the construction of a new single-family house on a parcel located at 424 Exeter Street in Bridgeport, CT. The proposed single family house will be constructed on a currently undeveloped lot.

The property contains a total area of 5,000 square feet. Currently, the site is an undeveloped residentially zoned lot which is generally comprised of pervious surfaces. Topographically, the site slopes from south to north. The maximum elevation is approximately elevation 158 feet. The minimum elevation, adjacent to the northern property line, is approximately 150 feet.

TABLE 1

Existing Storm Water Runoff (CFS)

Return Period	Runoff (CFS)
10-year	0.248
2-year	0.153
1-year	0.098

PROPOSED STORM WATER DRAINAGE

A primary concern was addressed during the design of the storm water control system. The impact on the surrounding infrastructure was to be absolutely minimized.

Design details for these systems are presented on Sheet SP-1 (part of the overall Project Documents). The system will drain the one roof on site, all paved areas, sidewalks, and grassy areas that contribute runoff to the system. The roof and driveway will be the major elements of the total impervious area on the site. (Calculations included as Appendix B). The roof, grassy areas, sidewalks and driveways will contribute to the runoff totals seen in table 2. This runoff will flow to a 304 cubic foot infiltration gallery. These systems will allow a maximum flow of 0.242 CFS at the 10 year storm.

TABLE 2

Proposed Flows (CFS) for new condition

2-year	5-year,	10-year
0.000	0.066	0.242

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Hydrograph No. 1, SCS Runoff, DA-EX.....	9
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Hydrograph Return Period Recap

Hydroflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

Hyd. No.	Hydrograph type (origin)	Inflow hyd(s)	Peak Outflow (cfs)								Hydrograph Description
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
1	SCS Runoff	---	---	0.076	---	0.163	0.246	---	---	---	DA-EX
2	SCS Runoff	---	---	0.175	---	0.290	0.391	---	---	---	DA-PR
3	Reservoir	2	---	0.000	---	0.086	0.242	---	---	---	UGS-1

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

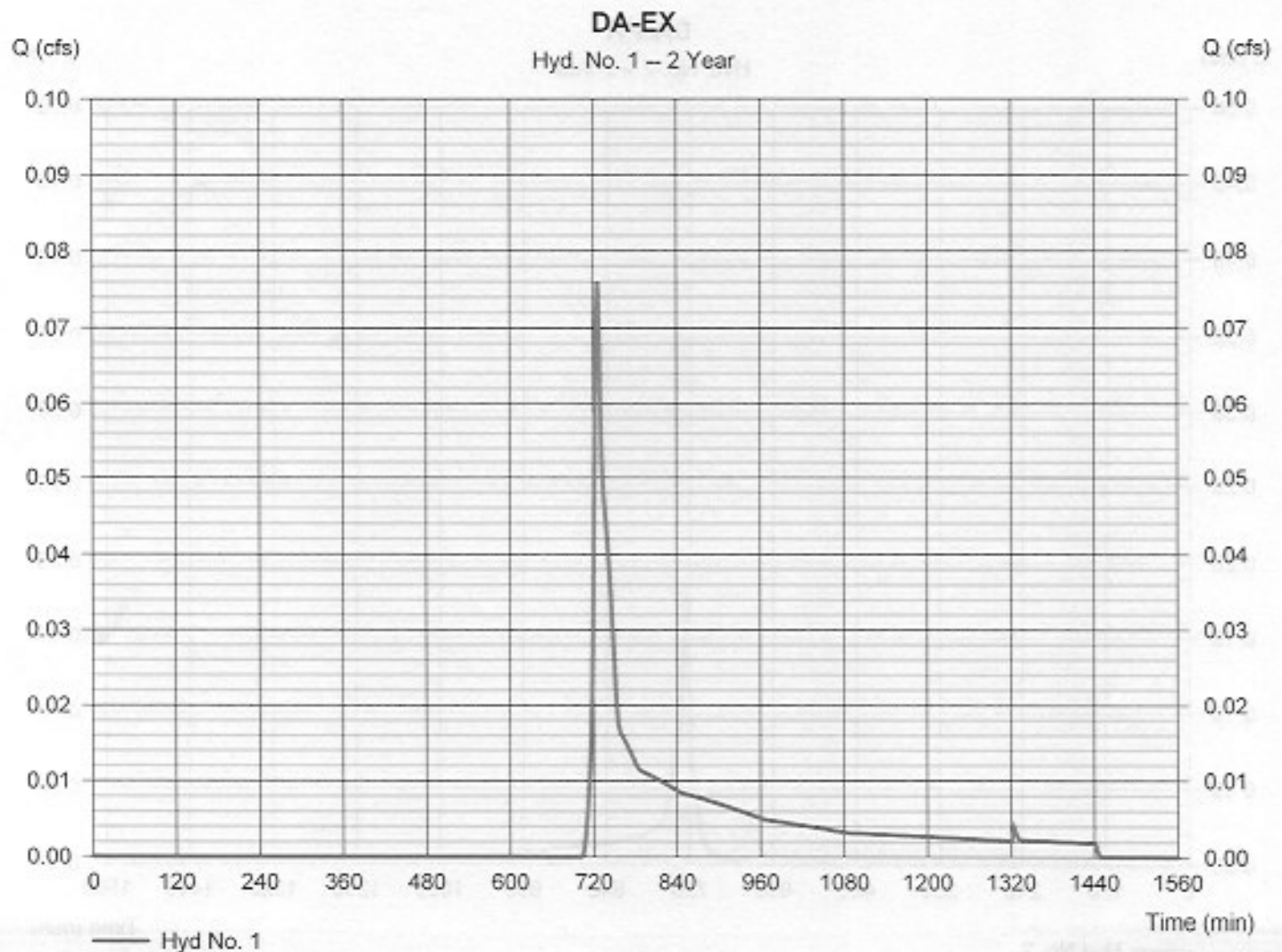
Friday, 07 / 29 / 2022

Hyd. No. 1

DA-EX

Hydrograph type	= SCS Runoff	Peak discharge	= 0.076 cfs
Storm frequency	= 2 yrs	Time to peak	= 726 min
Time interval	= 1 min	Hyd. volume	= 296 cuft
Drainage area	= 0.120 ac	Curve number	= 63*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 3.50 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = $[(0.110 \times 61) + (0.005 \times 98)] / 0.120$



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

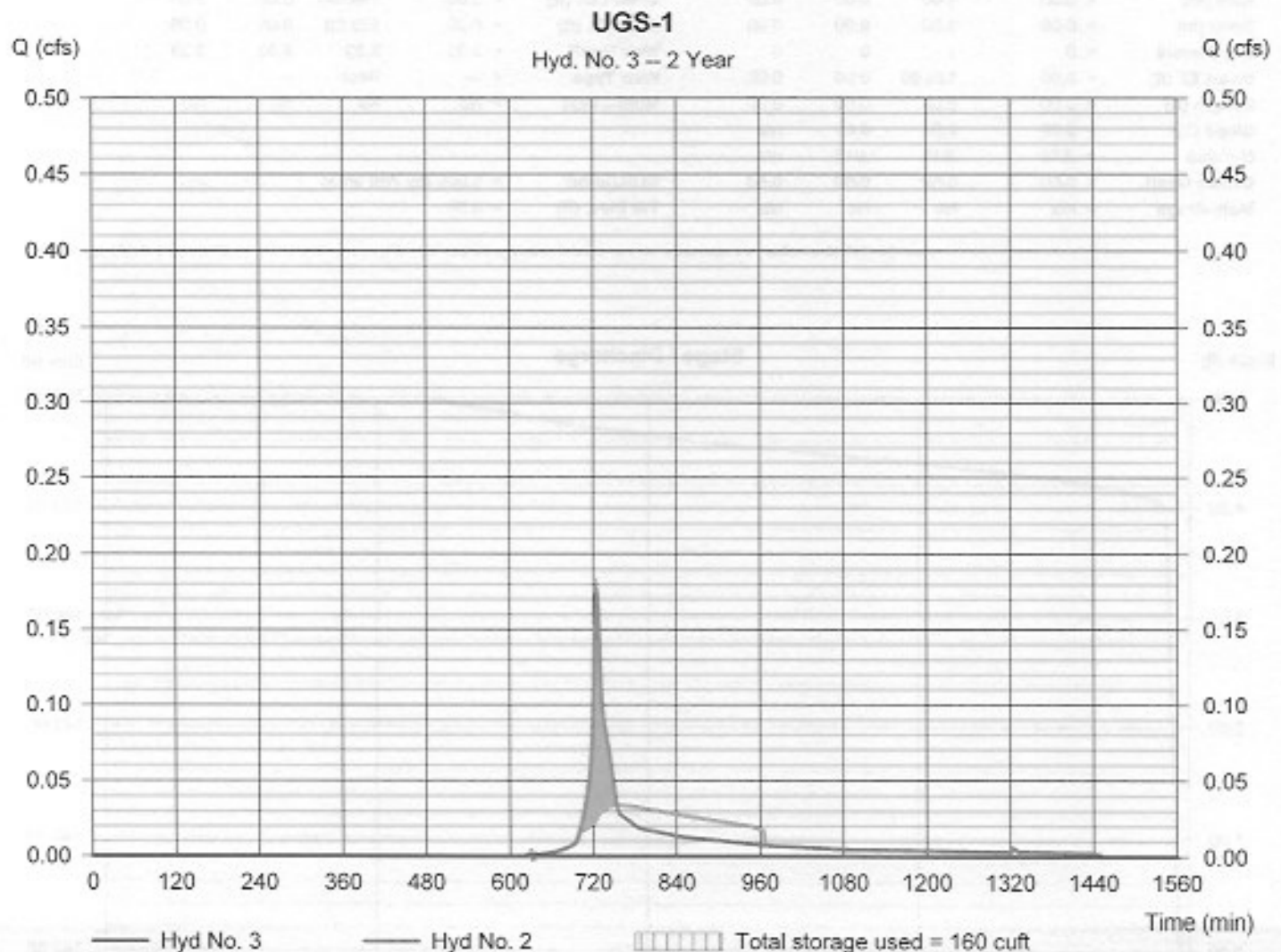
Friday, 07 / 29 / 2022

Hyd. No. 3

UGS-1

Hydrograph type	= Reservoir	Peak discharge	= 0.000 cfs
Storm frequency	= 2 yrs	Time to peak	= 697 min
Time interval	= 1 min	Hyd. volume	= 0 cuft
Inflow hyd. No.	= 2 - DA-PR	Max. Elevation	= 147.62 ft
Reservoir name	= UG CHAMBERS	Max. Storage	= 160 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	0.163	1	725	551	---	---	---	DA-EX
2	SCS Runoff	0.290	1	725	900	---	---	---	DA-PR
3	Reservoir	0.066	1	742	46	2	149.14	265	UGS-1

424 exeter street.gpw	Return Period: 5 Year	Friday, 07 / 29 / 2022
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Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

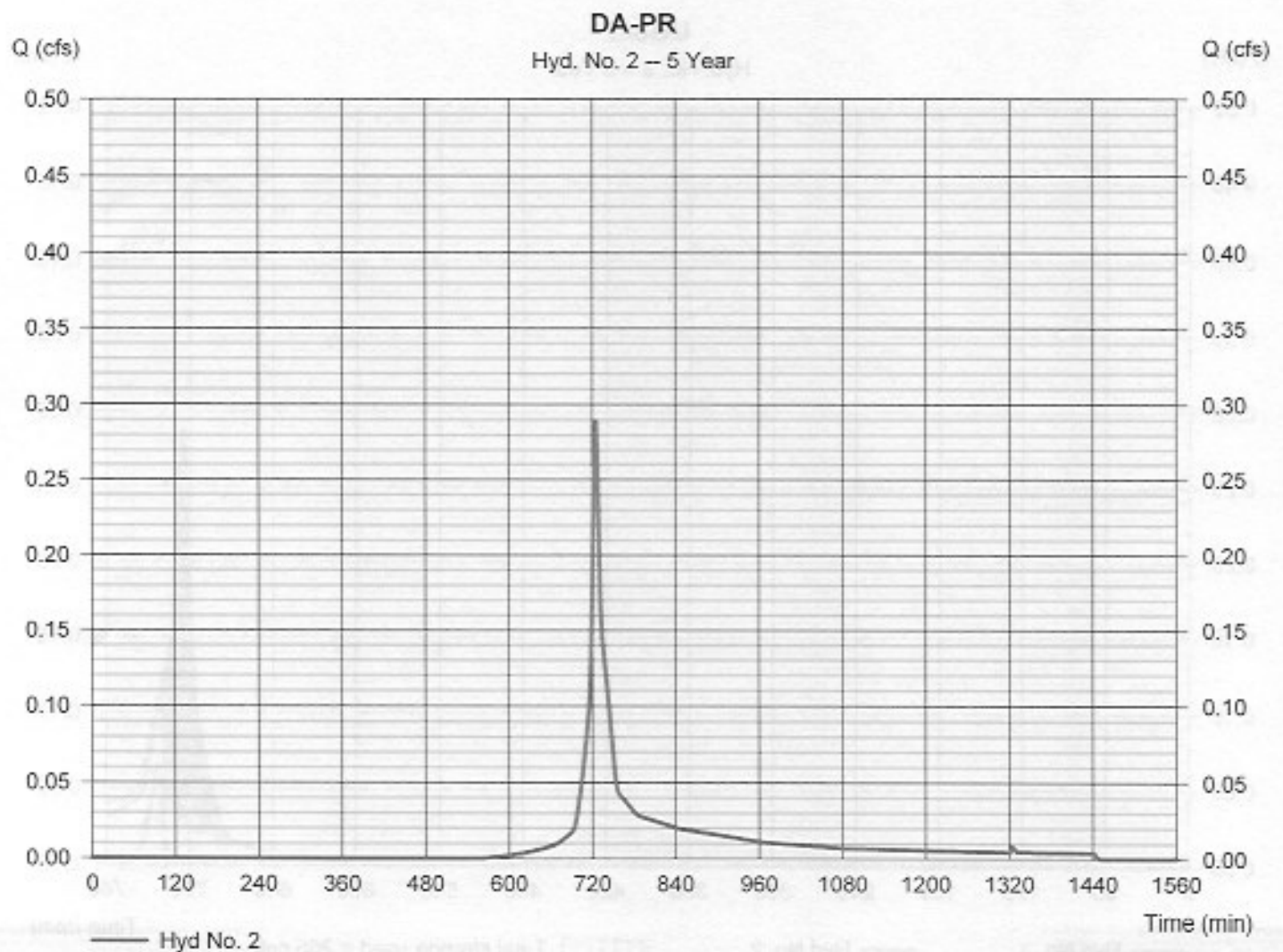
Friday, 07 / 29 / 2022

Hyd. No. 2

DA-PR

Hydrograph type	= SCS Runoff	Peak discharge	= 0.290 cfs
Storm frequency	= 5 yrs	Time to peak	= 725 min
Time interval	= 1 min	Hyd. volume	= 900 cuft
Drainage area	= 0.120 ac	Curve number	= 74*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 4.54 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.040 x 98) + (0.075 x 61)] / 0.120



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	0.246	1	725	794	---	---	---	DA-EX
2	SCS Runoff	0.391	1	725	1,207	---	---	---	DA-PR
3	Reservoir	0.242	1	729	201	2	149.28	275	UGS-1

424 exeter street.gpw					Return Period: 10 Year			Friday, 07 / 29 / 2022	
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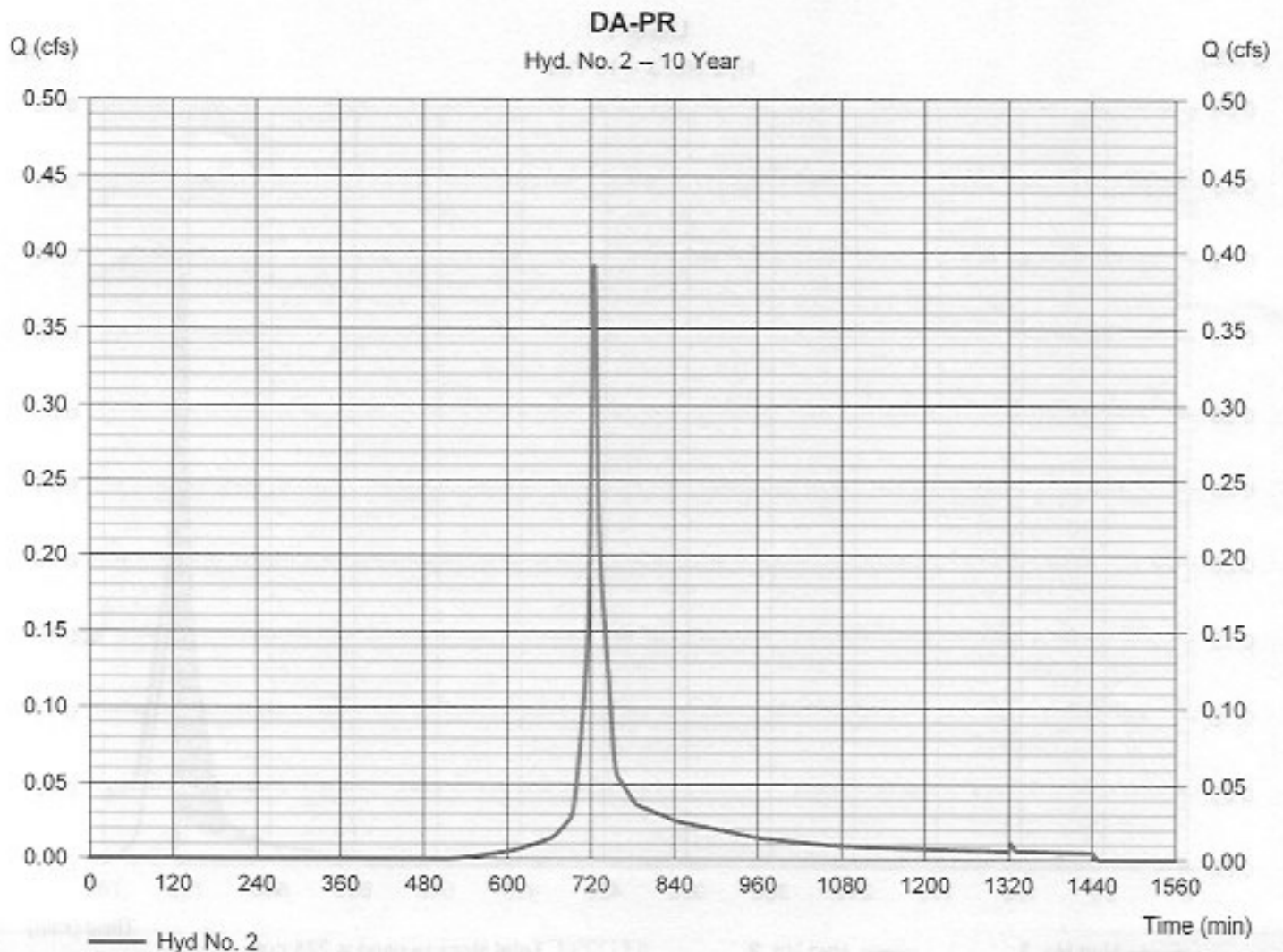
Hydrograph Report

Hyd. No. 2

DA-PR

Hydrograph type	= SCS Runoff	Peak discharge	= 0.391 cfs
Storm frequency	= 10 yrs	Time to peak	= 725 min
Time interval	= 1 min	Hyd. volume	= 1,207 cuft
Drainage area	= 0.120 ac	Curve number	= 74*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 5.40 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.040 x 98) + (0.075 x 61)] / 0.120





ZONING BOARD OF APPEALS APPLICATION CHECKLIST

Required Information

- All items must be submitted in sets of (11) Eleven
- All plans & drawings must be full size (24"x36"), drawn to scale and in a PROFESSIONAL manner and must include a title block noting the name, address & telephone number of preparer.
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(All sets **FOLDED DOWN** to 8" x 12")
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4. Proposed signs are not accepted as part of any petition. Signage is regulated under Sec. 11-7 of the Zoning Regulations.

Applicant's Signature

Date

Reviewers Initials

Date



ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

424 Exeter Zone _____
(Number) (Street) (Zone Classification)

On the _____ side of the street about _____ feet _____ from
(North, South, East, West) (North, South, East, West)

_____ Block : _____ Lot: _____
(Street)

Dimension of Lot in Question _____
(Specify)

1. NAME OF APPLICANT / BUSINESS Jessica Sarmiento

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) owner
(Print)

3. HAS A PREVIOUS APPLICATION BEEN FILED? no IF SO, GIVE DATE OF HEARING _____
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Garage

5. THIS APPLICATION RELATES TO: *Check all that Apply*
 Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: garage to be built within home

6. USE TO BE MADE OF PROPERTY _____

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? The lot we are building on does not allow any other space to build a garage.

APPLICANT _____ / _____ DATE _____
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____ / _____
(Email)

Mailing Address _____
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print _____
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20_____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
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The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)



August 4, 2022

City of Bridgeport
Zoning Board of Appeals

Re: 424 Exeter Street Variance

Ladies and Gentlemen:

This letter and attached plan are for the proposed single family residence a property located at 424 Exeter Street. The request below is for a variance for the proposed project which is within the NX-1 zone of the City of Bridgeport regulations effective January 1, 2022.

Variance(s) of the following regulations requested:

Section 3.90.5: Parking Accessories and Structures: Attached garage setback 20 ft. min. behind primary facade in rear of building.

RESIDENTIAL SINGLE FAMILY (R-A) ZONE DEVELOPMENT STANDARDS

STANDARDS	REQUIRED	PROPOSED
LOT		
Lot area, Minimum	7,500 s.f.	5,000 s.f. EXIST
Frontage, Minimum	75 ft.	50 ft. EXIST
PRINCIPAL BUILDING SETBACK		
Front lot line minimum from	20 ft.	20.5 FT.
Side lot line minimum from	6 ft.	6.5 FT
One side	6 ft.	6.5'
Both Sides shall add up to	20 ft.	21 FT.
Rear Lot Line	20% of lot depth	20% of lot depth
Minimum	20 ft.	20 ft.
COVERAGE		
Building Coverage, Maximum	40%	29%
Site Coverage Maximum	60%	34%
LANDSCAPED AREA		
Minimum	40%	40%
HEIGHT PRINCIPAL BUILDING		
To mid-point of highest roof	28 ft.	28 ft.-
To Ridge	35 ft.	34 ft.±

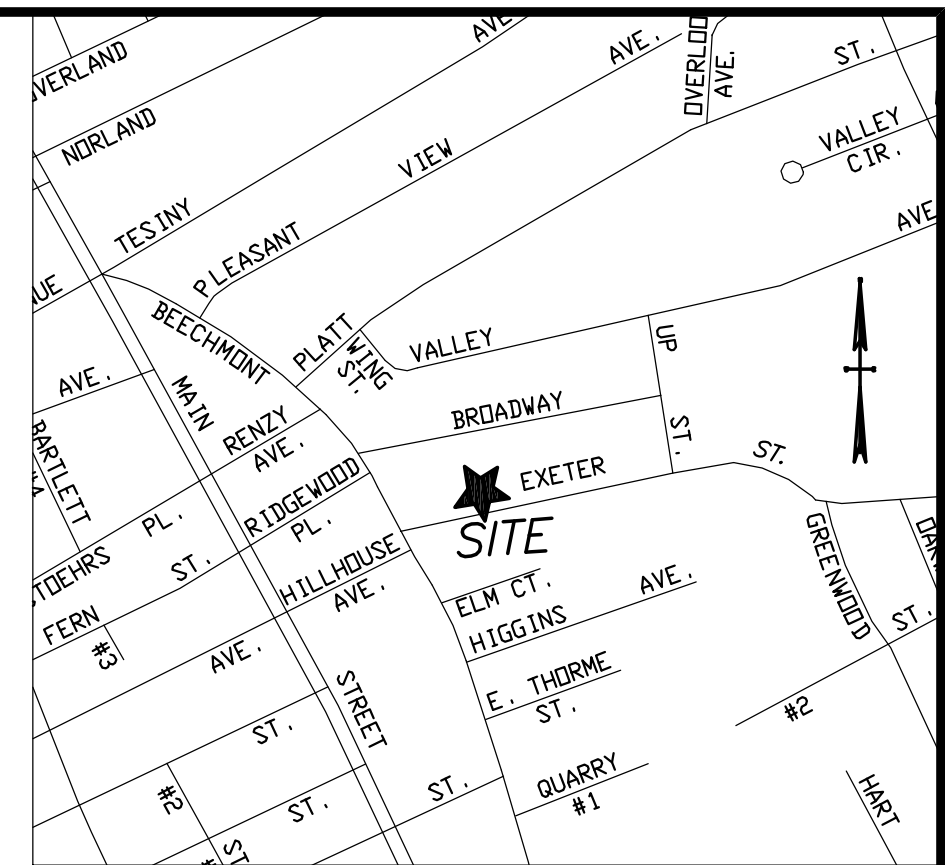
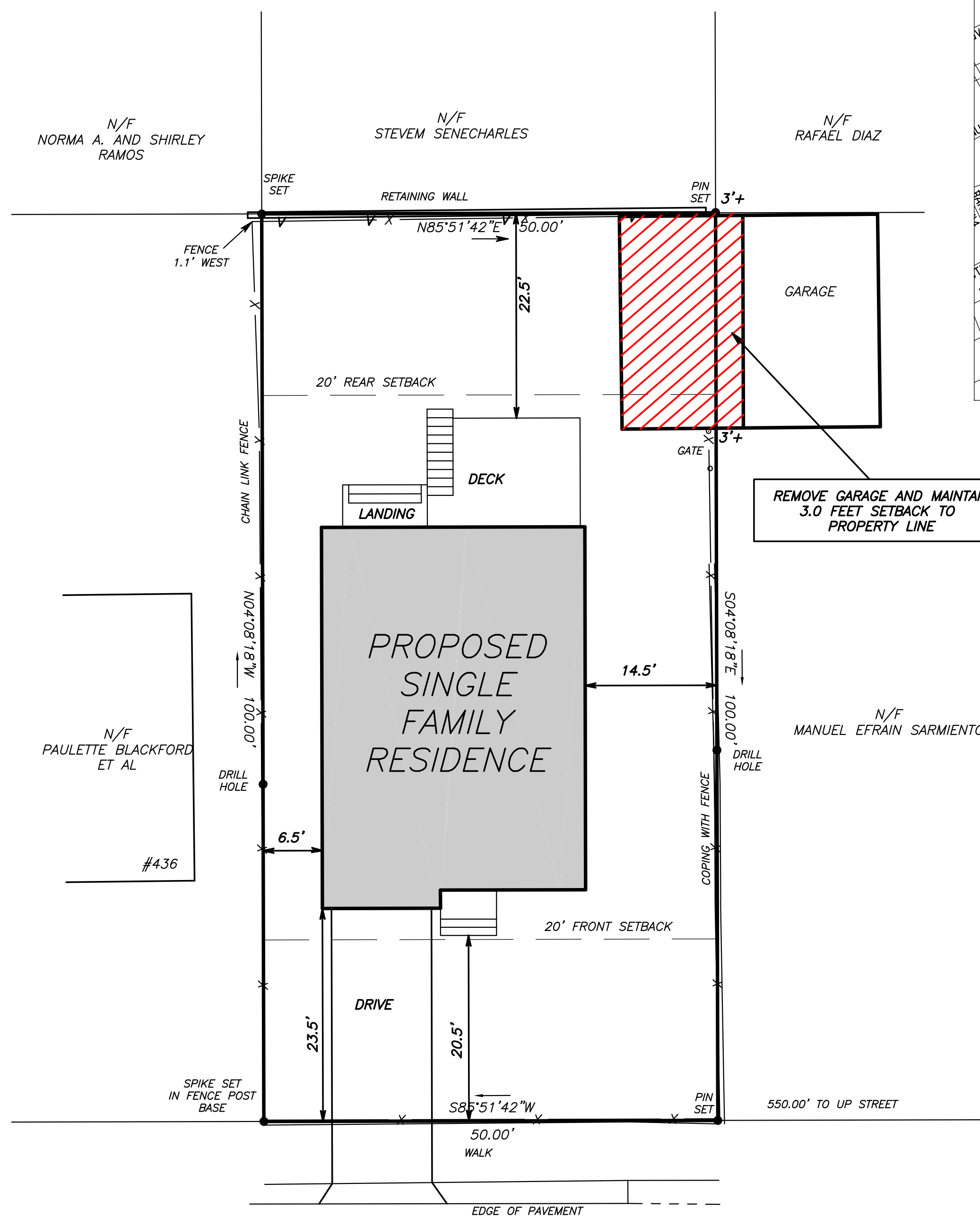
ACCESSORY STRUCTURE ON SARMIENTO PROPERTY AFTER REMOVAL

ACCESSORY STRUCTURE SETBACK		
Setback Minimums		
Front Lot Line	The lesser of 50% of lot depth of 75 ft.	76'± EXISTING
Side lot line	3 ft.	3 ft.
Rear lot line	3 ft.	3 ft.
Height to round or flat roof	12 ft.	12 ft. EXISTING
Height to ridge	15 ft.	15 ft. EXISTING
FLOOR AREA MAXIMUM	See Section 4-9-1(c)(2)	351 S.F.

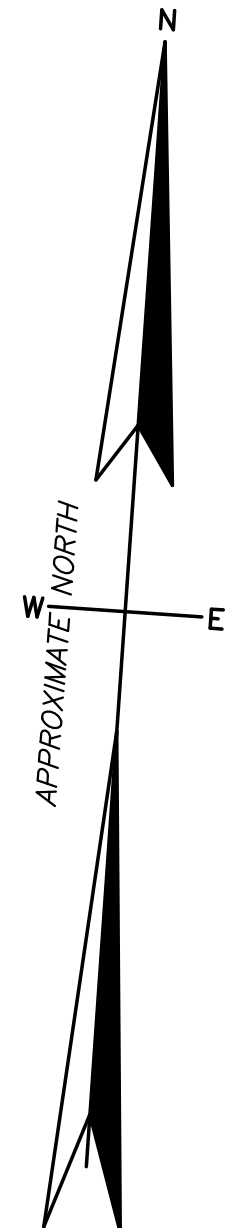
MAP REFERENCE:
 Beechlawn the property of The Berkshire Realty Co., Bridgeport, Conn., scale: 1"= 40' dated Dec. 1915 by Palmer + Goodell, Bridgeport Town Clerk Map in Vol. 7 Pg. 22.

- NOTES:**
1. This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in The State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. The Boundary Determination is Dependent Resurvey conforming to Horizontal Accuracy Class A-2.
 2. Reference is made to the City of Bridgeport Engineering pinning sheets for Exeter Street and adjoining streets.
 3. Property is shown on Assessors Map 66 in Block 2425 as Lot 5.
 4. Date of field survey 7-16-2020.
 5. Refer to Architectural Plans by VFR Building & Design.

To my knowledge and belief, this map is substantially correct as noted hereon.



VICINITY MAP
 SCALE: 1"= 600'



REMOVE GARAGE AND MAINTAIN 3.0 FEET SETBACK TO PROPERTY LINE

ZONING LOCATION SURVEY
LOTS 11 AND 12
"BEECHLAWN"

PROPERTY LOCATED AT
 424 EXETER STREET
 BRIDGEPORT, CONNECTICUT

PREPARED FOR
JOHN M. & JESSICA
SARMIENTO

SCALE: 1"= 10' DATE: 2-9-2022

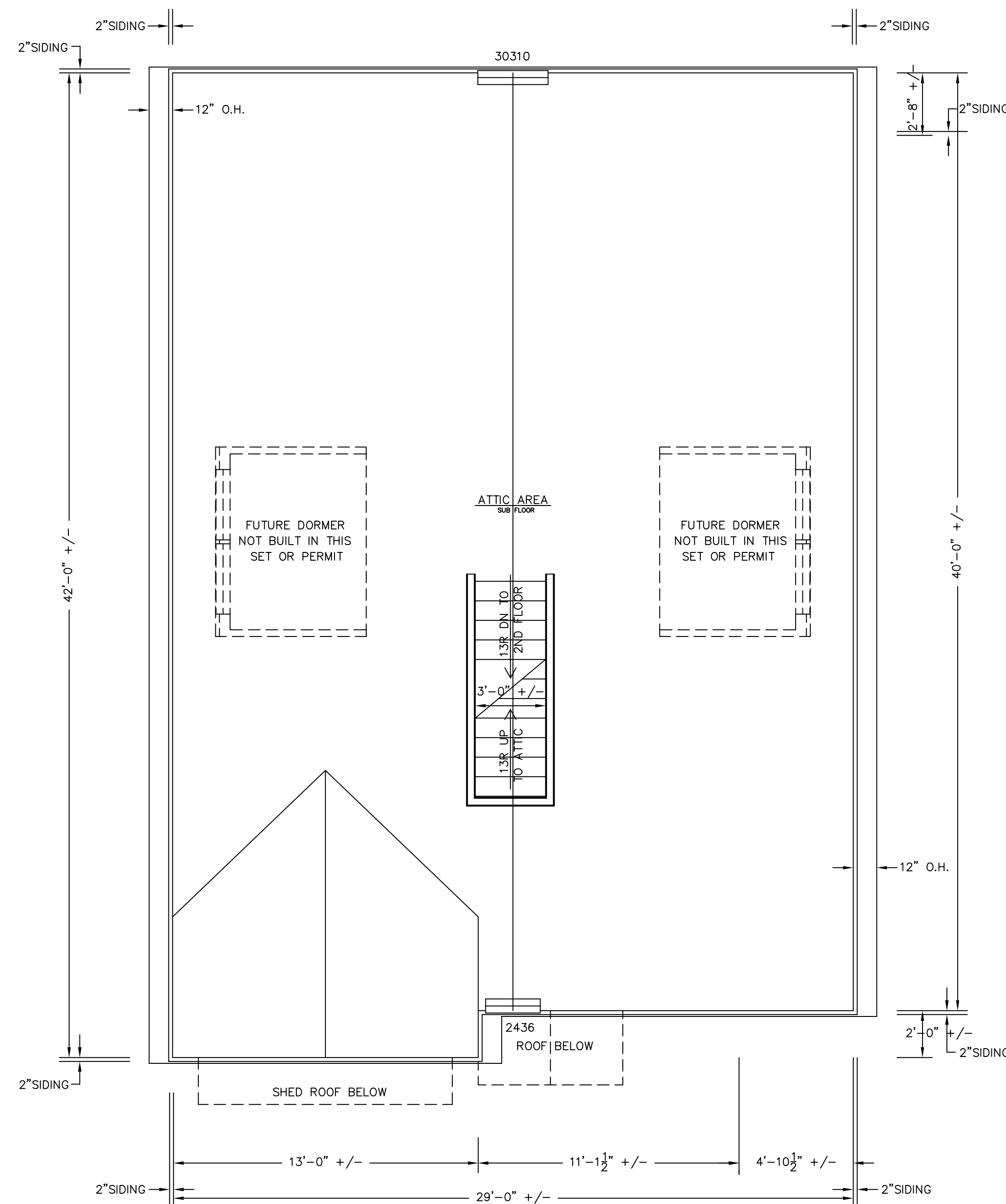
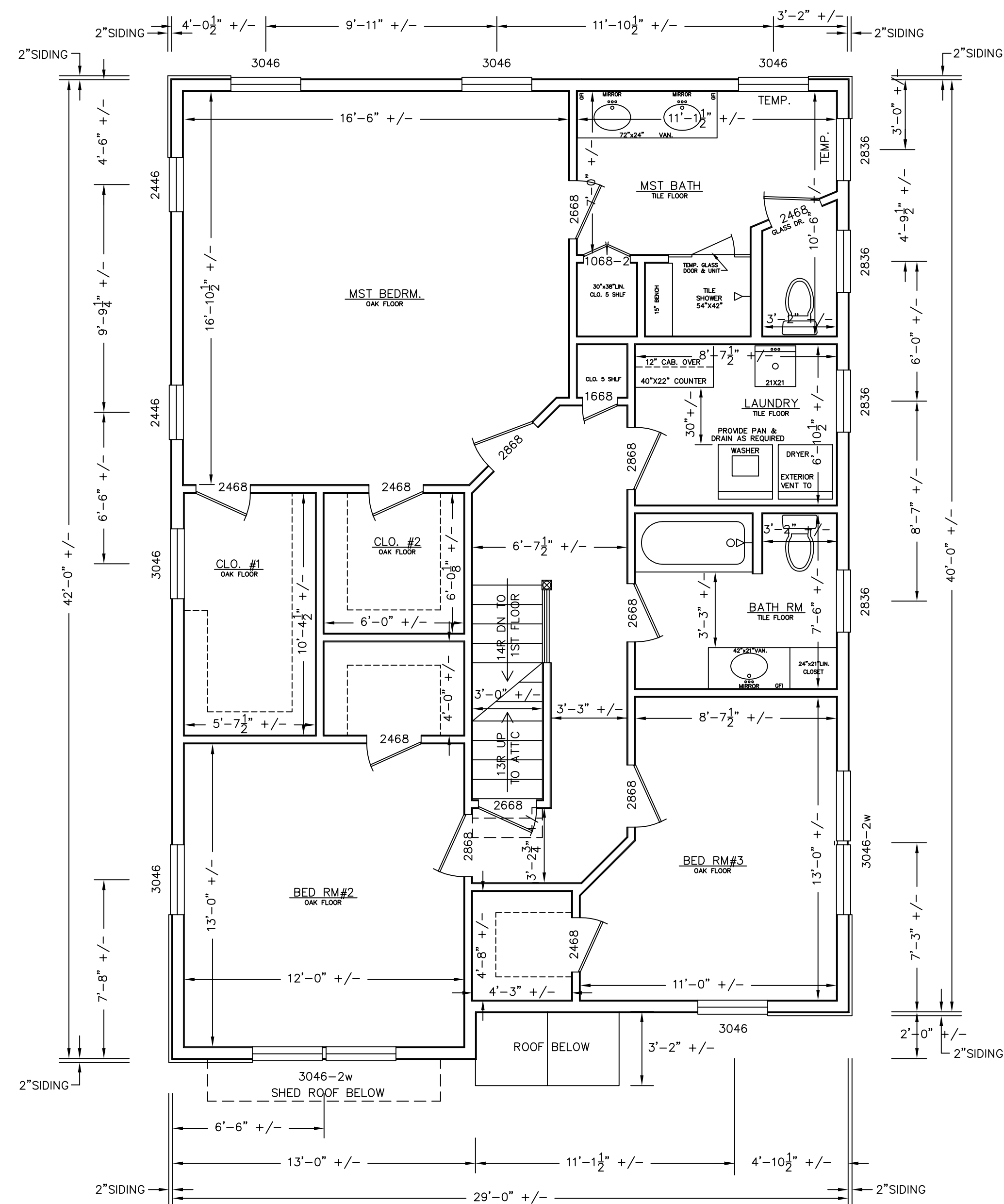
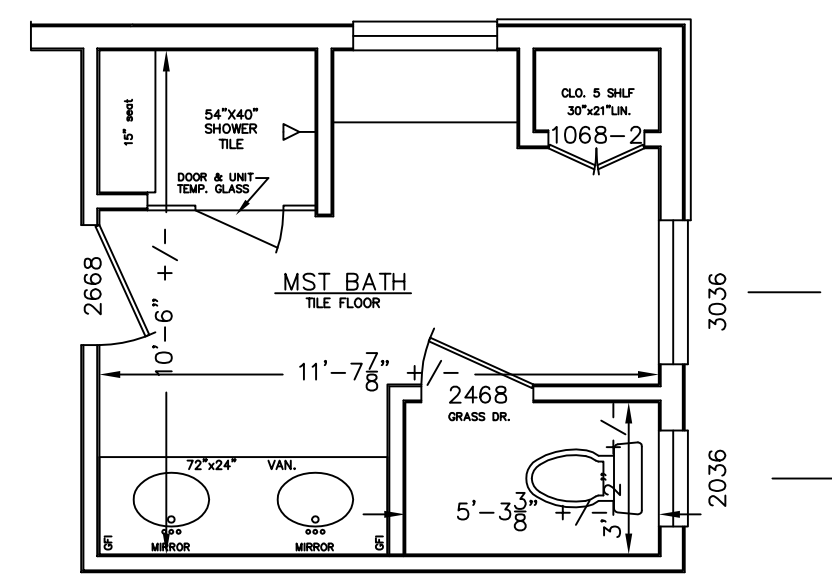


LEWIS ASSOCIATES
 LAND SURVEYING AND CIVIL ENGINEERING
 260 MAIN STREET, MONROE, CONNECTICUT
 PHONE: 203-261-8648

EXETER STREET

LOT AREA:
 5,000 S.F.

This map is not valid unless it has a live signature and embossed seal of Tracy H. Lewis.



NOTES:
preliminary only
NOT FOR CONSTRUCTION

CLIENT / ADDRESS: NEW ADDITION & ALTERATIONS
RESIDENCE OF:
Mr. Mrs. John Sarmiento
424 Exeter Street
Bridgeport, Ct. 06606



NO USE, REPRODUCTION OR MODIFICATION MAY BE MADE OF THIS DRAWING AND THE CONCEPTS SET FORTH HEREON WITHOUT THE PRIOR WRITTEN CONSENT OF VFR DESIGN. COPYRIGHT ????

REVISIONS:
REV-1: 3/22/22
REV-2:
REV-3:
REV-4:

DATE:
3/2/2022

SCALE:
1/4" = 1'

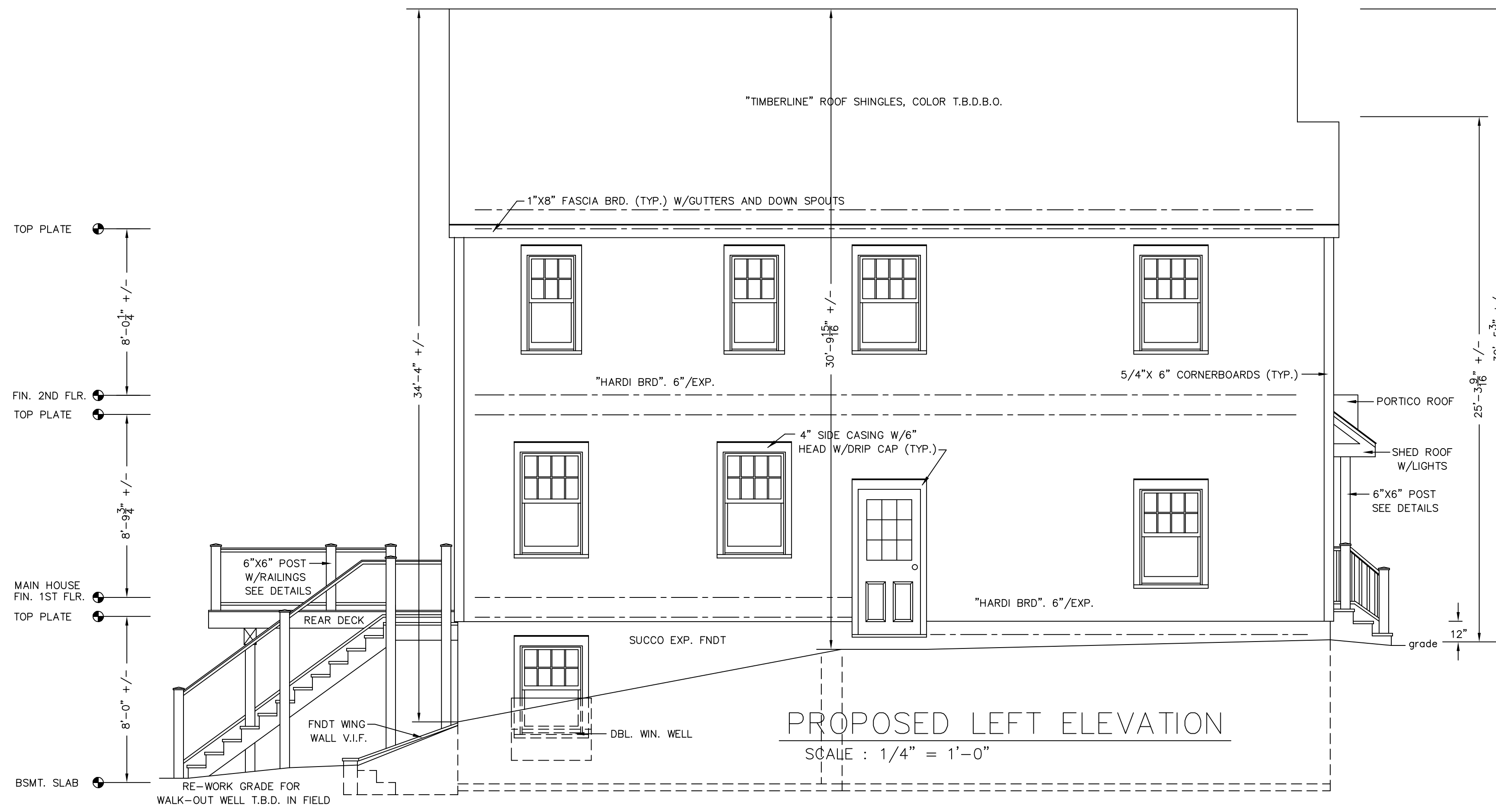
DRAWN BY:
VFR

CHECKED BY:
VFR/NAR

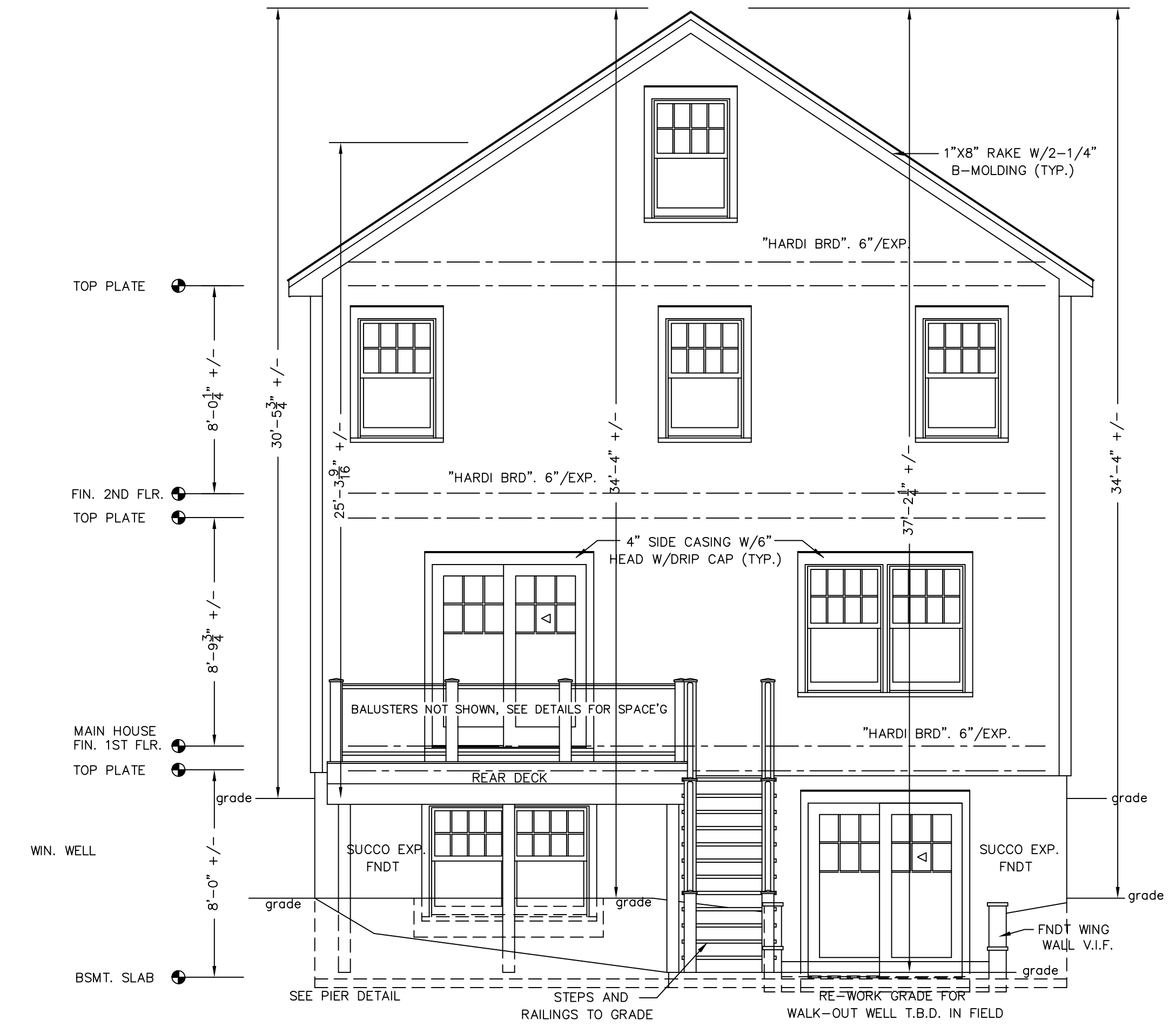
TITLE:
Floor Plans

JOB NO.
2022-5

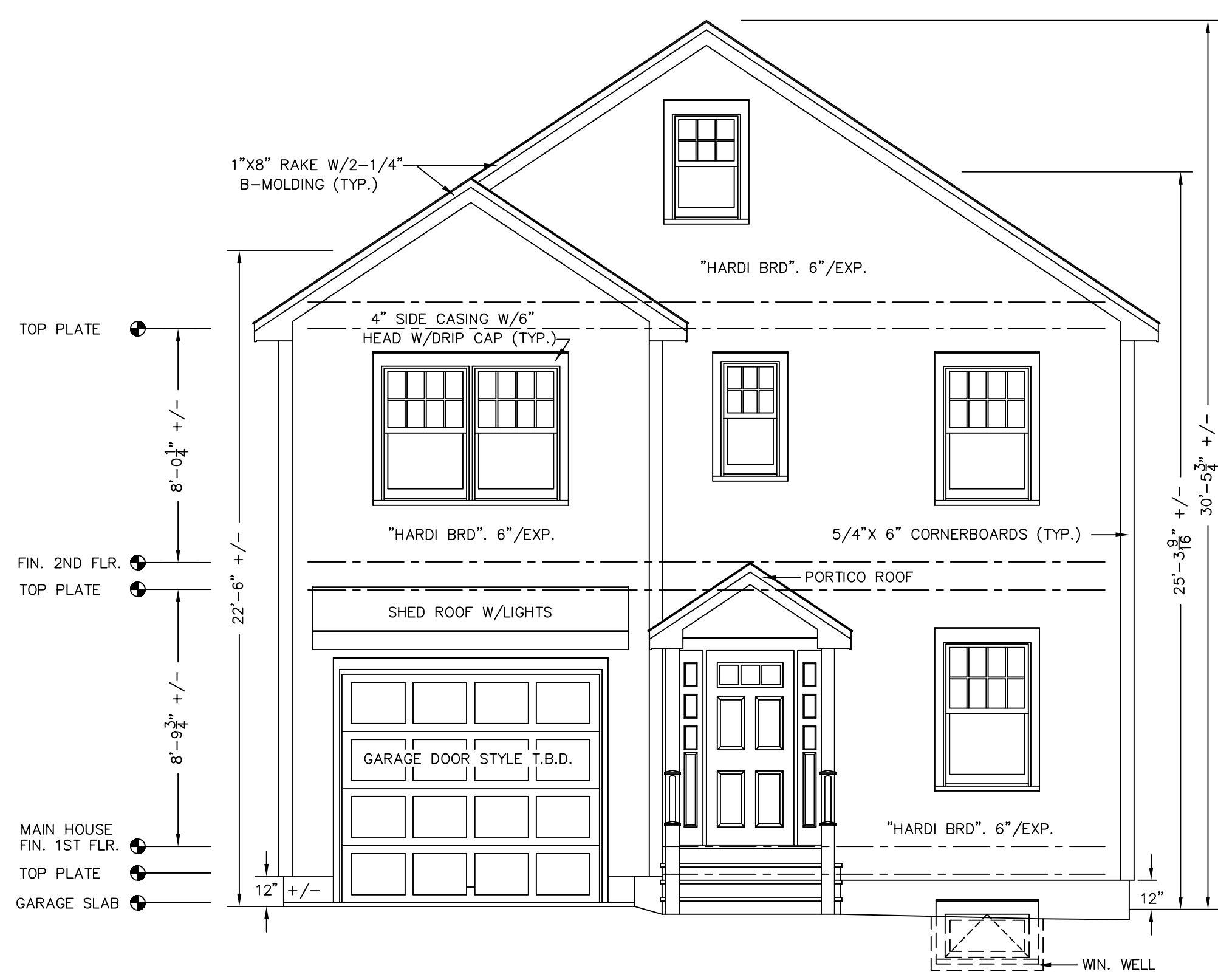
DRAWING NO.
A-2



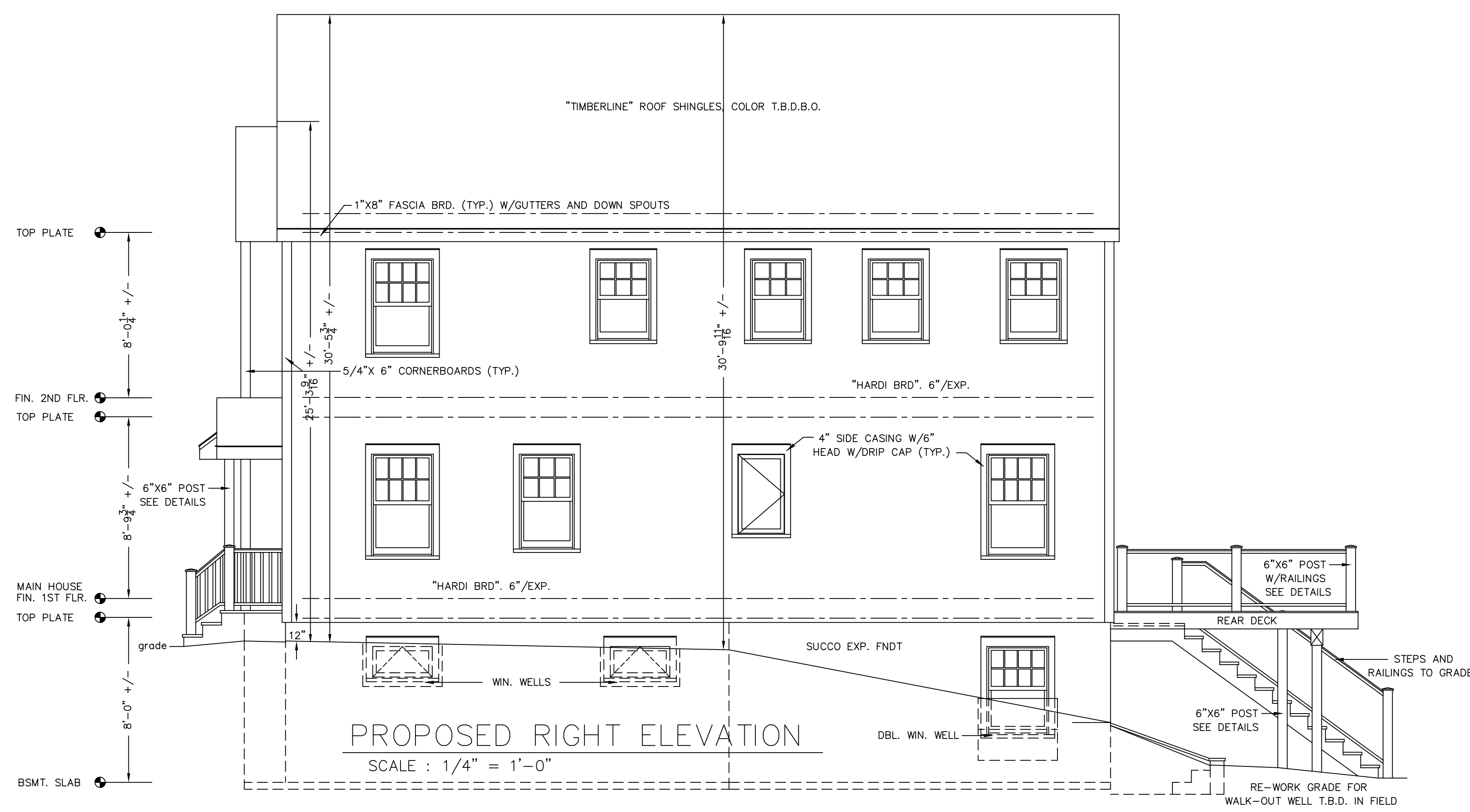
PROPOSED LEFT ELEVATION
SCALE : 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE : 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE : 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
SCALE : 1/4" = 1'-0"

NOTES:
PRELIMINARY 3/24/22
NOT FOR CONSTRUCTION
OWNERS APPROVAL 3/26
PREMIT SET 4/6/22

CLIENT / ADDRESS
NEW ADDITION & ALTERATIONS
RESIDENCE OF:
Mr. Mrs. John Sarmiento
424 Exeter Street
Bridgeport, Ct. 06606

VFR
BUILDING & DESIGN
17 SUNRISE ROAD
WESTPORT, CT. 06880
TEL: 203-222-0957
FAX: 203-222-0958

NO USE, REPRODUCTION OR
MODIFICATION MAY BE MADE
OF THIS DRAWING AND THE
CONCEPTS SET FORTH HEREON
WITHOUT THE PRIOR WRITTEN
CONSENT OF ERI DESIGN
COPYRIGHT ????

REVISIONS:
REV-1: 3/26/22
REV-2:
REV-3:
REV-4:

DATE:
3/4/2022

SCALE:
1/4" = 1'

DRAWN BY:
VFR

CHECKED BY:
VFR/NAR

TITLE:
ELEVATIONS

JOB NO.
2022-5

DRAWING NO.
A-3

PETITION TO THE BOARD OF APPEALS
City of Bridgeport, Connecticut

AUG 22 '22 PM 4:39

5

REC'D IN THE BPT. ZONING
DEPT. ON 8/22/22

The undersigned presents the following petition for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

595 GILMAN STREET Zone _____
(Number) (Street) (Zone Classification)

On the EAST side of the street about 200 feet SOUTH from
(North, South, East, West) (North, South, East, West)

BALMFORTH STREET Block: 142 Lot: 20
(Street)

Dimension of Lot in Question _____

1. NAME OF PETITIONER / BUSINESS LINDA & DOUGLAS DESILVA
(Specify) (Print)

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) OWNER

3. HAS ANY PREVIOUS PETITION BEEN FILED? NO IF SO, GIVE DATE OF HEARING _____
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Garage addition

5. THIS PETITION RELATES TO: Check all that Apply
 Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: _____

6. USE TO BE MADE OF PROPERTY NO change - single family dwelling existing

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? HOUSE WAS

ORIGINALLY BUILT TOO CLOSE TO THE PROPERTY LINE TO MEET CURRENT

PETITIONER Douglas Desilva, DOUGLAS DESILVA DATE 8/22/22
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____

Mailing Address 595 GILMAN ST BPT 06605 (646) 330-1935
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print _____
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20 _____
Notary Public in & for the County of Fairfield, State of Connecticut.

5 BACKS

Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All questions must be answered in detail (use separate sheet if necessary).
The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this petition.
NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

595

ZONING BOARD OF APPEALS
City of Bridgeport

1) Mailing Address of Petitioners

a. 595 Gilman St 06605

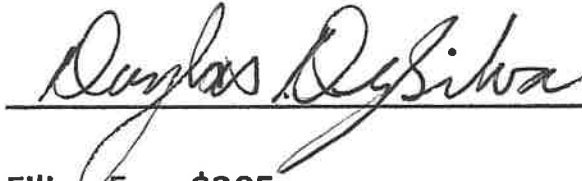
2) Daytime telephone number of Petitioners

a. Linda DeSilva (203) 395-0637

b. Douglas DeSilva (646) 330-1935

3) Signature of Owners





4) Filing Fee: \$305

**ZONING BOARD OF APPEALS
City of Bridgeport**

Application for
Linda and Douglas DeSilva
595 Gilman Street
Bridgeport, CT 06605

**Names / addresses of property owners
within 100 feet of all property lines**

Janet and Bert Krauss
585 Gilman Street
Bridgeport, CT 06605

Mary and Alpar Erkin
625 Gilman Street
Bridgeport, CT 06605

Ellen and Joseph Maki
635 Gilman Street
Bridgeport, CT 06605

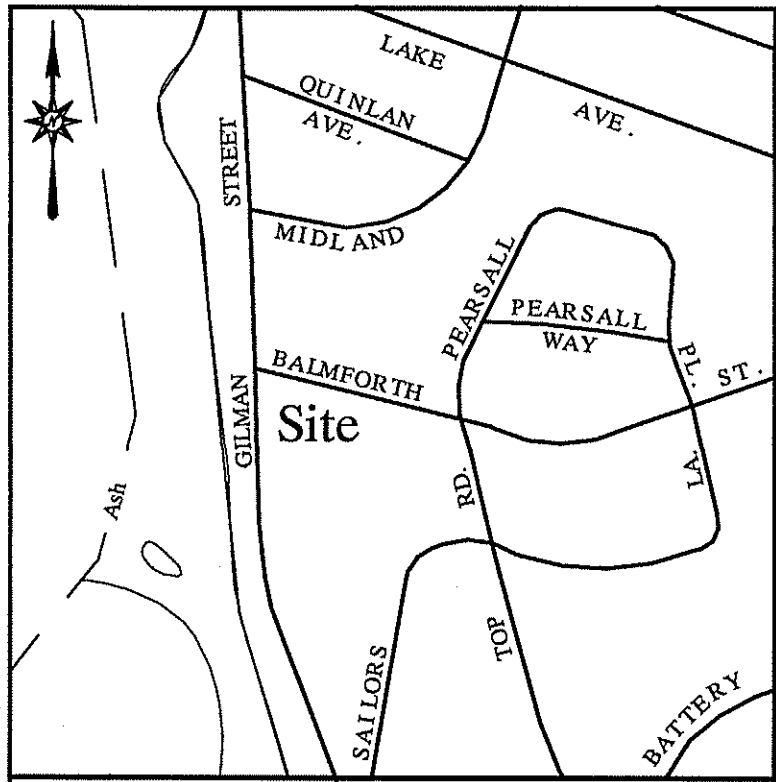
Mxine and Donald Greenberg
265 Balmforth Street
Bridgeport, CT 06605

ZONING LOCATION SURVEY
DEPICTING PROPOSED CONDITIONS
 PREPARED FOR
DOUGLAS & LINDA DESILVA
 #595 GILMAN STREET
 BRIDGEPORT, CONNECTICUT



			DATE: 07-07-2022	SCALE: 1"=20'	DRAFTER: DCH	JOB NUMBER: 1220	FILE NUMBER:
1	9-8-2022	PROPOSED FEATURES	SHEVLIN LAND SURVEYING, LLC			593 Main Street Monroe, CT (203)-218-5840 ShevlinLS.com	
NO.	DATE	DESCRIPTION					
REVISIONS							

ZONE N3 ESTATES	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	9,000 SF	11,319 SF±	11,319 SF±	
Minimum Lot Width	75'	93.00'	93.00'	
MINIMUM SETBACK				
Setback From Front Property Line (Primary Street)	45'	52.0'±	52.0'±	
Setback From Side Property Lines	20'	4.4'±	4.1'±	
Setback From Rear Property Lines	20'	27.4'±	27.4'±	
MINIMUM FLOOR AREA				
Maximum Height For A Building Or Structure	2-1/2 Stories	1 Story	1 Story	
Maximum Site Coverage As A Percentage Of Lot Area	65%	33.4% ±	41.4% ±	



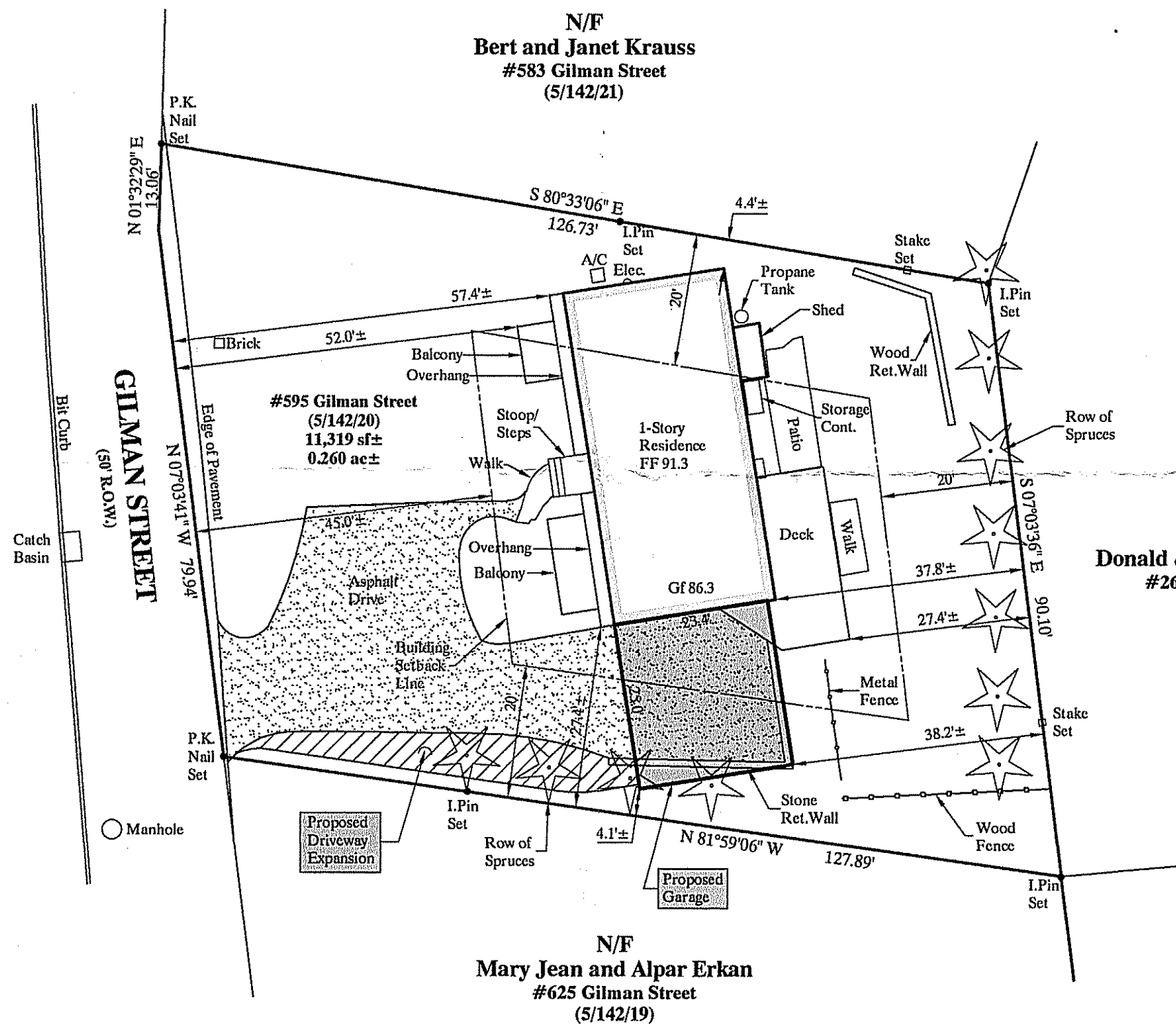
Vicinity Map
Scale: 1"=500'



ZONE N3 ESTATES	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	9,000 SF	11,319 SF±	11,319 SF±	
Minimum Lot Width	75'	93.00'	93.00'	
MINIMUM SETBACK				
Setback From Front Property Line (Primary Street)	45'	52.0'±	52.0'±	
Setback From Side Property Lines	20'	4.4'±	4.1'±	
Setback From Rear Property Lines	20'	27.4'±	27.4'±	
MINIMUM FLOOR AREA				
Maximum Height For A Building Or Structure	2-1/2 Stories	1 Story	1 Story	
Maximum Site Coverage As A Percentage Of Lot Area	65%	33.4% ±	41.4% ±	

NOTES:

- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc., August 29, 2019. It is a Zoning Location Survey based upon a Resurvey and conforms to Horizontal Accuracy Class A-2 and Topographical Class T-2.
- Reference is made to the following documents:
 - A. RM Volume 18, Page 75- "Subdivision of Evelyn Dreier Property, Bridgeport, Conn.; Scale: 1"=40'; October 4, 1954" Prepared by Frank B. Jaynes and Assoc."
 - B. RM 3034-"Map of Survey of Property in Bridgeport, Conn.; for James P. Magahery July 31, 1958; Scale: 1"=20'; Prepared by Fuller & CO., INC"
 - C. RM 107 and 108-"Property of Bridgeport Trust CO Trustee, Black Rock Point, Bridgeport, Conn.; Scale: 1"=80' September 8, 1926; Prepared by Alfred H. Levy"
 - D. RM 119 and 120-"Map of Property in Bridgeport, Conn. for Kenneth W. McNeil; Scale: 1"=40'; March 26, 1928; Prepared by A. D. Fuller Civil Engineer"
- The underground utilities shown, if any, have been located from visible field survey information. No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utilities or municipal/public service facilities. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. For information regarding these utilities or facilities, please contact the appropriate agencies. Call Before You Dig, Inc. (1-800-922-4455).
- Distances shown ± from buildings to property lines are for reference purposes only and are not to be used to establish boundaries.
- Zoning information shown on this map must be reviewed and confirmed by the appropriate Town of Bridgeport authorities prior to use.
- Property is served by public water and sanitary sewer.
- Unauthorized alterations or additions to this survey, which bears the surveyor's embossed seal, renders any declaration shown hereon null and void.
- The property is located in Zone X per FEMA Flood Map #09001C0288F; Panel 288 of 626; Effective Date: 6/18/2010.
- Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
- The elevations are based on an assumed system.



LEGEND	
	EXISTING CONTOUR
$+502.2$	EXISTING SPOT ELEVATION
FF	FINISHED FLOOR
GF	GARAGE FLOOR
	INLAND WETLANDS WITH FLAG #
	BUILDING SETBACK LINE
	CATCH BASIN
	CONIFER TREE
	DECIDUOUS TREE
	EXISTING IRON PIN/PIPE
	EXISTING MONUMENT
	GAS VALVE
	HYDRANT
	LAMP
	MAILBOX
	MANHOLE
	UTILITY POLE
	SIGN
	WATER VALVE
	WELL

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY
 TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON
 Michael S. Shevlin, Jr. PLS #70339

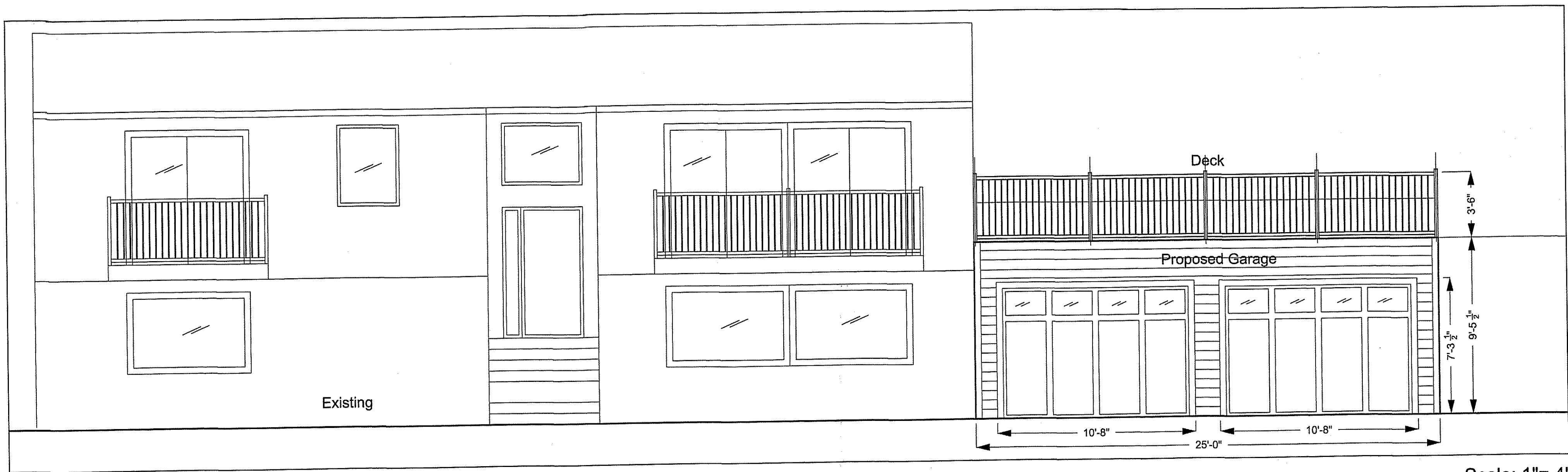
ZONING LOCATION SURVEY
 DEPICTING PROPOSED CONDITIONS
 PREPARED FOR
 DOUGLAS & LINDA DESILVA
 #595 GILMAN STREET
 BRIDGEPORT, CONNECTICUT



NO.	DATE	DESCRIPTION	DATE:	SCALE:	DRAFTER:	JOB NUMBER:	FILE NUMBER:
			07-07-2022	1"=20'	DCH	1220	
1	9-8-2022	PROPOSED FEATURES					
		REVISIONS					

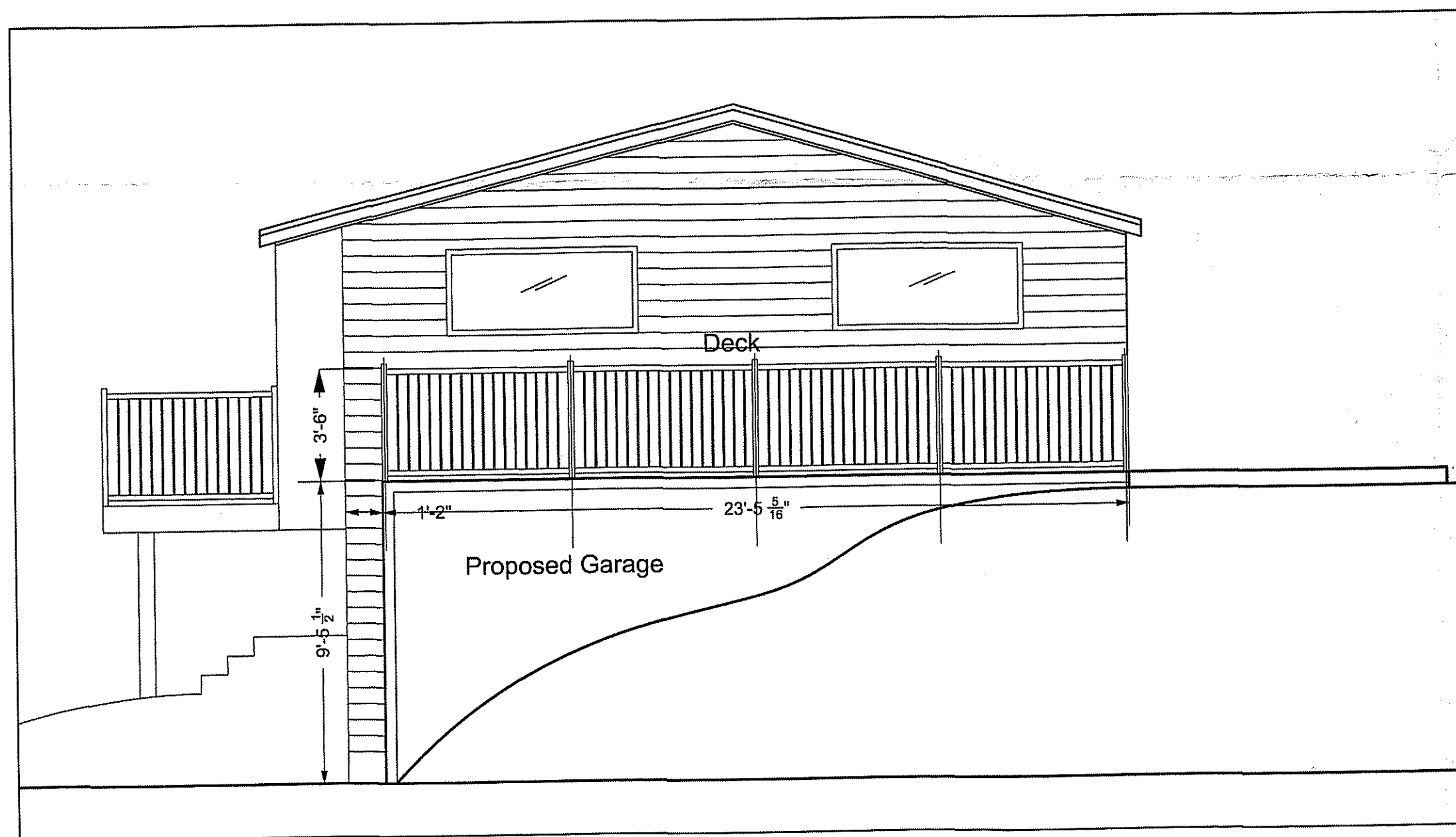
SHEVLIN
 LAND SURVEYING, LLC

593 Main Street
 Monroe, CT
 (203)-218-5840
 ShevlinLS.com



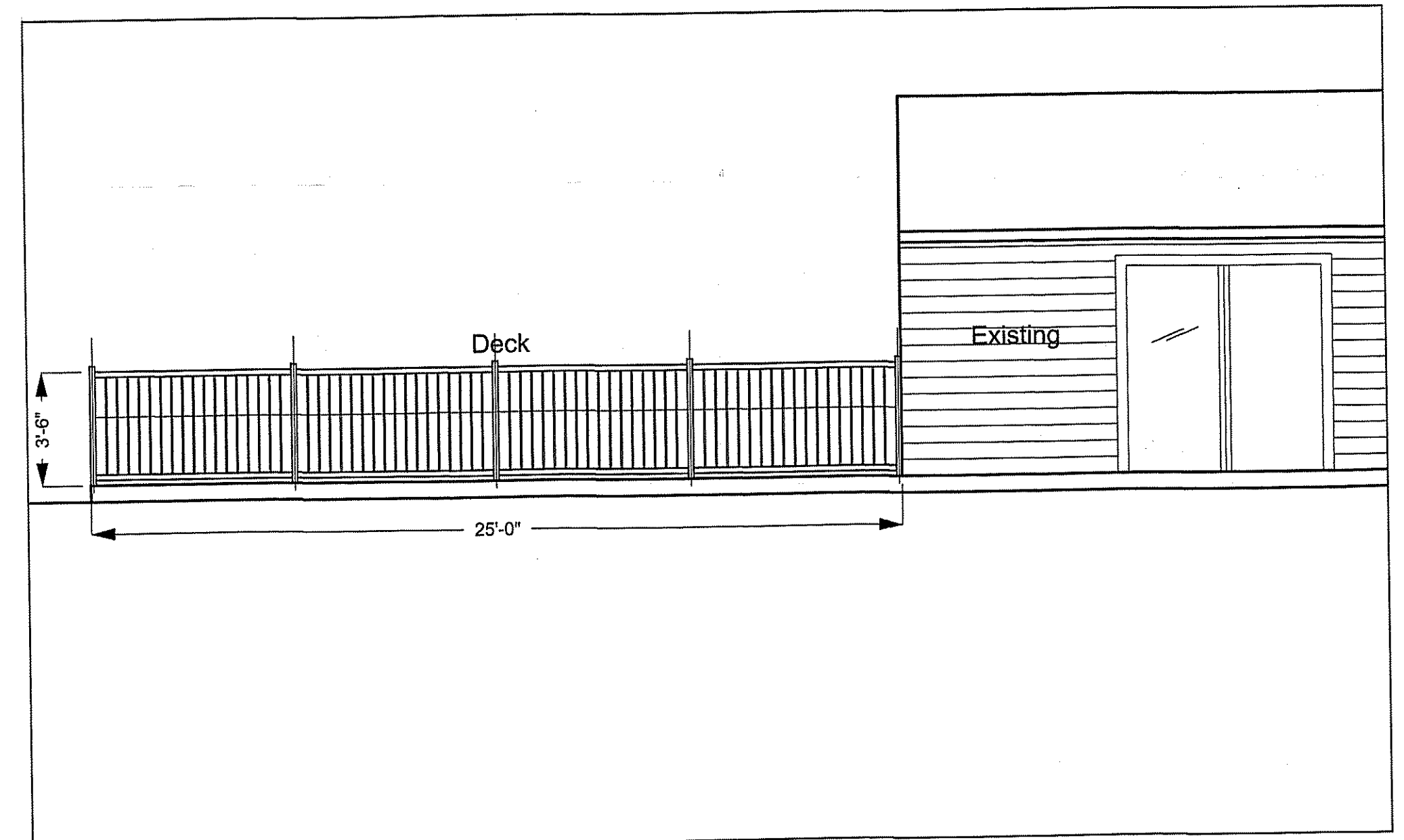
Scale: 1" = 4'

A2 01- Front Elevation | East



Scale: 1" = 4'

A2 02- Side Elevation | North



Scale: 1" = 4'

A2 03- Rear Elevation | West

Property Location: 595 Gilman Street Bridgeport CT 06605
 Property Owner: Linda and Douglas DeSilva
 Produced By: db Architecture LLC
 850 Pacific Street 1352, Stamford CT 06902
 Phone Number: 203-556-9055

A2- Elevations
 Proposed Garage
 Scale: 1" = 4'
 Zone: N3 | House C
 Date Issued: 09/09/2022

PETITION TO THE BOARD OF APPEALS

City of Bridgeport, Connecticut

The undersigned presents the following petition for:

(Check all that Apply)

- Variance
 Appeal from Zoning Officer
 Extension of Time Permit / Modification of Plan of Development
 Request for Re-hearing
 Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

On the 795 Grand St side of the street about _____ feet Corner from _____
(Number) (Street) (Zone Classification)
(North, South, East, West) (North, South, East, West)

Dimension of Lot In Question Lexington Ave Block: 1016 Lot: 1
(Specify)

1. NAME OF PETITIONER / BUSINESS TU Bodeguita LLC
2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) _____
3. HAS ANY PREVIOUS PETITION BEEN FILED? _____ IF SO, GIVE DATE OF HEARING _____
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT _____

5. THIS PETITION RELATES TO:

(Check all that Apply)

- Setback
 Coverage
 Landscaping
 Lot Area and Width
 Floor Area
 Height
 Parking
 Extension or Enlargement of Non-Conforming Use and/or Building
 Coastal Area Management Approval
 Liquor
 Use
 Other: _____

6. USE TO BE MADE OF PROPERTY Retail grocery store with a grocery liquor license

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? Many customers are

requesting and encouraging us to act the license because of certain disabilities they want to work
 PETITIONER to face fee infirmary and rate increase
 Signature: _____ DATE: 8-2-22
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____
 Email: Jonally77@yahoo.com

Mailing Address 795 Grand St 06604
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____
(If other than owner) (Signature) (Print)

Subscribe & Sworn to before me this 2nd day of August 2022
 Notary Public In & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All questions must be answered in detail (use separate sheet if necessary).
 The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this petition.
NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

To Whom It May Concern;

Tu Bodeguita Grocery Store is located at 795 Grand Street Bridgeport CT 06604, which is where most of the customers around the neighborhood walk to the store to buy their wants and needs. The grocery provides a sense of calm and relief to the community because we are always open on time before you go to work, closed right before The Late Night Show with Jimmy Fallon. It's just a check in moment behind your house because we have long operation hours. We buy items that the customers ask for; we provide daily household needs and more than the basic necessities for the neighborhood. We have stability because grocery stores are often the extensions of there home for many customers. Around the community there are many different cultures and country's that we tend to carry international products/items that customers recommend/refer us that they need for we can purchase it. Without further a due , we would like to satisfy the neighborhood by keeping products/items customers want and need .

*Thanks , Sincerely
Tu Bodeguita Grocery*

CRUZ JOEL ET AL
000788 GRAND ST
BRIDGEPORT, CT 06604

ANDRADE FABIAN & GLADYS
000253 LINEN AVE
BRIDGEPORT, CT 06604

GONCALVES FERNANDO
000793 GRAND ST
BRIDGEPORT, CT 06604

LOPEZ JUAN
000770 GRAND ST
BRIDGEPORT, CT 06604

ALVES ALVINA
810-812 GRAND ST
BRIDGEPORT, CT 06604

MONTEIRO PROFIRIO & ALZIRA
000385 LEXINGTON AVE
BRIDGEPORT, CT 06604

AIRES GONCALVES VAZ & LUISA
000783 GRAND ST
BRIDGEPORT, CT 06604

CALIA PAUL F
000800 GRAND ST
BRIDGEPORT, CT 06604

GARCIA ALFRED & ROSA
100 EUCLID AVE
STRATFORD, CT 06614-1921

CRUICKSHANK LOVEN DA ETAL
000119 EXETER ST
BRIDGEPORT, CT 06606

VENTURA DELTIN & MARIA
000265 LINEN AVE
BRIDGEPORT, CT 06606

RAMIREZ LUIS ETAL
000769 GRAND ST
BRIDGEPORT, CT 06606

CAPE VERDEAN ASSOC BPT
PO BOX 6241
BRIDGEPORT, CT 06606

ALVES FERNANDO
000809 GRAND ST
BRIDGEPORT, CT 06604

MOISE GENE I
17 BRIDGE ST
STAMFORD, CT 06095-4501

MONTEIRO MANUEL &
26 SALLY ANN DR
TRUMBULL, CT 06611

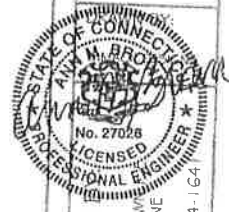
SHEET #

A2.0

REV. NOTES

DATE :

OCT 2, 2020



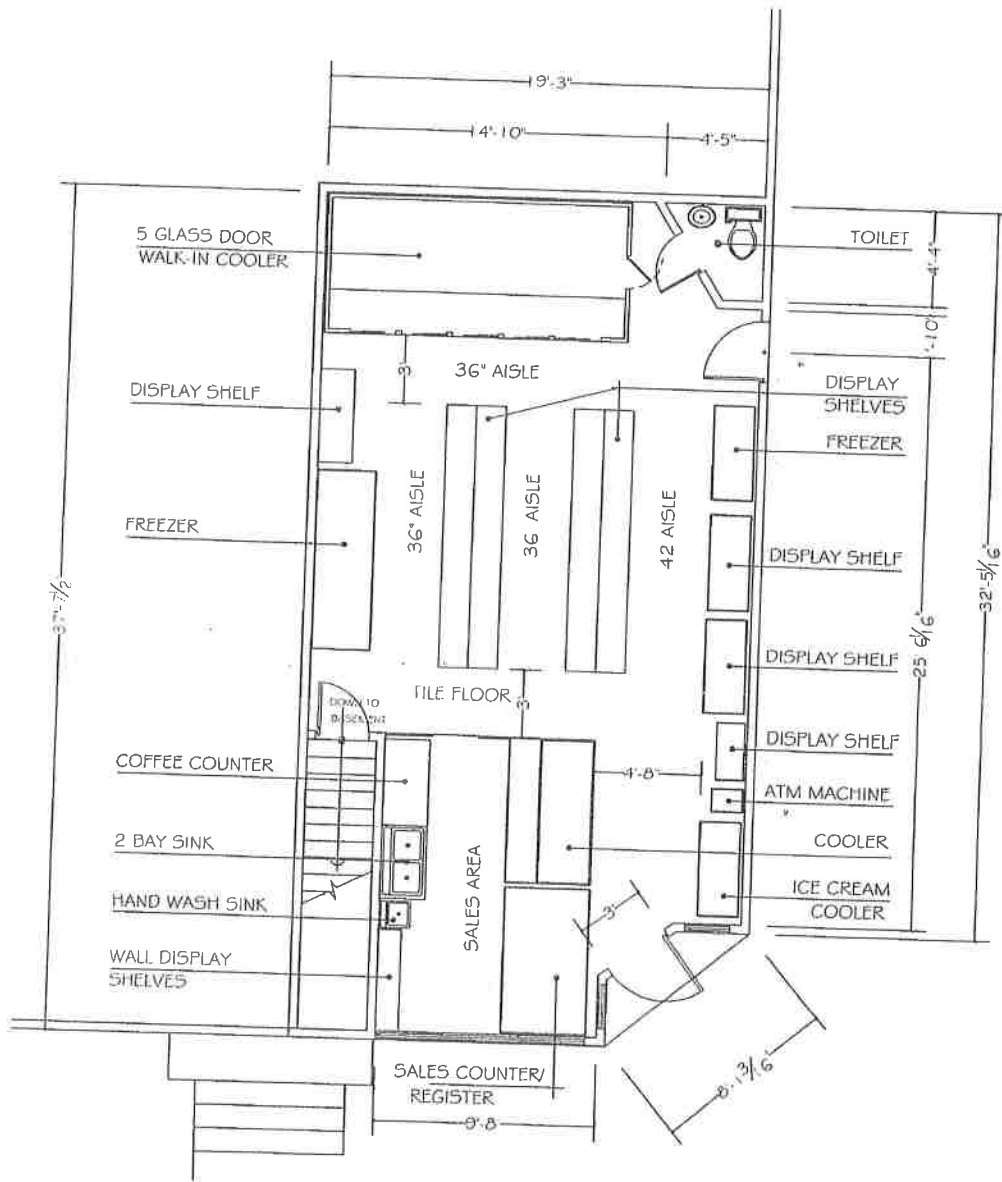
APPROVED

ANN M. BROWN
9 LAUREL LANE
SHERMAN CT
(PH) 203-354-1641

APPLICATION FOR LIQUOR LICENSE AT
ODEGITA GROCERY STORE
795 GRAND STREET, BRIDGEPORT

Mblu 40/10/16/1

ODEGITA GROCERY STORE
c/o JOSHUA M. ORTIZ
795 GRAND STREET
BRIDGEPORT CT 06604



FLOOR PLAN

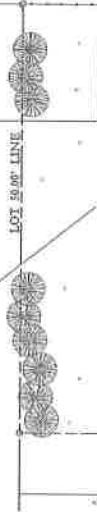
SCALE 3/16"=1'-0"

28A
11-10-2020



ADJOINING PROPERTY
302 LEXINGTON AVENUE
(4 FAMILY RESIDENCE)
RC ZONE

EX. LANDSCAPED AREA



EXISTING BUILDING

ADJOINING PROPERTY
783 GRAND STREET
(2 FAMILY RESIDENCE)
RC ZONE

EX. LANDSCAPED AREA

EX. W.D. STOCKADE FENCE

EX. CONC. SIDEWALK

EX. GLASS VERRINE

EX. BLUESTONE CURB

EX. TYPE "C" CATCHMAIN

GRAND STREET

STREET

SITE PLAN
SCALE 1" = 10'

Special Note :

* DENOTES VARIANCE REQUIRED

LOCATION MAP
NOT TO SCALE



NX2

RC ZONE DEVELOPMENT STANDARDS

STANDARDS	REQUIRED	EXISTING	PROPOSED
LOT			
lot area, minimum	9,000 s.f.	5,000.0 s.f.	5,000.0 s.f. *
Frontage, minimum	60 ft.	50.0 ft.	50.0 ft. *
Depth, minimum	n.a.	n.a.	n.a.
Lot area per dwelling unit, min.	2,700-sf	1,508.0 s.f.	1,508.0 s.f. *
PRINCIPAL BLD'G SETBACK			
Front lot line, min. from	15 ft. or Prevailing	3'-8"	3'-8" (Prevailing)
Side lot line, min. from	10 ft. (?)	0'-0"	0'-0" *
One Side	Note 1	10'-0"	10'-0" *
Both sides shall add up to	Note 1	10'-0"	10'-0" *
Rear lot line Maximum	Lesser of 20% of lot depth or 50ft(20')	21'-4"	21'-4"
ACCESSORY STRUCTURE SETBACK			
Setback Minimums			
From lot line	3 ft.	N/A	N/A
Side Lot Line	3 ft.	N/A	N/A
Rear Lot Line	Note 2(50')	N/A	N/A
Floor Area Maximum	Note 4		
COVERAGE			
Building Coverage, Max.	60%	53.8%	53.8%
Site Coverage, Max.	70%	59.2%	59.2%
LANDSCAPED AREA			
Minimum	30.00%	40.8%	40.8%
HEIGHT			
Principal building Maximum	4 Stories or 45'	2 Stories / 25'-0"	2 Stories / 25'-0"
ACCESSORY STRUCTURE			
Flat or Rounded Roof	12R	N/A	N/A
1" or Ridge	15ft		
Off Street Parking Requirement	1.5 spaces/RU (4.5 spaces required)	0 spaces (EX. CONDITION)	0 spaces (EX. CONDITION) *
	3.5 spaces/2000 (1.5 spaces required)		
	(3 spaces required)		

Note 1

Side setback shall be either ten (10)ft min. or forty (40) percent of building height, whichever is greater.

CSA

1-10-2022
9-13-2022

SHEET #

51

REV. NOTES

DATE :

9/7/2020

DRAWN BY:

WIMACK
DESIGNS



APPROVED BY:
ANN BROWN P.
9 LAUREL LANE
SHERMAN CT
(PH) 203-354-1541

APPLICATION FOR LIQUOR LICENSE AT
ODEGUITA GROCERY STORE
795 GRAND STREET, BRIDGEPORT
Mbl: 4010121

ODEGUITA GROCERY STORE
c/o JOSHUA M. ORTIZ
795 GRAND STREET
BRIDGEPORT CT 06604



ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1173-1179 North Avenue (Number) (Street) Zone MX1 (Zone Classification)

On the South (North, South, East, West) side of the street about 0 (North, South, East, West) feet East (North, South, East, West) from

Madison Avenue (Street) Block : 46/1003 Lot: 1

Dimension of Lot in Question Approx. 44.76' x 141.93' x 51.20' x 137.00' (Specify)

1. NAME OF APPLICANT / BUSINESS Khan North Ave LLC (Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner (Print)

3. HAS A PREVIOUS APPLICATION BEEN FILED? No (Yes or No) IF SO, GIVE DATE OF HEARING

4. DESCRIBE PROPOSED DEVELOPMENT Proposed exterior renovation of existing building to rehabilitate deteriorating facade

5. THIS APPLICATION RELATES TO: Check all that Apply
 Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: Facade material

6. USE TO BE MADE OF PROPERTY Mixed-use commercial and retail

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See Attached

APPLICANT (Signature) / (Print) DATE 08/04/2022

If signed by agent, state capacity (lawyer, builder, etc) / (Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824 (Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT (If other than owner) (Signature) Print

Subscribe & Sworn to before me this day of 20 Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: DATE: 20 Clerk

Lisa S. Broder*
L.Broder@russorizio.com
Colin B. Connor
Colin@russorizio.com
Robert G. Golger
Bob@russorizio.com
David K. Kurata
DKurata@russorizio.com
Stanton H. Lesser+
Stanton@russorizio.com
Katherine M. Macol
Kathy@russorizio.com
Victoria L. Miller*
Victoria@russorizio.com
Anthony J. Novella*
Anovella@russorizio.com



10 Sasco Hill Road, Fairfield, CT 06824
Tel 203-254-7579 or 203-255-9928
Fax 203-576-6626

5 Brook St., Suite 2B, Darien, CT 06820
Tel 203-309-5500

www.russorizio.com

Leah M. Parisi
Leah@russorizio.com
William M. Petroccio*
WPetro@russorizio.com
Raymond Rizio*
Ray@russorizio.com
Christopher E. Russo
Chris@russorizio.com
Robert D. Russo*
Rob@russorizio.com
John J. Ryan+
John@russorizio.com
Jane Ford Shaw
Jane@russorizio.com
Vanessa R. Wambolt
Vanessa@russorizio.com

* Also Admitted in NY
* Also Admitted in VT
+ Of Counsel

August 9, 2022

Paul Boucher
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604

Re: Application for Variances – 1173-1179 North Avenue

Dear Mr. Boucher:

Please accept this Application to the Bridgeport Zoning Board of Appeals for variances on behalf of my client, Khan North Ave, LLC, for the properties located at 1173-1179 North Avenue (the "Site") in the MX1 Zone.

Variances Requested

Variance of Section 6.40, Table 6-3 of the Bridgeport Zoning Regulations (the "Regulations") to allow stucco to cover greater than Thirty percent (30%) of the existing façade

Proposed Development & Use

The Applicant proposes to renovate the exterior of an existing three-story building to rehabilitate a deteriorating facade. The Site currently contains the existing building with a commercial ground floor containing Two (2) commercial units and Two (2) upper stories containing a total of Four (4) residential dwelling units within the MX1 Zone. The Site is located at the corner of North and Madison Avenues and it contains approximately 0.15 acres. The Site is located directly across North Avenue from the Bridgeport Correctional Center. It is also surrounded by a laundromat, car wash and other mixed-use developments.

The Applicant proposes to renovate exterior of the existing building. The existing building is brick masonry. The current brick façade has significant structural issues because

the bricks were previously painted. The painting of the bricks trapped moisture that deteriorated the structural integrity of the bricks over time. After consultation with an architect, it was advised that stucco be applied over the brick to prevent further deterioration of the façade on the north, east and west elevations. The Applicant will not remove or cover the lentil stones above the windows, which are one of the defining features of the façade. In addition, the existing bay windows on the second floor of the north elevation façade are subject to significant amounts of water and air infiltration due to poor flashing. To avoid further damage to the building from water, the Applicant proposes to remove the bay windows and replace them with windows that exactly match the windows located directly above them on the third floor. The proposed north elevation façade will look entirely consistent.

The Applicant proposes that many of the exterior features will remain. The existing parapet cap is proposed to be replaced with one of the same design. Existing trim on the roof and ground floor will remain and all the windows on the façade will remain except for the bay windows. The existing storefront and entries will also remain. The condition of the building is deteriorating in its current form and the Application takes the necessary steps to preserve the building and most of its features for decades to come.

Hardship

Granting the Applicant the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Applicant as the renovations proposed are intended to prevent further deterioration to the existing facades of the building. Unfortunately, due to prior conditions with the painting of the brick on the façade and poor flashing around a bay window, the existing façade is deteriorating from water and air exposure. The Application proposes a remedy to prevent further deterioration and rehabilitate the exterior facades of the existing building. The Application proposes for many of the defining features of the building to remain. However, the proposed solution to provide a stucco finish to the existing brick to prevent further deterioration is necessary to preserve the building. In addition, the removal of the bay windows will halt the infiltration of water and air to the interior of the façade and building. The Applicant's proposed replacement windows exactly match the windows located above them on the third floor to maintain the character of the building. The Application presents a solution to stop the deterioration of the existing building, while maintaining as many of the features and character as possible. It will not have any impact on the surrounding neighborhood.

For these reasons, we respectfully request approval of the above-stated variance.

Sincerely,


Christopher Russo

PROPERTIES WITHIN 1173-1179 NORTH AVENUE

LOCATION	OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
381 MADISON AV #385	BABANIS DENNIS	PO BOX 3645	BRIDGEPORT	CT	06605
391 MADISON AV #395	PARIS CHARLES M	391 MADISON AVE	BRIDGEPORT	CT	06606
405 MADISON AV	ROSENBAUM SANDRA	405 MADISON AVE	BRIDGEPORT	CT	06610
407 MADISON AV	SOTO WILSON	150 PRICE ST	BRIDGEPORT	CT	06610
392 MADISON AV	514 GRAND STREET LLC	65 HIGH RIDGE ROAD UNIT 301	STAMFORD	CT	06905
1193 NORTH AV #1199	VEMAA HOUSING CORP	636 BALDWIN AVE	BALDWIN	NY	11510
394 MADISON AV #396	PEMBROKE LAUNDRY & CLEANERS	396 MADISON AVE	BRIDGEPORT	CT	06604
1173 NORTH AV #1179	KHAN NORTH AVE LLC	1125 NORTH AVE	BRIDGEPORT	CT	06604
1169 NORTH AV #1171	CASIMIRO PATRICIA ETAL	1159 NORTH AVE	BRIDGEPORT	CT	06604
97 WALLACE ST #99	ADRADA CARLOS V	73 KEELER AVE	BRIDGEPORT	CT	06606
1108 NORTH AV	STATE OF CONNECTICUT	1108 NORTH AVE	BRIDGEPORT	CT	06604
475 MADISON AV	S.A.R. REALTY LLC	471 MADISON AVENUE	BRIDGEPORT	CT	06606

KHAN NORTH AVE LLC ACTIVE

1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

BUSINESS DETAILS ▼

Business Details ▲

General Information —

Business Name

KHAN NORTH AVE LLC

Business status

ACTIVE

Citizenship/place of formation

Domestic/Connecticut

Business address

1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

Annual report due

3/31/2023

NAICS code

Lessors of Residential Buildings and Dwellings (531110)

Business ALEI

1295995

Date formed

1/14/2019

Business type

LLC

Mailing address

1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

Last report filed

2022

NAICS sub code

531110

Principal Details —

Principal Name

YASMEEN KHAN

Principal Title

MEMBER

Principal Business address

1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

Principal Residence address
1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

Agent details

Agent name
YASMEEN KHAN

Agent Business address
1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

Agent Mailing address
1125 NORTH AVENUE, BRIDGEPORT, CT, 06604, United States

Agent Residence addresss
1125 NORTH AVENUE , BRIDGEPORT, CT, 06604, United States

Filing History

 **Business Formation - Certificate of Organization**
0006320785

Filing date: 1/14/2019

Filing time:


Volume Type
B

Volume
2587

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Pages
2

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1/14/2019

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THESE DOCUMENTS ARE FOR MINOR EXTERIOR IMPROVEMENTS & REPAIRS AT 1179 NORTH AVENUE, BRIDGEPORT, CONNECTICUT ONLY
THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.

DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT

CONSTRUCTION DOCUMENT

PRINTED 03-30-2022

(SEAL)

MINOR EXTERIOR IMPROVEMENTS & REPAIRS

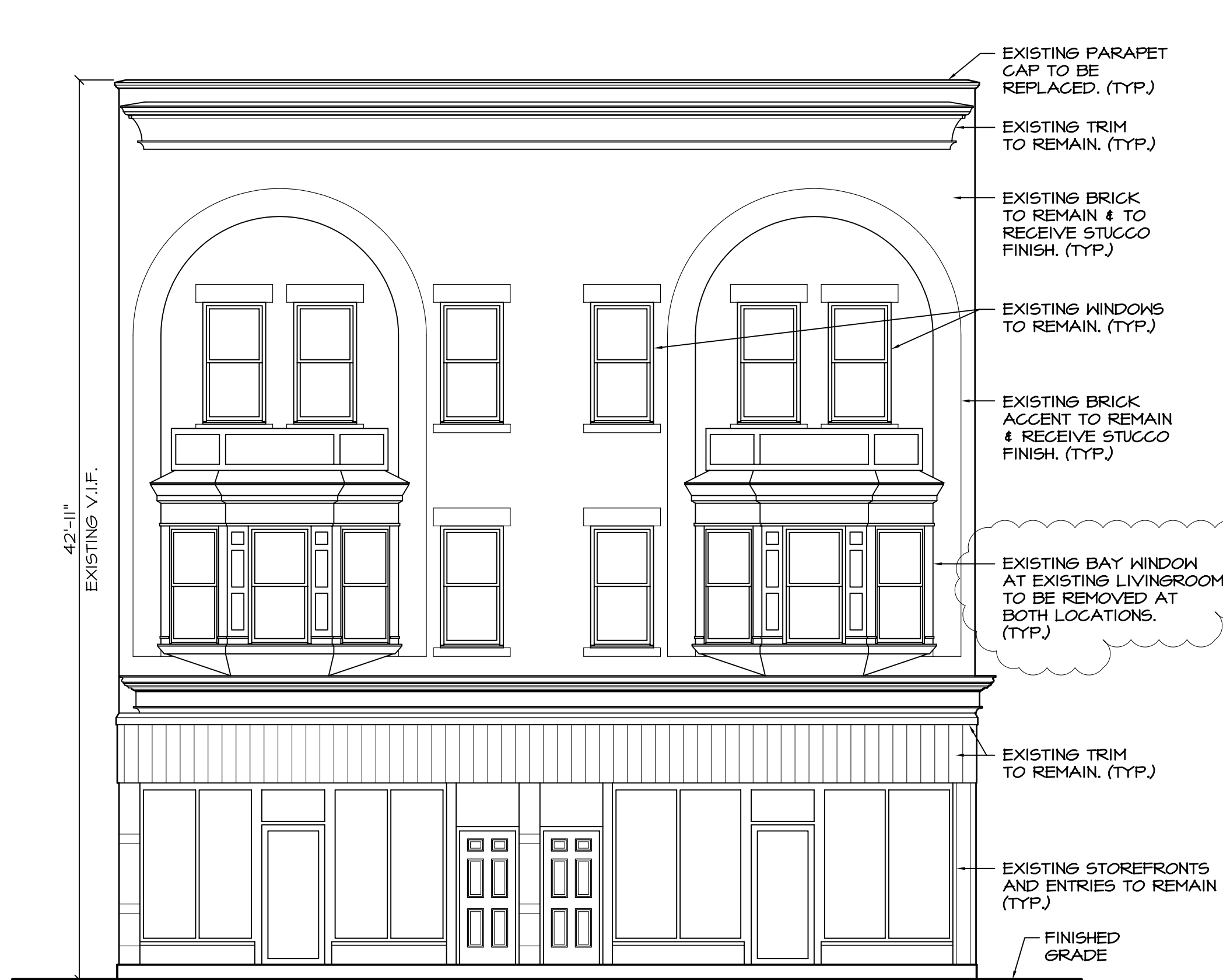
1179 NORTH AVENUE BRIDGEPORT, CONNECTICUT

EXISTING CONDITIONS NORTH ELEVATION, NORTH ELEVATION, TYPICAL WINDOW TYPE, TYPICAL DETAILS & NOTES

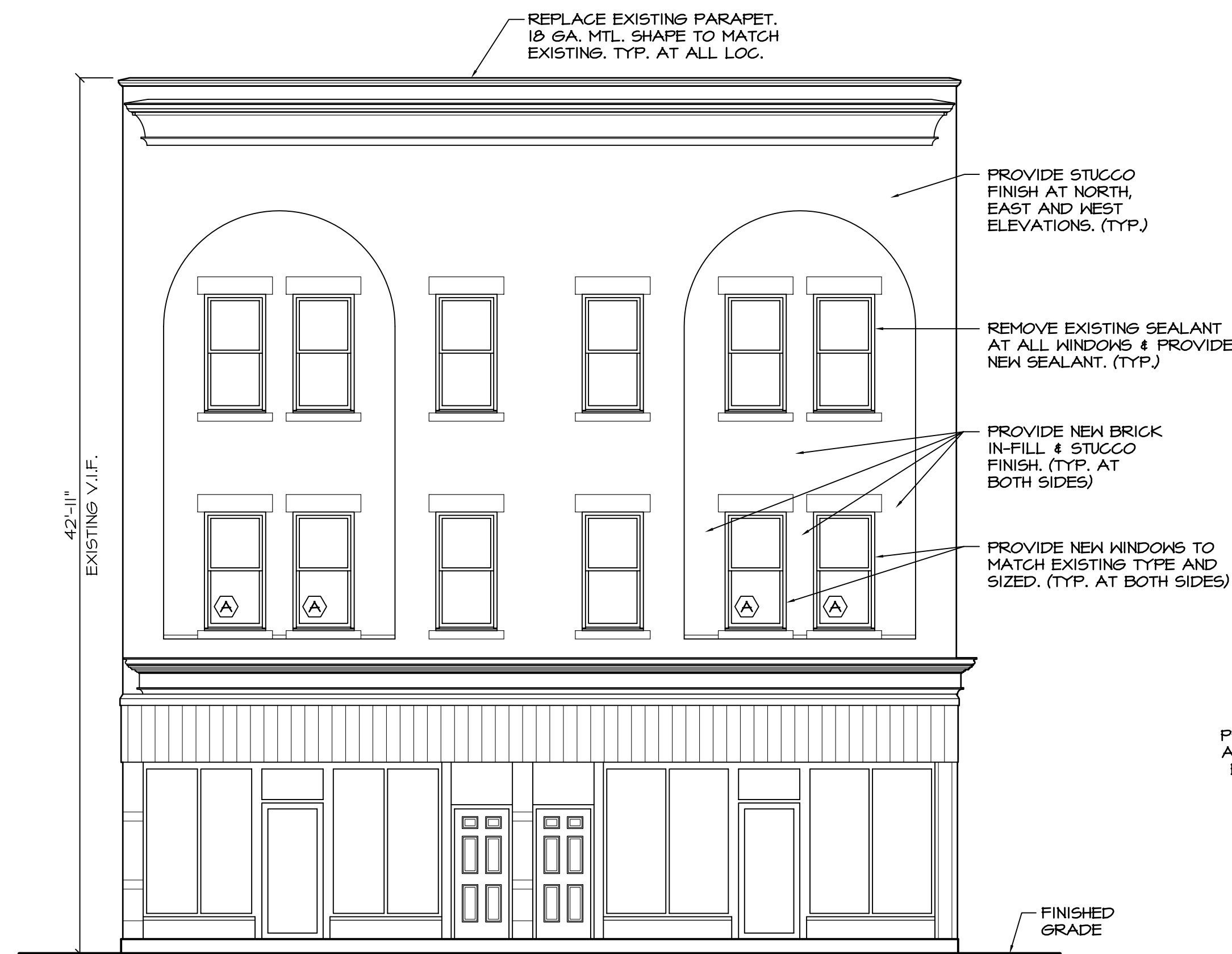
REVISIONS		
No.	DATE	DESCRIPTION
1	4-5-2022	PER B.O. COMMENTS

DATE: MARCH 30, 2022

A-1.0



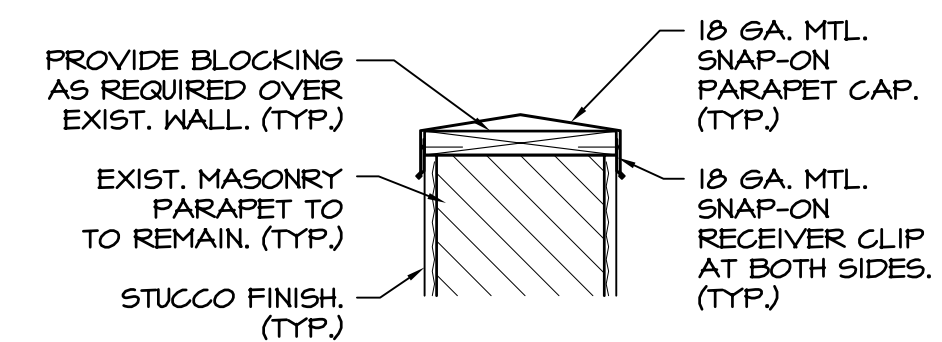
1 EXISTING CONDITIONS NORTH ELEVATION
SCALE: 3/16" = 1'-0"



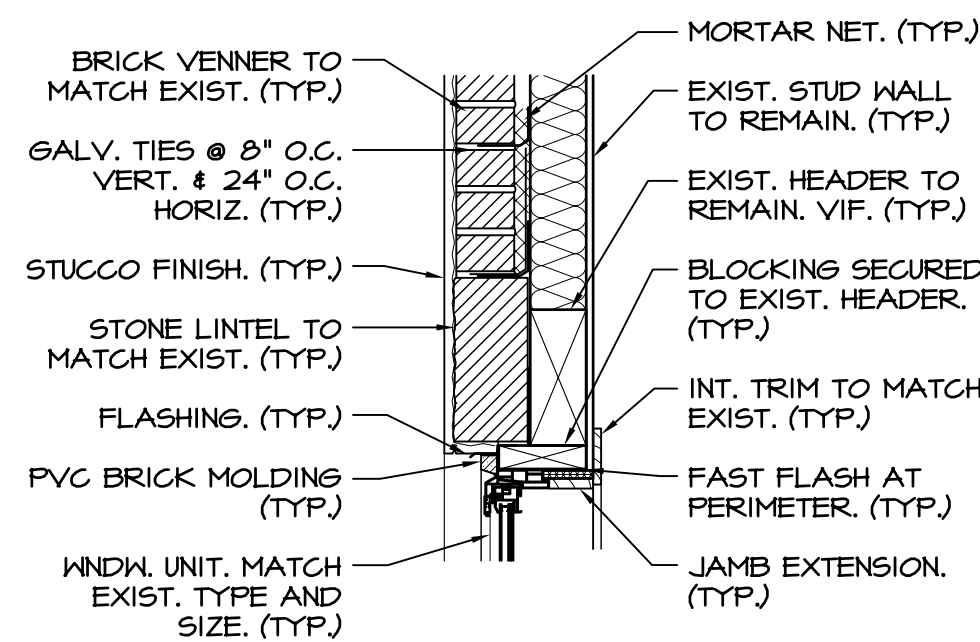
2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

- NOTES:
1. THE UNIT SHOWN IS APPROXIMATE TO THE EXISTING UNIT SIZED. FIELD VERIFY THE EXISTING AND MATCH. (TYP.)
 2. MAKE PROVISIONS FOR ROUGH OPENING IN COORDINATION WITH THE MANUFACTURER'S REQUIREMENTS.
 3. INSTALLATION SHALL BE IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS.

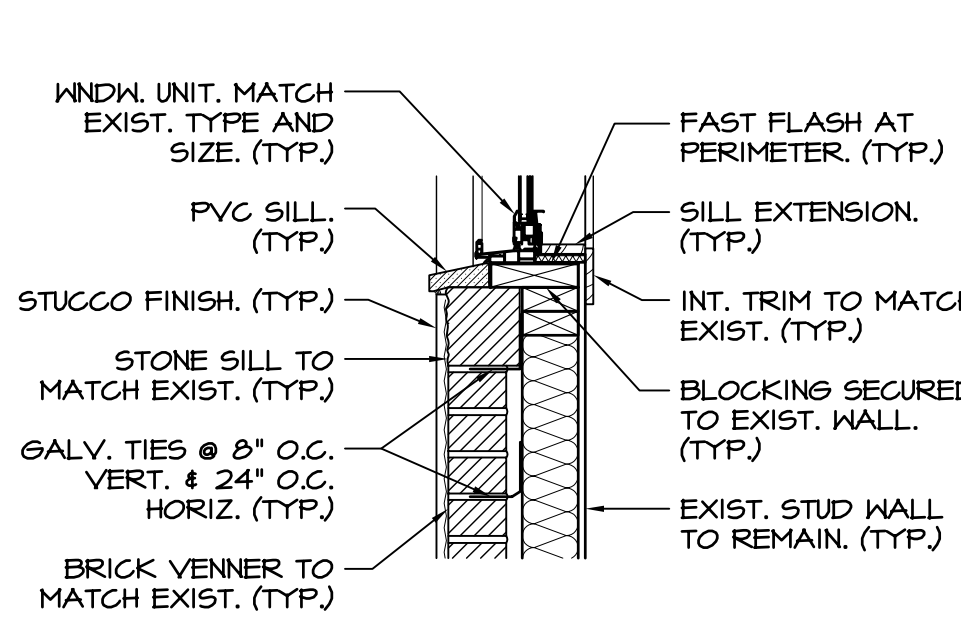
3 TYP. WINDOW TYPE
SCALE: 1/4" = 1'-0"



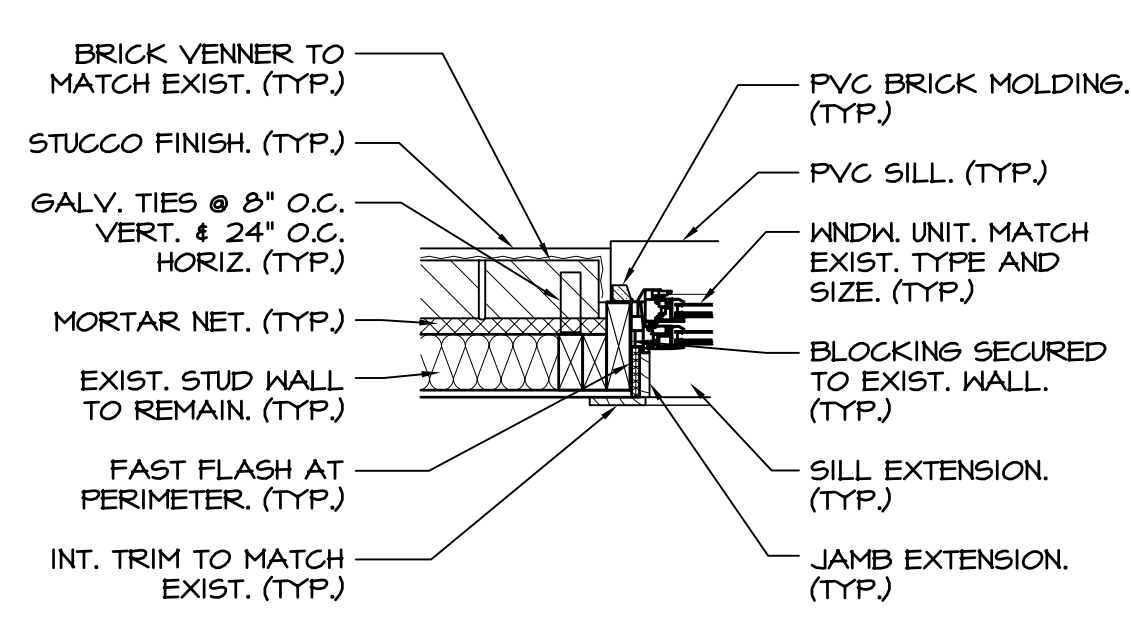
4 TYPICAL PARAPET CAP
SCALE: 1" = 1'-0"



5 TYPICAL WINDOW HEAD
SCALE: 1" = 1'-0"



6 TYPICAL WINDOW SILL
SCALE: 1" = 1'-0"



7 TYPICAL WINDOW JAMB
SCALE: 1" = 1'-0"

NOTES:

1. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT.
2. THE EXISTING CONDITIONS ARE FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD.
3. ALL DIMENSIONS ARE APPROXIMATE AND ORIGINATE FROM FINISHED EXISTING COMPONENTS OR AS NOTED. PROVIDE ADJUSTMENTS PER SITE CONDITIONS THROUGHOUT CONSTRUCTION. VERIFY ALL CONDITIONS IN THE FIELD. TYPICAL FOR ALL LOCATIONS UNDER ALL CONDITIONS.
4. ALL WORK SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL CODES, ORDINANCES, REGULATIONS AND LAWS FROM ALL LOCAL, STATE AND FEDERAL AGENCIES HAVING JURISDICTION. TYPICAL FOR ALL CONDITIONS.
5. COORDINATE ALL NEW WORK AND ANY MINOR DEMOLITION WORK WITH THE EXISTING CONDITIONS IN THE FIELD. TYPICAL FOR ALL CONDITIONS.
6. THE CONTRACTOR WILL BE ERECTING A PIPE SCAFFOLDING ALONG THE NORTH ELEVATION. THE SCAFFOLDING SHALL MAINTAIN FULL ACCESS TO THE EXISTING DOORS INTO THE BUILDING AND SHALL PROVIDE PROTECTION FROM FALLING DEBRIS FOR THE ENTIRE DURATION OF ITS USE. THE CONTRACTOR SHALL NOTIFY THE BUILDING DEPARTMENT OF THE TYPE, SIZE AND EXTEND OF ALL SCAFFOLDING COMPONENTS AND SHALL SECURE AUTHORIZATION FROM THE CITY OF BRIDGEPORT BEFORE ERECTION AND UTILIZATION, AS REQUIRED. TYPICAL.
7. REMOVE THE 2 EXISTING BAY WINDOW AT THE FRONT ELEVATION AS NOTED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT UPON EXPOSING THE EXISTING FRAMING COMPONENTS TO REMAIN AND TO BE RE-USED BEFORE PROCEEDING WITH THE INSTALLATION OF THE NEW WINDOWS. (TYPICAL)
8. PROVIDE NEW WINDOWS AS NOTED. REFER TO THE WINDOW TYPE. WINDOW TO MATCH EXISTING TYPE, SIZE AND FINISH. TYPICAL.
9. REMOVE ALL EXISTING WINDOW SEALANT AT ALL EXISTING WINDOWS TO REMAIN. PROVIDE NEW WINDOW SEALANT AT ALL LOCATIONS. SEALANT TO BE MASTERSEAL NPI SEALANT OR EQUAL. INSTALLATION SHALL BE IN COMPLIANCE WITH THE MANUFACTURER'S REQUIREMENTS. TYPICAL.
10. THE CONTRACTOR SHALL PROVIDE BRICK VENEER TO MATCH THE EXISTING TYPE, SIZE AND TEXTURE AT ALL AREAS, AS REQUIRED. JOINT SIZE TO MATCH EXISTING. MORTAR TYPE TO BE TYPE N AND MIXED PER ASTM C270. JOINT FINISH TO BE FLUSH TO RECEIVE STUCCO FINISH. PROVIDE BRICK TIES AT 8" O.C. VERTICALLY AND 24" O.C. HORIZONTALLY. TIES TO BE SECURED TO EXISTING SHEATHING TO REMAIN. PROVIDE MORTAR NET PROTECTION AT ALL NEW STONE LINTELS AND PROVIDE TUBE TYPE KEEP HOLES OVER TOP. MIN. OF 3 PER LINTEL. STONE LINTEL TO MATCH EXISTING TYPE AND SIZE. BEARING SHALL MATCH EXISTING BUT NOT LESS THAN 6" AT BOTH ENDS. PROVIDE KEEP HOLE EXTENSIONS AT ALL EXISTING TO REMAIN THROUGH STUCCO FINISH. TYPICAL AT ALL LOCATIONS.
11. PROVIDE NEW STUCCO FINISH AT ENTIRE SURFACE OF NORTH ELEVATION, EAST ELEVATION AND WEST ELEVATION. STUCCO TO BE A 2 PART APPLICATION MIN. STUCCO TO BE OVER A GALV. EXPANDED METAL LATH SECURED TO EXISTING MASONRY WITH GALV. FASTENERS AT 6" O.C. BOTH WAYS. STUCCO SCRATCH COAT TO BE QUIKRETE STUCCO BASE WITH WATER STOP OR EQUAL. FINISH STUCCO COAT TO BE QUIKRETE STUCCO FINISH COAT OR EQUAL. COLOR AND TEXTURE TO BE AS SELECTED BY THE OWNER. FINISH STUCCO SYSTEM TO BE 5/8" NOMINAL TOTAL THICKNESS. TYPICAL AT ALL LOCATIONS.
12. PROVIDE A NEW PARAPET CAP AT FULL PERIMETER. PARAPET CAP TO BE 18 GA. MTL. MIN. ALL LAPS TO BE 6" MIN. VERIFY CONDITION OF EXISTING EXISTING BLOCKING AND REPLACE AS REQUIRED. ALL FASTENERS TO BE SCREW TYPE MIN. TYPICAL.
13. ALL FLASHING FOR BRICK VENEER SHALL BE ALUMINUM 22 GA. MIN. FAST FLASH FLASHING SHALL BE AS MANUFACTURED BY PROSOCO OR EQUAL. FAST FLASH INSTALLATION SHALL BE IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS. TYPICAL.
14. ALL INTERIOR TRIM SHALL BE WOOD, PAINT GRADE TO MATCH EXISTING. ALL EXTERIOR TRIM SHALL BE PVC AS NOTED. PVC TO BE AS MANUFACTURED BY VERSATEX OR EQUAL. TYPICAL.
15. THE CONTRACTOR SHALL PROVIDE AN ASPHALT ONE-PLY TORCH-DOWN ROOF OVER THE EXISTING ROOF. THE CONTRACTOR SHALL PROVIDE ALL THE MATERIAL DATA SHEETS AS REQUIRED BY THE CITY OF BRIDGEPORT FOR EVALUATION AND APPROVAL. TYPICAL.
16. THE CONTRACTOR SHALL PROVIDE POWER WASHING FOR ENTIRE EXTERIOR OF THE BUILDING. THE CONTRACTOR SHALL PROVIDE THE POWER WASHER TYPE, WAND TYPE, WAND HEAD TYPE AND THE PRESSURE TO BE USED FOR EVALUATION AND APPROVAL BY THE CITY OF BRIDGEPORT. PROVIDE THE DETERGENT TYPE, IF ANY. TYPICAL.



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

- Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development
- Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

On the 1500 (Number) Barnum Ave (Street) Zone RX2 (Zone Classification)
 On the South (North, South, East, West) side of the street about 500± feet West (North, South, East, West) from Elizabeth (Street) Block: 1020 Lot: 22 B

Dimension of Lot in Question 106 X 135 X 136 X 109 (Specify)

1. NAME OF APPLICANT / BUSINESS Fix 9 Go LLC (Print) DBA Fix9 Auto Sales and Service
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Lessee
3. HAS A PREVIOUS APPLICATION BEEN FILED? NO (Yes or No) IF SO, GIVE DATE OF HEARING _____
4. DESCRIBE PROPOSED DEVELOPMENT _____

5. THIS APPLICATION RELATES TO: Check all that Apply
- Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 - Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: used car dealership license

6. USE TO BE MADE OF PROPERTY To reestablish used car dealership at same address

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? _____

APPLICANT X Abel Piazza (Signature) Abel Piazza (Print) DATE 8/16/2020
Abel P. Piazza (Email) 203-526-6120

If signed by agent, state capacity (lawyer, builder, etc) _____
 Mailing Address 7 Edward Rd Seymour Ct 06483 (Zip Code) 203-526-6820 (Phone #)

PROPERTY OWNERS ENDORSEMENT [Signature] (Signature) Print Robert DeLibro

Subscribe & Sworn to before me this 18th day of August 2022
Kathleen Dorsey Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
 The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
 The Zoning Board of Appeals to process this application.

NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
 PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
 (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

KATHLEEN DORSEY
NOTARY PUBLIC
 COMMISSION EXPIRES NOV. 30, 2023

APPLICATION FOR BUSINESS LICENSE
K-7 REV 01-2021

STATE OF CONNECTICUT
DEPARTMENT OF MOTOR VEHICLES
DEALERS AND REPAIRERS UNIT
dmv.dmv.gov

DMV USE ONLY

INSTRUCTIONS:

- 1. SECTION 1&2 Must be completed by the APPLICANT
- 2. SECTION 3 Must be completed and signed by the local authorities of the city or town in which the location is proposed
- 3. Submit the completed application with required attachments by mail to: DEPARTMENT OF MOTOR VEHICLES, DEALERS AND REPAIRERS UNIT Room 102, 60 STATE ST. WETHERSFIELD, CT 06151-2011

SECTION 1 BUSINESS INFORMATION

PLEASE CHECK ONE BOX ONLY:
TYPE OF LICENSE:

- NEW DEALER USED DEALER GENERAL REPAIRER LIMITED REPAIRER LEASING MANUFACTURER

PLEASE CHECK ONE BOX ONLY:
TRANSACTION TYPE:

- NEW LICENSE CHANGE MEMBER ADD PROPERTY CHANGE LOCATION CHANGE OF BUSINESS NAME (DBA, LLC, ETC.)

Name Under which Business is to be Conducted (Please include DBA if applicable):

EX 200 LLC DBA MK90 Auto sales and service

Existing License number (if applicable):

Full Address of Location for Which License is Requested:

1500 Barnum Ave Bridgeport CT 06610

Business License # from Secretary of State:

Mailbox Address, if Different From Above:

7 Edward Rd Sayman CT 06403

FEIN #:

If Incorporated or LLC, Under the Laws of which State:

CT

E Mail Address:

Abel.Piazza7@gmail.com

The Business Holds a Factory Franchise to Sell the Following Make(s) of Vehicle(s) at The Above Location for (New, Used, Car Dealers Only):

List all Makes of Vehicles Manufactured by the Applicant which are offered in the State of Connecticut. (Manufacturers Only)

If applicant firm is owned by individual or partnership, enter data below for all owners. If owned by a corporation, enter data for officers. If LLC, Enter data for members.

NAME	TITLE	HOME ADDRESS	PHONE #	SOCIAL SECURITY #	DATE OF BIRTH
Abel Piazza	MANAGING MEMBER	7 Edward Rd Bridgeport CT 06610	203 586-6888	598-50-9707	11-29-84
Juan Rafael Arino	Member	104 Sheridenght Bridgeport CT 06610	203 993-3080	133-97-0463	6-22-85

New/Used Car Dealers and Manufacturers only (MUST CHECK ONE)

- I am applying for a Dealer's license and do not hold, or intend to apply for a Manufacturer's license
 I am applying for a Manufacturer's license and do not hold, or intend to apply for a Dealer's license

SECTION 2 TO BE COMPLETED BY LEASING COMPANIES ONLY

Do you lease vehicles for periods of 30 days or more? YES NO

Leasing company's normal business hours

CONTACT PERSON FOR REGISTRATION RENEWAL ISSUES

Name Abel Piazza

Phone # 203-586-6888

Fax #

Email Abel.Piazza7@gmail.com

CERTIFICATION (To be signed by Owner, Partner, Managing Member or Authorized Officer in presence of notary)

Pursuant to CGS 53a-157b, I declare that the statements made by me in this application or in any documents attached hereto are true and complete to the best of my knowledge and belief.

Signed (Owner, Partner, Managing Member or Officer)

X Abel Piazza

Title

Managing member

Date

8-16-2021

Subscribed and sworn to before me:

Place Sworn (Town/City and State of) Bridgeport, CT

Signed: Notary Public, Justice of the Peace, or Commissioner of Superior Court

X Katherine Dorsey

Date Commission Expires

11-30-2023

SECTION 3 CERTIFICATION OF LOCAL APPROVAL FOR PROPOSED LOCATION - NOT APPLICABLE FOR LEASING OR MANUFACTURERS

Pursuant to CGS 14-54, local approval is hereby granted for the above named firm or individuals to conduct a business of the type checked above at the location specified in this application.

Are there any restrictions placed on the licensee's use of property? YES NO

(If "YES," a copy of the restrictions MUST be attached to this application.)

Signature of Authorized Official

Printed Name of Authorized Officer

Title

Date

X

Signatures of Building Officials and Fire Marshal indicate compliance with applicable laws and regulations (Required for New and Used Dealers, General and Limited Repairer ONLY)

Signature of Building Official

Printed Name of Building Official

Date

X

Signature of Local Fire Marshal

Printed Name of Local Fire Marshal

Date

X

ATTACH ADDITIONAL PAGES IF NECESSARY

August 20, 2022

Bridgeport Zoning commission

My name is Abel Piazza, and my partners name is Juan Aquino we are business partners and would like to open FixGo Auto Sales and Service at the location of 1500 Barnum Ave Bridgeport CT 06610

We want to be proud of our business and run a clean establishment and that's why we chose this location as our future landlord has kept this premise in immaculate condition and continue making Bridgeport proud.

We promise to keep the premise in the same clean condition during our tenancy and hopefully someday purchase the property. We also promise not to store any parts or tires outside the building and have no intention of becoming a blight customer to the zoning department.

If you grant us the permission, we will follow the rules and regulations issued to us. The former approval is for 20 "for sale vehicles" that's what we are asking for again.

Thank you very much for considering my partner and I to be part of Bridgeport

Abel Piazza



ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1546 & 1562 Fairfield Avenue Zone RX1
(Number) (Street) (Zone Classification)

On the North/West side of the street about 20 feet North from
(North, South, East, West) (North, South, East, West)

Hancock Avenue Block : 1215 Lot: 59 & 24
(Street)

Dimension of Lot in Question 1546: 248' +/- long by 69' at Fairfield Ave frontage, 75' at rear of lot; 1562: 150' by 99' +/-
(Specify)

1. NAME OF APPLICANT / BUSINESS Friendly Homes Solution, LLC

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
(Print)

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING _____
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Refurbish and expand existing building to install sixteen residential units.

5. THIS APPLICATION RELATES TO: Check all that Apply

- Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
- Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: Number of units and width of driveway access

6. USE TO BE MADE OF PROPERTY Residential apartments

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT Wilson Carroll , Wilson Carroll DATE 9/1/2022
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) Attorney , wcarroll@CohenandWolf.com
(Email)

Mailing Address 1115 Broad Street, Bridgeport, CT 06604 203-368-0211
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT Lesman Cordero Print Lesman Cordero
(If other than owner) (Signature)

Subscribe & Sworn to before me this 1st day of September 20 22
Joshua Decker, Esq. Notary Public in & for the County of Fairfield, State of Connecticut.
Commissioner of the Court

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: _____ DATE: _____, 20 _____ Clerk _____



CITY OF BRIDGEPORT

**ZONING BOARD OF APPEALS
APPLICATION CHECKLIST**

Required Information

- All items must be submitted in sets of (11) Eleven
- All plans & drawings must be full size (24"x36"), drawn to scale and in a PROFESSIONAL manner and must include a title block noting the name, address & telephone number of preparer.
- Site Development Plan prepared in accordance with Sec. 14-2-3b of the Bridgeport Zoning Regulations. Include the Zone Development Standards table indicating both required as well as the proposed Standards.
- Elevation views of a proposed new structure or elevation views of an existing building where an addition or change is proposed.
- Floor plan of building(s) or section of building(s) being considered by the Board.
(All sets **FOLDED DOWN** to 8" x 12")
- A Design Standard submission for new developments.
- A written statement citing the specific provision(s) of the Regulations from which the variance is sought.
- A list of the names & addresses of all property owners within 100 ft of all property lines of the subject property. The Tax Assessor's Office (Room 105) can assist with this information or visit the COB website: <http://gis.cdm.com/BridgeportCT/map.htm>
- All applications must include the following:
 - a) Mailing address & zip code of applicant or authorized agent.
 - b) Daytime telephone number of applicant or authorized agent.
 - c) Signature of owner(s) & applicant(s)
 - d) Filing fee - cash, check or money order payable to the ZONING BOARD OF APPEALS or BPT. ZBA.
- All items submitted must be saved and properly installed on a USB flash drive.**
The information on the USB flash drive must include the application, site plans, and all other hard copy information (landscaping, floor elevations, etc) that will be submitted. It also **must be labelled** with the property address and the date of hearing. **All plans and paper work that is submitted to the zoning office must be FOLDED (8"x12" or smaller) and Collated into 11 separate packets.**

Notes:

1. Applications that do not provide ALL of the above required information will be considered "incomplete" and will be not be accepted. Applications will be limited to the first 10 submitted, regardless of the submission deadline.
2. No application will be assigned for a public hearing until such time as the City Engineering Department has reviewed and submitted comments to the Zoning Office.
3. A Use Variance approval by the Z.B.A. requires a Site Plan Review by the Planning & Zoning Commission as set forth in Section 14-2-2. This approval may be in addition to other requirements of the Zoning Regulations. All required approvals must be obtained prior to the use and/or development of any parcel granted a Variance.
4. Proposed signs are not accepted as part of any petition. Signage is regulated under Sec. 11-7 of the Zoning Regulations.



 Applicant's Signature



 Date

 Reviewers Initials

 Date



WILSON T. CARROLL, ESQ.

Please Reply To Bridgeport
Writer's Direct Dial: (203) 337-4123
E-Mail: wcarroll@cohenandwolf.com

September 1, 2022

VIA HAND-DELIVERY

Paul Boucher
Bridgeport Zoning Department
45 Lyon Terrace #210
Bridgeport, CT 06604
E-Mail: zoning@bridgeportct.gov

Re: ZBA Application at 1546 and 1562 Fairfield Avenue

Dear Mr. Boucher,

Please accept, on behalf of Friendly Homes Solution, LLC (“Applicant”), the following narrative and enclosed application materials as part of the application for variances under the Bridgeport Zoning Regulations (the “Regulations”) for the property located at 1546 and 1562 Fairfield Avenue (the “Site”) to allow sixteen units in a principal building (the “Building”) on the Site, and a 24-foot-wide driveway.

Variances Requested

1. Variance of Regulations § 3.40.9 to allow sixteen units as part of a refurbishment and expansion of the existing building classified as a Commercial House-Type Building.
2. Variance of Regulations § 3.40.5 to allow a 24-foot-wide driveway as the main access to the Building, to facilitate ingress and egress by multiple vehicles.

Narrative

The Applicant requests variances under the Regulations to allow sixteen residential units in a principal building on the Site that it proposes to refurbish and expand. The Site, zoned RX1, is unusual in that it contains two principal buildings and comprises two irregular lots that have traditionally been treated as a single lot. The frontmost Building is situated mainly on 1546 Fairfield Avenue and partially on 1562 Fairfield Avenue. The rear building already contains two residential units and one commercial salon, but this Application concerns only the frontmost Building that abuts Fairfield Avenue. The site plan proposes a 24-foot-

1115 Broad Street
PO Box 1821
Bridgeport, CT 06601-1821
Tel: (203) 368-0211

158 Deer Hill Avenue
Danbury, CT 06810
Tel: (203) 792-2771

320 Post Road West
Westport, CT 06880
Tel: (203) 222-1034

wide access lane to ensure adequate vehicular access and emergency access to the rear building. The site plan also provides for a 24-foot-wide driveway on Hancock Avenue for the front Building for ease of ingress and egress by multiple vehicles, which would require a variance from Regulations § 3.40.5.

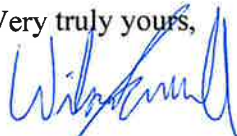
This Application follows Concept Review conducted on June 16, 2022. At the Concept Review stage, the Applicant updated its plans to the satisfaction of Zoning Department staff with respect to the design of the façade, repairs to the sidewalks surrounding the Building, and removal of the existing curb cut on Fairfield Avenue, among other things. It was determined at Concept Review that the Building falls within the Commercial House-Type Building classification, and that a variance to Regulations § 3.40.9 would therefore be required for the project to proceed. The design of the expansion of the Building will maintain its character and will otherwise conform to all relevant design standards. The proposed development will be a significant improvement to the existing conditions and will be consistent with other residential uses in the area.

Hardship

Granting the Applicant the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport, and strict adherence to the Regulations would cause a unique hardship to the Applicant. The unusual lot configuration, its historic use, and the placement of the principal buildings on those lots restricts the Applicant's ability to develop the number of residential units to which it would otherwise be entitled under the Regulations. If the two buildings on 1546 Fairfield Avenue each contained six residential units, and an additional building was constructed on 1562 Fairfield Avenue with six residential units, the result would be eighteen permitted residential units. The Applicant's proposal to expand and refurbish the existing Building and to provide parking for that building on 1562 Fairfield Avenue results in the same residential unit density—sixteen units at the expanded Building, combined with the two existing residential units in the rear building. Additionally, the Small General Building Type and Row Building Type are allowed in RX1 zones, and neither of those building types has a maximum number of principal residential units. Only the Commercial House Type building is restricted to six units. The proposed expansion of the Building would increase its size to be similar to a Small General Building or Row Building, in which sixteen units would be allowed. The expanded Building will conform to the neighborhood and will be a significant upgrade to existing conditions.

For the reasons stated above, the Applicant respectfully requests approval of the Application for the above-stated variances.

Very truly yours,



Wilson T. Carroll, Esq.

List of Names and Addresses of Property Owners Within 100 Feet of Property Line

Property Address	Owner's Name	Mailing Address	City	State	Zipcode
1457 FAIRFIELD AV	LISSY PENA REALTY LLC	1457 FAIRFIELD AVE	BRIDGEPORT	CT	06605
1521 FAIRFIELD AV #1523	LISSY PENA REALTY LLC	1457 FAIRFIELD AVE	BRIDGEPORT	CT	06605
1522 FAIRFIELD AV	RAHMAN MDZ	36 BIBBINS AVENUE	FAIRFIELD	CT	06825
1526 FAIRFIELD AV #1528	JONES, RAHI	1526 FAIRFIELD AVE	BRIDGEPORT	CT	06605
1532 FAIRFIELD AV #1534	GARCIA EDDY ESTUARDO & EDDY RENATO	1532 FAIRFIELD AVENUE	BRIDGEPORT	CT	06605
1539 FAIRFIELD AV #1547	CASTRO CHEVERE FRANCISCO X	1539-1547 FAIRFIELD AVE	BRIDGEPORT	CT	06605
1546 FAIRFIELD AV	RE-ENTRY MINISTRY INC	1546 FAIRFIELD AVE	BRIDGEPORT	CT	06601
1549 FAIRFIELD AV #1551	GOLDEN HILL FOUNDATION INC	2 TRAP FALLS RD #405	SHELTON	CT	06484
1555 FAIRFIELD AV #1557	HANCOCK PLAZA LLC	1555 FAIRFIELD AVE #1557	BRIDGEPORT	CT	06605
1562 FAIRFIELD AV	RE-ENTRY MINISTRY INC	1546 FAIRFIELD AVE	BRIDGEPORT	CT	06605
1590 FAIRFIELD AV	GALVIZ LUZ STELLA	1590 FAIRFIELD AV	BRIDGEPORT	CT	06605
1599 FAIRFIELD AV	KMF BRIDGEPORT LLC	1140 POST ROAD	FAIRFIELD	CT	06824
21 POPLAR ST #23	POLKE FRANK M SR &	31 GISELLA RD	TRUMBULL	CT	06611
25 POPLAR ST #27	SMITH LINDA YVETTE	25 POPLAR ST #27	BRIDGEPORT	CT	06605-1975
35 POPLAR ST #37	STEWART CLEMENTINA	35 POPLAR ST	BRIDGEPORT	CT	06605
43 POPLAR ST #45	RASHID MAMUNUR	43 POPLAR ST #45	BRIDGEPORT	CT	06605
55 POPLAR ST #57	ACA ALEJANDRO C	55-57 POPLAR ST	BRIDGEPORT	CT	06605
65 POPLAR ST #67	AKTER RASHADA	28 TAYLOR AVENUE UNIT 1	NORWALK	CT	06854
71 POPLAR ST	MORALES FIDEL ETAL	71 POPLAR STREET	BRIDGEPORT	CT	06605
841 HANCOCK AV	COLON DINA	841 HANCOCK AV	BRIDGEPORT	CT	06605
847 HANCOCK AV	ZHU ZAI YAN	847 HANCOCK AV	BRIDGEPORT	CT	06605
850 HANCOCK AV	RH 850 HANCOCK AVE LP	46 MAIN ST #339	MONSEY	NY	10952
860 HANCOCK AV #866	AYALA VICTOR GUILLERMO CHIMBO & VASQUEZ QUITO	102-28 N87TH AVE	RICHMOND HILL	NY	11418
870 HANCOCK AV #872	HANIS JASON	416 NORTH BARRY AVE	MAMARONECK	NY	10543
880 HANCOCK AV	880 HANCOCK LLC	6015A CATALPA AVE	RIDGEWOOD	NY	11385

16 UNIT APARTMENT FIT-UP

1546 FAIRFIELD AVE, BRIDGEPORT, CT

Designed & Prepared by: NORTH ARROW DESIGN & CONTRACTING LLC™



SCOPE OF WORK:

- * 10 NEW EFFICIENCY APARTMENTS ON THE 1ST FLOOR.
- * 6 NEW APARTMENTS ON THE SECOND FLOOR.

CODES:

THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATIONS REFERENCED WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THIS PROJECT. USE THE LATEST EDITIONS UNLESS OTHERWISE NOTED.

- 2015 - INTERNATIONAL BUILDING CODE WITH 2018 STATE OF CONNECTICUT SUPPLEMENTS.
- 2015 - INTERNATIONAL EXISTING BUILDING CODE.
- 2015 - INTERNATIONAL MECHANICAL CODE.
- 2015 - INTERNATIONAL PLUMBING CODE.
- 2015 - INTERNATIONAL ENERGY CONSERVATION CODE.
- 2017 - NATIONAL ELECTRICAL CODE NFPA 70-2014.
- ICC A117.1.2009.

USE & OCCUPANCY CLASSIFICATION

<p>OCCUPANCY CLASSIFICATION BUSINESS GROUP - B - 1st FLOOR RESIDENTIAL - R3 - 2nd FLOOR.</p> <p>BUILDING SIZE PROPOSED RETAIL IMPROVEMENT - APPROX. 1,085 S.F.</p> <p>OCCUPANCY LOAD SEE OCCUPANCY CALCULATIONS ON THIS SHEET.</p>	<p>OCCUPANCY SEPARATION RETAIL / MULTI TENANT BUILDING FIRE BARRIER - FIRE RESISTANCE RATING - 1HR(S)</p> <p>BUILDING CONDITION EXISTING BUILDING BEING RENOVATED</p>
---	--

CONSTRUCTION CLASSIFICATION

<p>TYPE OF CONSTRUCTION TYPE - 5B</p> <p>EXIT ACCESS TRAVEL DISTANCE REQ'D 200' WITHOUT SPRINKLER 300' WITH SPRINKLER</p>	<p>SEISMIC CATEGORY CATEGORY - B</p> <p>EXIT ACCESS TRAVEL DISTANCE PROVIDED APPROX. . 30' or LESS</p>
--	--

OCCUPANCY CALCULATION

AREA	SQ. FT.	LOAD FACTOR	OCCUPANCY
SERVICE AREAS	1,790	150 NSF	12
WAITING AREA	124	15 NSF	8
TOTAL OCCUPANCY			20

DRAWING LEGEND:

- A-0 COVER SHEET
- A-1 1st FLOOR PLAN
- A-2 2nd FLOOR PLAN
- A-3 DETAILS
- A-4.0 FRONT AND RIGHT ELEVATIONS
- A-4.1 LEFT AND REAR ELEVATIONS

- D-1 FOUNDATION DEMOLITION PLAN
- D-2 1st FLOOR DEMOLITION PLAN
- D-3 2nd FLOOR DEMOLITION PLAN

- F-1 FOUNDATION PLAN
- FP-1 EGRESS PLAN

- S-1 1st FLOOR FRAMING PLANS
- S-2 2nd FLOOR FRAMING PLANS
- S-3 ATTIC FLOOR FRAMING PLAN
- S-4 ROOF FRAMING PLANS
- S-5 CONSTRUCTION NOTES

REVISION

NO.	DATE	DESCRIPTION
#1	7/18/22	ADDED ROOF TO LEFT SIDE OF BLDG. AND REVISED FRONT ENTRY STAIRS.

COVER SHEET

16 UNIT APARTMENT FIT-UP
1546 FAIRFIELD AVE,
BRIDGEPORT, CT

NORTH ARROW
DESIGN & CONTRACTING LLC™
25 DENTON PLACE, STRATFORD, CT 06614
203-377-0190
WWW.NORTHARROWDC.COM

DATE:

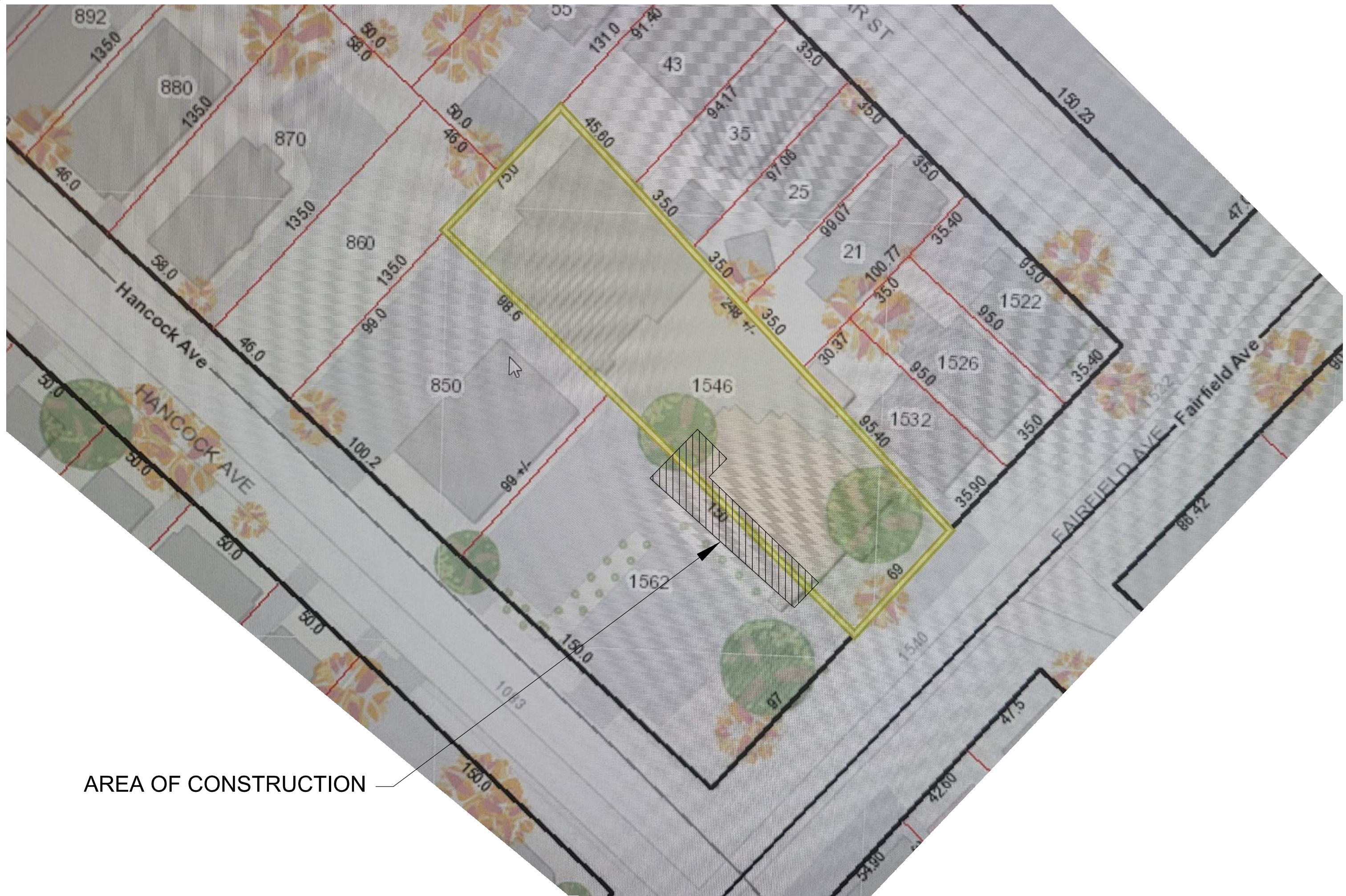
5/9/22

SCALE:

1/4"=1'-0"

SHEET:

A-0



AREA OF CONSTRUCTION

NO.	DESCRIPTION	DATE
1.	X	X

AREA SITE PLAN

APARTMENT FIT-UP
 1546 #1 THRU #16 FAIRFIELD AVE
 BRIDGEPORT, CT

DATE: 5/18/22
 SCALE: 1"=40'
 DRAWN BY: T.J.P.

NORTH ARROW
 DESIGN & CONTRACTING LLC™
 25 DENTON PLACE, STRATFORD, CT 06614
 203-377-1727
 WWW.NORTHARROWDC.COM

SHEET NO.
ASP-1



1546 Fairfield Avenue



1546 Fairfield Avenue



1599 Fairfield Avenue



841 Hancock Street



847 Hancock Street

Class Of
2020
Bassick
High School



850 Hancock Avenue



860 Hancock Avenue



1534 Fairfield Avenue

1526 Fairfield Avenue



1539 Fairfield Avenue



1549 Fairfield Avenue

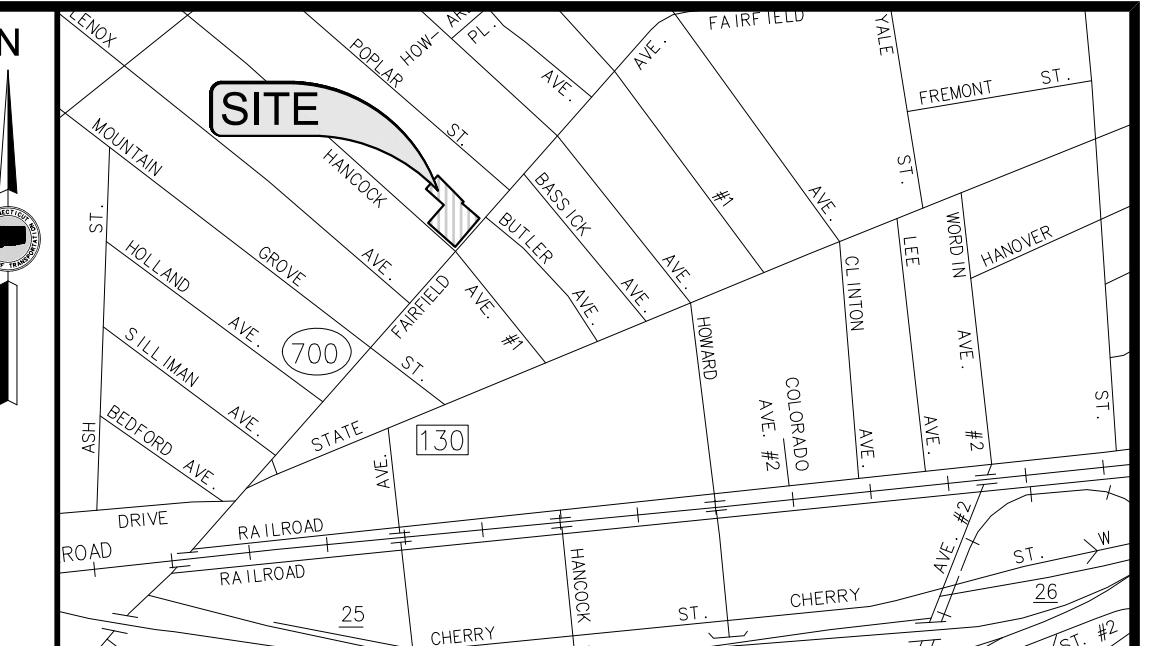
1555 Fairfield Avenue



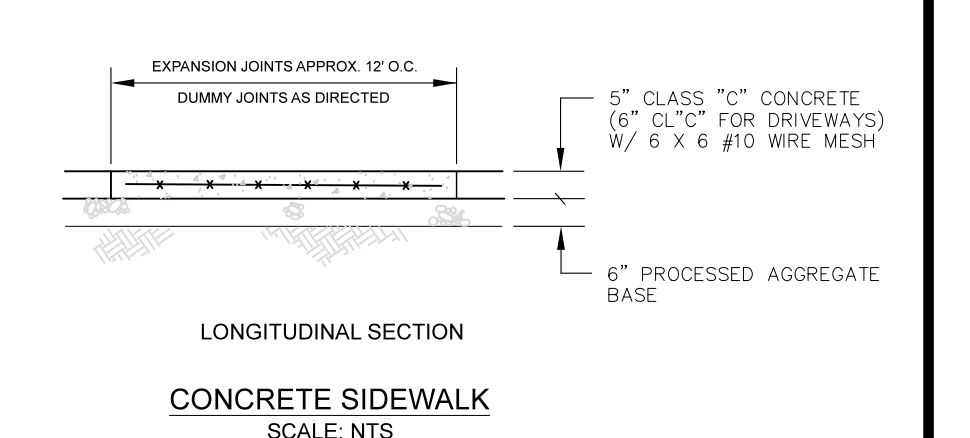
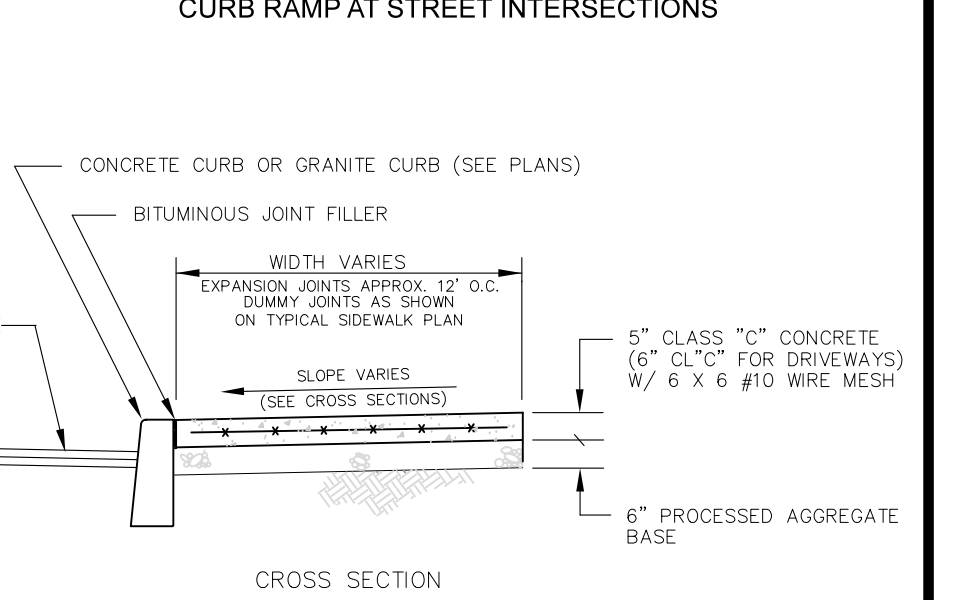
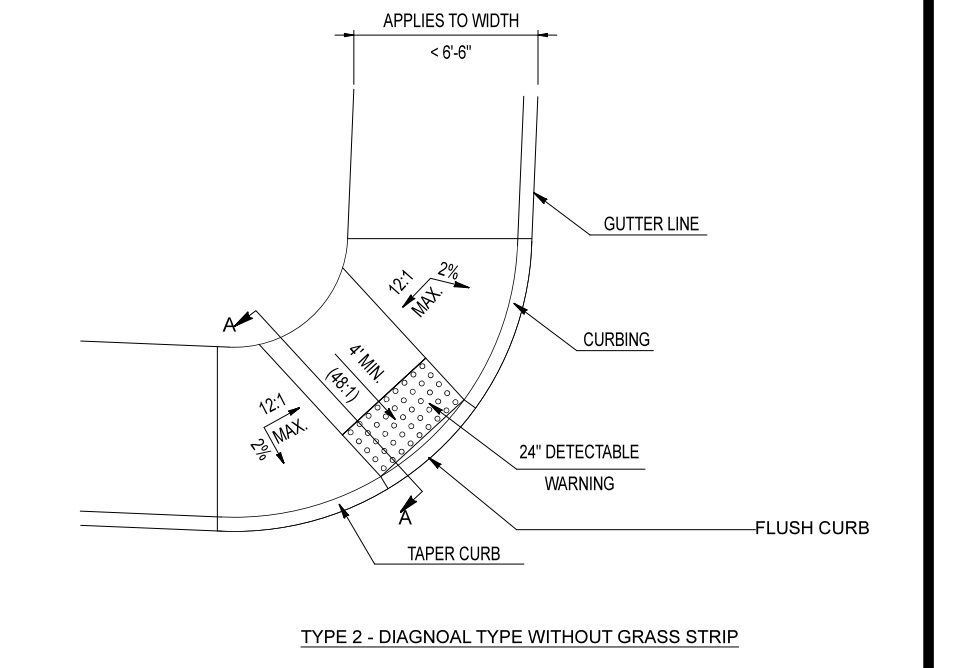
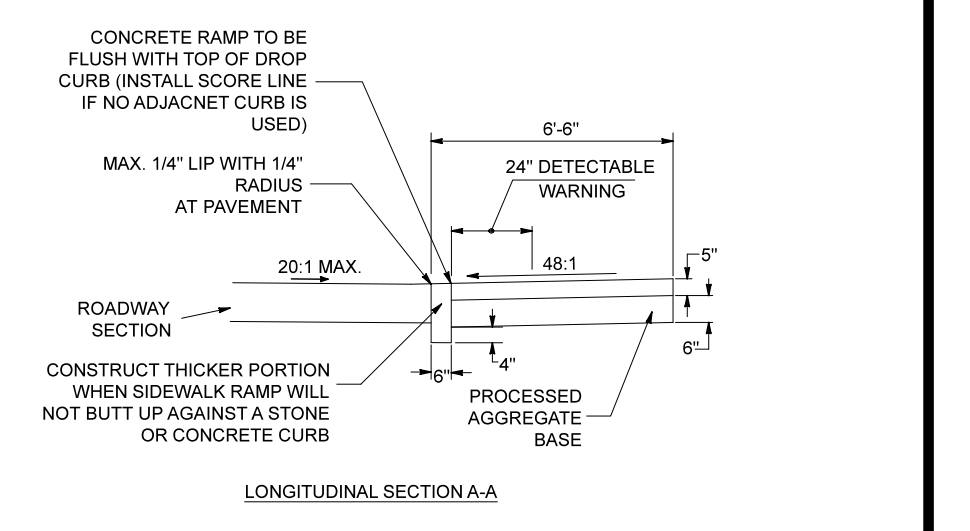
1590 Fairfield Avenue



1590 Fairfield Avenue



LOCATION MAP
SCALE: 1" = 800'



LEGEND

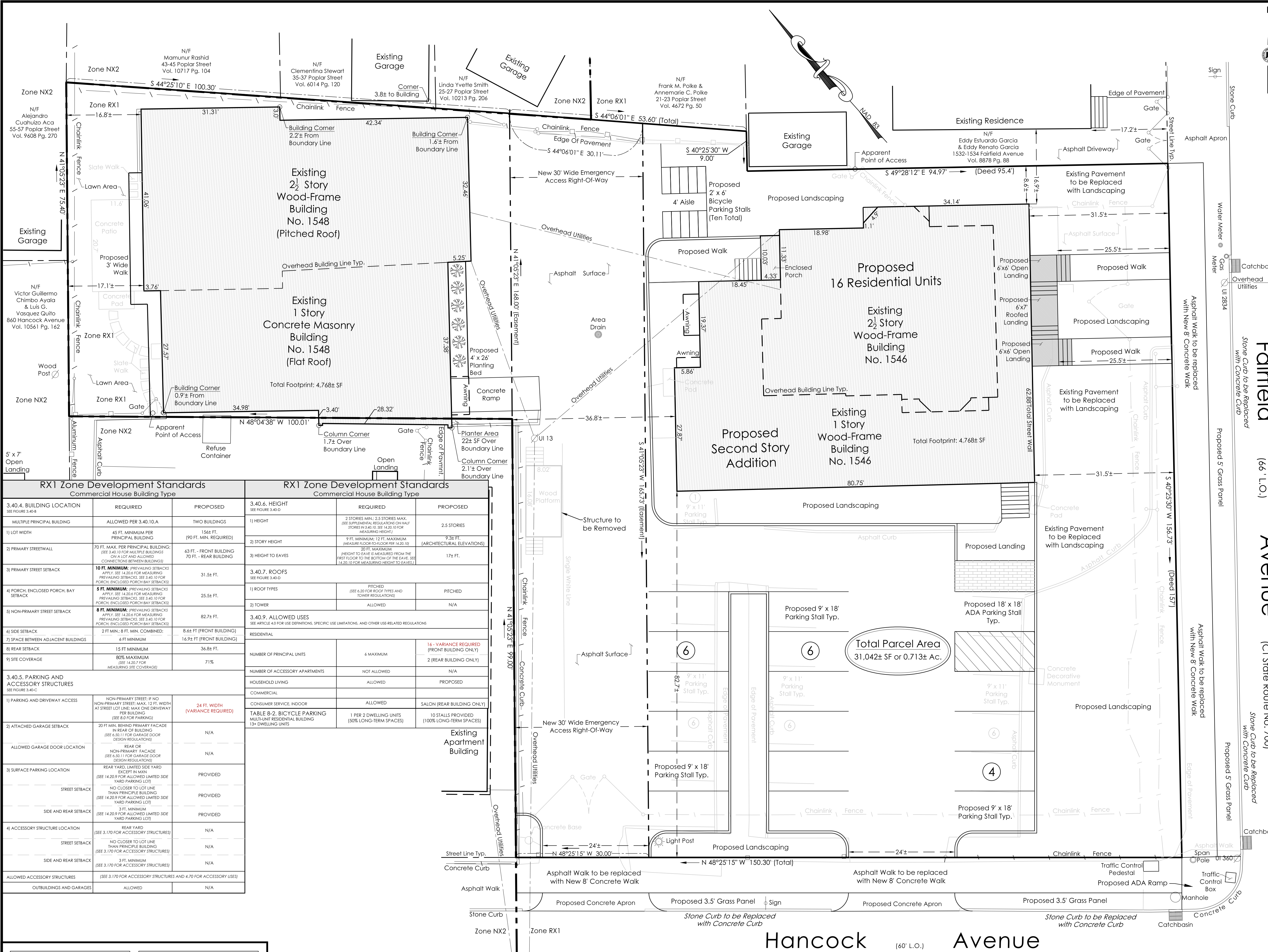
N/F	NOW OR FORMERLY	CB	CATCH BASIN
MON.	MONUMENT	WM	WATER METER
I.P.	IRON PIPE	WV	WATER VALVE
FND.	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET.	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
CHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
UG	UNDER GROUND	INT.	INTERSECTION
MH	MANHOLE	INV.	INVERT
ELEC.	ELECTRIC	C.I.	CAST IRON
UT	UTILITY POLE	V.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
ESP	EDGE OF PAVEMENT	EXP.	EXISTING SPOT GRADE
RET.	RETAINING	-100-	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
PFE	FINISHED FLOOR ELEVATION	(2)	PARKING SPACES
C.O.	CLEANOUT	HDP	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
EXISTING CONIFER TREE		EXISTING DECIDUOUS TREE	

SITE DEVELOPMENT PLAN

PREPARED FOR
FRIENDLY HOMES SOLUTION, LLC

1546 & 1548 FAIRFIELD AVENUE
BRIDGEPORT, CONNECTICUT
ASSESSOR'S REFERENCE: MAP 26 | BLOCK 1215 | LOTS 59 & 24

SHEET 1 OF 1
AUGUST 30, 2022 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 10'



RX1 Zone Development Standards
Commercial House Building Type

3.40.4. BUILDING LOCATION	REQUIRED	PROPOSED	3.40.6. HEIGHT	REQUIRED	PROPOSED
MULTIPLE PRINCIPAL BUILDING	ALLOWED PER 3.40.10.A	TWO BUILDINGS	1) HEIGHT	2 STORIES MIN.; 2.5 STORIES MAX. (SEE SUPERSEDED REGULATIONS CONCERNING STORIES IN 3.40.10. SEE 14.20.10 FOR MEASURING HEIGHT)	2.5 STORIES
1) LOT WIDTH	45 FT. MINIMUM PER PRINCIPAL BUILDING	156.4 FT. (90 FT. MIN. REQUIRED)	2) STORY HEIGHT	9 FT. MINIMUM; 12 FT. MAXIMUM (MEASURE FLOOR-TO-FLOOR PER 14.20.10)	9.32 FT. (ARCHITECTURAL ELEVATIONS)
2) PRIMARY STREET WALL	70 FT. MAX. PER PRINCIPAL BUILDING; (SEE 3.40.7 TO FOR ADJACENT BUILDINGS ON A LOT AND ALLOWED CONNECTIONS BETWEEN BUILDINGS)	63 FT. - FRONT BUILDING 70 FT. - REAR BUILDING	3) HEIGHT TO EAVES	20 FT. MAXIMUM (HEIGHT TO EAVE IS MEASURED FROM THE FRONT FLOOR TO THE BOTTOM OF THE EAVE; SEE 14.20.10 FOR MEASURING HEIGHT TO EAVES)	17.75 FT.
3) PRIMARY STREET SETBACK	10 FT. MINIMUM. (PREVAILING SETBACKS APPLY. SEE 14.20.6 FOR MEASURING PREVAILING SETBACKS. SEE 3.40.10 FOR PORCH ENCLOSED PORCH BAY SETBACKS)	31.52 FT.	3.40.7. ROOFS		
4) PORCH, ENCLOSED PORCH, BAY SETBACK	5 FT. MINIMUM. (PREVAILING SETBACKS APPLY. SEE 14.20.6 FOR MEASURING PREVAILING SETBACKS. SEE 3.40.10 FOR PORCH ENCLOSED PORCH BAY SETBACKS)	25.52 FT.	1) ROOF TYPES	PITCHED (SEE 4.20 FOR ROOF TYPES AND TOWER REGULATIONS)	PITCHED
5) NON-PRIMARY STREET SETBACK	8 FT. MINIMUM. (PREVAILING SETBACKS APPLY. SEE 14.20.6 FOR MEASURING PREVAILING SETBACKS. SEE 3.40.10 FOR PORCH ENCLOSED PORCH BAY SETBACKS)	82.75 FT.	2) TOWER	ALLOWED	N/A
6) SIDE SETBACK	2 FT. MIN.; 8 FT. MIN. COMBINED; 6 FT. MINIMUM	8.62 FT (FRONT BUILDING) 16.92 FT (FRONT BUILDING)	3.40.9. ALLOWED USES	RESIDENTIAL	
7) SPACE BETWEEN ADJACENT BUILDINGS	15 FT. MINIMUM	36.82 FT.	NUMBER OF PRINCIPAL UNITS	6 MAXIMUM	16 - VARIANCE REQUIRED (FRONT BUILDING ONLY)
8) REAR SETBACK	80% MAXIMUM (SEE 14.20.7 FOR MEASURING SITE COVERAGE)	71%	NUMBER OF ACCESSORY APARTMENTS	NOT ALLOWED	N/A
9) SITE COVERAGE			HOUSEHOLD LIVING	ALLOWED	PROPOSED

RX1 Zone Development Standards
Commercial House Building Type

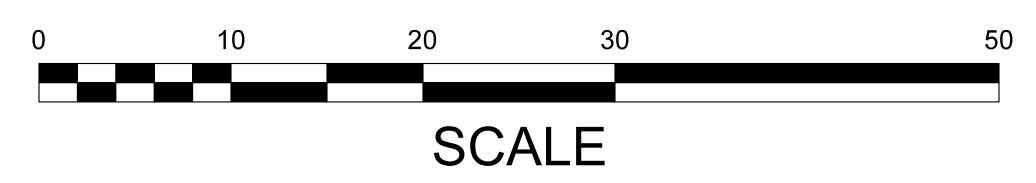
3.40.5. PARKING AND ACCESSORY STRUCTURES	REQUIRED	PROPOSED
1) PARKING AND DRIVEWAY ACCESS	NON-PRIMARY STREET: IF NO NON-PRIMARY STREET: MAX. 12 FT. WIDTH AT STREET LOT LINE; MAX ONE DRIVEWAY PER BUILDING (SEE 8.0 FOR PARKING)	24 FT. WIDTH (VARIANCE REQUIRED)
2) ATTACHED GARAGE SETBACK	20 FT. MIN. BEHIND PRIMARY FACADE IN REAR OF BUILDING (SEE 8.0.1.1 FOR GARAGE DOOR DESIGN REGULATIONS)	N/A
ALLOWED GARAGE DOOR LOCATION	REAR OR NON-PRIMARY FACADE (SEE 8.0.1.1 FOR GARAGE DOOR DESIGN REGULATIONS)	N/A
3) SURFACE PARKING LOCATION	REAR YARD, LIMITED SIDE YARD EXCEPT IN MAIN (SEE 14.20.9 FOR ALLOWED LIMITED SIDE YARD PARKING LOT)	PROVIDED
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 14.20.9 FOR ALLOWED LIMITED SIDE YARD PARKING LOT)	PROVIDED
SIDE AND REAR SETBACK	(SEE 14.20.9 FOR ALLOWED LIMITED SIDE YARD PARKING LOT)	PROVIDED
4) ACCESSORY STRUCTURE LOCATION	REAR YARD (SEE 3.1.70 FOR ACCESSORY STRUCTURES)	N/A
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 3.1.70 FOR ACCESSORY STRUCTURES)	N/A
SIDE AND REAR SETBACK	3 FT. MINIMUM (SEE 3.1.70 FOR ACCESSORY STRUCTURES)	N/A
ALLOWED ACCESSORY STRUCTURES	(SEE 3.1.70 FOR ACCESSORY STRUCTURES AND 4.70 FOR ACCESSORY USES)	
OUTBUILDINGS AND GARAGES	ALLOWED	N/A

Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P: 203 330 8700 • F: 203 330 8701

SCALE: 1"=10'
FIELD FILE: 1546-1552 Fairfield Ave_survey.rw5
PROJECT NO. CD1619
DATE: August 30, 2022
CAD FILE: 1546 Fairfield Av_Site Plan.dwg
SHEET 1 OF 1
REV:

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Washington Cabezas, Jr.
WASHINGTON CABEZAS, JR. PEL 70210



SCALE

LEGEND:

- EXISTING WALLS
- NEW WOOD FRAMED WALLS
2x4 INT. PARTITIONS
2x6 BATH WASTE & EXT. WALLS
- NEW WOOD FRAMED 2HR. FIRE RATED DEMISING WALLS
- NEW WOOD FRAMED 1HR. FIRE RATED WALLS



SYM		DOOR SCHED.	
I.D.	SIZE	TYPE	QTY.
1	6068	FULL LIGHT DBL HINGE	3
2	3068	STEEL INSULATED	1
3	3068	1 HR. FIRE RATED	17
4	2668	2 HR. FIRE RATED	2
5	2668	SOLID WOOD	28
6	4068	SLIDING	7
7	6068	SLIDING	1
8	3668	BARN - SLIDER	1

SYM		WINDOW SCHED.	
I.D.	SIZE	TYPE	QTY.
1	36"x54"	DOUBLE HUNG - EGRESS	29
2	24"x36"	DOUBLE HUNG - TEMPERED	7
3	72"x54"	DBL - DOUBLE HUNG - EGRESS	2

ALL WINDOWS TO BE LOW "E" ARGON GAS FILLED WITH A "U" FACTOR OF NOT MORE THAN 0.29, INSULATED WITH THERMAL-BREAK FRAMES.

ALL WINDOWS SHALL BE EXTERIOR CLAD. SUPPLY SCREENS AS REQUIRED. PROVIDE TEMPERED GLASS WINDOWS AT ALL DOORS, STAIRS, AND TUB/SHOWER LOCATIONS. PROVIDE EGRESS WINDOWS AT ALL BEDROOM LOCATIONS.

THIS IS A PRELIMINARY WINDOW SCHEDULE. NORTH ARROW DESIGN & CONTRACTING LLC DOES NOT TAKE ANY RESPONSIBILITY FOR SIZES, TYPES, LOCATIONS, FRAMES, ETC. UNTIL ACCURATE DETAILS HAVE BEEN SUBMITTED FOR REVIEW. VERIFICATION OF EXACT WINDOW SIZES, ROUGH OPENINGS, ETC. RESTS SOLELY WITH THE PROPERTY OWNER.

ALL WINDOWS FACING THE WATER TO HAVE HURRICANE SHUTTERS FOR PROTECTION FROM FROM WINDBOURNE DEBRI.

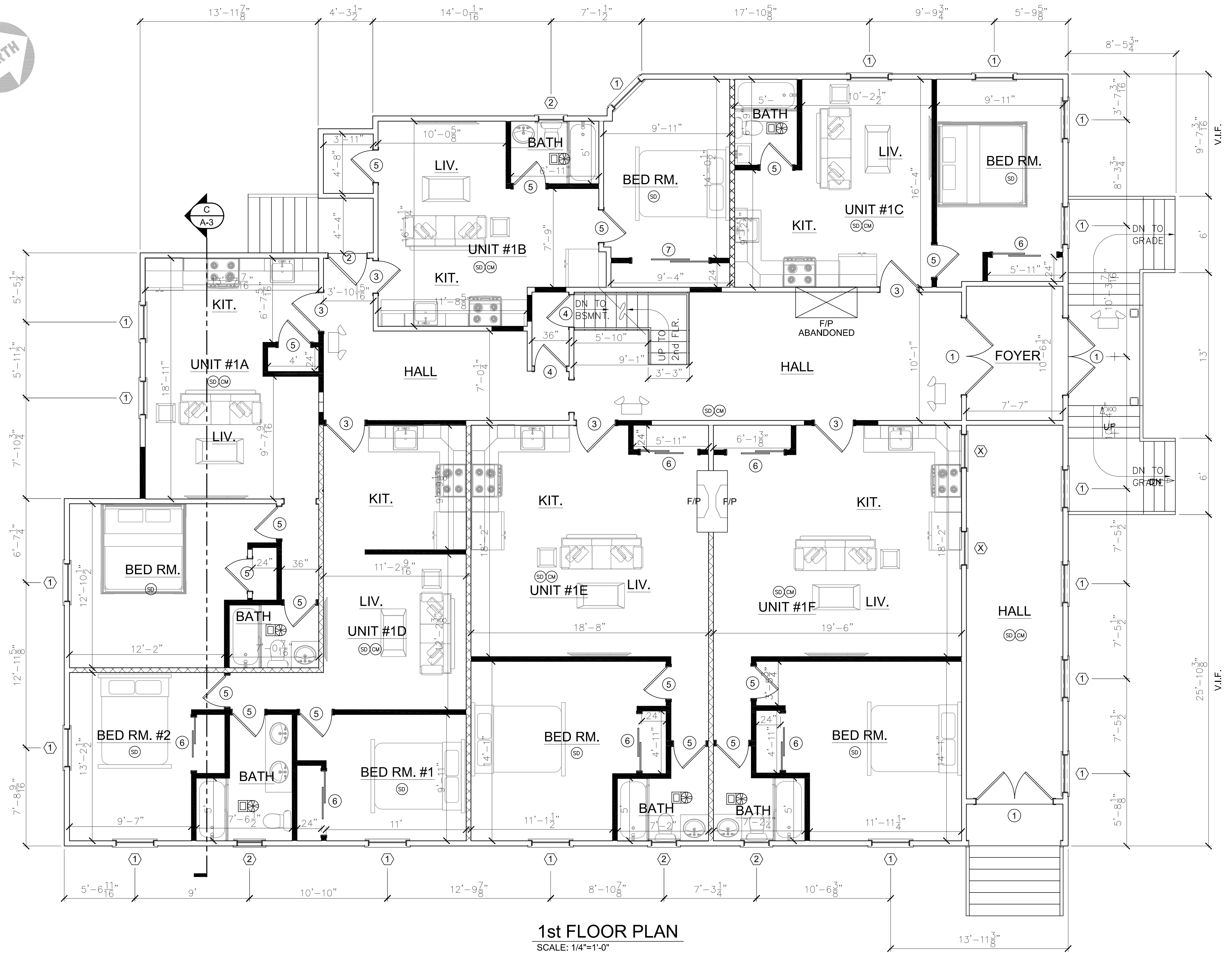
BED ROOMS TO BE EQUIPED WITH ARC-FAULT CIRCUIT INTERRUPT (AFCI) RECEPTACLES

BATH ROOMS TO BE EQUIPED WITH GROUND-FAULT CIRCUIT INTERRUPT (GFCI) RECEPTACLES

AREAS WITHIN 36" OF AN OPEN WATER SOURCE TO BE EQUIPED WITH GROUND-FAULT CIRCUIT INTERRUPT (GFCI) RECEPTACLES

- LIGHT AND EXHAUST FAN (2 SWITCH)
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

"DUAL HEAD EMERGENCY LIGHT - "LIGHTOLIER" # E112NH12W



1st FLOOR PLAN
SCALE: 1/4"=1'-0"

NO.	DATE	DESCRIPTION
#1	7/18/22	ADDED ROOF TO LEFT SIDE OF BLDG. AND REVISED FRONT ENTRY STAIRS.

1st FLOOR PLAN

16 UNIT APARTMENT FIT-UP
1546 FAIRFIELD AVE,
BRIDGEPORT, CT

NORTH ARROW DESIGN & CONTRACTING LLC
25 DENTON PLACE, STRATFORD, CT 06614
203-377-0190
WWW.NORTHARROWDC.COM

DATE:
5/9/22

SCALE:
1/4"=1'-0"

SHEET:
A-1

LEGEND:

- EXISTING WALLS
- NEW WOOD FRAMED WALLS
2x4 INT. PARTITIONS
2x6 BATH WASTE & EXT. WALLS
- NEW WOOD FRAMED 2HR. FIRE RATED DEMISING WALLS
- NEW WOOD FRAMED 1HR. FIRE RATED WALLS

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I.D.	SIZE	TYPE	QTY.
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ALL WINDOWS FACING THE WATER TO HAVE HURRICANE SHUTTERS FOR PROTECTION FROM WINDBOURNE DEBRI.

BED ROOMS TO BE EQUIPPED WITH ARC-FAULT CIRCUIT INTERRUPT (AFCI) RECEPTACLES

BATH ROOMS TO BE EQUIPPED WITH GROUND-FAULT CIRCUIT INTERRUPT (GFCI) RECEPTACLES

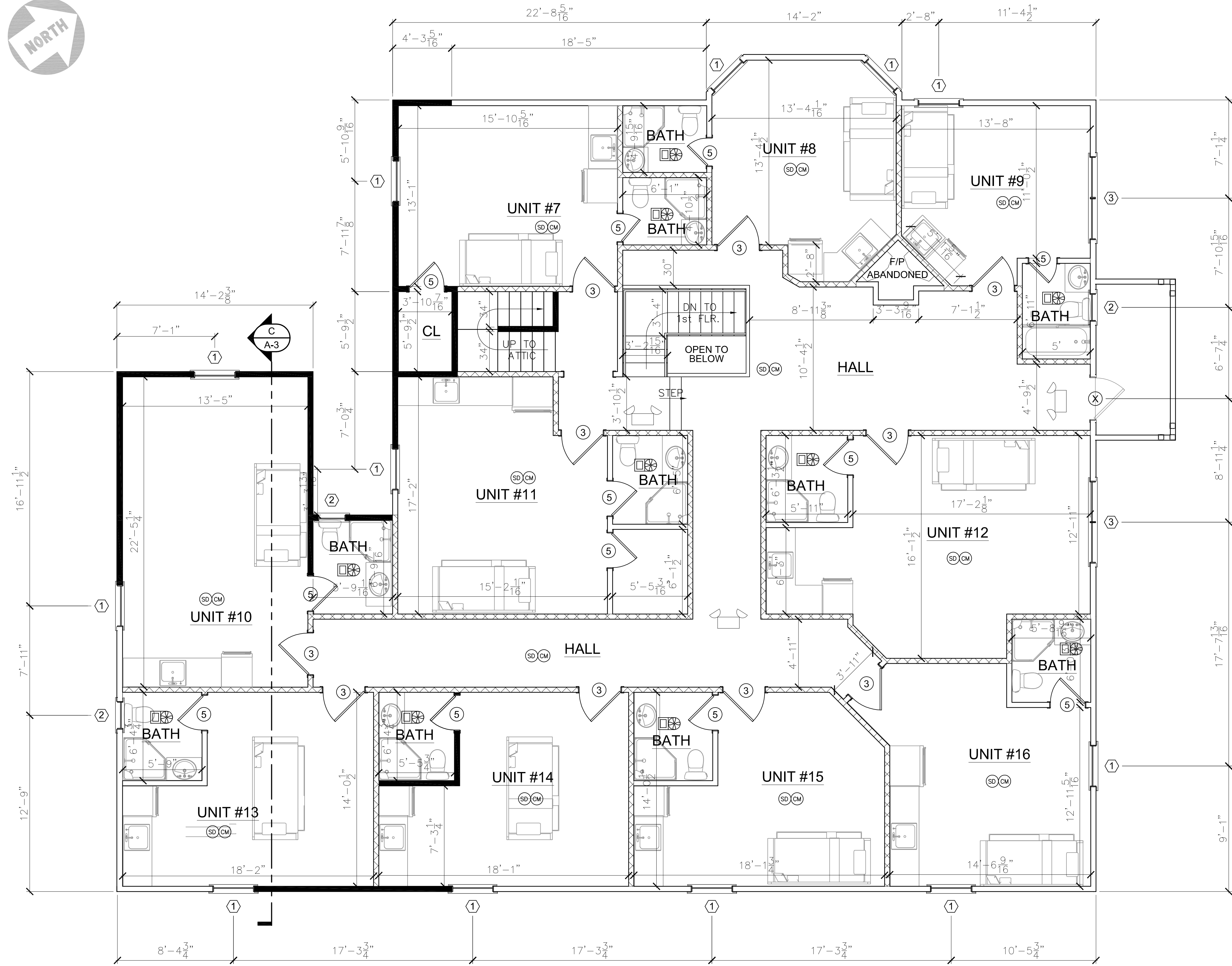
AREAS WITHIN 36" OF AN OPEN WATER SOURCE TO BE EQUIPPED WITH GROUND-FAULT CIRCUIT INTERRUPT (GFCI) RECEPTACLES

LIGHT AND EXHAUST FAN (2 SWITCH)

SMOKE DETECTOR

CARBON MONOXIDE DETECTOR

"DUAL HEAD EMERGENCY LIGHT - "LIGHTOLIER" # E112NH12W



2nd FLOOR PLAN
SCALE: 1/4"=1'-0"

NO.	DATE	DESCRIPTION
#1	7/18/22	ADDED ROOF TO LEFT SIDE OF BLDG. AND REVISED FRONT ENTRY STAIRS.

2nd FLOOR PLAN

16 UNIT APARTMENT FIT-UP
1546 FAIRFIELD AVE,
BRIDGEPORT, CT

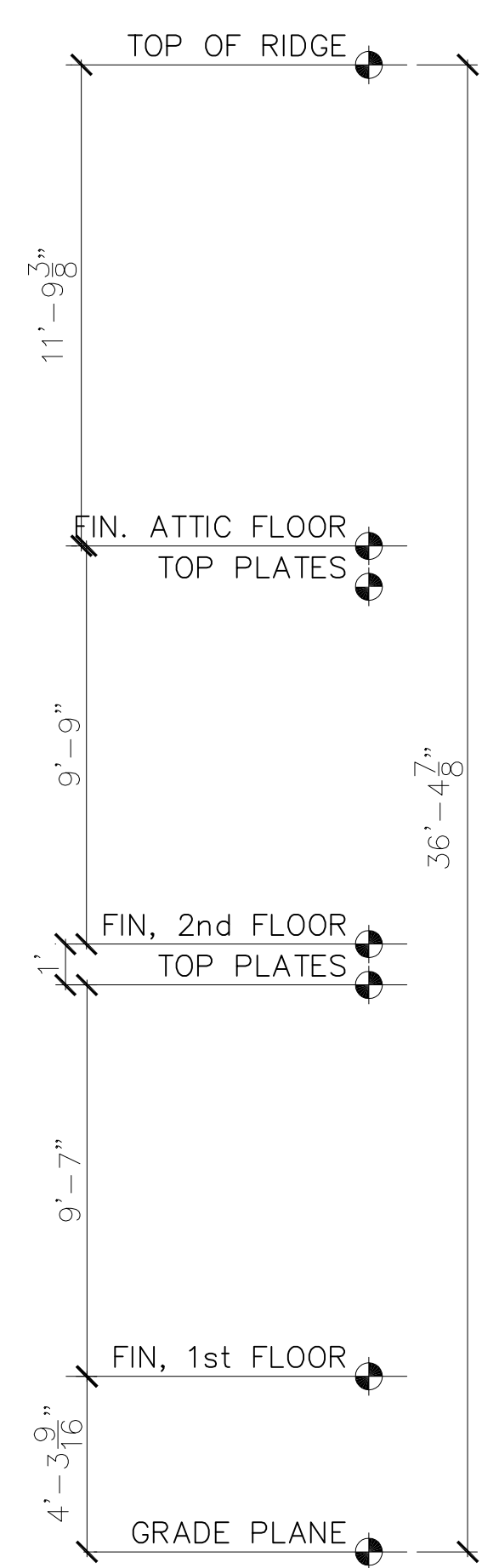
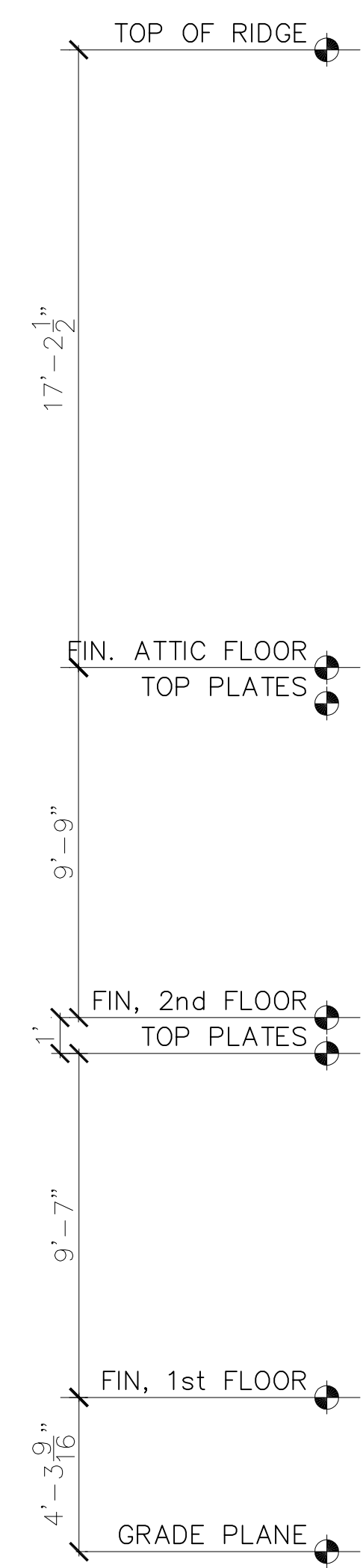
**NORTH ARROW
DESIGN & CONTRACTING LLC**
25 DENTON PLACE, STRATFORD, CT 06614
203-377-0190
WWW.NORTHARROWDC.COM

DATE:
5/9/22

SCALE:
1/4"=1'-0"

SHEET:
A-2

FRONT ELEVATION
SCALE: 1/8"=1'-0"



RIGHT ELEVATION
SCALE: 1/8"=1'-0"

NO.	DATE	DESCRIPTION	REVISION
#1	7/18/22	ADDED ROOF TO LEFT SIDE OF BLDG. AND REVISED FRONT ENTRY STAIRS.	

FRONT & RIGHT ELEVATIONS

16 UNIT APARTMENT FIT-UP
1546 FAIRFIELD AVE,
BRIDGEPORT, CT

NORTH ARROW DESIGN & CONTRACTING LLC
25 DENTON PLACE, STRATFORD, CT 06614
203-377-0190
WWW.NORTHARROWCT.COM

DATE:
5/9/22

SCALE:
1/4"=1'-0"

SHEET:
A-4.0



REAR ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

SCALE: 1/8"=1'-0"

NO.	DATE	DESCRIPTION	REVISION
#1	7/18/22	ADDED ROOF TO LEFT SIDE OF BLDG. AND REVISED FRONT ENTRY STAIRS.	

**ELEFT & REAR
LEVATIONS**

16 UNIT APARTMENT FIT-UP
1546 FAIRFIELD AVE,
BRIDGEPORT, CT

**NORTH ARROW
DESIGN & CONTRACTING LLC**
25 DENTON PLACE, STRATFORD, CT 06614
203-377-0190
WWW.NORTHARROWPC.COM

DATE:

5/9/22

SCALE:

1/4"=1'-0"

SHEET:

A-4.1



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

[X] Variance [] Appeal from Zoning Officer [] Extension of Time Permit / Modification of Plan of Development [] Request for Re-hearing [] Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

4315 MAIN ST (Number) EAST (Street) Zone 225 - COM GARAGE (Zone Classification) On the SOUTH side of the street about 5' feet EAST from OF MAIN ST. (Street) Block: B1 / Lot: 23156 Dimension of Lot in Question 50 X 100 (Specify)

1. NAME OF APPLICANT / BUSINESS BRAKECENTERS OF AMERICA AT BRIDGEPORT, INC (Print) 2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) OWNER 3. HAS A PREVIOUS APPLICATION BEEN FILED? NO IF SO, GIVE DATE OF HEARING 4. DESCRIBE PROPOSED DEVELOPMENT USED CAR DEALERS LICENSE

5. THIS APPLICATION RELATES TO: Check all that Apply [] Setback [] Coverage [] Landscaping [] Lot Area and Width [] Floor Area [] Height [] Parking [] Extension or Enlargement of Non-Conforming Use and/or Building [] Coastal Area Management Approval [] Liquor [] Use [X] Other: USED CAR DEALER LICENCE

6. USE TO BE MADE OF PROPERTY CLASSIC CAR DEALERSHIP / BRAKE STOP

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? NEED TO EXPAND OFFERINGS BEYOND BRAKES TO MAKE ENDS MEET.

APPLICANT [Signature] WILLIS E. PELLETIER, JR (Print) DATE 7/21/22

If signed by agent, state capacity (lawyer, builder, etc) WILLIS PELLETIER 1 BRAXE2USAG.AOL.COM (Email)

Mailing Address 35 OLD BATTERY RD. BRIDGEPORT, CT 06605 (Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT [Signature] WILLIS E. PELLETIER JR (Print)

Subscribe & Sworn to before me this ___ day of ___ 20___ Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION All questions must be answered in detail (use separate sheet if necessary). The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application. NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.

Proposed Use of Property

4315 Main St. Bridgeport, CT 06606

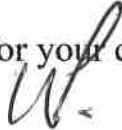
Brake Centers of America has operated at this location for fifteen years (And in Bridgeport for thirty three years). The Business is owned and operated by Willis E. Pelletier, Jr. And wife Maureen C, Pelletier, both lifelong Bridgeport residents.

The business is a true brake specialty shop. Customers call to make a "While you wait" appointment and are scheduled in. Because of this we never have excess cars on our property. There are no cars left on our lot at night, other than on the occasion where a customer drops off a vehicle at night for next day service.

Most repairs are made in an hours time.

Our son Kevin Pelletier, Vice President accesses classic cars to sell. We are looking to accommodate this expansion of the business by obtaining a CT State Used Car License. We will have up to five vehicles for sale at a time. To achieve this we need to add a service bay to the building.

Thank you for your consideration.



Willis E. Pelletier, Jr.
35 Old Battery Rd. Bridgeport, CT 06605
Cell: 203-218-8273
Email: BrakesUSA@aol.com

INSTRUCTIONS:

- SECTION 1&2 Must be completed by the APPLICANT
- SECTION 3 Must be completed and signed by the local authorities of the city or town in which the location is proposed
- Submit the completed application with required attachments by mail to: DEPARTMENT OF MOTOR VEHICLES, DEALERS AND REPAIRERS UNIT Room 102, 60 STATE ST, WETHERSFIELD, CT 06161-2011

SECTION 1 BUSINESS INFORMATION

PLEASE CHECK ONE BOX ONLY:
TYPE OF LICENSE:

NEW DEALER USED DEALER GENERAL REPAIRER LIMITED REPAIRER LEASING MANUFACTURER

PLEASE CHECK ONE BOX ONLY:
TRANSACTION TYPE:

NEW LICENSE CHANGE MEMBER ADD PROPERTY CHANGE LOCATION CHANGE OF BUSINESS NAME (DBA, LLC, ETC.)

Name Under which Business is to be Conducted (Please include DBA if applicable):

BRAKE CENTERS OF AMERICA AT BRIDGEPORT, INC

Existing License number (if applicable):

R7479

Full Address of Location for Which License is Requested:

4315 MAIN ST. BRIDGEPORT, CT 06606

Business License # from Secretary of State:

Mailing Address, if Different From Above:

35 OLD BATTERY RD. BRIDGEPORT, CT 06605

FEB #:

If Incorporated or LLC, Under the Laws of which State:

CT

E Mail Address

BRAKESUSA@AOL.COM

The Business Holds a Factory Franchise to Sell the Following Make(s) of Vehicle(s) at The Above Location for (New, Used, Car Dealers Only):

List all Makes of Vehicles Manufactured by the Applicant which are offered in the State of Connecticut. (Manufacturers Only)

If applicant firm is owned by individual or partnership, enter data below for all owners. If owned by a corporation, enter data for officers. If LLC, Enter data for members.

NAME	TITLE	HOME ADDRESS	PHONE #	SOCIAL SECURITY #	DATE OF BIRTH
WILLIS G. PELLETIER	PRES	35 OLD BATTERY RD. BR	203-218-8273	045 50 9520	7/7/57
MAUREEN PELLETIER	SEC	"	203-218-8272	047-60-8280	4/8/59
KEVIN PELLETIER	V.P.	"	203-260-1803	043 02 5310	4/23/00

New/Used Car Dealers and Manufacturers only (MUST CHECK ONE)

I am applying for a Dealer's license and do not hold, or intend to apply for a Manufacturer's license

I am applying for a Manufacturer's license and do not hold, or intend to apply for a Dealer's license

SECTION 2 TO BE COMPLETED BY LEASING COMPANIES ONLY

Do you lease vehicles for periods of 30 days or more?

YES NO

Leasing company's normal business hours

CONTACT PERSON FOR REGISTRATION RENEWAL ISSUES

Name WILLIS PELLETIER

Phone # 203-218-8273

Fax #

BRAKESUSA@AOL.COM
Email

CERTIFICATION (To be signed by Owner, Partner, Managing Member or Authorized Officer in presence of notary)

Pursuant to CGS 53a-157b, I declare that the statements made by me in this application or in any documents attached hereto are true and complete to the best of my knowledge and belief.

Signed (Owner, Partner, Managing Member or Officer)

X *Willis*

Title

PRESIDENT

Date

3/15/22

Subscribed and sworn to before me:

Place Sworn (Town/City and State of)
Shelton, CT

Signed (Notary Public, Justice of the Peace, or Commissioner of Superior Court)

K. Mary Terry

Date Commission Expires

8/31/22

SECTION 3 CERTIFICATION OF LOCAL APPROVAL FOR PROPOSED LOCATION - NOT APPLICABLE FOR LEASING OR MANUFACTURERS

Pursuant to CGS 14-54, local approval is hereby granted for the above named firm or individuals to conduct a business of the type checked above at the location specified in this application.

Are there any restrictions placed on the licensee's use of property? YES NO (If "YES," a copy of the restrictions MUST be attached to this application.)

Signature of Authorized Zoning Official

Printed Name of Authorized Zoning Official

Title of Zoning Official

Date

X

Signatures of Building Officials and Fire Marshal indicate compliance with applicable laws and regulations (Required for New and Used Dealers, General and Limited Repairer ONLY)

Signature of Building Official

Printed Name of Building Official

Date

X

Signature of Local Fire Marshal

Printed Name of Local Fire Marshal

Date

X

PROPERTY OWNERS WITHIN 100'

Application of Willis E. Pelletier, Jr.
Brake Centers of America
4315 Main St.
Bridgeport, CT 06606

KFC 4301 Main St.
Stern Leo and H. Stern Reingold Etal.
MBLU 81/2314/16
899 Skokie Blvd. Suite 500
Northbrook IL 60062

Merritt Canteen
Merritt Canteen Realty
4355 Main St. Bridgeport, CT 06606
Vol 6084, Page 193

Merritt Car Wash
Backwash Realty
30 Perronette Dr Bridgeport, CT 06606
Vol 10456, Page 165

CAR WASH
1240 S.F. BUILDING
4130 SF LOT

275
WASTE
OIL

OH
DOOR

BAS

25

16

BAY
2

LIFT

16

HEAT
OIL

AIR
COMPRESSOR

25

BAS

30

BAY
1

STOCK
ROOM

16

BR

LIFT

28

14

14

AOF

OFFICE

12

12

12

WAIT ROOM

14

16

OH
DOOR

SIGN

PARRIENETTE ST.

MERIT CANTEN

KFC

1215 MAIN ST

