



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

22-96 Williston Street Zone RX-2
(Number) (Street) (Zone Classification)

On the South side of the street about 105 feet East from
(North, South, East, West) (North, South, East, West)

Seaview Avenue Block : 43/748 Lot: 30
(Street)

Dimension of Lot in Question 378.94' x 122.12' x 349.95' x 34.41' x 28.50' x 94.27'
(Specify)

1. NAME OF APPLICANT / BUSINESS Madl Coleman Holdings Company LLC

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
(Print)

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING N/A
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT
Proposed construction of a 60 unit multi-family residential apartment building on a vacant lot

5. THIS APPLICATION RELATES TO: Check all that Apply
 Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: _____

6. USE TO BE MADE OF PROPERTY Multi-family residential apartment building containing 60 dwelling units

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)?
See attached

APPLICANT [Signature] / _____ DATE 10/6/2022
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____ / Chris@russo-rizio.com
(Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20_____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

_____ FEE RECEIVED: _____ DATE: _____, 20____ Clerk _____

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Storia L. Miller*
storia@russorizio.com

Anthony J. Novella*
novella@russorizio.com



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Fairfield, CT 06824

Tel 203-254-7579 or 203-255-9928 Fax 203-576-6626

5 Brook St., Suite 2B
Darien, CT 06820
Tel 203-309-5500

299 Broadway, Suite 708
New York, NY 10007
Tel 646-357-3527

110 Merchants Row, Suite 3
Rutland, VT 05702
Tel 802-251-6556

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* Also Admitted in I
* Also Admitted in V
+ Of Counsel

October 6, 2022

Paul Boucher
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for Variances – 22-96 Williston Street

Dear Mr. Boucher:

Please accept, on behalf of my clients, Madl Coleman Holdings Company, LLC (the “Petitioner”), the following narrative and enclosed application materials as part of a Petition for variances of the Bridgeport Zoning Regulations (the “Regulations”) for the properties located at 22-96 Williston Street (the “Site”) to permit a multi-family residential apartment building to contain Sixty (60) dwelling units on the Site, which is currently vacant, with associated Site improvements in the RX-2 Zone.

Variances Requested

1. Variance of Section 3.50.4 of the Regulations to reduce the minimum primary street wall from Eighty percent (80%) to Seventy-three percent (73%); and
2. Variance of Section 3.50.5 of the Regulations to increase the driveway access from Twenty-two feet wide (22’ W) to Twenty-four feet wide (24’ W) and permit Two (2) driveway access points for a single building.

Narrative

The Petitioner requests variances in order to construct a four-story multi-family residential apartment building to contain Sixty (60) dwelling units on the Site. The Petitioner is permitted as of right to build a multi-family residential apartment building on the Site in

the RX-2 Zone. The Site is located in a neighborhood with a mix of multi-family dwellings, including on either side of the proposed building. The Site is bordered by the NX-2 Zone to the south and on its sides and the Industrial I Zone to its north across Williston Street. It is located just north of I-95 and just south of the railroad tracks. The Site is a shallow, but extremely wide lot. It has 378.94' of frontage along Williston Street, but only approximately 122' in depth. The size of the Site dwarves many of its abutting properties.

The Petitioner proposes to construct a single four-story multi-family residential dwelling on the Site containing Sixty (60) dwelling units. The Site will be accessed by a two-way driveway in Two (2) locations along Williston Street. Said access will lead to a parking area containing Fifty (50) off-street parking spaces. There are no parking requirements under the Regulations in the RX-2 Zone.

The proposed four-story building will contain Sixty (60) residential dwelling units – Forty-four (44) one-bedroom, Twelve (12) two-bedroom and Four (4) three-bedroom dwelling units. Each unit will contain an open-concept kitchen, dining and living area, a full bath and bedroom with walk-in closet and a washer/dryer. The two-bedroom and three-bedroom units will feature an additional full bath. The upper floors will be accessed by Two (2) elevators and Three (3) stairwells. A basement floor will also contain storage lockers for residents to utilize.

The proposed design of the building conforms to the urban design guidelines. Transparent stairwells and significant window area provide the level of transparency desired by the Regulations. The proposed parking area is located to the side and rear of the proposed building, so the building is the focus of the streetscape as contemplated by the Regulations. Its entrance fronts the primary street. The street wall occupies Seventy-three percent (73%) of the street frontage on Williston Street. The building does not occupy more of the street frontage due to the necessity of Two (2) driveway access point to service such a long Site. The Site will contain extensive landscaping.

Hardship

Granting the Petitioner the above-stated variance will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations (the "Regulations") would cause a unique hardship to the Applicant as the Site is an exceptionally wide, but shallow lot. This shape causes the building to occupy a significant length of the street frontage. The site has 378.94' of frontage along Williston Street. It is a tremendous length for the building to occupy and it really demands Two (2) driveway access points. If the Site only had One (1) driveway access, it would have poor access for fire and emergency vehicles. These vehicles would have to turn around on-Site, but due to the shallowness of the Site, it would make such a driveway design difficult. For these reasons, the Petitioner proposes full access driveways at either end of the Site. If this driveway was converted to a one-way drive, the Petitioner argues it would create traffic issues. It would force vehicles parked on one side of the Site to drive all the way around the building to the other side. With a curb cut within feet of these parked vehicles, even though it would be

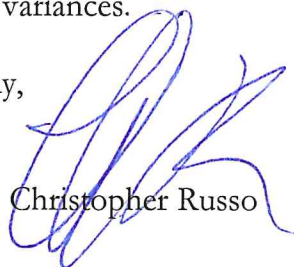
going a wrong way, the Petitioner believes many residents would defy the one-way condition and exit to the closest curb cut.

The proposed driveway design still aligns with the intent of the Regulations. The Site used to consist of Eight (8) separate building lots. Such a condition would yield Eight (8) separate driveways. By combining these lots, the Petition only proposes Two (2) curb cuts that are set on complete opposite ends of the Site. Therefore, the reality is the Site proposes a minimal number of curb cuts under the Regulations. These Two (2) curb cuts, which should be full access driveways, not only necessitate the variance of Sec. 3.50.5 of the Regulations, but also necessitate the variance for the primary street wall. The building is exceptionally long and occupies over 275' of the street frontage. It achieves the intent of the Regulations simply due to its sheer length. But for the driveways, the Petition would be able to satisfy the Regulations. The proposed building meets the remainder of design guidelines, including transparency.

The Petition will be a significant improvement to the neighborhood and will have no detrimental impact on property values. The Site has been significantly underutilized in a highly visible area and affords the opportunity to bring new construction housing to the Seaview Avenue neighborhood. The proposed multi-family residential dwelling use complies with the RX-2 Regulations.

For the reasons stated above, the Applicant respectfully requests approval of the Petition for the above-stated variances.

Sincerely,



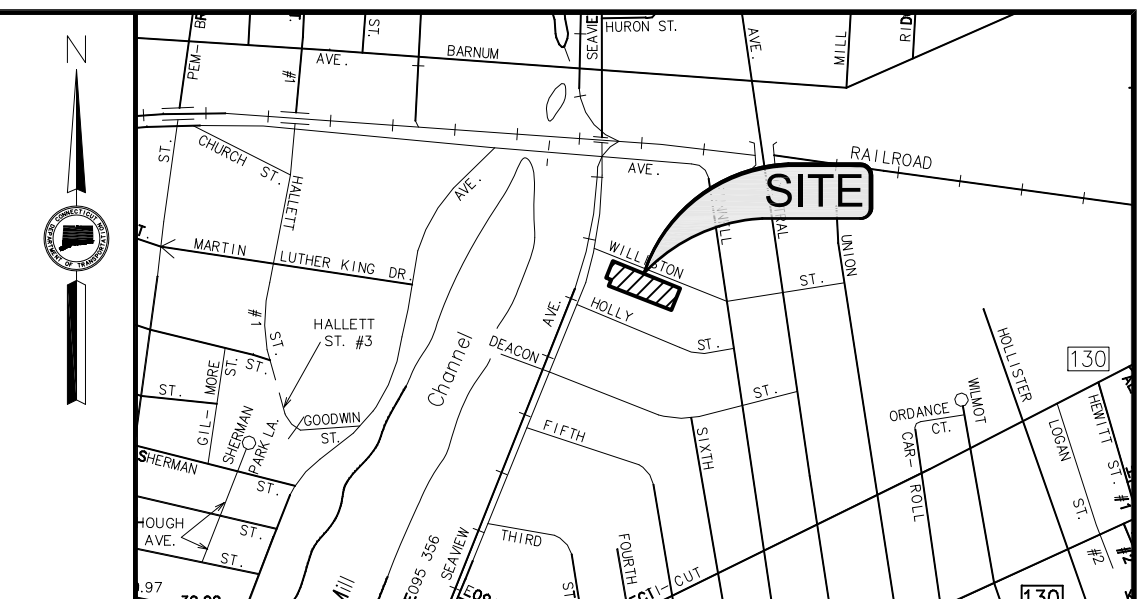
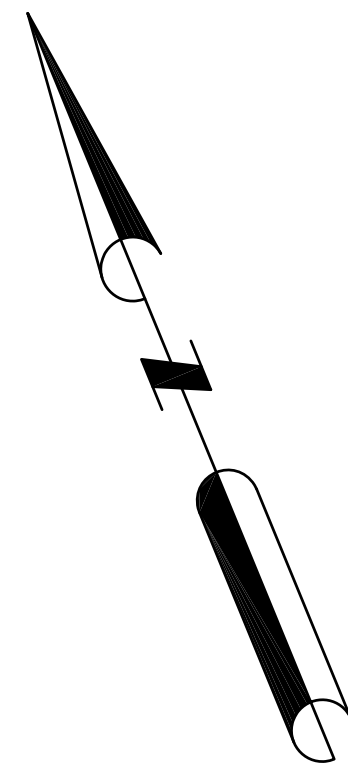
Christopher Russo

22 - 96 Williston St Neighbors List

LOCATION	OWNER	OWNER ADDRESS	CITY	STATE	ZIP
195 HOLLY ST	TELLOS BRIDGEPORT LLC	195 HOLLY STREET	BRIDGEPORT	CT	06607
189 HOLLY ST	KHOUNPHIXAY KALA ET AL	180 HOLLY ST	BRIDGEPORT	CT	06607
177 HOLLY ST	ABRAHAM JOSE & MARIA	177 HOLLY ST	BRIDGEPORT	CT	06607
169 HOLLY ST	CABNESS CAMAR & APRIL BENNETT	169 HOLLY ST	BRIDGEPORT	CT	06607
163 HOLLY ST	SUAREZ MARIA L	163 HOLLY ST	BRIDGEPORT	CT	06604
157 HOLLY ST	WOODSON ROSHELLEY ET ALS	157 HOLLY ST	BRIDGEPORT	CT	06607
149 HOLLY ST	HABITAT FOR HUMANITY OF FFLD INC	1542 BARNUM AVE	BRIDGEPORT	CT	06610
1492 SEAVIEW AV #1496	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
141 HOLLY ST #143	HOLMES OLLIE	141-143 HOLLY ST	BRIDGEPORT	CT	06607
115 HOLLY ST #117	PANAGIOTIDIS IOANNIS & FOTINI	115-117 HOLLY ST	BRIDGEPORT	CT	06607
102 WILLISTON ST #104	HOUSING AUTHORITY CITY OF BPT	150 HIGHLAND AVE	BRIDGEPORT	CT	06604
1506 SEAVIEW AV #1508	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
105 HOLLY ST #107	SANCHEZ ISMAEL	105 HOLLY ST #107	BRIDGEPORT	CT	06607
22 WILLISTON ST #24	MADL COLEMAN HOLDINGS COMPANY LLC	22 WILLISTON ST #24	BRIDGEPORT	CT	06607-1049
1512 SEAVIEW AV #1514	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
1520 SEAVIEW AV	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
397 BUNNELL ST #403	QUEENS GRANT LP	964 CRESCENT AVE	BRIDGEPORT	CT	06607
105 WILLISTON ST	QUEENS GRANT LIMITED PARTNERSHIP	964 CRESCENT AVE	BRIDGEPORT	CT	06607
1524 SEAVIEW AV #1532	SEAVIEW VENTURE LLC	570 STATE ST	BRIDGEPORT	CT	06604
1534 SEAVIEW AV #1542	SEAVIEW VENTURE LLC	570 STATE ST	BRIDGEPORT	CT	06604
91 WILLISTON ST #93	QUEENS GRANT LIMITED PARTNERSHIP	570 STATE ST	BRIDGEPORT	CT	06607
81 WILLISTON ST	QUEENS GRANT LIMITED PARTNERSHIP	964 CRESCENT AVE	BRIDGEPORT	CT	06607
73 WILLISTON ST	QUEENS GRANT LIMITED PARTNERSHIP	964 CRESCENT AVE	BRIDGEPORT	CT	06607
1554 SEAVIEW AV #1558	QUEENS GRANT LIMITED PARTNERSHIP	964 CRESCENT AVE	BRIDGEPORT	CT	06607
63 WILLISTON ST	CLASSIC CRESCENT LLC	240 WHITE PLAINS RD	TRUMBULL	CT	06611
1564 SEAVIEW AV	938 CRESCENT AVENUE LLC	938 CRESCENT AVENUE	BRIDGEPORT	CT	06607
	BRIDGEPORT CITY OF	45 LYON TER	BRIDGEPORT	CT	06604

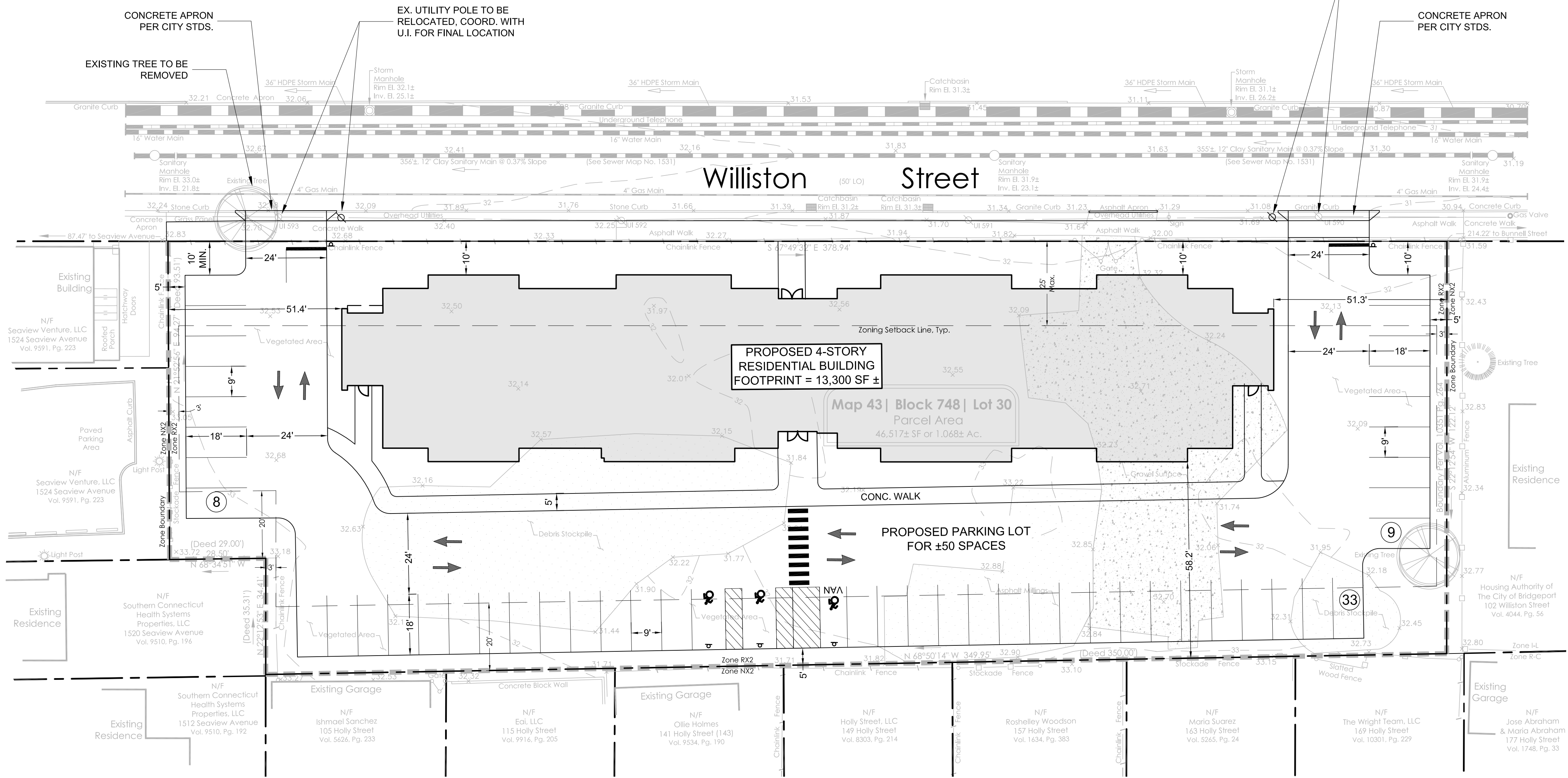
GENERAL NOTES

- ALL UTILITY AND SUB-SURFACE INFORMATION SHOWN HEREON IS TO BE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. THE CONTRACTOR SHALL MAKE INVESTIGATIONS IN THE FIELD TO VERIFY ALL EXACT UTILITY LOCATIONS BEFORE CONSTRUCTION. CALL TELEPHONE # 1-800-922-4455 "CALL BEFORE YOU DIG" A MINIMUM OF 2 DAYS BEFORE BEGINNING ANY EXCAVATION AT THE SITE.
- SITE PLAN BASED ON MAP ENTITLED "EXISTING CONDITIONS SURVEY AND TOPOGRAPHIC SURVEY, PREPARED FOR MADL COLEMAN HOLDINGS COMPANY, LLC 22 WILLISTON STREET, BRIDGEPORT, CONNECTICUT", DATED JUNE 28, 2021 AND PREPARED BY CABEZAS-DEANGELIS, LLC. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
- THE SITE LIES WITHIN FEMA FLOOD ZONE X (UNSHADED) AS NOTED ON FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 441 OF 626 BRIDGEPORT, CITY OF, NUMBER 090002, PANEL 0441 SUFFIX G. MAP NUMBER 09001C0441G, MAP REVISED JULY 8, 2013.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION OPERATIONS WITHIN AND OUTSIDE OF THE LIMITS OF CONSTRUCTION AS SHOWN ON THE PLANS.
- ALL DISTURBED AREAS WITHIN OR OUTSIDE THE LIMITS OF CONSTRUCTION NOT COVERED BY BUILDINGS, PAVEMENT, PLANTING BEDS OR OTHER IMPROVEMENTS ARE TO BE TOP SOILED (4" DEPTH MIN.) AND SEEDED PER DIRECTION OF THE OWNER.
- ANY DIMENSION LINE SHOWN FROM PROPERTY LINE, FACE OF CURB OR BUILDING IS PERPENDICULAR UNLESS OTHERWISE SHOWN.
- PROVIDE, ERECT AND MAINTAIN BARRICADES, WARNING LIGHTS, SIGNS, ETC., AS REQUIRED FOR SAFETY OF PERSONNEL, PUBLIC AND OCCUPANTS OF THE FACILITIES AFFECTED BY THE CONTRACTOR'S OPERATIONS. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESS AND EGRESS PATTERNS AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND IN ACCORDANCE WITH CONDOT STANDARDS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CONDOT FORM 816, LATEST EDITION, AS AMENDED, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, AND SUPERVISION TO CONSTRUCT THE PROPOSED IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING EXCAVATION, PAVEMENT REMOVAL, UNSUITABLE MATERIAL REMOVAL AND OFF-SITE DISPOSAL THEREOF, INSTALLATION OF BASE MATERIAL, PAVEMENTS, FILL MATERIAL, CURBING, DRAINAGE STRUCTURES, TOPSOIL AND SEED.
- THE CONTRACTOR SHALL CAREFULLY SAWCUT EXISTING CURBS AND PAVEMENTS PRIOR TO REMOVAL. ALL EXISTING CURBING, PAVEMENTS AND OTHER AMENITIES THAT MAY INTERFERE WITH THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.



LOCATION MAP
SCALE: 1" = 1,000'

RX-2 Zone Development Standards			
GENERAL BUILDING	REQUIRED	EXISTING	PROPOSED
3.50.4 BUILDING LOCATION (FIGURE 3.50-B)			
1. LOT WIDTH	N/A	N/A	N/A
2. PRIMARY STREETWALL	80% MIN.	N/A	±73%
3. PRIMARY STREET BUILD-TO-ZONE	0 FT. MIN. / 25 FT. MAX.	N/A	10 FT.
4. STOOP, BAY ENCROACHMENT	N/A	N/A	N/A
5. NON-PRIMARY STREET BUILD-TO-ZONE	0 FT. MIN. / 25 FT. MAX.	N/A	N/A
6. SIDE SETBACK	3 FT. MIN.	N/A	51.3 FT.
7. REAR SETBACK	12 FT. MIN.	N/A	N/A
8. SITE COVERAGE	20 FT. MIN.	N/A	58.2 FT.
9. SIDE COVERAGE	85% MAX.	0% (VACANT LOT)	±47%
3.50.5 PARKING & ACCESSORY STRUCTURES (FIGURE 3.50-C)			
1. PARKING & DRIVEWAY ACCESS IF NO NON-PRIMARY STREET ALLOWABLE DRIVEWAY ACCESS POINTS	PRIMARY STREET 22'W MAX. @ SIDEWALK 1 PER BUILDING	N/A (VACANT LOT)	24' W 2 PROPOSED
2. ATTACHED GARAGE SETBACK	20' MIN. BEHIND PRIMARY FACADE IN REAR OF BUILDING	N/A	N/A
ALLOWED GARAGE DOOR LOCATION	REAR, INTERIOR SIDE AND SIDE FACADES	N/A	N/A
3. SURFACE PARKING LOCATION	REAR YARD, LIMITED SIDE YARD	N/A (VACANT LOT)	PARKING @ REAR
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPAL BUILDING	N/A	COMPLIANT
SIDE AND REAR SETBACK	3 FT. MIN.	N/A	5 FT.
4. ACCESSORY STRUCTURE LOCATION	REAR YARD	N/A	N/A
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPAL BUILDING	N/A	N/A
SIDE AND REAR SETBACK	3 FT. MIN.	N/A	N/A
3.50.6 HEIGHT (FIGURE 3.50-D)			
1. HEIGHT	2 STORES MIN. 5.5 STORES MAX.	N/A (VACANT LOT)	4 STORES
ADDITIONAL HIGH-RISE OR STEPPED-BACK HEIGHT	ADD'L STORES ALLOWED WITH S.P.	N/A	N/A
2. GROUND STORY HEIGHT	10 FT. MIN. / 18 FT. MAX.	N/A	10.0 FT.
3. ALL OTHER STORES HEIGHT	10 FT. MIN. / 14 FT. MAX.	N/A	10.0 FT.
3.50.7 ROOFS (FIGURE 3.50-D)			
4. ROOF TYPES	FLAT, PARAPET	N/A	FLAT
5. TOWER	NOT ALLOWED	N/A	N/A



- LEGEND**
- PROPERTY LINE
 - SETBACK LINE
 - ZONING BOUNDARY
 - FENCE
 - RETAINING WALL
 - LIGHT POLE
 - ⊕ SIGN
 - Ⓟ PARKING COUNT
 - BCLC BITUMINOUS CONCRETE LIP CURB
 - CC CONCRETE CURB
 - SYL SINGLE YELLOW LINE

FOR CITY PERMITTING
(NOT FOR CONSTRUCTION)

GRAPHIC SCALE

Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P: 203 330 8700 F: 203 330 8701

SEAL:

CHRISTIAN A. DEANGELIS, PE

REVISIONS:

No.	DESC.	DATE

NEW 4-STORY APARTMENT BUILDING & RELATED SITE IMPROVEMENTS

- PROPERTY LOCATED AT -
22-24, 26-32, 40-46, 54, 62-64, 72, 82, 94-96
WILLISTON STREET
BRIDGEPORT, CT
- PREPARED FOR -
MADL COLEMAN HOLDING CO., LLC
1732 RESERVOIR AVENUE, BRIDGEPORT, CT 06606

SHEET TITLE:
SITE PLAN

PROJ. No.: **2021-07**

DATE: **22 SEPTEMBER 2022**

DWG. No.: **C-1**

SHEET 1 OF 1
SCALE: 1" = 20'

DESIGNED: CAD	DRAWN BY: CAD	CHECKED: CAD
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Williston Town Homes

108 Williston Street
Bridgeport, Ct 06607

SHEET LIST

Sheet List	
Sheet Number	Sheet Name
INFORMATION	
G000	Cover Page
G001	Renderings
CIVIL	
C1	Site Plan
SITE	
SL100	Site Lighting Plan
ARCHITECTURAL	
A101	Typical Ground Floor Plan
A102	2nd & 3rd Floor Plans
A103	4th & Roof Floor Plans
A201	Williston Street Exterior Elevation
A202	Exterior Elevations
A500	Typical Enlarged Floor Plans
Grand total: 10	

PROJECT STATUS:

Regulatory Approval

UNIT MATRIX

	1BR	2BR	3BR	
1st Floor:	11	3	1	
2nd Floor:	11	3	1	
3rd Floor:	11	3	1	
4th Floor:	11	3	1	
Total	44	12	4	60 Units

PROJECT DATA

CODES TO WHICH THIS PROJECT WAS DESIGNED

STATE BUILDING CODE STATE OF CONNECTICUT	2018
INTERNATIONAL BUILDING CODE	2015
STATE FIRE SAFETY CODE STATE OF CONNECTICUT	2018
INTERNATIONAL MECHANICAL CODE	2015
INTERNATIONAL PLUMBING CODE	2015
INTERNATIONAL ENERGY CONSERVATION CODE	2015
NFPA 70, NATIONAL ELECTRICAL CODE	2017
HEALTH CODE OF CONNECTICUT	CURRENT
OSHA TITLE 29 / LABOR	CURRENT
AMERICANS WITH DISABILITIES ACT	2010
ACCESSIBILITY ICC/ANSI A117.1	2009

CONSTRUCTION TYPE:

USE GROUP PER BOCA

PROJECT TEAM:

Architect

Wiles+Architects, LLC
257 Naugatuck Avenue,
Milford, CT 06460
ph | 203-366-6003

Owner

MADL Coleman Holding Co., LLC
1732 Reservoir Avenue,
Bridgeport, CT 06606
ph | 203-650-2656

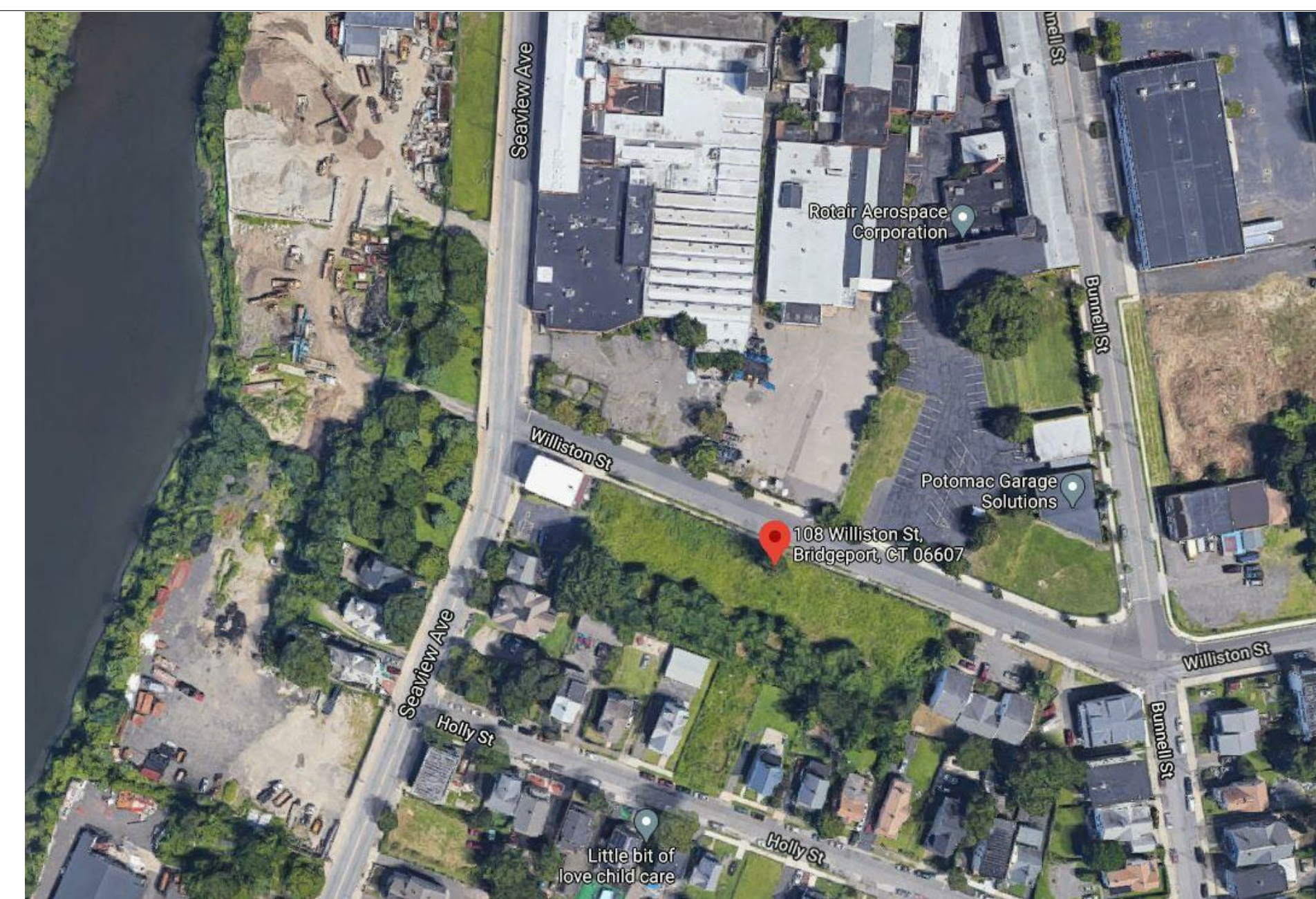
Civil Engineers

Cabezas-DeAngelis, LLC
78 Elm Street,
Bridgeport, CT 06460
ph | 203-330-8700

Site Lighting

Lighting Affiliates LTD
1208 Cromwell Ave, Unit E,
Rocky Hill, CT 06067
ph | 860-721-1171

VICINITY MAP:



DATE: AUGUST 31, 2022



ROOF TOP



FRONT FACADE



FRONT FACADE



FRONT FACADE / STREET VIEW



REAR FACADE & PARKING LOT VIEW

ATTENTION:
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

Williston Town Homes

108 Williston Street
Bridgeport, Ct
06607

Professional Seal:

wiles
Architects

Wiles + Architects, LLC
155 Brooklawn Avenue
Bridgeport, Ct 06604
ph: 203.366.6003
f: 203.384.1751
www.wilesarch.com

No.	Description	Date

Renderings

Project number	19-500
Date	08.31.22
Drawn by	--
Checked by	--

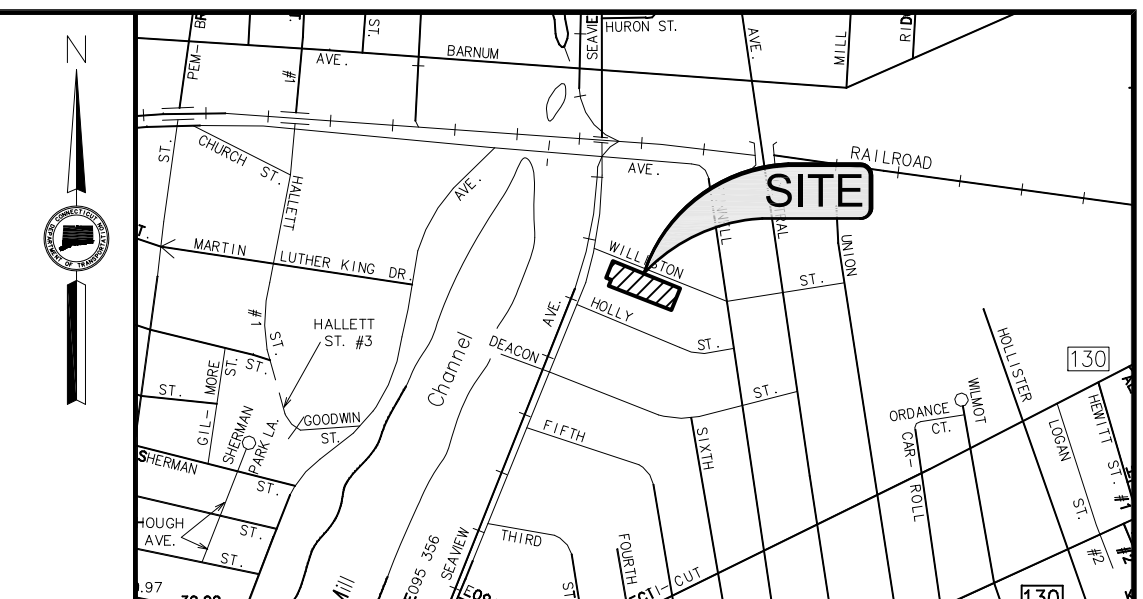
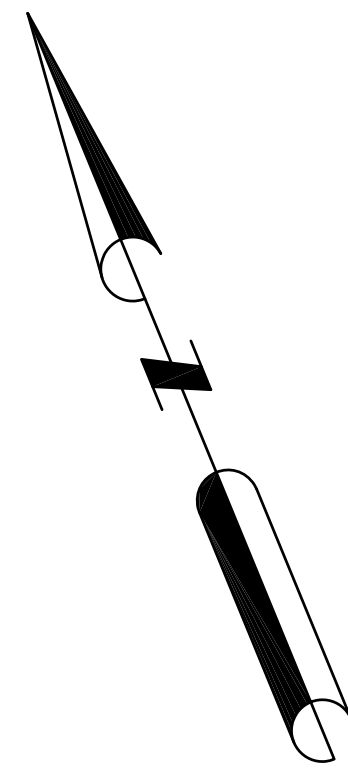
INFORMATION

G001

Scale

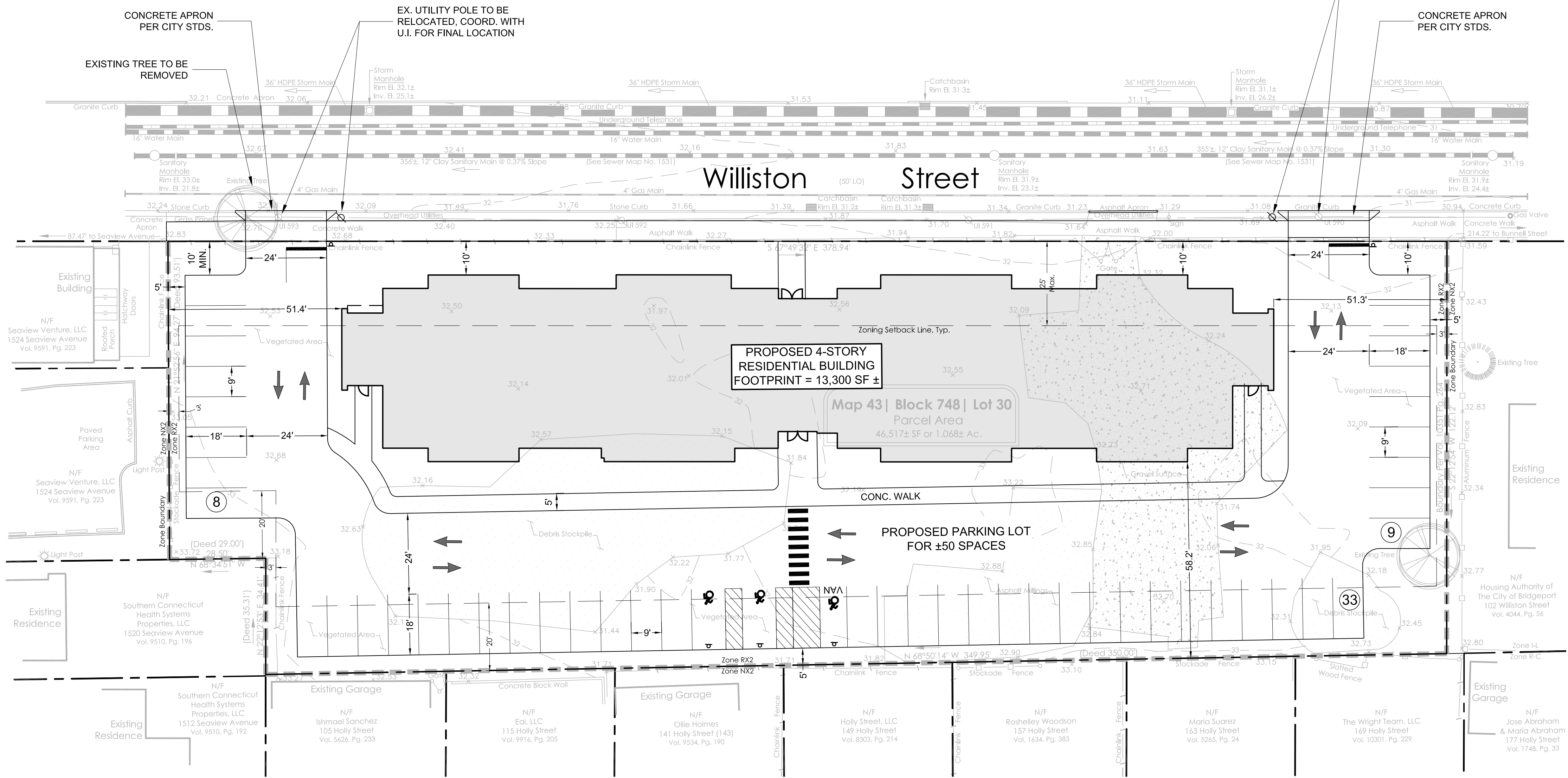
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6. ANY DIMENSION LINE SHOWN FROM PROPERTY LINE, FACE OF CURB OR BUILDING IS PERPENDICULAR UNLESS OTHERWISE SHOWN.
7. PROVIDE, ERECT AND MAINTAIN BARRICADES, WARNING LIGHTS, SIGNS, ETC., AS REQUIRED FOR SAFETY OF PERSONNEL, PUBLIC AND OCCUPANTS OF THE FACILITIES AFFECTED BY THE CONTRACTOR'S OPERATIONS. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESS AND EGRESS PATTERNS AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND IN ACCORDANCE WITH CONDOT STANDARDS.
8. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CONDOT FORM 816, LATEST EDITION, AS AMENDED, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN.
9. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, AND SUPERVISION TO CONSTRUCT THE PROPOSED IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING EXCAVATION, PAVEMENT REMOVAL, UNSUITABLE MATERIAL REMOVAL AND OFF-SITE DISPOSAL THEREOF, INSTALLATION OF BASE MATERIAL, PAVEMENTS, FILL MATERIAL, CURBING, DRAINAGE STRUCTURES, TOPSOIL AND SEED.
10. THE CONTRACTOR SHALL CAREFULLY SAWCUT EXISTING CURBS AND PAVEMENTS PRIOR TO REMOVAL. ALL EXISTING CURBING, PAVEMENTS AND OTHER AMENITIES THAT MAY INTERFERE WITH THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.



LOCATION MAP
SCALE: 1" = 1,000'

RX-2 Zone Development Standards			
GENERAL BUILDING	REQUIRED	EXISTING	PROPOSED
3.50.4 BUILDING LOCATION (FIGURE 3.50-B)			
1. LOT WIDTH	N/A	N/A	N/A
2. PRIMARY STREETWALL	80% MIN.	N/A	±73%
3. PRIMARY STREET BUILD-TO-ZONE	0 FT. MIN. / 25 FT. MAX.	N/A	10 FT.
4. STOOP, BAY ENCROACHMENT	N/A	N/A	N/A
5. NON-PRIMARY STREET BUILD-TO-ZONE	0 FT. MIN. / 25 FT. MAX.	N/A	N/A
6. SIDE SETBACK	3 FT. MIN.	N/A	51.3 FT.
7. REAR SETBACK	20 FT. MIN.	N/A	58.2 FT.
8. SITE COVERAGE	85% MAX.	0% (VACANT LOT)	±47%
3.50.5 PARKING & ACCESSORY STRUCTURES (FIGURE 3.50-C)			
1. PARKING & DRIVEWAY ACCESS IF NO NON-PRIMARY STREET ALLOWABLE DRIVEWAY ACCESS POINTS	PRIMARY STREET 22'W MAX. @ SIDEWALK 1 PER BUILDING	N/A (VACANT LOT)	24' W 2 PROPOSED
2. ATTACHED GARAGE SETBACK	20' MIN. BEHIND PRIMARY FACADE IN REAR OF BUILDING	N/A	N/A
ALLOWED GARAGE DOOR LOCATION	REAR, INTERIOR SIDE AND SIDE FACADES	N/A	N/A
3. SURFACE PARKING LOCATION	REAR YARD, LIMITED SIDE YARD	N/A (VACANT LOT)	PARKING @ REAR
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPAL BUILDING	N/A	COMPLIANT
SIDE AND REAR SETBACK	3 FT. MIN.	N/A	5 FT.
4. ACCESSORY STRUCTURE LOCATION	REAR YARD	N/A	N/A
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPAL BUILDING	N/A	N/A
SIDE AND REAR SETBACK	3 FT. MIN.	N/A	N/A
3.50.6 HEIGHT (FIGURE 3.50-D)			
1. HEIGHT	2 STORES MIN. 5.5 STORES MAX.	N/A (VACANT LOT)	4 STORES
ADDITIONAL HIGH-RISE OR STEPPED-BACK HEIGHT	ADD'L STORES ALLOWED WITH S.P.	N/A	N/A
2. GROUND STORY HEIGHT	10 FT. MIN. / 18 FT. MAX.	N/A	10.0 FT.
3. ALL OTHER STORES HEIGHT	10 FT. MIN. / 14 FT. MAX.	N/A	10.0 FT.
3.50.7 ROOFS (FIGURE 3.50-D)			
4. ROOF TYPES	FLAT, PARAPET	N/A	FLAT
5. TOWER	NOT ALLOWED	N/A	N/A



- LEGEND**
- PROPERTY LINE
 - SETBACK LINE
 - ZONING BOUNDARY
 - FENCE
 - RETAINING WALL
 - LIGHT POLE
 - ⊕ SIGN
 - Ⓟ PARKING COUNT
 - BCLC BITUMINOUS CONCRETE LIP CURB
 - CC CONCRETE CURB
 - SYL SINGLE YELLOW LINE

FOR CITY PERMITTING
(NOT FOR CONSTRUCTION)

GRAPHIC SCALE

Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P: 203 330 8700 F: 203 330 8701

SEAL:

CHRISTIAN A. DEANGELIS, PE

REVISIONS:

No.	DESC.	DATE

NEW 4-STORY APARTMENT BUILDING & RELATED SITE IMPROVEMENTS

- PROPERTY LOCATED AT -
22-24, 26-32, 40-46, 54, 62-64, 72, 82, 94-96
WILLISTON STREET
BRIDGEPORT, CT
- PREPARED FOR -
MADL COLEMAN HOLDING CO., LLC
1732 RESERVOIR AVENUE, BRIDGEPORT, CT 06606

SHEET TITLE:

SITE PLAN

PROJ. No.: 2021-07

DATE: 22 SEPTEMBER 2022

DWG. No.: C-1

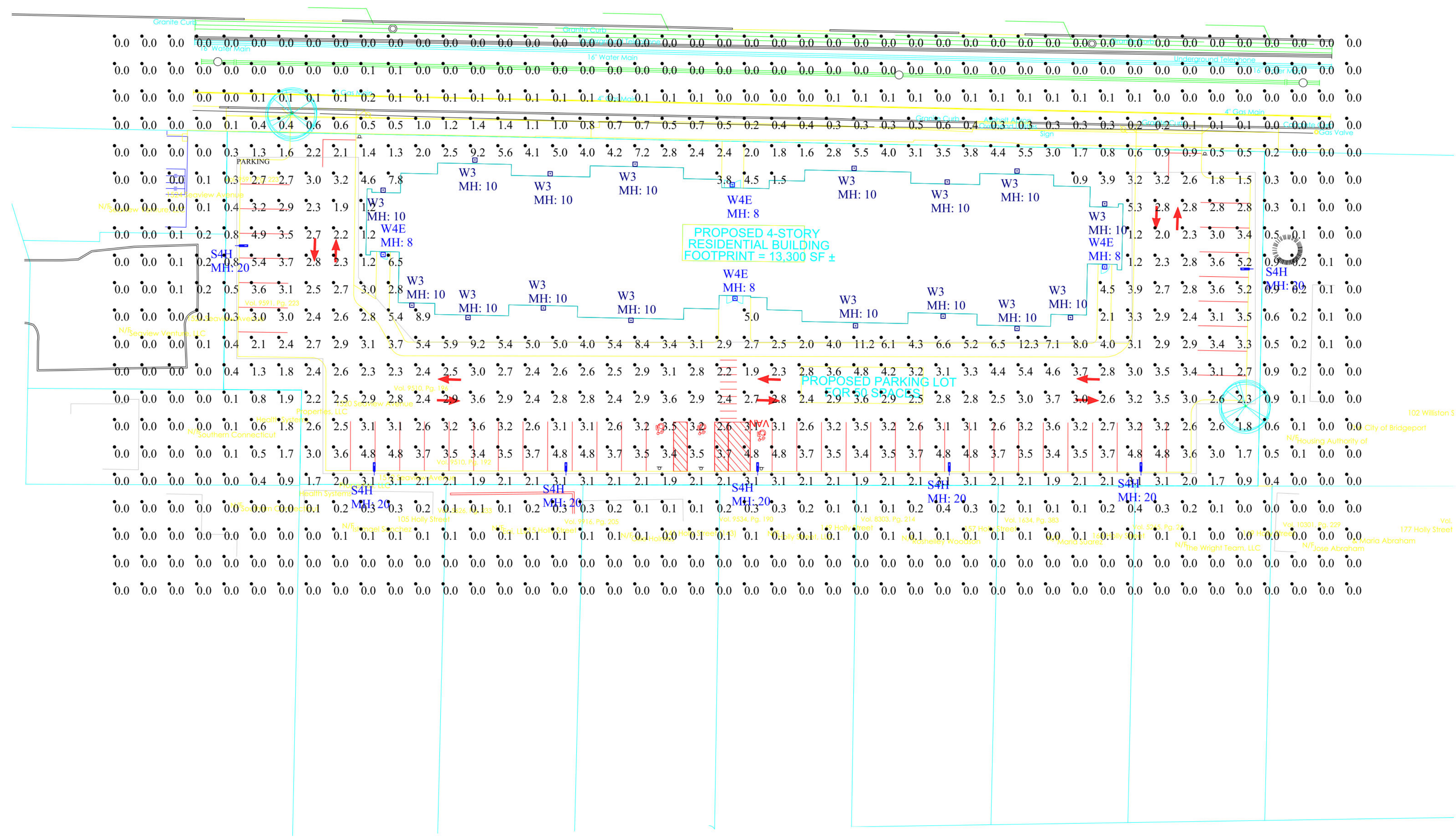
SHEET 1 OF 1

SCALE: 1" = 20'

DESIGNED: CAD	DRAWN BY: CAD	CHECKED: CAD
---------------	---------------	--------------

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Williston Town Homes

108 Williston Street
Bridgeport, Ct
06607

Professional Seal:

wiles
Architects

Wiles + Architects, LLC
155 Brooklawn Avenue
Bridgeport, Ct 06604
ph: 203.366.6003
f: 203.364.1751
www.wilesarch.com

No.	Description	Date

Filename: Williston Street Site Lighting - Bridgeport.AGI

Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating	Mounting Height	Description
□	7	S4H	Single	11949	156	0.900	B1-U0-G2	20	NLS Lighting TRC-3-T4-48L-1-30K7-UNV-SGL-BLK-HSS-20 20FT POLE
□	16	W3	Single	3528	28	0.900	B1-U0-G1	10	NLS Lighting TWA-T3-16L-53-30K7-UNV-WM-BLK
□	4	W4E	Single	2424	18	0.900	B1-U0-G1	8	NLS Lighting TWA-T4-16L-35-30K7-UNV-WM-BLK-EM8

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	1.35	12.3	0.0	N.A.	N.A.
PARKING	Illuminance	Fc	3.14	5.4	1.5	2.09	3.60

Greg Loda / Greg Horn
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067

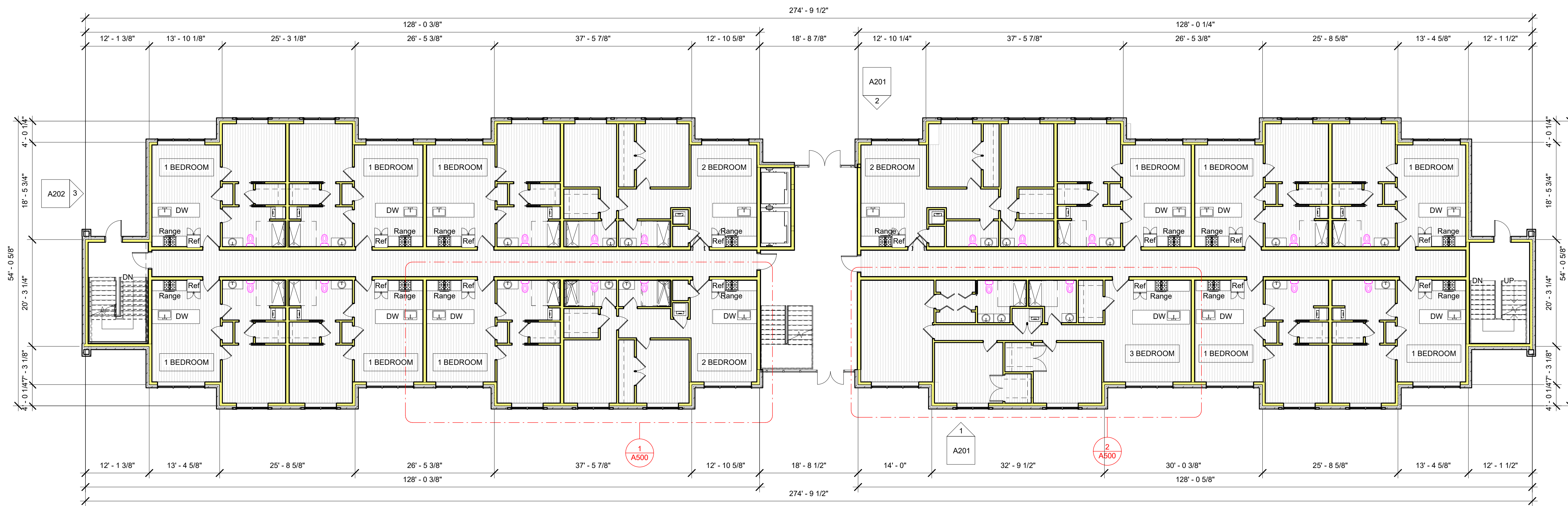
website: www.lightingaffiliates.com
Voice Number : (860) 721-1171 x 219
Email Address : gloda@lightingaffiliates.com

Site Lighting Plan

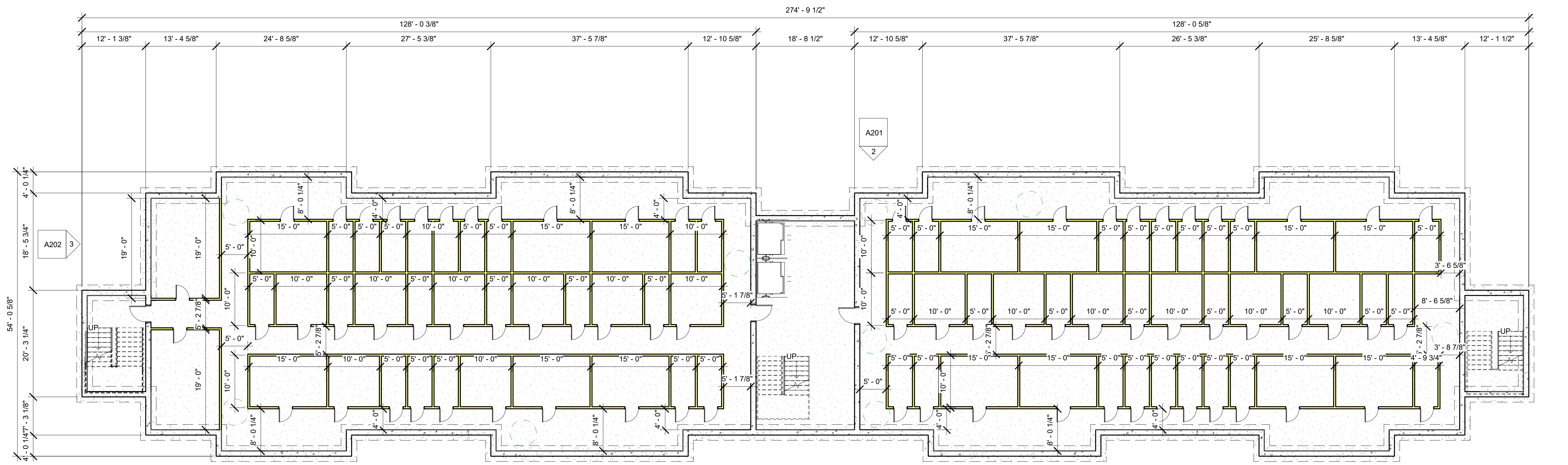
Project number 19-500
Date 08.31.22
Drawn by Author
Checked by Checker
Designer

SL100

Scale



1 Ground Floor
3/32" = 1'-0"



2 Basement Level
3/32" = 1'-0"

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Wiles + Architects, LLC
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Bridgeport, Ct 06604
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f: 203.364.1751
www.wilesarch.com

No.	Description	Date

Typical Ground Floor Plan

Project number	19-500
Date	08.31.22
Drawn by	--
Checked by	--

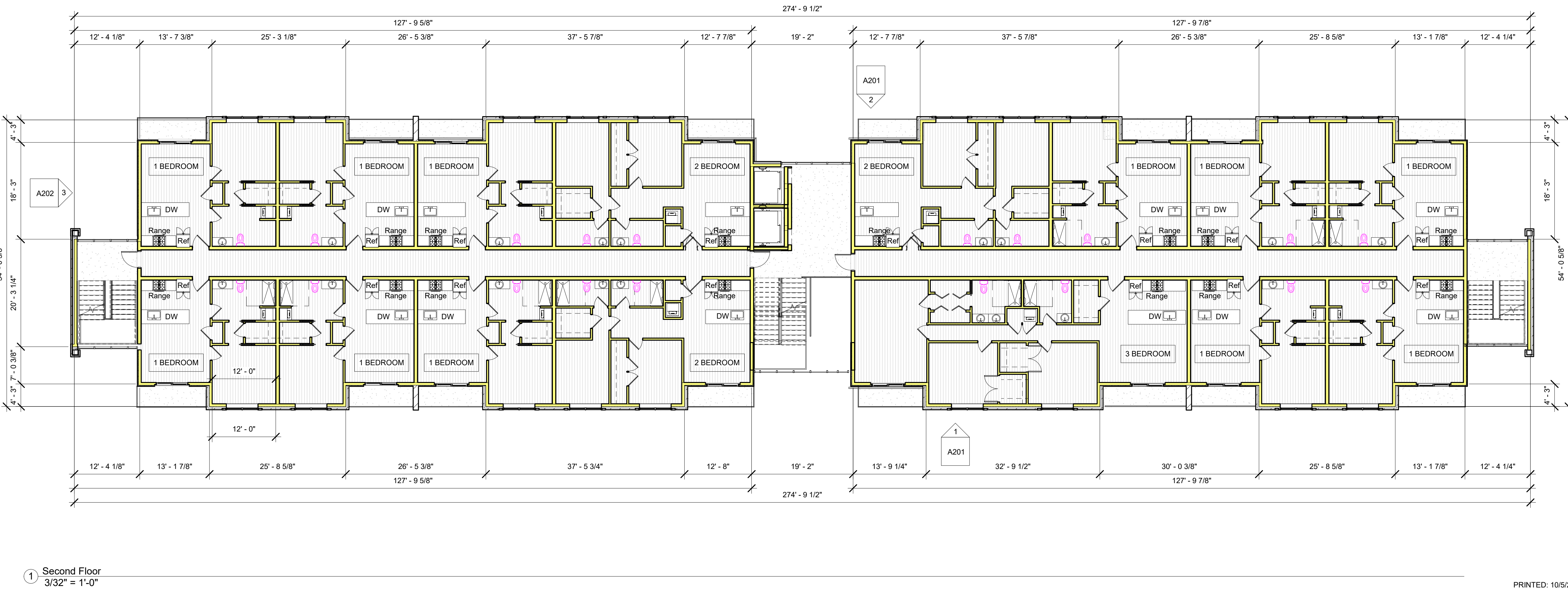
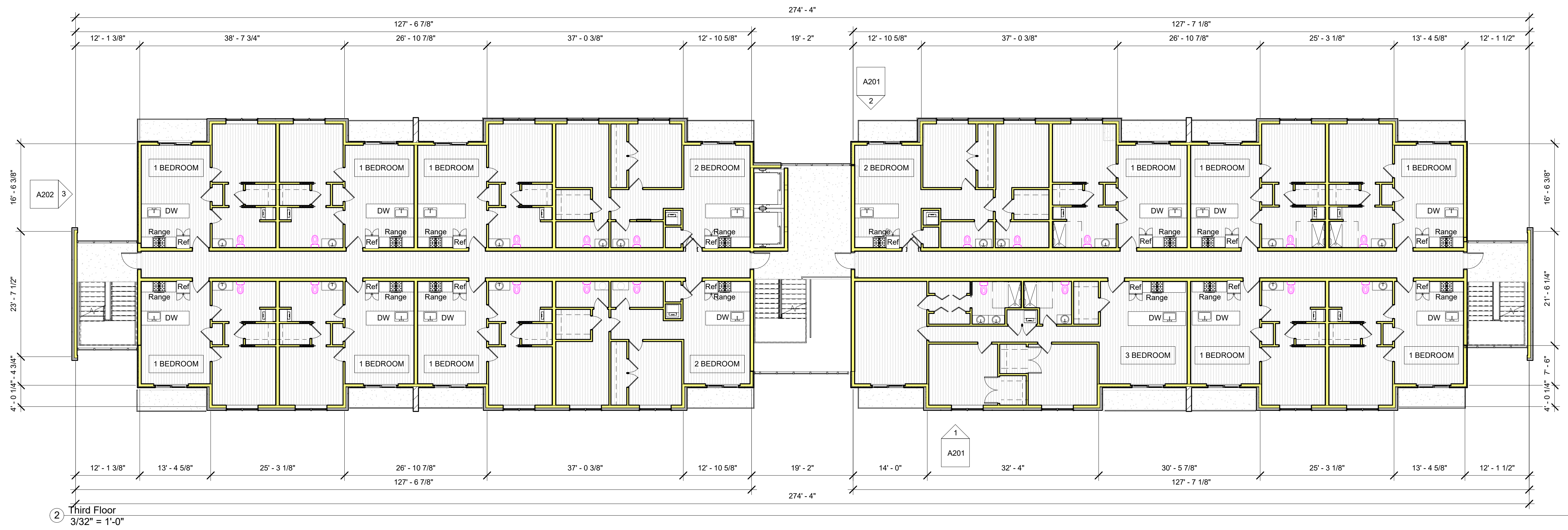
ARCHITECTURAL

A101

Scale 3/32" = 1'-0"

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No.	Description	Date

2nd & 3rd Floor Plans

Project number 19-500
Date 08.31.22
Drawn by --
Checked by --

ARCHITECTURAL

A102

Scale 3/32" = 1'-0"

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No.	Description	Date

4th & Roof Floor Plans

Project number	19-500
Date	08.31.22
Drawn by	--
Checked by	--

ARCHITECTURAL

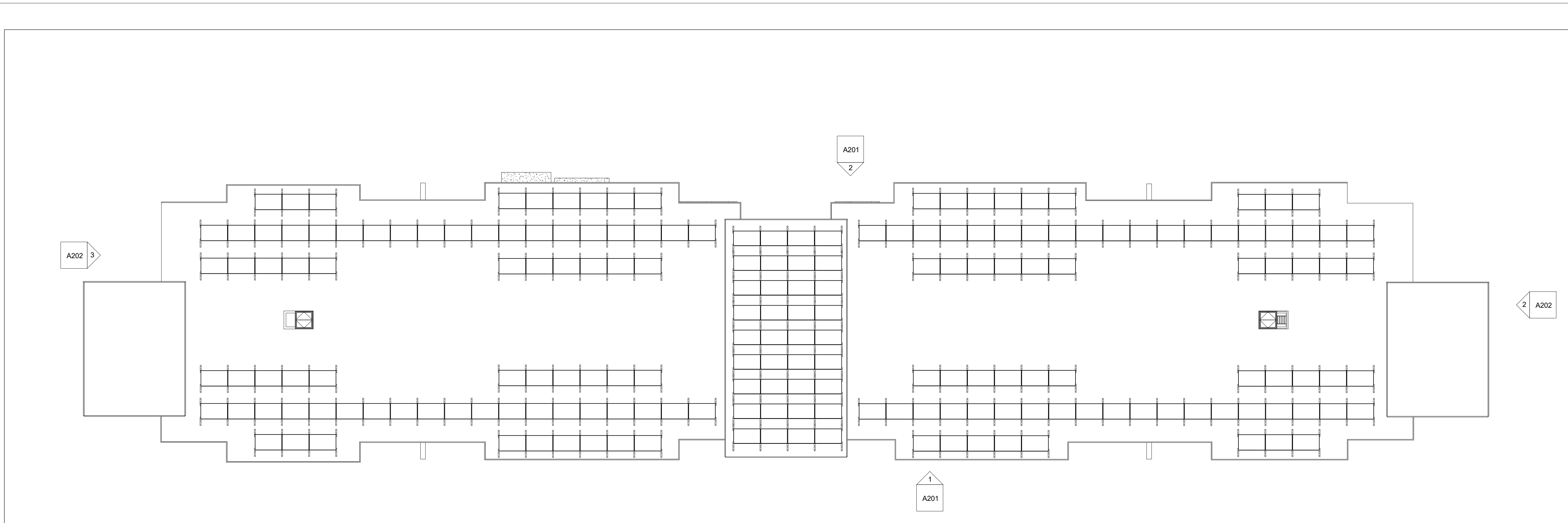
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Scale 3/32" = 1'-0"

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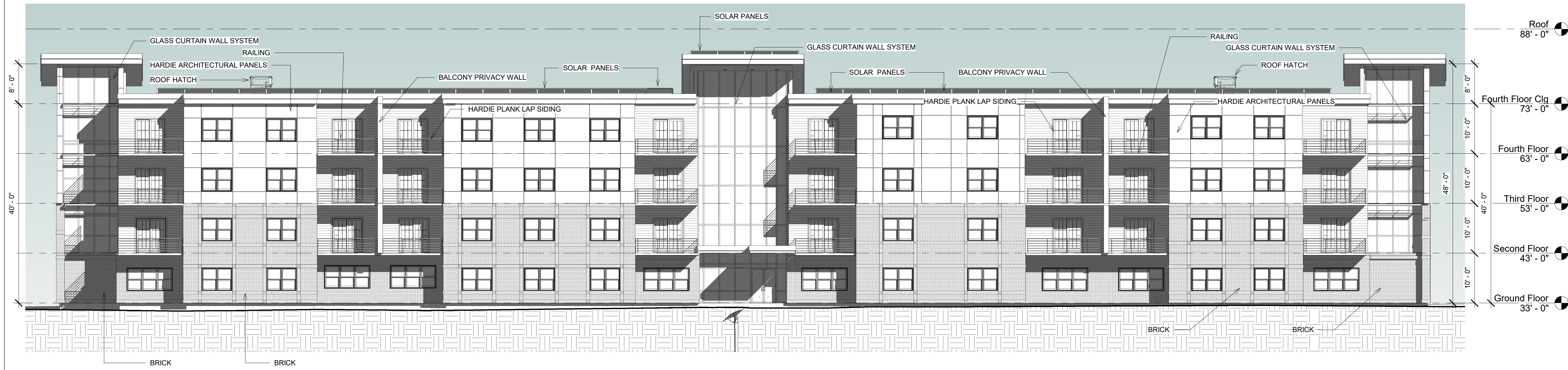
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② Roof
3/32" = 1'-0"



① Fourth Floor
3/32" = 1'-0"



① South Elevation
3/32" = 1'-0"

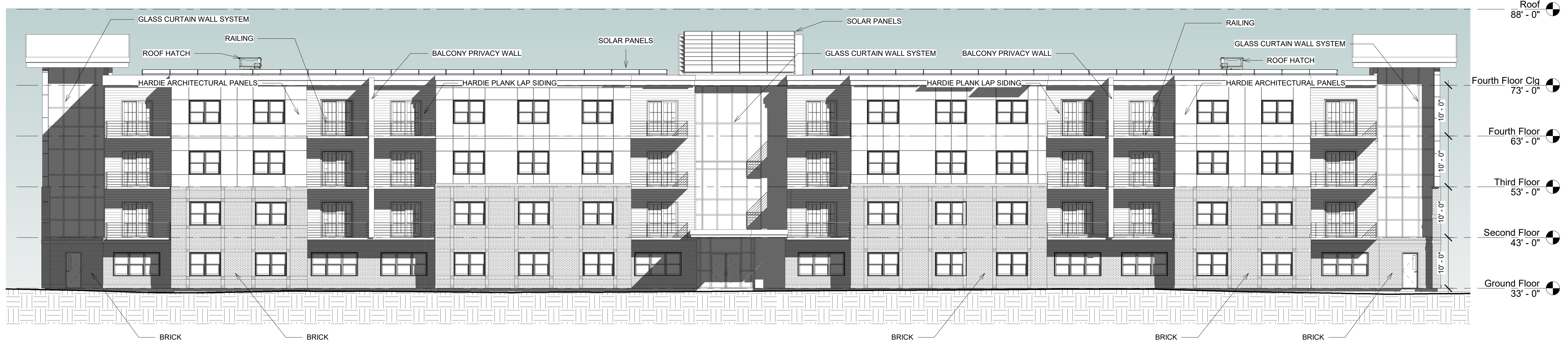
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② North Elevation
3/32" = 1'-0"

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No.	Description	Date

Williston Street Exterior Elevation

Project number	19-500
Date	08.31.22
Drawn by	--
Checked by	--
ARCHITECTURAL	

A201

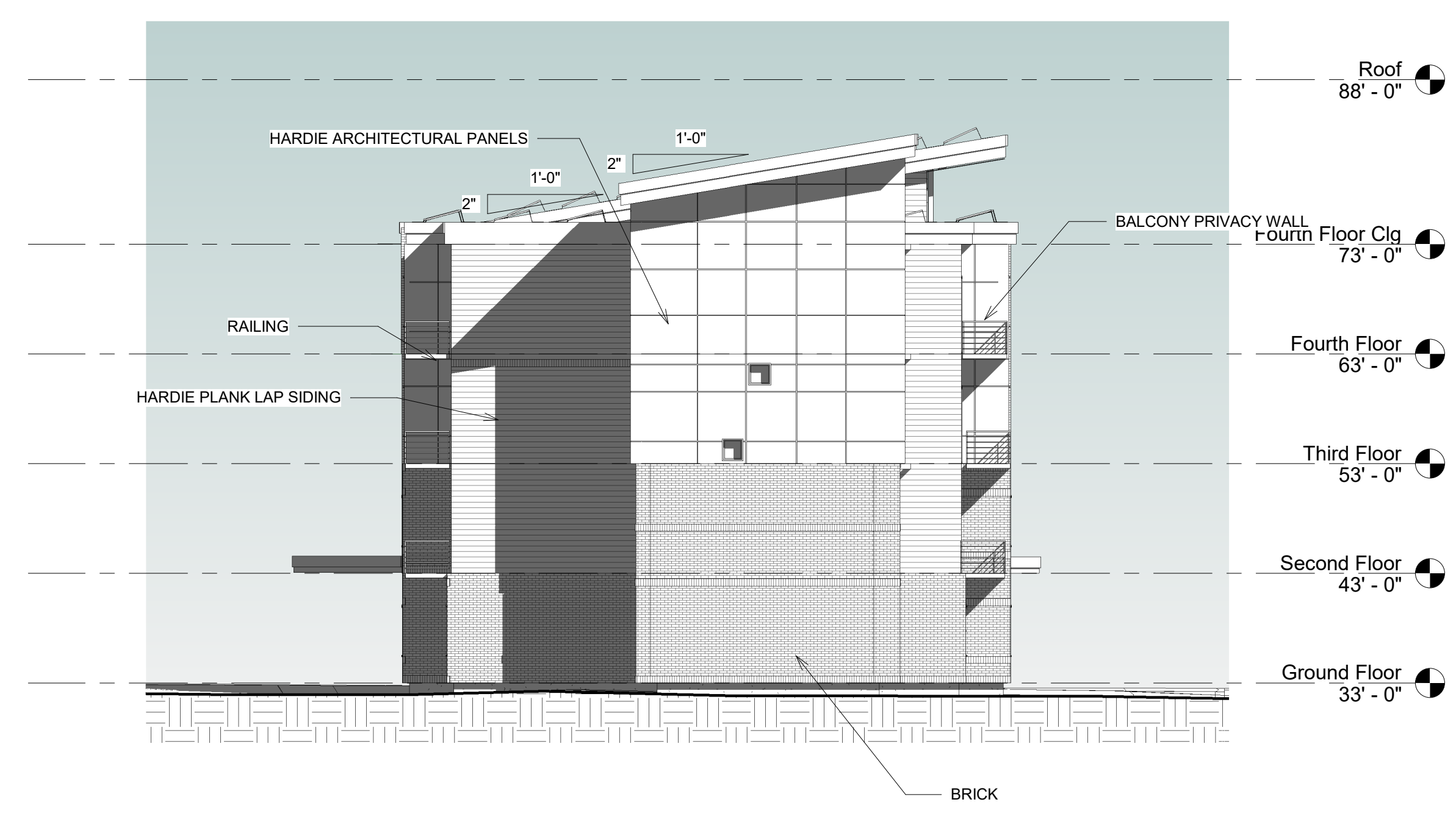
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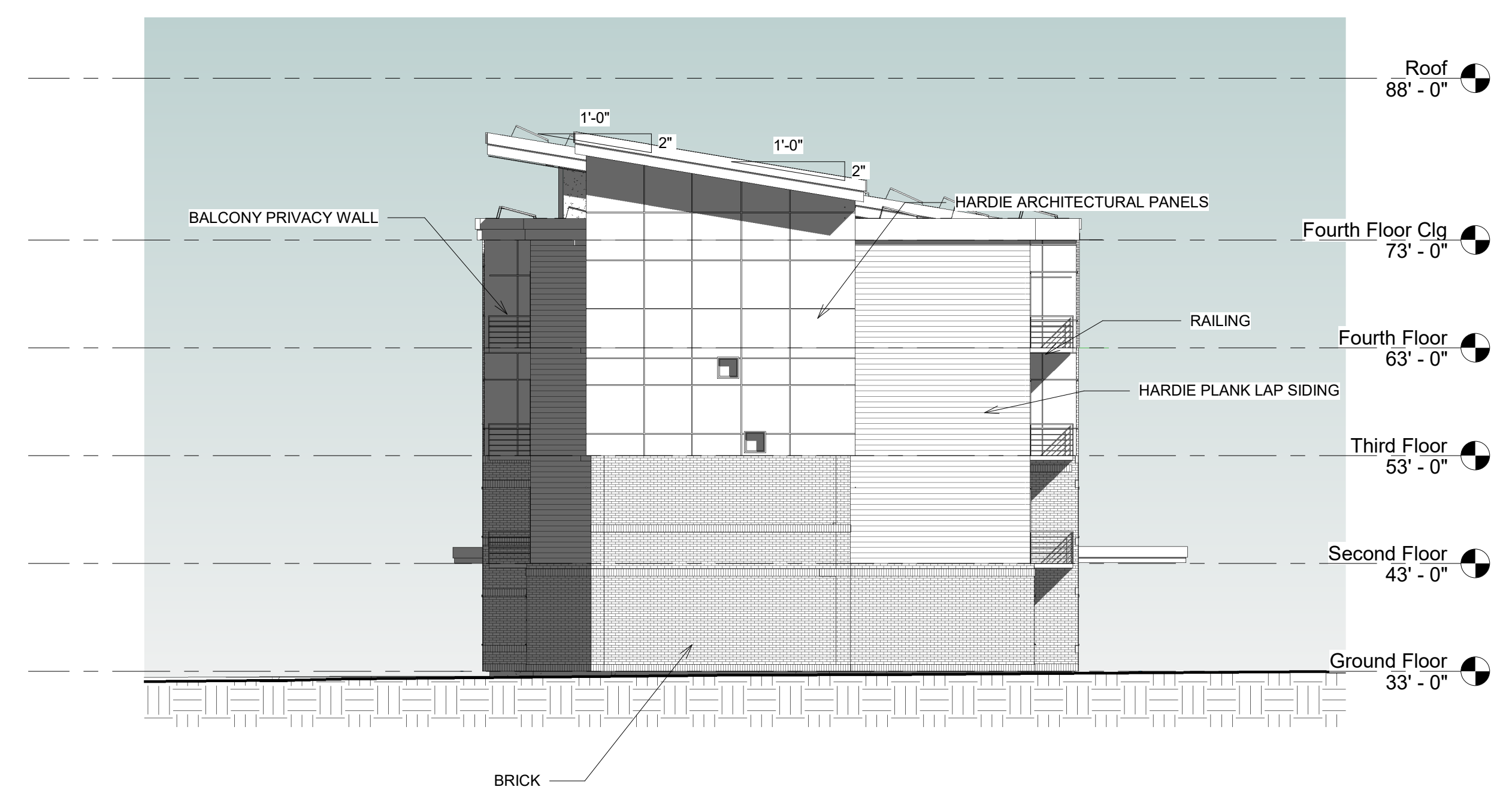
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③ East Elevation
3/32" = 1'-0"



② West Elevation
3/32" = 1'-0"

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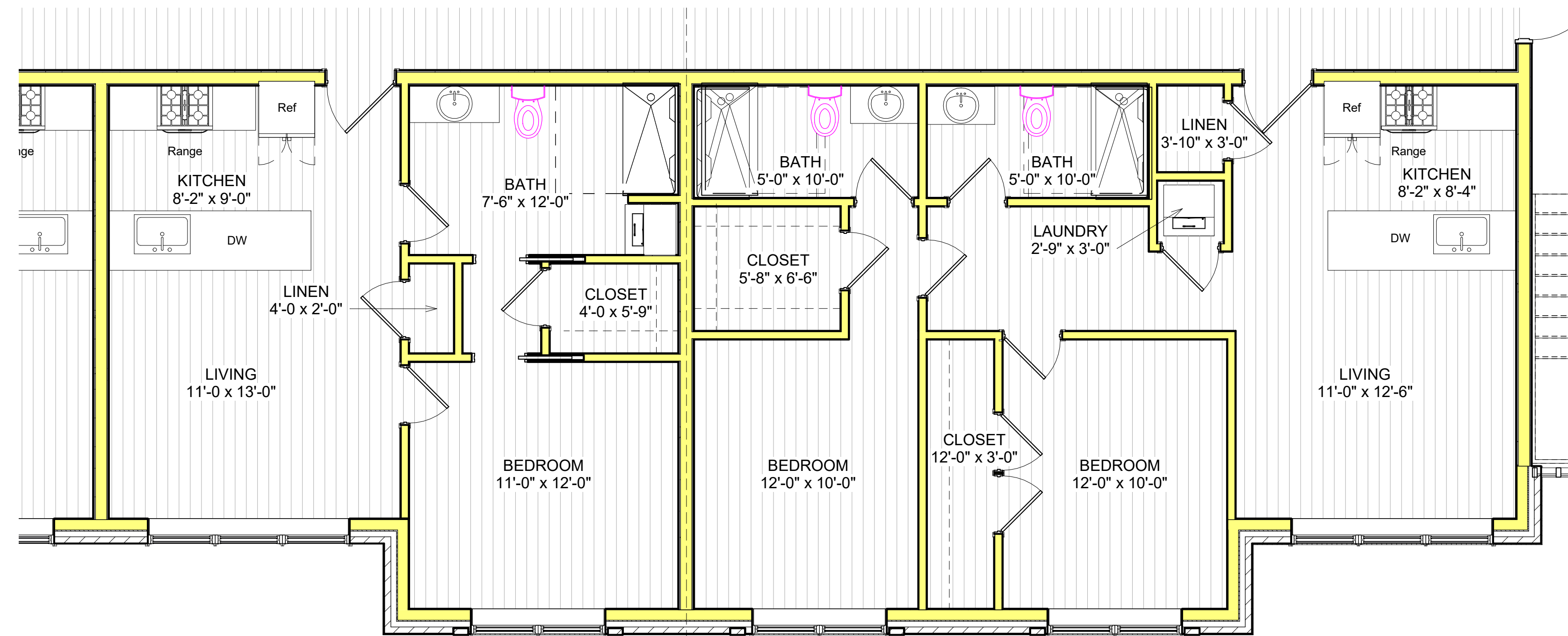
No.	Description	Date

Exterior Elevations

Project number	19-500
Date	08.31.22
Drawn by	--
Checked by	--
ARCHITECTURAL	

A202

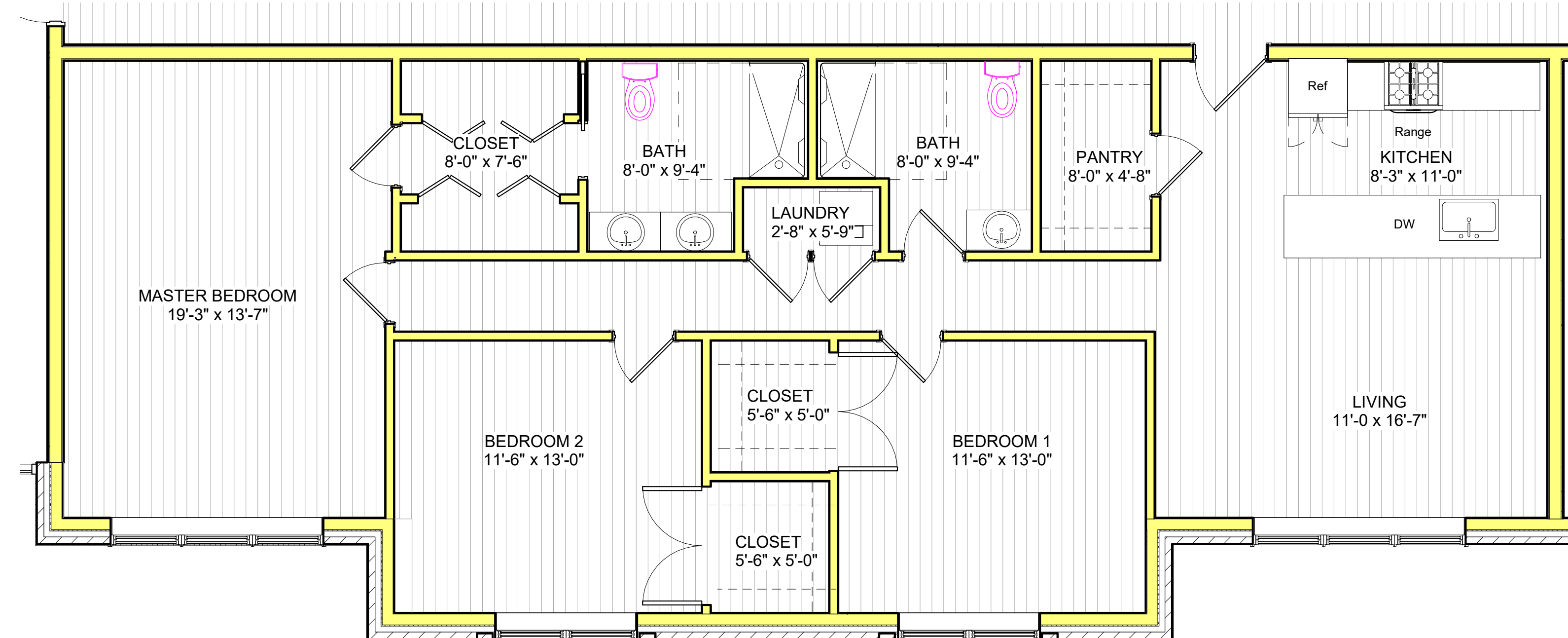
Scale 3/32" = 1'-0"



One Bedroom Unit 545 sf

Two Bedroom Unit 805 sf

1 Enlarged Unit Plans
1/4" = 1'-0"



3 Bedroom Unit 1,338 sf

2 Ground Floor - Callout 1
1/4" = 1'-0"

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No.	Description	Date

Typical Enlarged Floor Plans

Project number	19-500
Date	08.31.22
Drawn by	--
Checked by	--
ARCHITECTURAL	

A500
Scale 1/4" = 1'-0"



ZONING BOARD OF APPEALS APPLICATION

#4

OCT 7'22 AM 9:15

RECVD IN THE BPT. ZONING DEPT. ON 10/7/22

The undersigned presents the following application for:

(Check all that Apply)

- Variance
- Appeal from Zoning Officer
- Extension of Time Permit / Modification of Plan of Development
- Request for Re-hearing
- Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

555 (aka 557 553) CENTER STREET EXT. Zone: RX1
(Number) (Street) (Zone Classification)

On the WEST side of the street about 147 feet NORTH from
(North, South, East, West) (North, South, East, West)

US HWY 1 (NORTH AVENUE) Block: 1416 Lot: 15
(Street) (Block) (Lot)

Dimension of Lot in Question 55.0' X 130.0' X 58.75' X 150.50'
(Specify)

1. NAME OF APPLICANT / BUSINESS: JUST RIGHT AUTO SPA c/o JUSTIN RILEY
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.): LESSEE
3. HAS A PREVIOUS APPLICATION BEEN FILED? NO IF SO, GIVE DATE OF HEARING.
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT: NO CONSTRUCTION OR ALTERATION IS REQUIRED THIS APPLICATION IS FOR A USE VARIANCE

5. THIS APPLICATION RELATES TO: Check all that Apply
- Setback
 - Coverage
 - Landscaping
 - Lot Area and Width
 - Floor Area
 - Height
 - Parking
 - Extension or Enlargement of Non-Conforming Use and/or Building
 - Coastal Area Management Approval
 - Liquor
 - Use
 - Other:

6. USE TO BE MADE OF PROPERTY: AUTO SPA, TINTING, WRAPPING & DETAILING- NO WASHING

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? THIS PROPOSED USE IS NOT ALLOWED AS OF RIGHT

APPLICANT: Justin Riley, Justin Riley DATE: 10/5/2022
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc): jriley oct 03@yahoo.com
(Email)

Mailing Address: 555 CENTER STREET BRIDGEPORT CT 06607 203-809-3133
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT: [Signature] Print: RICARDO AMORATI
(If other than owner) (Signature)

Subscribe & Sworn to before me this 5 day of OCT 20 22.
(Signature) Notary Public in & for the County of Fairfield, State of Connecticut.

Acct # 85296

MITCHELL ROBLES NOTARY PUBLIC My Commission Expires April 30, 2023

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION
 All questions must be answered in detail (use separate sheet if necessary).
 The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
 The Zoning Board of Appeals to process this application.
 NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
 PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
 (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: _____ DATE: 10/7/22 Clerk: [Signature]

Statement of Variance

Subject Property:

The property is located is a single story building is located on the west side of Center Street Extension and is in an RX 1 Zone.

Statement of Use

The applicant, Just Right Auto Spa c/o Justin Riley, seeks to validate the current use as an Auto Spa which includes Spa Treatment to cars, Tinting, Wrapping & Detailing.

No car washing will be carried out at the location.

Reason for Variance

This use is not allowed as of right in this zone so the applicant seeks a use variance in order to continue to operate at this location.

This activity is being carried out at this location since July 5, 2022 and was previously located on Wood Avenue for 5 years and on Vine Street for 5 years as well. We are a longstanding Bridgeport small business.

Thanks for your favorable consideration in this matter.

Regards



Ann Brown P.E.

(860) 354-1641

October 6, 2021

ABUTTERS LIST

~~555 CENTER STREET EXT (AKA 553)~~

566 CENTER STREET EXT

~~CENTER STREET BPT LLC~~

~~471 MADISON AVENUE~~

~~BRIDGEPORT CT 06604~~

544 CENTER STREET EXT 556

~~FERNANDES DANDELO M &~~

~~MARCIEL DENIA ET AL~~

~~1282 NORTH AVENUE~~

~~BRIDGEPORT CT 06604~~

1 LINCOLN AVENUE

~~CITY OF BRIDGEPORT EDUCATION~~

~~BRIDGEPORT CT 06606~~

1282 NORTH AVENUE #1284

~~HJC REALTY LLC~~

~~1282 NORTH AVENUE~~

~~BRIDGEPORT CT 06604~~

1300 NORTH AVENUE 1318

~~JETLAND PROPERTIES LLC~~

~~953 EASE MAIN STREET~~

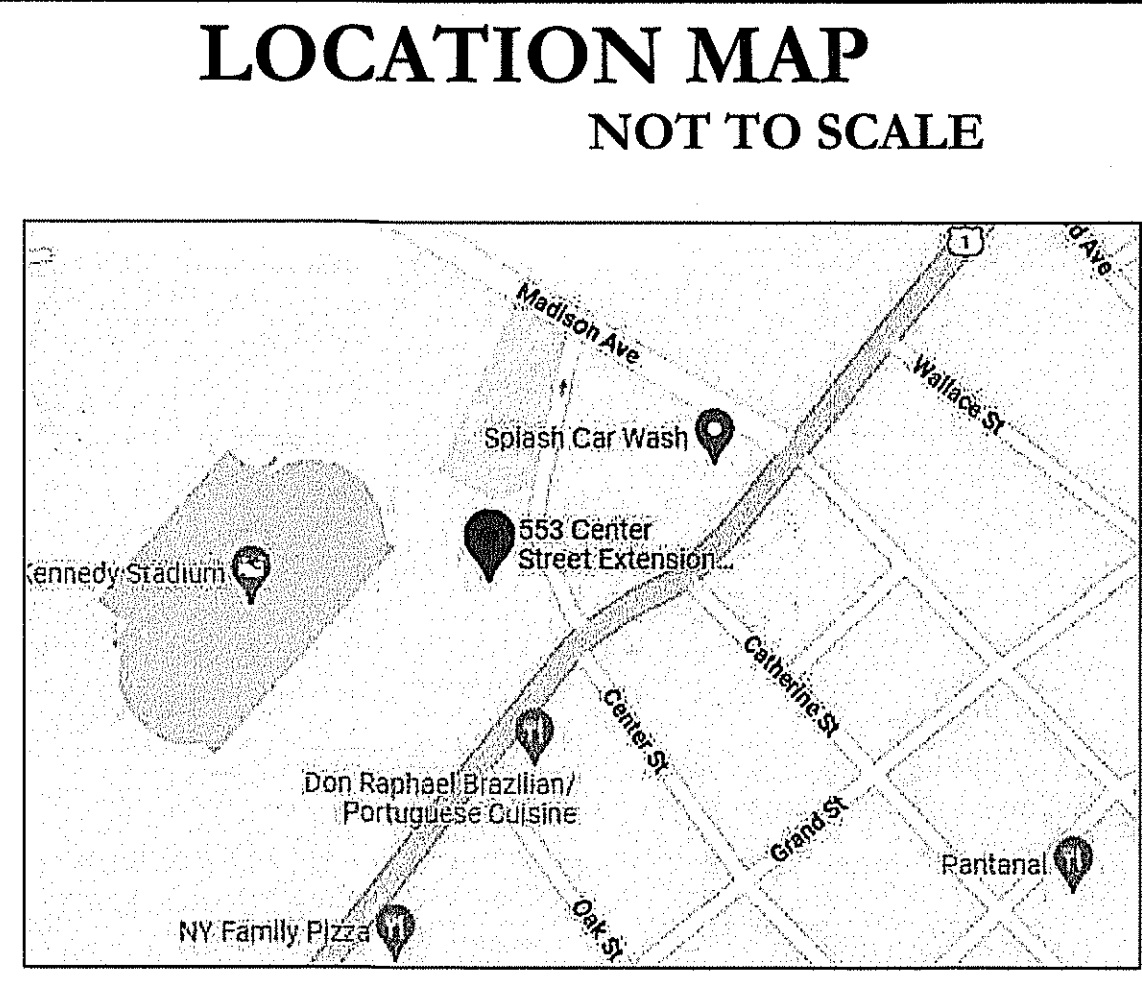
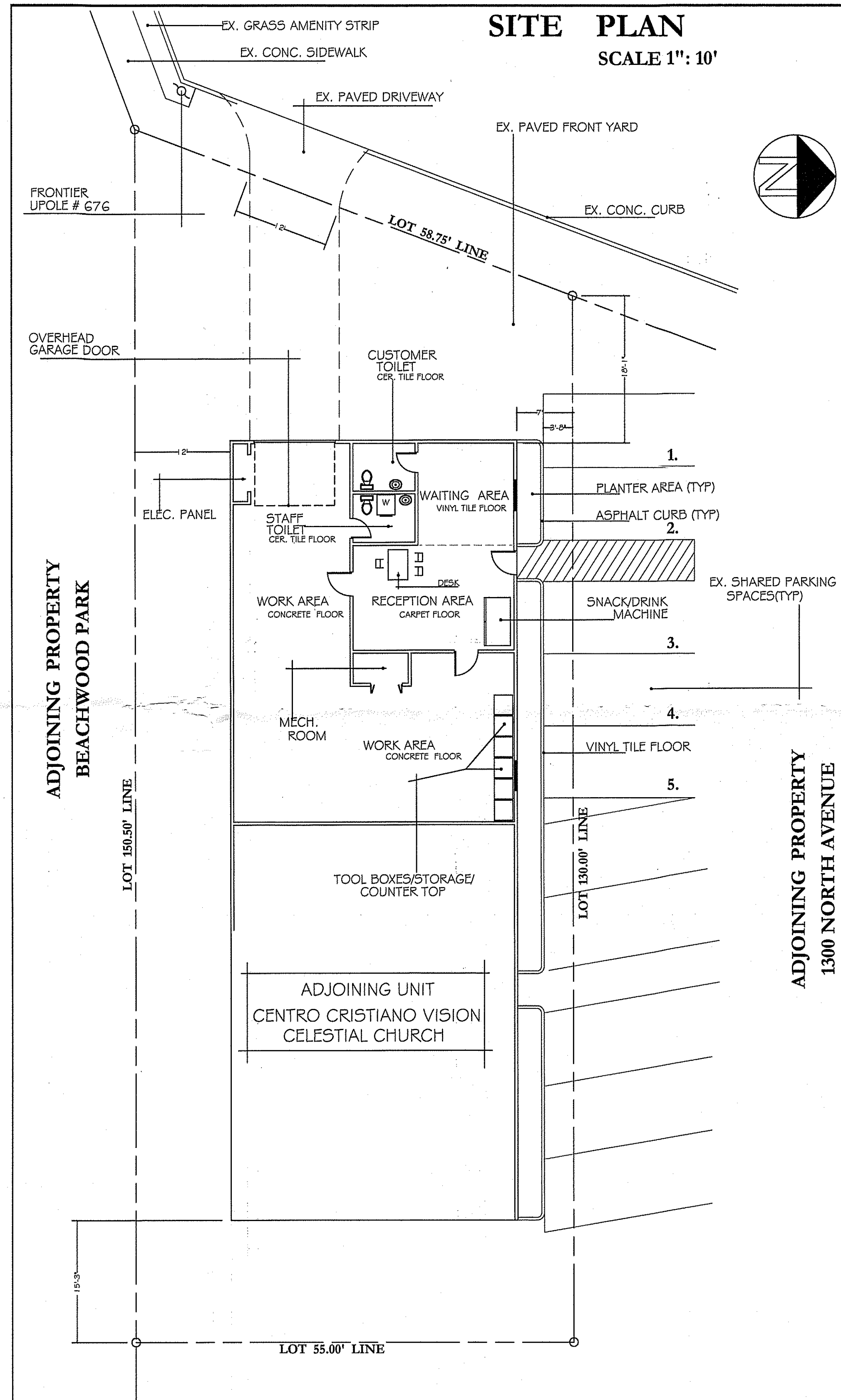
~~STAMFORD CT 06902~~

596 CENTER STREET

~~CENTER STREET BPT LLC~~

~~471 MADISON AVENUE~~

~~BRIDGEPORT CT 06604~~



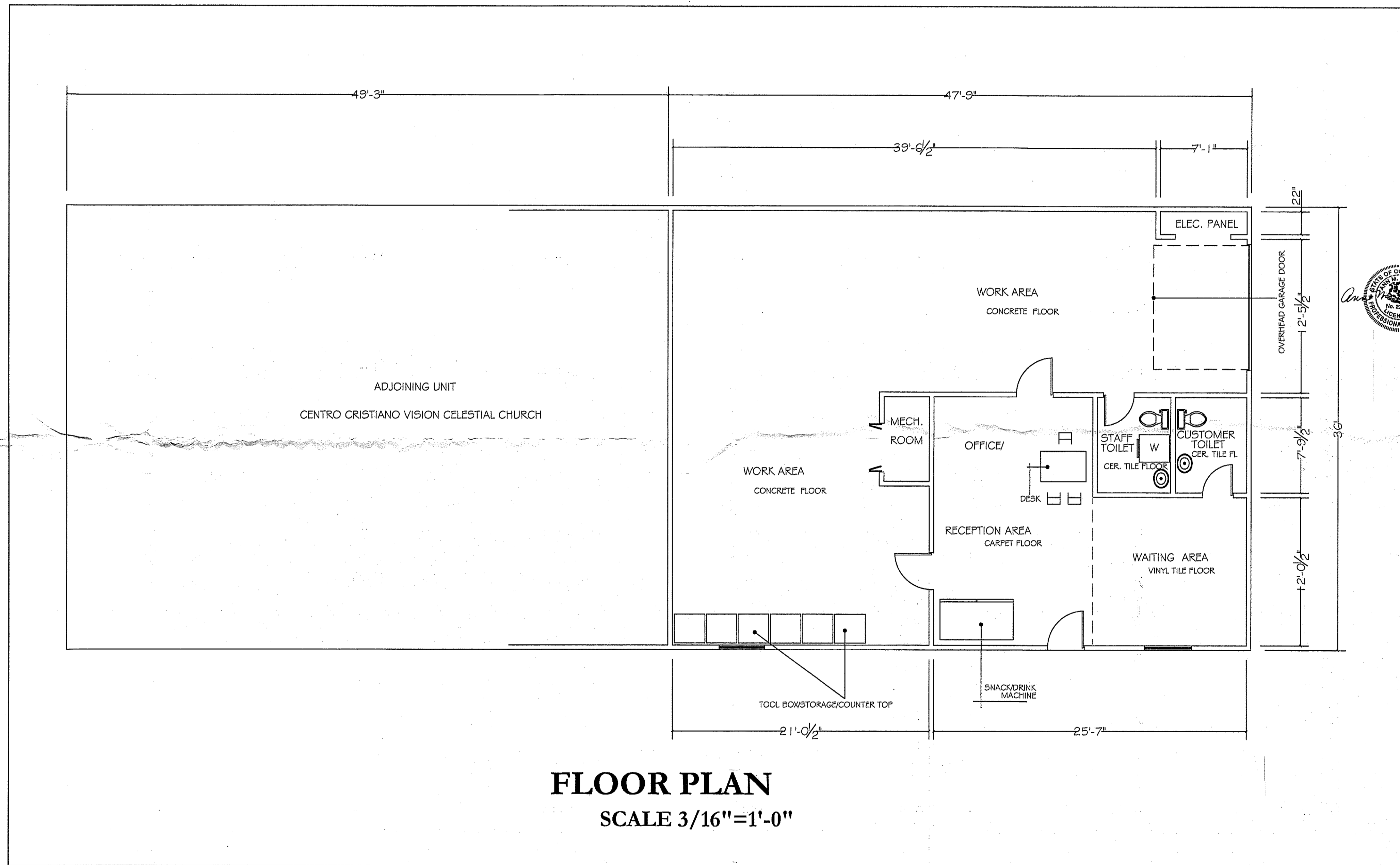
RX 1 ZONE DEVELOPMENT STANDARDS

STANDARDS	REQUIRED	EXISTING	PROPOSED
Lot Width	-	58.75 ft	58.75 ft
Primary Streetwall	100 ft max.	58.75 ft	58.75 ft
Primary Street Build-to zone	0 ft. min. 15 ft. max.	10 ft. min.	10 ft. min.
Stoop, Bay encroachment	-	-	-
Non-Primary Street Setback	0 ft. min. 15 ft. max.	N/A	N/A
Side Setback Building	2 ft. min. : 10ft total both sides	7 ft. : 19ft total both sides	7 ft. : 19ft total both sides
Space Between Adjacent Buildings	6 ft. min.	52 ft.	52 ft.
Rear Setback	15 ft. min.	15'-3"	15'-3"
Site Coverage	85% max.	49.26% max.	49.26% max.
Parking & Driveway Access	Primary Street: max 12' width at sidewalk	12 ft	12 ft
	1 driveway access pt	1 access	1 access
Surface Parking Location	Rear Yard. Limited side yard		
Street Setback	No closer to lot line than principal bldg	driveway access to bldg. only	driveway access to bldg. only
Side & Rear Setback	3 ft. min.	3'-4" *	3'-4" *
Height	1 Sty. min 3 Stories max	1 Sty.	1 Sty.
Story Height	10-14 ft. (flr-flr)		
	14' min. for single sty. bldg with max 6' height parapet	11'-10" (ex. condition)	11'-10" (ex. condition)
Roof Types	Flat, parapet	Hip (ex. condition)	Hip (ex. condition)

*Shared parking accessed from adjoining property @ 1300 North Avenue

SHEET AO.0	REV. NOTES
DATE : 10/5/2022	
DRAWN BY: WIMACK DESIGNS	
APPROVED BY: ANN BROWN P.E. 9 LAUREL LANE SHERMAN CT (PH) 860-354-1641	
APPLICATION TO ESTABLISH AN AUTO SPA TINTING, WRAPPING & DETAIL FACILITY, NO WASHING AT 555 CENTER ST EXTN AKA 557	
JUST RIGHT AUTO SPA c/o JUSTIN RILEY 555 CENTER ST EXT AKA 557 Ph. (203) 809-3133	

#4



FLOOR PLAN
SCALE 3/16"=1'-0"

SHEET	AI.0
REV. NOTES	
DATE:	10/5/2022
DRAWN BY:	WIMACK DESIGNS
APPROVED BY:	<i>Ann Brown</i> ANN BROWN P.E. 9 LAUREL LANE SHERMAN CT (PH) 860-354-1641
APPLICATION TO ESTABLISH AN AUTO SPA TINTING, WRAPPING & DETAIL FACILITY, NO WASHING AT 555 CENTER ST EXT N AKA 557	
JUST RIGHT AUTO SPA c/o JUSTIN RILEY 555 CENTER ST EXT AKA 557 Ph: (203) 809-3133	



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

1360 Central Avenue Zone Industrial
(Number) (Street) (Zone Classification)

On the East side of the street about 187 feet South from
(North, South, East, West) (North, South, East, West)

Barnum Avenue Block : 43/1816 Lot: 2/B
(Street)

Dimension of Lot in Question 579' x 231 x 542' x 16'
(Specify)

1. NAME OF APPLICANT / BUSINESS The Homer C. Godfrey Company
(Print)

2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING _____
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Adding exterior enclosed stairway to provide egress from 3rd story of existing building/ ADA accessibility to existing showroom.

5. THIS APPLICATION RELATES TO: Check all that Apply

Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: _____

6. USE TO BE MADE OF PROPERTY Masonry supply

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? 3-20-4

APPLICANT Melanie Ruggieri Melanie Ruggieri DATE 10/4/22
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____ / _____
(Email)

Mailing Address 1360 Central Avenue, Bridgeport, CT 06610
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print _____
(If other than owner)

Subscribe & Sworn to before me this 4th day of October 2022
[Signature] Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: _____ DATE: _____, 20____ Clerk _____



October 4, 2022

Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
Attn: Paul Boucher

Re: ZBA Zoning Request 1360 Central Ave, Bridgeport

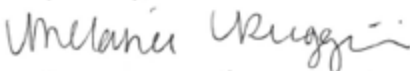
Dear Mr. Boucher,

The Homer C Godfrey Company, in Bridgeport since August 1923, is a masonry supplier interested in gaining further use of its third story space. The office was originally located on Sylvan Ave until the Route 8/25 connector was built. At that time, we constructed a new building in 1968 at 1360 Central Avenue. The company owns the adjoining properties at 1198 Barnum, 1220 Barnum, 1250 Barnum, and 1266 Barnum which house our warehouses, materials, and vehicles. We are hoping to renovate the third story attic of our office building to accommodate more offices and employees.

To provide a second egress from the second story, we are seeking a variance in section 3.20.4 (building siting) along our Central Ave property line. The stairway would be enclosed with masonry to match the existing building. We are also asking for the same variance to construct an ADA accessible ramp adjacent to this stairwell. We feel that this would provide a safe, secure and aesthetically pleasing accent to our existing building.

We look forward to preparing our company for the next generations and thank you for your consideration.

Respectfully,



Melanie Ruggieri (4th Generation)
Vice President

HOMER C.
GODFREY
MASONRY SUPPLY

SINCE 1923

1360 Central Avenue
Bridgeport, CT 06610
www.homercgodfrey.com
tel: 203.336.1823



Property owners within 100 ft of subject property: 1360 Central Avenue

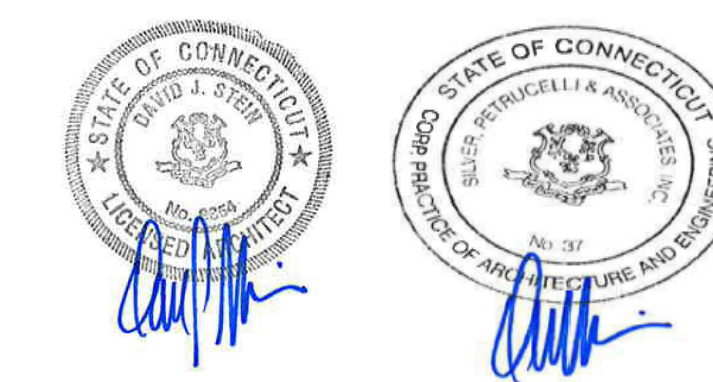
site address	owner	mailing address	address 2	city	state	zip
664 Hollister Ave#rear	State of CT/Metro North	2800 Berlin Turnpike	PO Box 317546	Newington	CT	06131
1146 Barnum Ave	Lacey Manufacturing Holding Co LLC	1146 Barnum Ave		Bridgeport	CT	06610
1193 Barnum Ave #1199	Bridgeport Hospital YNHH	789 Howard Ave	MSC-2 Attn: Tax Dept	New Haven	CT	06519
*1198 Barnum Ave	The Homer C Godfrey Company	1360 Central Ave		Bridgeport	CT	06610
*1220 Barnum Ave	The Homer C Godfrey Company	1360 Central Ave		Bridgeport	CT	06610
1227 Barnum Ave	1227 Barnum LLC	1227 Barnum Ave		Bridgeport	CT	06610
1241 Barnum Ave	True Pentacostal Holy Church	1241 Barnum Ave		Bridgeport	CT	06610
*1250 Barnum Ave	The Homer C Godfrey Company	1360 Central Ave		Bridgeport	CT	06610
1257 Barnum Ave	Ronald M Roman Et Al	1255 Barnum Ave		Bridgeport	CT	06610
*1266 Barnum Ave	The Homer C Godfrey Company	1360 Central Ave		Bridgeport	CT	06610
1269 Barnum Ave	TLC Properties Inc	32 Midland Street		Windsor	CT	06095
1276 Barnum Ave #1278	Miranda Awilda	1276 Barnum Ave		Bridgeport	CT	06610
1282 Barnum Ave #1284	CAZ3AU-Previlon & Wilfred Previlon	1282 Barnum Ave		Bridgeport	CT	06610
1288 Barnum Ave #1292	Gabriele & Mary Salvatore	1288 Barnum Ave		Bridgeport	CT	06610
1316 Barnum Ave	Wade Properties LLC	1316 Barnum Ave		Bridgeport	CT	06610
1470 Barnum Ave	1460 Barnum Ave LLC	1452 Barnum Ave		Bridgeport	CT	06610
* owned by The homer C Godfrey Company						



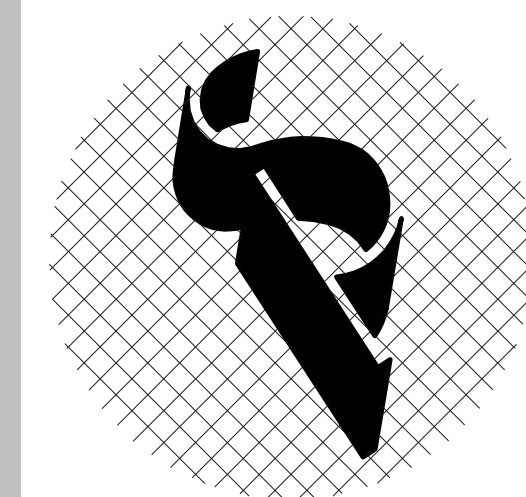
Homer C. Godfrey Co.

Building Renovation and 2nd Floor Addition

1360 Central Avenue
Bridgeport, CT 06610



Permit Set



SILVER / PETRUCELLI + ASSOCIATES

Architects / Engineers / Interior Designers

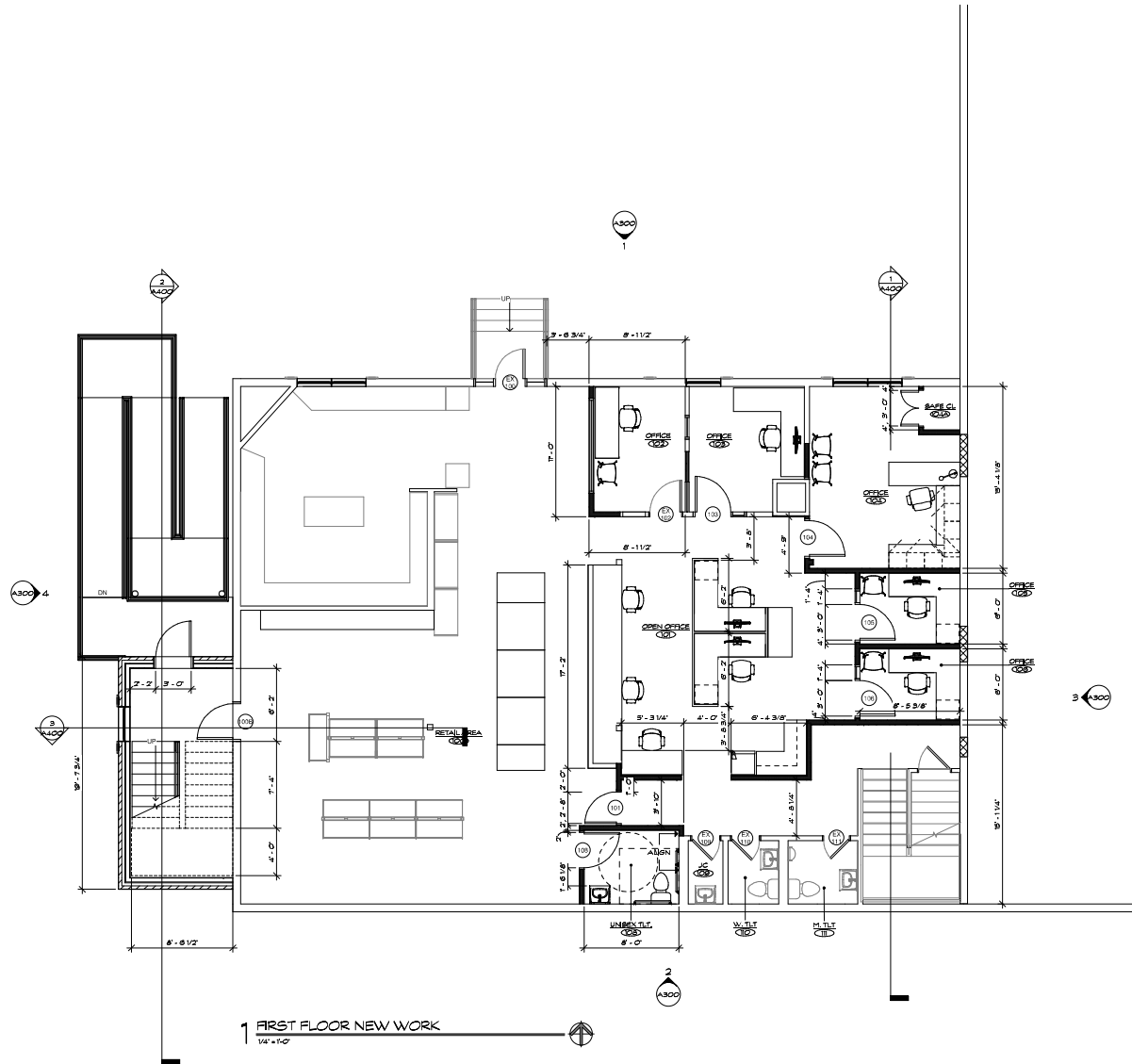
3190 Whitney Avenue, Hamden, CT 06518-2340

Tel. 203 230 9007 Fax. 203 230 8247

silverpetrucelli.com

October 6, 2022

CS



1 FIRST FLOOR NEW WORK
1/4" = 1'-0"

SYMBOL LEGEND

- NEW METAL STUD PARTITIONS
- NEW MASONRY WALL
- NEW CMU WALL
- DOOR NUMBER
- WINDOW TYPE
- ROOM NAME
- ROOM NUMBER
- PARTITION TYPE
- CONSTRUCTION NOTE
- EXTERIOR ELEVATION NUMBER
- SHEET NUMBER
- INTERIOR ELEVATION NUMBER
- SHEET NUMBER
- BUILDING SECTION NUMBER
- SHEET NUMBER
- WALL SECTION NUMBER
- SHEET NUMBER
- FIRE EXTINGUISHER CABINET
- FLOOR DRAIN - SLOPE TO DRAIN
- HANDICAPPED DRINKING FOUNTAIN

- GENERAL NOTES**
1. READ ALL GENERAL NOTES ON DRAWING ADD.
 2. CONTRACTORS SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS MATCH TO MATCH ALL EXISTING WALLS AND CEILINGS TO REMAIN AFFECTED BY NEW WORK. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK, CONCRETE, MASONRY UNITS AND METAL FRAMING UNLESS OTHERWISE NOTED.
 3. ALL NEW WALL AND PARTITION ASSEMBLIES SHALL EXTEND TO UNDERSIDE OF DECK UNLESS OTHERWISE NOTED.
 4. PROVIDE CMU WITH PRE-MANUFACTURED BULGROUSE AT ALL EXPOSED CORNERS. WHERE THE WORD 'ALIGH' IS INDICATED IT SHALL MEAN TO ALIGN BOTH SIDES OF WALL.

CONSTRUCTION NOTES - PLAN

1.

Project 1336
 Homer C. Godfrey Company
 Building Renovation
 1360 Central Avenue
 Bridgeport, Connecticut 06610



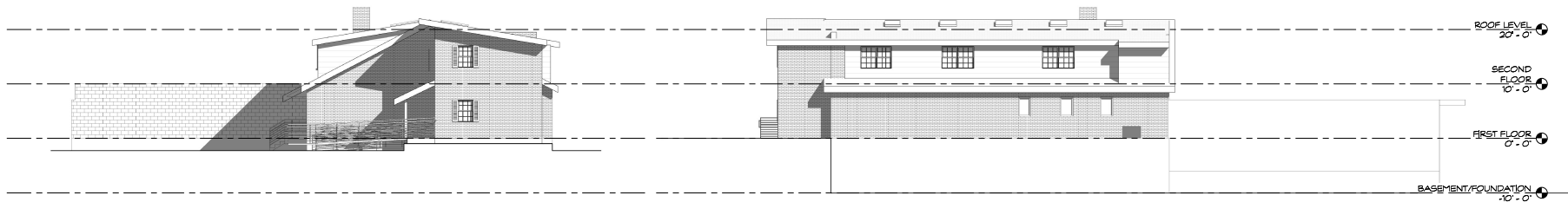
SILVER / PETRUCELLI + ASSOCIATES
 Architects / Engineers / Interior Designers
 3190 Whitney Avenue, Hamden, CT 06518-2340
 Tel. 203 230 9007 Fax. 203 230 8247
 silverpetrucelli.com

Revised	Designed	Drawn	Reviewed

Sheet 101
FIRST FLOOR NEW WORK
PLAN

Date: September 30, 2022
 Scale:
 As Indicated
 Project:
 Project Number:
 2210

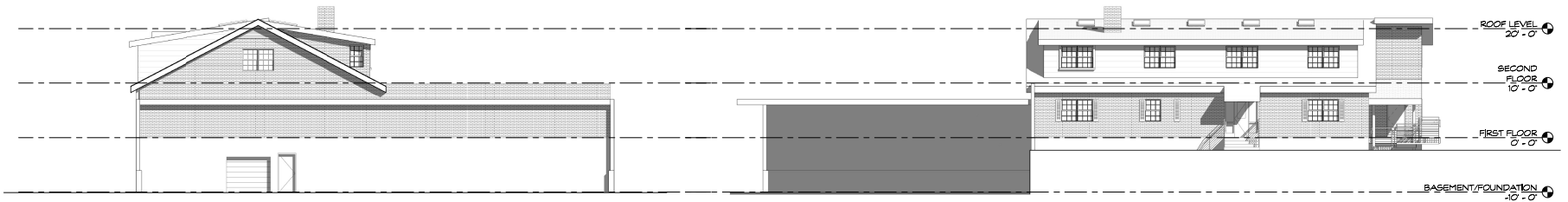
A102



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



Sheet Title:
Homer C. Godfrey Company
Building Renovation
1360 Central Avenue
Bridgeport, Connecticut 06610



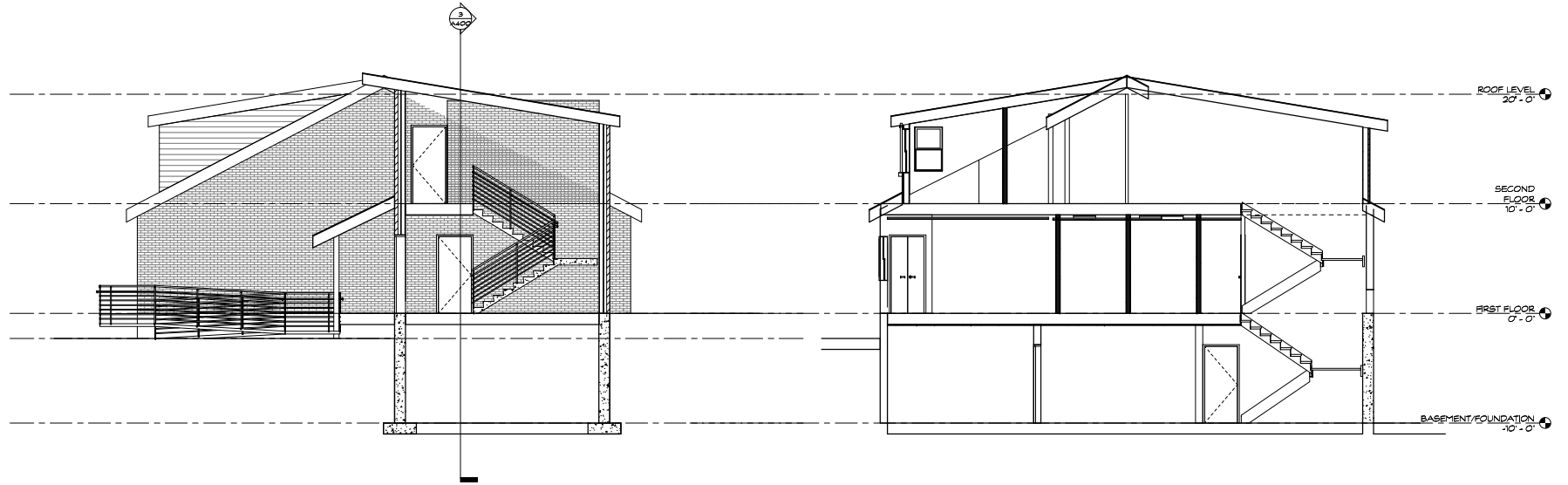
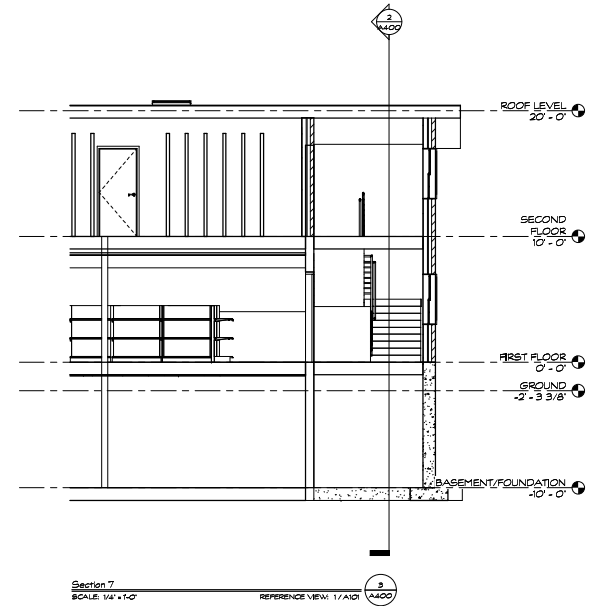
SILVER / PETRUCELLI + ASSOCIATES
Architects / Engineers / Interior Designers
3190 Whitney Avenue, Hamden, CT 06518-2340
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucelli.com

Revised	Designed	Drawn	Reviewed

Sheet Title:
OVERALL EXTERIOR
ELEVATIONS

Sheet:
September 30, 2022
Scale:
1/8" = 1'-0"
Drawing:
PLG
Project Number:
2210

A300



Section 6
SCALE: 1/4" = 1'-0"
REFERENCE VIEW: 1/A401

Section 6
SCALE: 1/4" = 1'-0"
REFERENCE VIEW: 1/A401

Project Title:
Homer C. Godfrey Company
Building Renovation
1360 Central Avenue
Bridgeport, Connecticut 06610



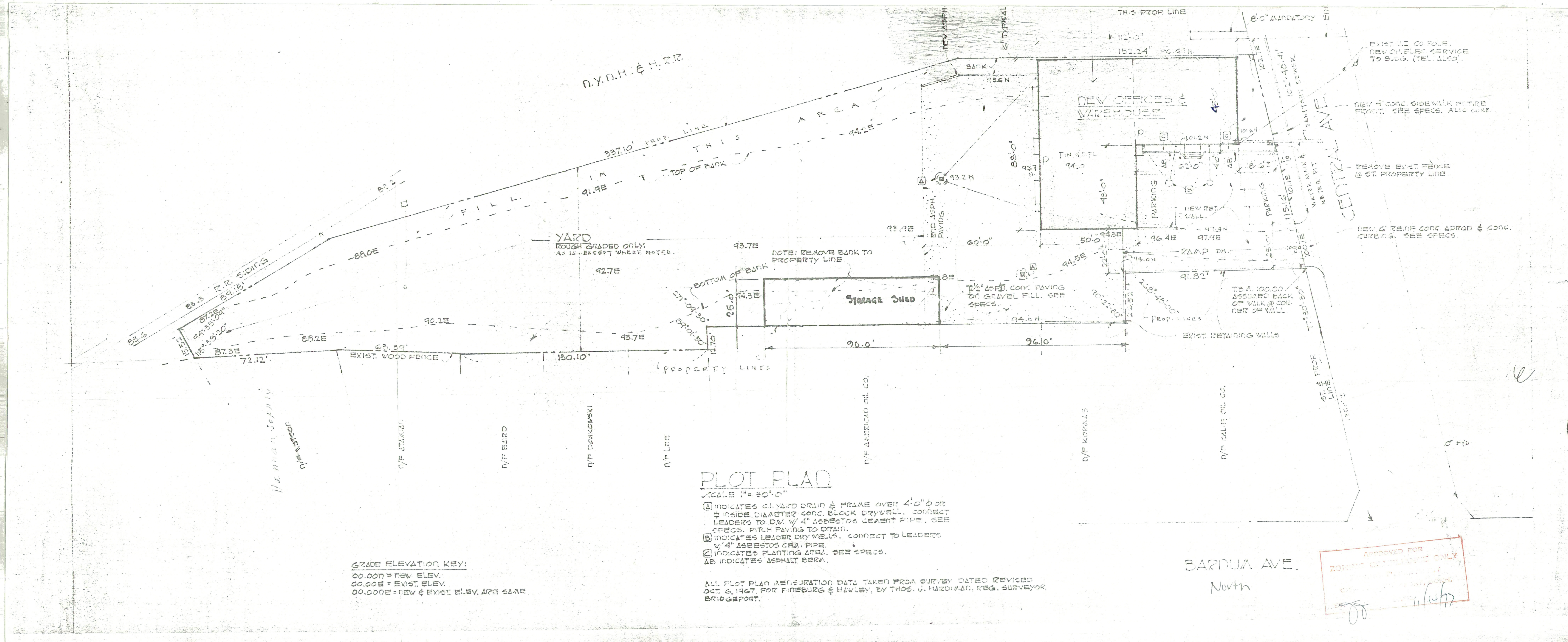
SILVER / PETRUCCELLI + ASSOCIATES
Architects / Engineers / Interior Designers
3190 Whitney Avenue, Hamden, CT 06518-2340
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucci.com

Revised	Description	Date	Revised By

Project Title:
BUILDING SECTIONS

Date:
September 30, 2022
Scale:
1/4" = 1'-0"
Drawing:
PLG
Project Number:
2210

A400



GRADE ELEVATION KEY:
 00.000 = NEW ELEV.
 00.00E = EXIST. ELEV.
 00.000E = NEW & EXIST. ELEV. ARE SAME

PLOT PLAN
 SCALE 1/4" = 10'-0"

- (A) INDICATES 24" DIA. YARD DRAIN & FRAME OVER 4'-0" DIA. 18" INSIDE DIAMETER CONC. BLOCK DRYWELL. CONNECT LEADERS TO DW. W/ 4" ASPBESTOS CEMENT PIPE. SEE SPECS. PITCH PAVING TO DRAIN.
- (B) INDICATES LEADER DRYWELL. CONNECT TO LEADERS W/ 4" ASPBESTOS CEMENT PIPE.
- (C) INDICATES PLANTING AREL. SEE SPECS.
- AB INDICATES ASPHALT PAVA.

ALL PLOT PLAN REGENERATION DATA TAKEN FROM SURVEY DATED REVISED OCT. 6, 1967 FOR FINEBURG & HAWLEY, BY THOS. J. HARDIMAN, REG. SURVEYOR, BRIDGEPORT.

APPROVED FOR ZONING COMPLIANCE ONLY
 OCT 11 1967
 [Signature]



Revision:	Description:	Date:	Revised By:





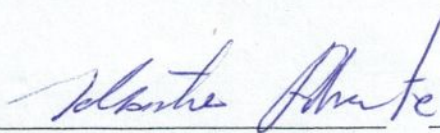
**ZONING BOARD OF APPEALS
APPLICATION CHECKLIST
CITY OF BRIDGEPORT
203-576-7217**

Required Information

- All items must be submitted in sets of **(11) Eleven**
- All plans & drawings must be full size (24"x36"), drawn to scale and in a PROFESSIONAL manner and must include a title block noting the name, address & telephone number of preparer.
- Site Development Plan prepared in accordance with Sec. 14-2-3b of the Bridgeport Zoning Regulations. Include the Zone Development Standards table indicating both required as well as the proposed Standards.
- ~~Elevation views of a proposed new structure or elevation views of an existing building where an addition or change is proposed.~~
- Floor plan of building(s) or section of building(s) being considered by the Board.
(All sets **FOLDED DOWN** to 8" x 12")
- ~~A Design Standard submission for new developments.~~
- A written statement citing the specific provision(s) of the Regulations from which the variance is sought.
- A list of the names & addresses of all property owners within 100 ft of all property lines of the subject property. The Tax Assessor's Office (Room 105) can assist with this information or visit the COB website: <http://gis.cdm.com/BridgeportCT/map.htm>
- All applications must include the following:
 - a) Mailing address & zip code of petitioner or authorized agent.
 - b) Daytime telephone number of petitioner or authorized agent.
 - c) Signature of owner(s) & applicant(s)
 - d) Filing fee - cash, check or money order payable to the ZONING BOARD OF APPEALS or BPT. ZBA.
- All items submitted must be saved and properly installed on a **USB flash drive**. The information on the USB flash drive must include the application, site plans, and all other hard copy information (landscaping, floor elevations, etc) that will be submitted. It also **must be labelled** with the property address and the date of hearing. All plans and paper work that is submitted to the zoning office must be **FOLDED (8"x12" or smaller)** and Collated into **11** separate packets.

Notes:

1. Applications that do not provide ALL of the above required information will be considered "incomplete" and will be not be accepted. Applications will be limited to the first 10 submitted, regardless of the submission deadline.
2. No application will be assigned for a public hearing until such time as the City Engineering Department has reviewed and submitted comments to the Zoning Office.
3. A Use Variance approval by the Z.B.A. requires a Site Plan Review by the Planning & Zoning Commission as set forth in Section 14-2-2. This approval may be in addition to other requirements of the Zoning Regulations. All required approvals must be obtained prior to the use and/or development of any parcel granted a Variance.
4. Proposed signs are not accepted as part of any petition. Signage is regulated under Sec. 11-7 of the Zoning Regulations.


8-12-22
AA
8-12-22

Applicant's Signature

Date

Reviewers Initials

Date

PETITION TO THE BOARD OF APPEALS

City of Bridgeport, Connecticut

The undersigned presents the following petition for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

2441 Main St Zone ORN
(Number) (Street) (Zone Classification)
 On the NORTH side of the street about 50 feet SOUTH from
(North, South, East, West) (North, South, East, West)
CAPITOL AVE Block: 518 Lot: _____
(Street)
 Dimension of Lot in Question _____
(Specify)

1. NAME OF PETITIONER / BUSINESS Almonte Liquor Store LLC
(Print)

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) OWNER

3. HAS ANY PREVIOUS PETITION BEEN FILED? NO IF SO, GIVE DATE OF HEARING _____
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Liquor stores establishments engaged in the retail sale of packaged alcoholic.

5. THIS PETITION RELATES TO: Check all that Apply

Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management
 Approval Liquor Use Other: Liquor stores.

6. USE TO BE MADE OF PROPERTY Liquor stores.

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

PETITIONER _____ / _____ DATE _____
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) [Signature] Marlon@MoranAgencies.com
(Email)

Mailing Address 4324 main St Bridgeport, CT 06606 203-993-1934
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT [Signature] Print Main Capital Realty LLC
(If other than owner) (Signature) (Print)

Subscribe & Sworn to before me this 29 day of August 2022 by Mohamed Alsaidi, Manager
[Signature] Notary Public in & for the County of Fairfield, State of Connecticut.
Kings New York

Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All questions must be answered in detail (use separate sheet if necessary). The Petitioner or Agent for, must adhere to the attached check list or it will not be processed.

The Zoning Board of Appeals to process this petition.

NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

HARRISON EADS
NOTARY PUBLIC, STATE OF NEW YORK
NO. 01EA6427366
QUALIFIED IN QUEENS COUNTY
MY COMMISSION EXPIRES DEC 27, 2025

**City of Bridgeport
Zoning Board of Appeals**

**Application of Almonte Liquor Store
LLC, 2541 Main Street,**

Statement of Hardship

Petitioner is the owner of Almonte Liquor Store LLC, 2541 Main Street, The Property is located in the Residence (ORN) zoning district. Petitioner seeks to open a new Liquor Store.

Please accept this letter a request for hardship distances to the Property line via City of Bridgeport GIS, The distance of 750 feet were identified multiple house of worship, schools, hospital and commercial day care within 750 feet. however, due to its distance affecting the liquor permit to move forward. The hardship concerning this application is that the Property is totally out of harmony with the character of the neighborhood due to the application of current zoning regulations on this long ago developed neighborhood.

The petitioner is looking for no more than the neighbors have and, as a result, the doctrine of fundamental fairness should be applied to liquor permit petitioner to construct to the liquor store. Connecticut does not have a state law setting a minimum distance between a liquor establishment and places such as schools or churches. The law does prohibit the Department of Consumer Protection from issuing a liquor permit unless the proposed premises complies with local zoning, and local zoning may set such minimum distances.



City of Bridgeport

My Map

Legend

- Parcels
- Streetname
- Roadways
 - Local
 - Collector
 - Minor Collector
 - Minor Arterial
 - Major Collector
 - PA Other
 - PA Other Expwy
 - PA Interstate



1: 1,138

189.6 0 94.81 189.6 Feet

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



ALMONTE LIQUOR STORE, LLC
2541 MAIN STREET, BRIDGEPORT, CT
ABUTTING PROPERTY OWNERS & OWNERS
WITHIN 100 FEET OF SUBJECT PROPERTY

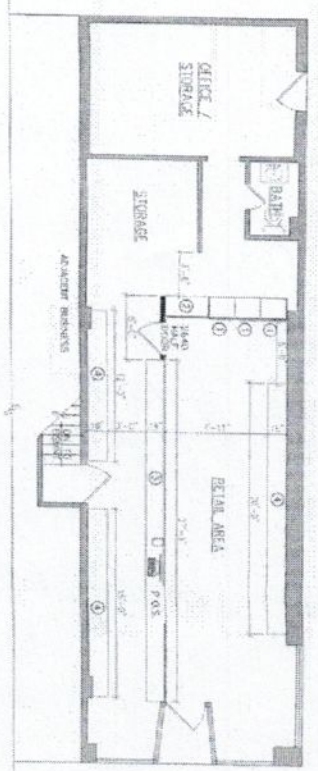
ABUTTING PROPERTY OWNERS

Property Description	Owner(s)	Mailing Address
529 Capitol Ave #531	Fowler Caswell N & Vabora A Caswell	529 Capitol Ave #531, Bridgeport, CT 06606
537 Capitol Ave #541	HM Properties 111 LLC	541 Capitol Ave, Bridgeport, CT 06606
528 Capitol Ave #530	221 Wayne Street LLC	88 Moose Hill Road, Trumbull CT 06611
534 Capitol Ave #538	Blaise Rose	175 Pacific St, Bridgeport CT 06604
542 Capitol Ave #544	Dyer Petrish	542 Capitol Ave #544, Bridgeport, CT 06606
25 Garfield Ave #27	Amaro Domingos & Susan	25 Garfield Ave, Bridgeport, CT 06606
33 Garfield Ave	Lubin Andre	33 Garfield Ave, Bridgeport CT 06606
39 Garfield Ave #41	Davis Janice A	41 Garfield Ave, Bridgeport CT 06606
2559 Main St	Brito Enrique A J	2559 Main St, Bridgeport CT 06606
2567 Main St	Simeon Blanca	22-07-92 St Flr 2, East Elmhurst, NY 11369
22 Garfield Ave #24	Wierzbinski Angelica	22 Garfield Ave, Bridgeport CT 06606
30 Garfield Ave #32	Balarezo Gabriel F	45 Stones Way, Southbury, CT 06488
34 Garfield Ave #36	Housing Authority of City of Bridgeport	150 Highland Ave, Bridgeport, CT 06604
2483 Main St #2485	Massa Luis	2453 Main St #2485, Bridgeport CT 06606
2490 Main St	ERM Realty LLC	106 Obtuse Rd South, Brookfield CT 06804
2508 Main St #2522	Fleet Bank C/O Bank of America Corp Real Estate	NC1-001-03-81 101 N Tryon St, Charlotte, NC 28255
2528 Main St	Brown Damion & Hyacinth	2528 Main St, Bridgeport, CT 06606
2534 Main St #2538	Metaliaj Avdi	2047 Holland Ave #5B, Bronx, NY 10462
2546 Main St	Cabrera Aldofina	115 Midland Ave, Port Chester, NY 10573
2556 Main St	Cherilus Willeme	2556 Main St, Bridgeport, CT 06606

LEGEND

- EXISTING WALLS
- NEW 2x4 WOOD STUD HALF WALL

- 1 24" ROSSBACH DOOR
- 2 20" DEEP CORNER
- 3 18" DEEP GLASS CASE
- 4 18" WIDE SADDLES



1st FLOOR PLAN
NOT TO SCALE

GARFIELD AVE

MAIN ST.

	Project No. 716522 Date 2/28/14	COMMERCIAL FIT-UP 2541 MAIN STREET BRIDGEPORT, CT		Project No. 716522 Date 2/28/14
	Drawn By: JDC Title: JDC			
Title: FLOOR PLAN	Scale: AS NOTED	Sheet: A-1	Total Sheets: 1	Date: 2/28/14

