



#3

### ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

- Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

214 Central Avenue Zone I-LI NX2  
(Number) (Street) (Zone Classification)  
 On the East side of the street about 50 feet East from  
(North, South, East, West) (North, South, East, West)  
Adams Street Block : \_\_\_\_\_ Lot: 23/669/1  
(Street)  
 Dimension of Lot in Question 188' x 250'

1. NAME OF APPLICANT / BUSINESS DLTC Equipment LLC  
(Specify)  
 2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Lessee  
(Print)  
 3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)  
 4. DESCRIBE PROPOSED DEVELOPMENT Need approval for DMV Dealer License to sell trailers

5. THIS APPLICATION RELATES TO: Check all that Apply  
 Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: DMV Dealer License Approval - Trailer Sales

6. USE TO BE MADE OF PROPERTY Trailer sales and service.

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? \_\_\_\_\_

APPLICANT Jonathan H. Sweeney DATE 2-3-23  
(Signature) (Print) (Date)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_

Mailing Address 214 Central Ave, Bridgeport, CT 06607 203-338-9696  
(Email)

PROPERTY OWNERS ENDORSEMENT Jonathan H. Sweeney 2-3-23  
(If other than owner) (Signature) (Print) (Zip Code) (Phone #)

Subscribe & Sworn to before me this 3 day of February 2023  
A. Roda/Born Notary Public in & for the County of Fairfield, State of Connecticut.

#### Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).  
 The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this application.  
**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_



Jonathan H. Sweeney  
jon@dltcusa.com  
DEP Supervisor #S-3072  
DEP #B-0990  
CT HIC #0606060  
CT Arborist #62650  
GSA GS-21F-012BA

214 Central Avenue  
Bridgeport, CT 06607  
203 338-9696  
FAX 203 338-9709  
[www.dltcusaequipment.com](http://www.dltcusaequipment.com)

Friday February 03, 2023

To Whom It May Concern,

We, DLTC Equipment LLC, are requesting permission from the Zoning Board to obtain a new dealers license through the DMV to be able to sell trailers at our existing business.

Sincerely,

Jonathan H, Sweeney  
President



Jonathan H. Sweeney  
jon@dltcusa.com  
DEP Supervisor #S-3072  
DEP #B-0990  
CT HIC #0606060  
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Friday February 03, 2023

To Whom It May Concern,

We moved our business from Norwalk to Bridgeport about 15 years ago. When we moved into Bridgeport we applied for and received all of the required approvals for our landscape contracting operation. In addition, we performed an extensive environmental cleanup on our own accord before moving in. Since then, we have been improving our property continuously and striving to make our footprint in Bridgeport as aesthetically pleasing, clean, and secure as possible. We have a full-time mechanic in charge of servicing and maintaining all of our equipment. In addition to having a meticulously maintained fleet of equipment/vehicles, we buy new equipment often and don't let anything become an eye sore. We provide jobs to the local workforce and have made a habit of helping our local community in any way we can.

In the past we have struggled to find a good local source for landscape equipment and found ourselves going out of town to purchase. In an effort to bring that business into Bridgeport we looked into what it would take to become a dealer for the equipment that we were going out of town to buy. In 2021, we started DLTC Equipment LLC and began selling landscape industry equipment and have since began taking on brands as a dealership. We have been thrilled to be able to bring business into Bridgeport that would have otherwise gone elsewhere.

We have now been presented an opportunity to bring trailer sales into our business. We have been fully approved by one of the largest and highest quality trailer brands in the country, PJ Trailers. We currently provide landscapers like ourselves with high quality equipment and would love to be able to bring them trailers as well. A CT DMV new dealer license is necessary to sell trailers because they are required to be registered with the DMV. In order to obtain a new dealer license we would need the zoning department's approval.

As you can see from the attached drawings, the trailers would be kept within our privacy walls and would not be seen from the street. We sell almost exclusively to landscape companies so we do not have and would not have heavy foot traffic. Another way our business model does not promote heavy foot traffic is that we deliver a lot of the equipment we sell rather than have customers pick it up here. Delivery of trailers to us would not be a disturbance to the surrounding area as we have a very spacious lot where full-sized delivery trucks can pull in, unload, and turn around. Environmentally, trailers are very low risk as they have no motors, minimal mechanical components and almost no oils/lubes. As far as environmental conditions at our location, we take pride in being a very clean operation. We have lot cleaning equipment that we use regularly, we have garbage picked up twice a week by a local sanitation company, and we do not let refuse pile up and become a hazard or an eye sore. We also have our oil/sediment separator for the storm drain cleaned professionally and have receipts we can show to prove that.

Ultimately our goal is to continue to make Bridgeport a better place for our business to reside. We appreciate all of the opportunity that this city and it's people have given to us. We hope to give back by providing great jobs and great service to the people and businesses of Bridgeport.

Sincerely,

Jonathan H, Sweeney  
President

**COPY**



*City of Bridgeport*  
**Zoning Department**  
**PLANNING & ECONOMIC DEVELOPMENT**

45 Lyon Terrace • Bridgeport, Connecticut 06604  
Telephone (203) 576-7217  
Fax (203) 576-7213

DATE: October 3, 2008

OUR FILE: 08 - 76

Mr. John H. Sweeney  
214 Central Avenue  
Bridgeport, CT 06607

RE: Coastal Site Plan Review  
214 Central Avenue  
Bridgeport, CT

Dear Mr. Sweeney:

At its Public Hearing held on Wednesday, October 1, 2008 the Planning & Zoning Commission voted to approved with conditions the application submitted by you seeking to legalize existing contractor's yard, offices, and storage of materials & equipment in an I-LI ZONE & Coastal Area.

The Commission's stipulated the following condition for its approval:

1. Storage bins shall no exceed 6 feet in height.
2. A permanent cover shall be kept on the bins at all time.
3. Site shall be in conformance with the revised A-2 survey submitted to the Commission at the public hearing.

The Commission's decision is based on the following reasons:

1. Proposed use is less intensive from the previous use.
2. The project as approved will not cause any unacceptable adverse impact on the Coastal Area.

Very truly yours,

Dennis Buckley, Clerk  
Planning & Zoning Commission

DB:map



## List of names & addresses of all property owners within 100ft of property lines

|    | <b>Name</b>                      | <b>Property Address</b> |
|----|----------------------------------|-------------------------|
| 1* | KRISMEL HOLDINGS LLC             | 214 CENTRAL AV          |
| 2  | BRIDGEPORT CITY OF               | 364 ADAMS ST            |
| 3  | TARDIE GLORIANA CARBONE          | 270 CENTRAL AV          |
| 4  | TARDIE GLORIANA C                | 329 ADAMS ST            |
| 5  | BRIDGEPORT CITY OF               | 349 ADAMS ST            |
| 6  | 152 CENTRAL AVENUE LLC           | 152 CENTRAL AV          |
| 7  | M & J VIDEIRA LLC                | 346 DEFOREST AV         |
| 8  | BRIDGEPORT CITY OF               | 370 DEFOREST AV         |
| 9  | 265 CENTRAL LLC                  | 265 CENTRAL AV          |
| 10 | C R E A M ENTERPRISES LLC        | 290 ADAMS ST            |
| 11 | SANTIAGO RUBEN & AUZILENE VIEIRA | 284 ADAMS ST            |
| 12 | DEFOREST DEVELOPERS LLC          | 275 DEFOREST AV         |
| 13 | DEKALB L L C                     | 269 DEKALB AV           |





(m1)





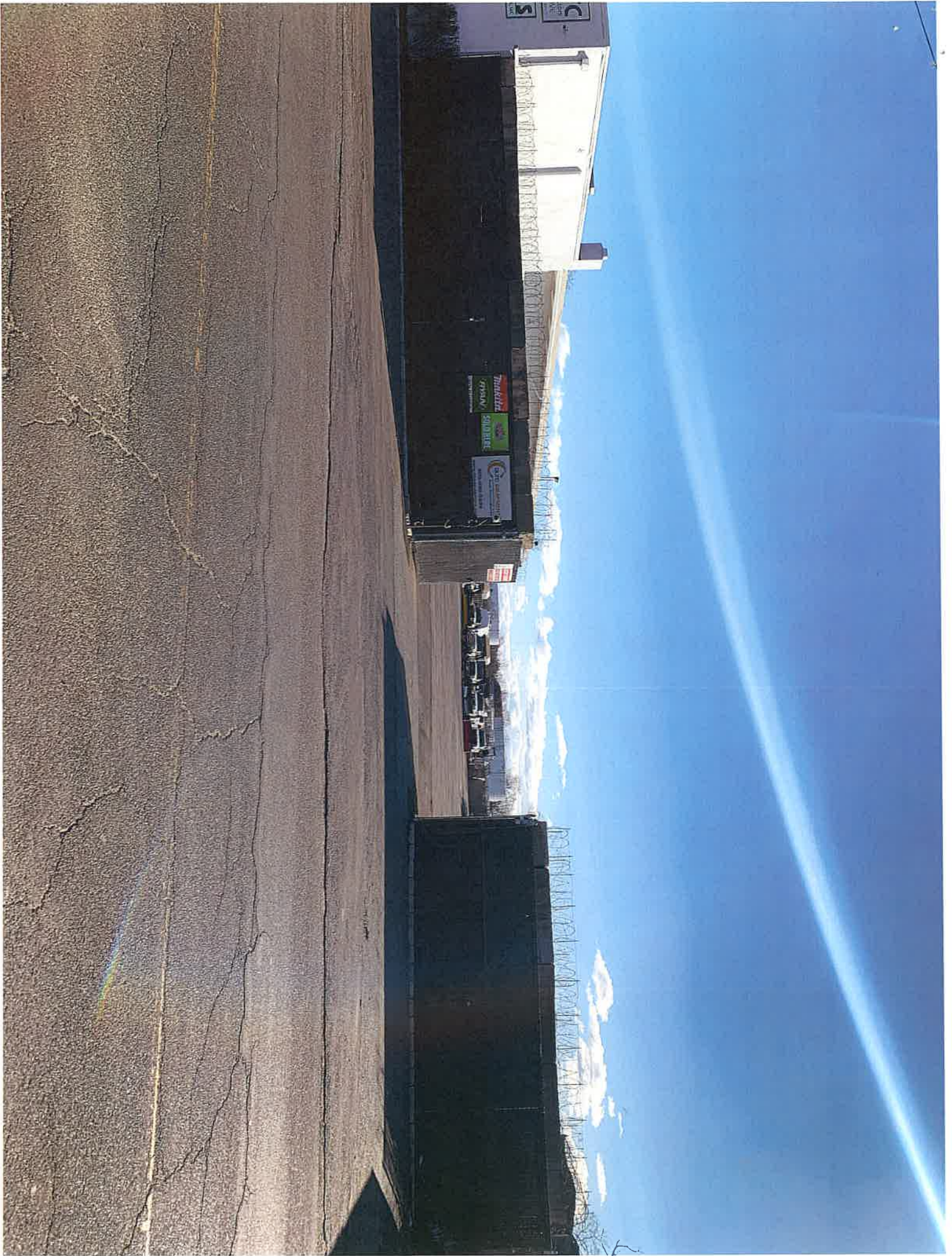
DUTC  
AES

WELLS FARGO  
AMERICAN EXPRESS

AMERICAN EXPRESS

AMERICAN EXPRESS









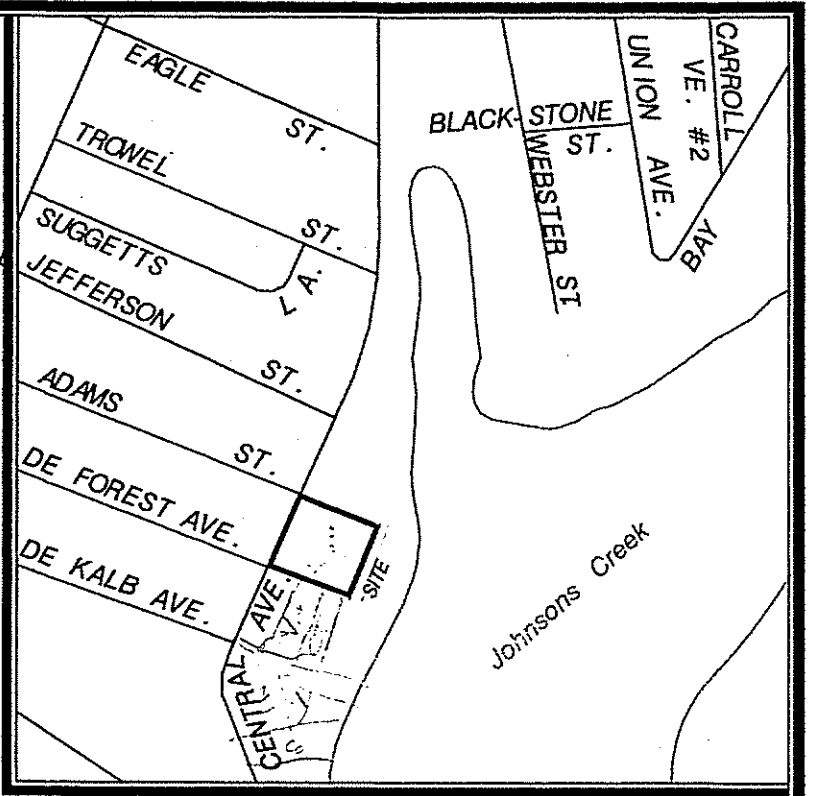








| STANDARD I-LI ZONE                             | REQUIRED       | EXISTING   | PROPOSED   |
|--|----------------|------------|------------|
| MAXIMUM FAR                                    | NO LIMIT       | 20.7%      | 20.7%      |
| MINIMUM LOT AREA                               | NO LIMIT       | 46977 S.F. | 46977 S.F. |
| MINIMUM FRONTAGE                               | 25 FT.         | 186.07'    | 133.07'    |
| MINIMUM BUILDING SETBACKS:                     |                |            |            |
| STREET LOT LINE                                | 15 FT          | 17.02'     | 17.02'     |
| LOT LINE ABUTTING AN MU, OR, L, ZONED LOT      | 0 FT           | N/A        | N/A        |
| LOT LINE ABUTTING AN R ZONED LOT               | 15 FT          | N/A        | N/A        |
| HIGH IMPACT INDUSTRIAL ZONE                    | 10 FT.         | N/A        | N/A        |
| LANDSCAPING IN SETBACK ABUTTING AN R ZONED LOT | 10 FT @ L4     | N/A        | N/A        |
| MAXIMUM LOT COVERAGE (BUILDING & PAVED AREA)   | 85%            | 66.6%      | 84%        |
| MINIMUM LANDSCAPED AREA                        | 15%            | 0%         | 16%        |
| MAXIMUM HEIGHT                                 | 75 FT.         | 20'        | 20'        |
| PARKING ALLOWED BETWEEN BUILDING AND STREETS   | YES            | YES        | YES        |
| DRIVE-THROUGH FACILITIES PERMITTED             | YES            | YES        | YES        |
| OUTDOOR DISPLAY PERMITTED                      | YES            | YES        | YES        |
| OUTDOOR STORAGE PERMITTED                      | YES            | YES        | YES        |
| TRUCKS AND EQUIPMENT PERMITTED                 | ALL CATEGORIES | YES        | YES        |

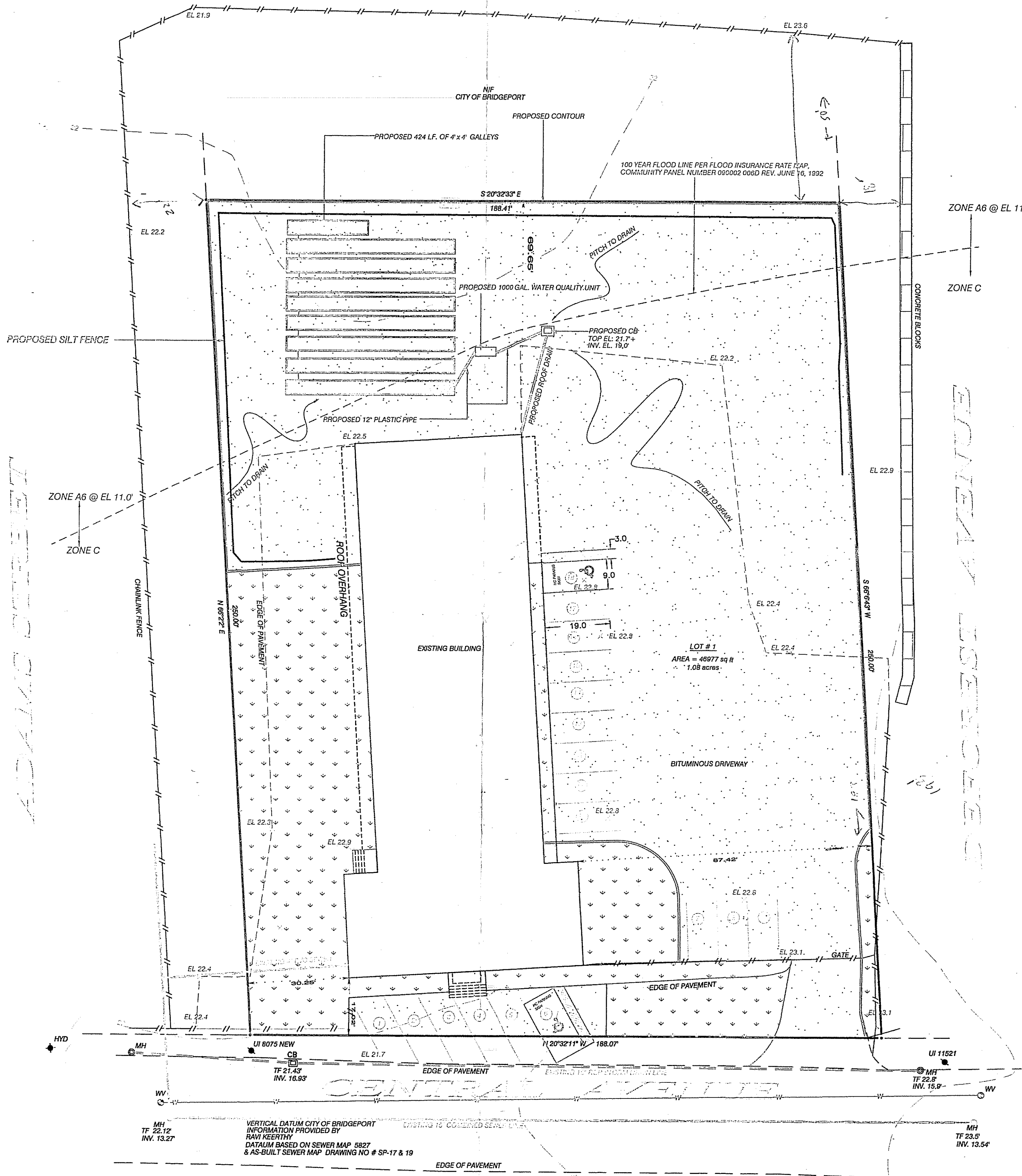


**GENERAL NOTES:**

- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2 & T-2 Based on Bridgeport vertical datum.
- The Type of survey performed is a Limited Property Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist.
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parcel testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The site, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- Lot served by town sewer system and public water supply.

**MAP REFERENCES:**

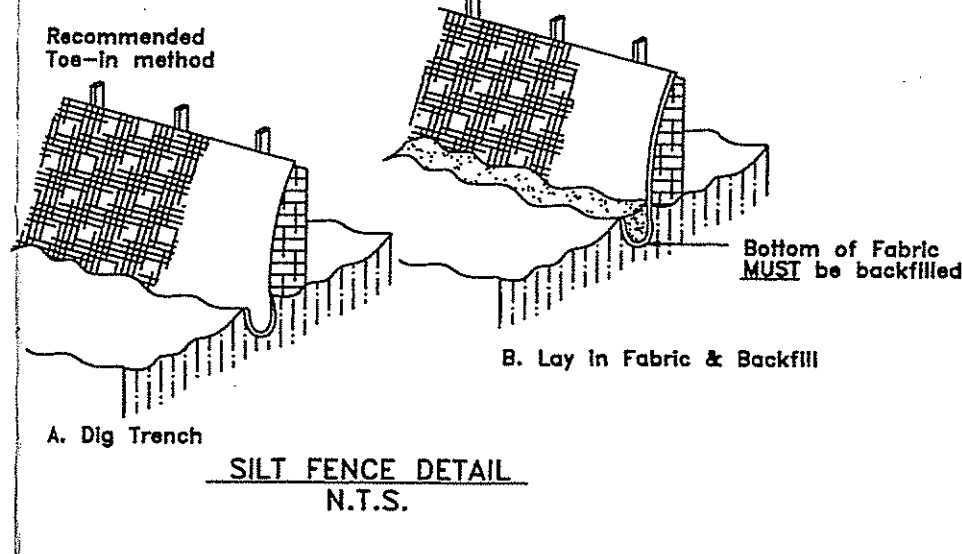
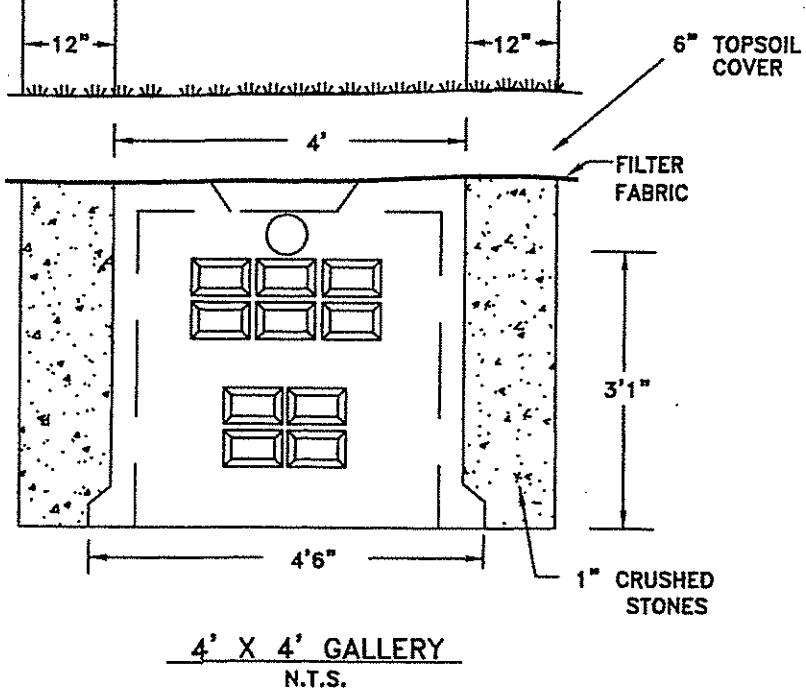
- RECORD MAP # V10 M 394
- RECORD MAP # V10 M 43.44



**PERC. RESULT:**

| TIME  | READING | DROP |
|-------|---------|------|
| 9:30  | 4"      | —    |
| 9:40  | 9"      | 5"   |
| 9:50  | 13"     | 4"   |
| 10:00 | 16"     | 3"   |
| 10:10 | 18"     | 2"   |
| 10:20 | 20"     | 2"   |
| 10:30 | DRY     | 2"   |

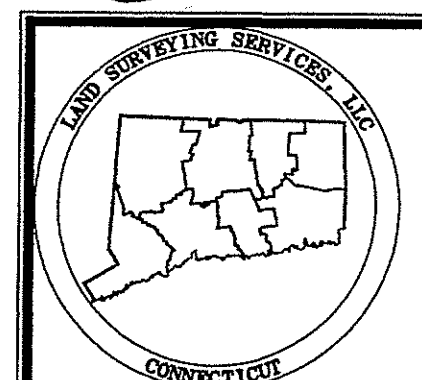
1" IN 5 MIN



**LEGEND**

- EXISTING 1" CONTOURS
- - - EXISTING GAS LANE
- W - - - EXISTING WATER LANE
- - - EXISTING 16" COMBINED SEWER LINE @ 0.10%
- - - EXISTING 18" RCP STORM LINE @ 0.30%
- - - EXISTING CHAIN LINK FENCE
- ⊗ UTILITY VALVE
- ⊙ CATCH BASIN
- ⊕ WATER VALVE
- ⊖ MAN HOLE
- ⊙ UTILITY POLE
- ⊕ FIRE HYDRANT
- ▨ PROPOSED LANDSCAPE AREA
- ▩ PROPOSED PAVEMENT AREA
- PROPOSED CURB
- - - PROPOSED CONTOUR

HEM KHONA PE 9947  
FOR DRAINAGE CALCULATION  
SEE REPORT



**LAND SURVEYING SERVICES, LLC**  
135 FAIRCHILD AVENUE  
FAIRFIELD, CONNECTICUT 06825  
TEL. (203) 522-4177  
FAX. (203) 615-0123  
EMAIL: info@nealjain.com

**TITLE BLOCK**  
ASSESSORS MAP # 0-19 PARCEL # 611 ZONE: LIJ  
APPLICANT: JONATHAN H. SWEENEY  
214 CENTRAL AVENUE  
BRIDGEPORT  
203-338-0500  
DESCRIPTIVE TITLE:  
To the best of my knowledge and belief this map is substantially correct as noted hereon.  
NEAL K. JAIN L.S. # 18139

| DATE     | DESCRIPTION        |
|----------|--------------------|
| 08-21-08 | CITY COMMENTS      |
| 08-14-08 | PROPOSED SITE PLAN |
| DATE     | DESCRIPTION        |

**MAP OF PROPERTY OWNED BY KRISMEL HOLDINGS LLC**  
214, CENTRAL AVENUE, BRIDGEPORT, CONNECTICUT  
20 0 20 40  
SCALE: 1"= 20'  
DATE: JULY 15, 2008









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\* Also Admitted in NY  
\* Also Admitted in VT  
\* Of Counsel

January 5, 2023

Paul Boucher  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Petition for Variances – 461 Gregory Street**

Dear Mr. Boucher:

Please accept, on behalf of my client, 461 Gregory Street, LLC (the “Petitioner”), the following narrative and enclosed application materials as part of a Petition for variances of the Bridgeport Zoning Regulations (the “Regulations”) for the property located at 461 Gregory Street (the “Site”) to permit a multi-family residential apartment building to contain Six (6) dwelling units on the Site with associated Site improvements in the NX2 Zone.

**Variances Requested**

1. Variance of Section 3.60.4.3 of the Regulations to reduce the minimum Primary Street Build-to Zone from 14’ to 9’7”; and
2. Variance of Section 3.60.4.7 of the Regulations to reduce the minimum Rear Setback from 20’ to 3’6”.

**Narrative**

The Petitioner requests variances in order to construct a three-story multi-family residential dwelling under the Small General Building Type to contain Six (6) dwelling units on the Site. The Petitioner is permitted as of right to build a multi-family residential dwelling at the proposed density on the Site in the NX2 Zone where the Site is located.

The Site is located in a neighborhood with a mix of multi-family dwellings. A similar building is located directly across the street. It is essentially completely surrounded by the NX2 Zone except for a couple churches located in the P2 Zone. It is located just south of I-95 and the high-density housing at the former Marina Village. The Site is an oddly-sized lot, which is currently vacant. Most of the lots on Gregory Street are 50' wide by 100' deep. The Site is 50' wide. However, the Site was divided from its neighboring property to the south at 45 Columbia Street. It essentially halved the depth of the Site. The property at 45 Columbia Street contains a multi-family dwelling that was built in 1897. The division of the lots limits the size of the Site. It also makes it essentially impossible to meet the setback requirements of the NX2 Zone.

The Petitioner proposes to construct a three-story multi-family residential dwelling on the Site. The Site will not contain a driveway or off-street parking spaces as permitted under the Regulations. This neighborhood features a significant number of commuters. On-street parking is also permitted. The proposed building will contain Six (6) residential dwelling units – Four (4) one-bedroom and Two (2) two-bedroom dwelling units. Each unit will contain a kitchen, dining and living area as well as a full bath and bedroom. The two-bedroom units will just feature the additional bedroom. The upper floors will be accessed by a stairwell. A laundry will be located on the first floor for all the dwelling units.

The proposed design of the building conforms to the urban design guidelines and is meant to encourage a street level design which interacts with the streetscape. The Petition locates the proposed building in close proximity to Gregory Street. The street wall is compliant with the Regulations and the proposed building contains the required transparency on its two street frontages. The proposed building design mimics the urban fabric of the surrounding neighborhood.


### **Hardship**

Granting the Petitioner the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations (the "Regulations") would cause a unique hardship to the Applicant as the Site is significantly undersized for the neighborhood. While it has the required width, it does not have the depth. Unlike its neighboring properties, the Site's depth is split with another property to its south. This condition makes it impractical to meet the setback requirements of the NX2 Zone. However, the proposed setbacks are entirely conforming to the neighborhood. The buildings directly across Gregory Street and Columbia Street from the Site – 441 & 474 Gregory Street – as well as the abutting property at 45 Columbia Street feature significantly less street setbacks than the Site. In fact, they are essentially at the street property line. Also, while the proposed building does not meet the Primary Street Build-To Zone along Gregory Street, the setback along Gregory Street does meet the setback standard of a Non-Primary Street. With regards to the rear setback variance, this setback is along the shared property line with 45 Columbia Street, which shares similar property dimensions as the Site. However, the existing building at 45 Columbia Street actually features a smaller setback to its southern property line than the proposal at the Site. While the proposed

building requires a variance for its rear setback to the southern property, it should also be noted that this setback abuts the neighboring property's driveway and not the existing dwelling at 45 Columbia Street. All the dwellings along Columbia Street are shifted towards their southern property lines on this block. For all the above-stated reasons, the Application will not have a negative impact on the surrounding neighborhood, but it will in fact fit in with its character and design.

For the reasons stated above, the Applicant respectfully requests approval of the Petition for the above-stated variances.

Sincerely,



Christopher Russo

**461 GREGORY ST 100' ABUTTERS LIST**

| <b>LOCATION</b>     | <b>OWNER</b>                        | <b>OWNER ADDRESS</b>  | <b>CITY</b> | <b>STATE</b> | <b>ZIP</b> |
|---------------------|-------------------------------------|-----------------------|-------------|--------------|------------|
| 124 RENNELL ST      | HERNANDEZ RICARDO & ADELINE         | 124 RENNELL ST        | BRIDGEPORT  | CT           | 06604      |
| 132 RENNELL ST      | MEJIA DANIEL                        | 132 RENNELL STREET    | BRIDGEPORT  | CT           | 06604-5331 |
| 33 COLUMBIA ST #35  | PEREZ BENJAMIN & ERNESTA PEREZ      | 35 COLUMBIA ST        | BRIDGEPORT  | CT           | 06604      |
| 41 COLUMBIA ST #43  | PARADISE PROPERTIES 1 LLC           | 28PEACH DRIVE         | SEYMOUR     | CT           | 06483      |
| 493 GREGORY ST #495 | LAPRIMERA IGLESIA DE DIOS INC       | 493 GREGORY ST        | BRIDGEPORT  | CT           | 06604      |
| 485 GREGORY ST      | CARVAJAL MARIO                      | 485 GREGORY ST        | BRIDGEPORT  | CT           | 06604-5326 |
| 45 COLUMBIA ST      | WIZ REALTY MANAGEMENT LLC           | 38 MULBERRY ST        | TRUMBULL    | CT           | 06611      |
| 467 GREGORY ST #471 | ALICKI ANTHONY & KRISSA             | 102 DUNBAR RD         | MILFORD     | CT           | 06460      |
| 34 COLUMBIA ST #36  | BERNARD STANLEY (EST OF) & MARJORIE | 34 COLUMBIA STREET    | BRIDGEPORT  | CT           | 06604      |
| 461 GREGORY ST #465 | TJ LLC                              | 102 DUNBAR RD         | MILFORD     | CT           | 06460      |
| 441 GREGORY ST #447 | DOS JOTAS LLC                       | 1540 IRANISTAN AVENUE | BRIDGEPORT  | CT           | 06604      |
| 474 GREGORY ST #480 | TIMOTHY CHAPEL R F W B CHURCH       | PO BOX 1791 N/A       | BRIDGEPORT  | CT           | 06601      |
| 486 GREGORY ST #488 | JWAG LLC                            | 158 COMMERCE DRIVE    | FAIRFIELD   | CT           | 06825      |
| 76 COLUMBIA ST #88  | MCDONALD YOLANDA                    | 135 CATHERINE ST      | BRIDGEPORT  | CT           | 06606      |



# 461 Gregory Street LLC ACTIVE

141-19 72nd Ave, Flushing, NY, 11367-2331, United States

## BUSINESS DETAILS

### Business Details

#### General Information

**Business Name**

461 Gregory Street LLC

**Business status**

ACTIVE

**Citizenship/place of formation**

Domestic/Connecticut

**Business address**

141-19 72nd Ave, Flushing, NY, 11367-2331, United States

**Annual report due**

3/31/2023

**NAICS code**

**Business ALEI**

2528652

**Date formed**

4/4/2022

**Business type**

LLC

**Mailing address**

141-19 72nd Ave, Flushing, NY, 11367-2331, United States

**Last report filed**

**NAICS sub code**

#### Principal Details

**Principal Name**

David Naftali

**Principal Title**

Managing Member

**Principal Business address**

141-19 72nd Ave, Flushing, NY, 11367-2331, United States

**Principal Residence address**

141-19 72nd Ave, Flushing, NY, 11367-2331, United States

### Agent details

Agent name

Earle Giovanniello

Agent Business address

216 Crown Street, 6th Floor, New Haven, CT, 06510, United States

Agent Mailing address

216 Crown Street, 6th Floor, New Haven, CT, 06510, United States

Agent Residence addresss

600 Hawkins Road , Orange, CT, 06477, United States

### Filing History



([https://ctds.my.salesforce.com/sfc/p/t0000000PNLu/a/t0000000eCFw/2LK8RvJqj9zzpxaPk.W8SomCavcy0LWP0en\\_KTcDIVI](https://ctds.my.salesforce.com/sfc/p/t0000000PNLu/a/t0000000eCFw/2LK8RvJqj9zzpxaPk.W8SomCavcy0LWP0en_KTcDIVI))

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### Name History

None

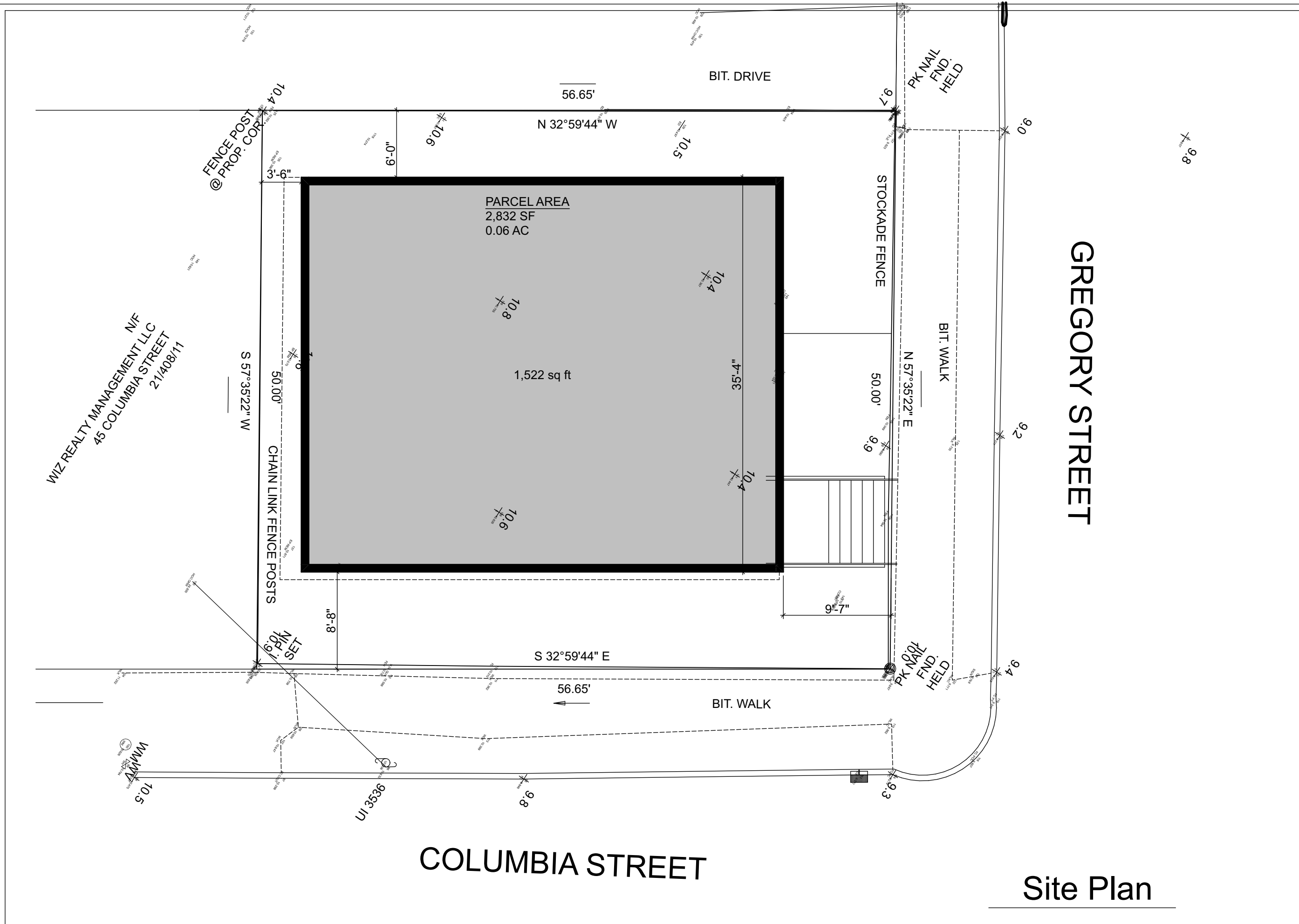
### Shares

None

Zone Development Standards  
 NX2: Small General Building Type  
 461 GREGORY STREET

|   | <b>NX2</b>  | <b>Proposed</b>  |
|---|---|------------------|
| <b>Lot Width</b>                              | 50' min.  | 56.65'           |
| <b>Primary Streetwall</b>                     | 85' max.  | 35' 4"           |
| <b>Primary Street Build-to Zone</b>           | 14' min.  | 9' 7"            |
|   | 20' max.  | 9' 7"            |
| <b>Stoop, Bay Encroachment</b>                | 7' max  |                  |
| <b>Non-Primary Street Setback</b>             | 8' min.   | 8' 8"            |
| <b>Side Setback Building</b>                  | 2' min;   | 6'               |
|   | min 10' total both sides  | N/A (Corner Lot) |
| <b>Space between Adjacent Buildings</b>       | 6' min.   | 6'+              |
| <b>Rear Setback</b>                           | 20' min.  | 3' 6"            |
| <b>Site Coverage</b>                          | 80% max.  | <80%             |
| <b>Parking &amp; Driveway Access</b>          | Non-Primary Street  | N/A              |
|   | Max 12' Width at Sidewalk   | N/A              |
|   | 1 Driveway per principal building   | N/A              |
| <b>Attached Garage Setback</b>                | 20' min behind primary façade   | N/A              |
| <b>Allowed Garage Door Location</b>           | Rear and street-side facades  | N/A              |
| <b>Surface Parking Location</b>               | Rear yard, limited side yard  | N/A              |
| <b>Street Setback</b>                         | No closer to lot line than principal building   | N/A              |
| <b>Side &amp; Rear Setback</b>                | 3' min.   | N/A              |
| <b>Accessory Structure Location</b>           | Rear yard, limited side yard  | N/A              |
| <b>Street Setback</b>                         | No closer to lot line than principal building   | N/A              |
| <b>Side &amp; Rear Setback</b>                | 3' min.   | N/A              |
| <b>Height</b>                                 | 2 stories min.  | 3                |
|   | 3 stories max.  |                  |
| <b>Story Height</b>                           | 9-12'   | Between 9'-12'   |
| <b>Roof Types</b>                             | Flat, parapet   | Complies         |
|   | Not allowed   | N/A              |
| <b>Transparency Primary Façade</b>            | 18% min.  |                  |
| <b>Transparency Non-Primary Facades</b>       | 12% min.  |                  |
|   | On the primary façade no bays or 10' wide sections of any story may be without transparency                 |                  |
| <b>Building Entrances Location</b>            | Primary Façade  |                  |
| <b>Entrance Transition Type</b>               | Porch or Stoop  | Complies         |
| <b>Ground Story Elevation above Grade</b>     | Between 0 and 30" above grade or between 30" and 4' with a visible basement, except in floodplain locations |                  |
| <b>Horizontal Divisions with Shadow Lines</b> | At base or within 3' of the top of any basement   |                  |

|   |  |          |
|---|--|----------|
| <b>Vertical Divisions with Shadow Lines</b> | None required  | Complies |
| <b>Number of Principal Units</b>            | 3 min.; 6 max.' up to 8 units with<br>Special Permit | 6        |



VICTOR SHEPTOVITSKY  
 ARCHITECT  
 2440 HIGH RIDGE ROAD  
 STAMFORD, CT 06903  
 203-219-5665  
 VIC.SHEP@YAHOO.COM

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**NEW  
 MULTIFAMILY  
 RESIDENCE**  
 461 GREGORY STREET,  
 BRIDGEPORT, CT

Dwg. No.  
**01**

Drawing Name  
**SITE PLAN**

Drawing Scale  
**1/8" = 1'-0"**

Date  
 11/26/2022

**Site Plan**



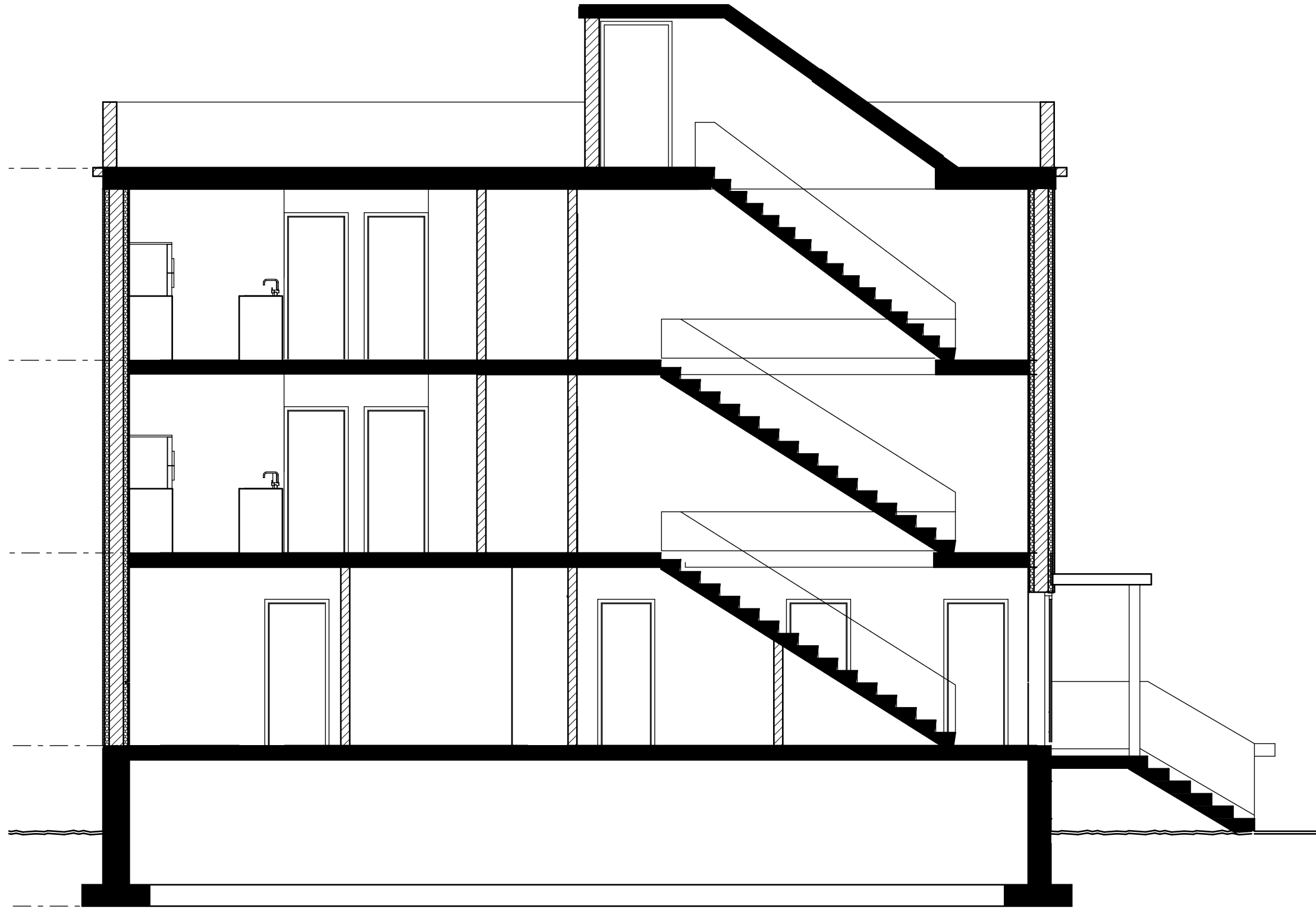
VICTOR SHEPTOVITSKY  
ARCHITECT

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## Section A-A

SCALE: 3/16" = 1'-0"

### NEW MULTIFAMILY RESIDENCE

461 GREGORY STREET,  
BRIDGEPORT, CT

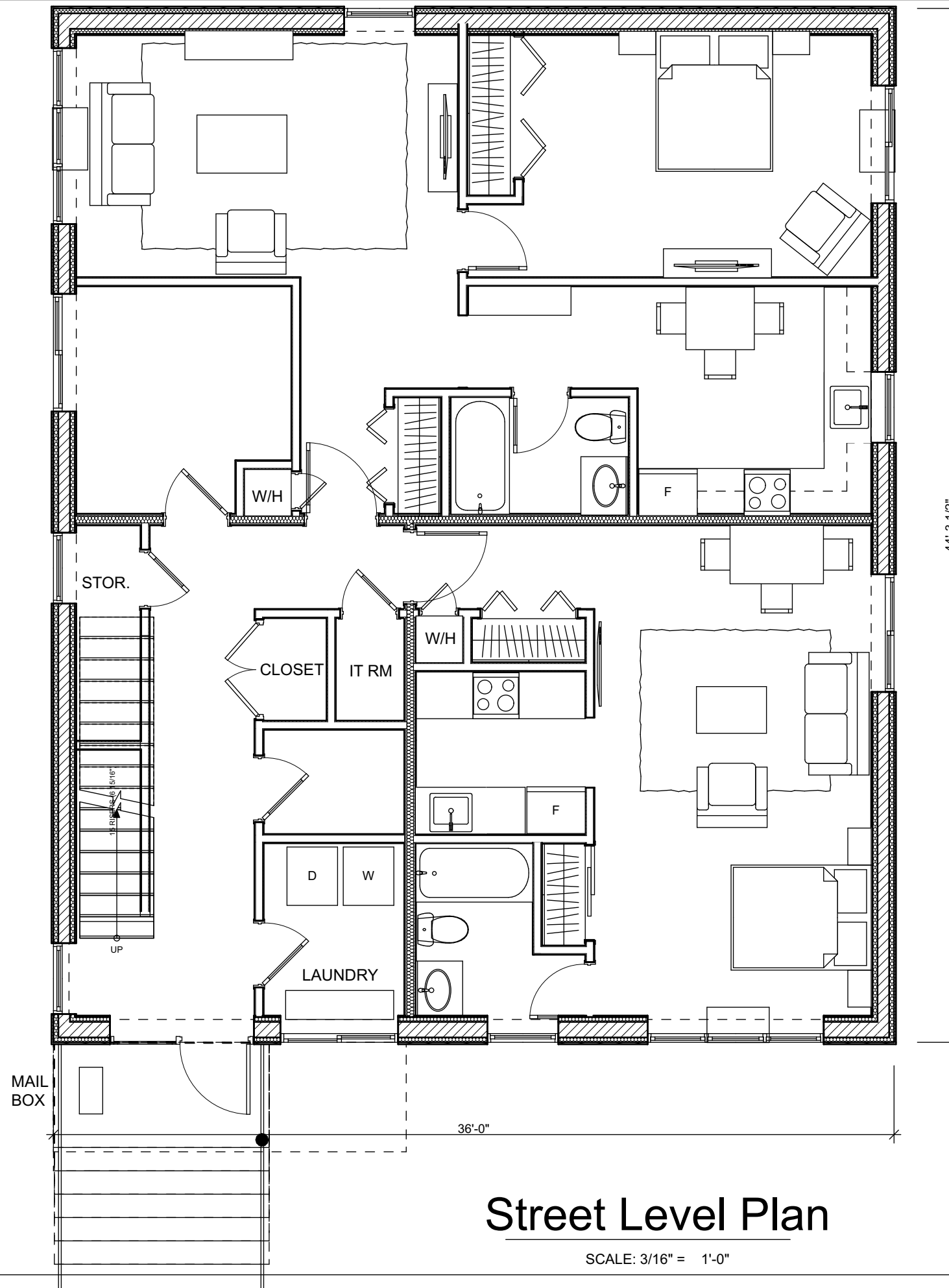
Dwg. No.  
**08**

Drawing Name

**Building Section**

Drawing Scale  
**3/16" = 1'-0"**

Date  
11/26/2022



# Street Level Plan

SCALE: 3/16" = 1'-0"

**VICTOR SHEPTOVITSKY  
ARCHITECT**  
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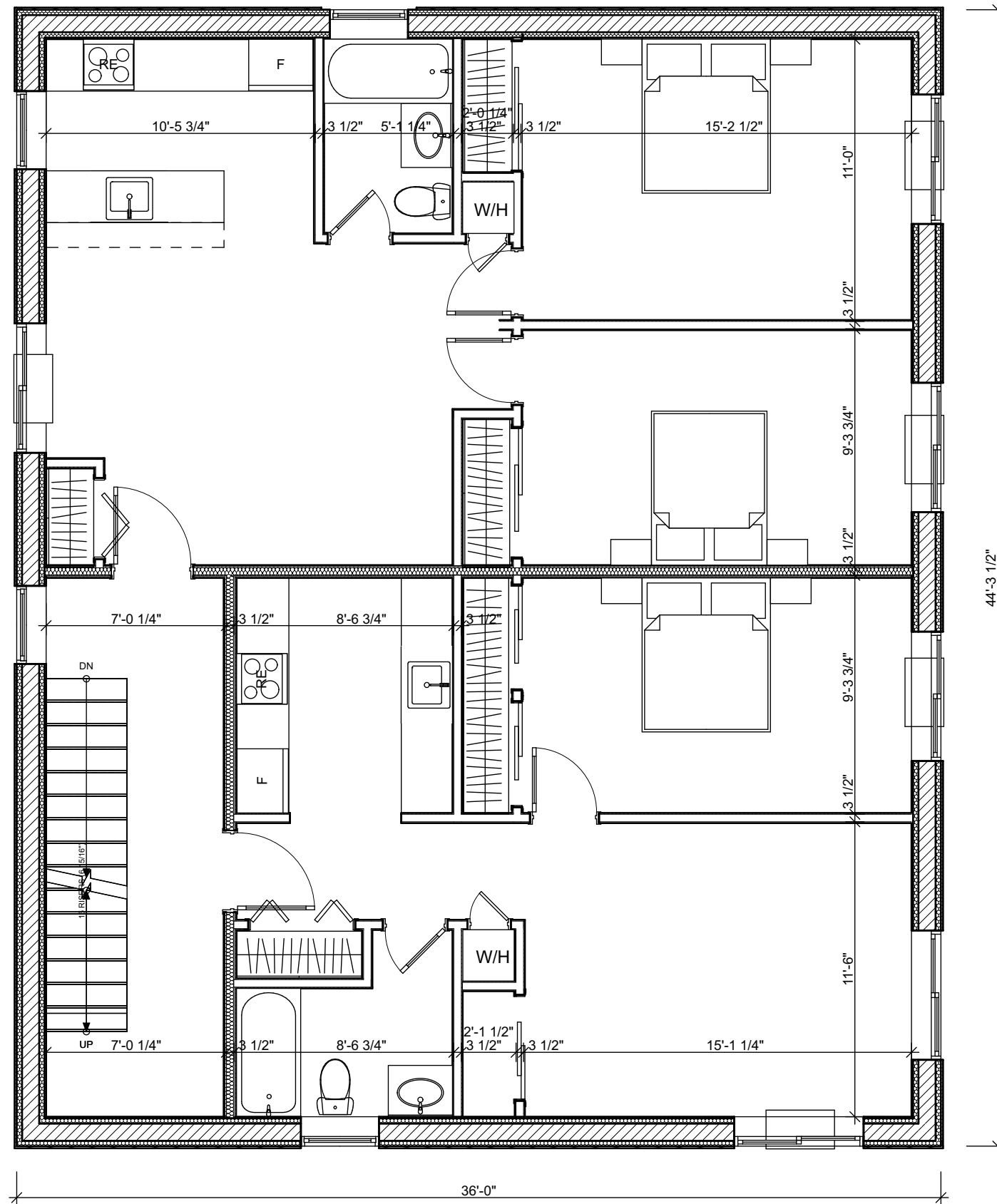
**NEW  
MULTIFAMILY  
RESIDENCE**  
461 GREGORY STREET,  
BRIDGEPORT, CT

Dwg. No.  
**02**

Drawing Name

Drawing Scale  
**3/16" = 1'-0"**

Date  
11/26/2022



# Typical Floor Plan

SCALE: 3/16" = 1'-0"

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## NEW MULTIFAMILY RESIDENCE

461 GREGORY STREET,  
BRIDGEPORT, CT

Dwg. No.  
**03**

Drawing Name

Drawing Scale  
**3/16" = 1'-0"**

Date  
11/26/2022



18 PERCENT TRANSPARENCY - 58.3 SQ FT  
 ACTUAL - 69 SQ FT (21.3 PERCENT)

## Elevation at Gregory St.

SCALE: 3/16" = 1'-0"

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 ARCHITECT

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 STAMFORD, CT 06903

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### NEW MULTIFAMILY RESIDENCE

461 GREGORY STREET,  
 BRIDGEPORT, CT

Dwg. No.

**04**

Drawing Name

**GREGORY ST  
 ELEVATION**

Drawing Scale

**3/16" = 1'-0"**

Date

11/26/2022

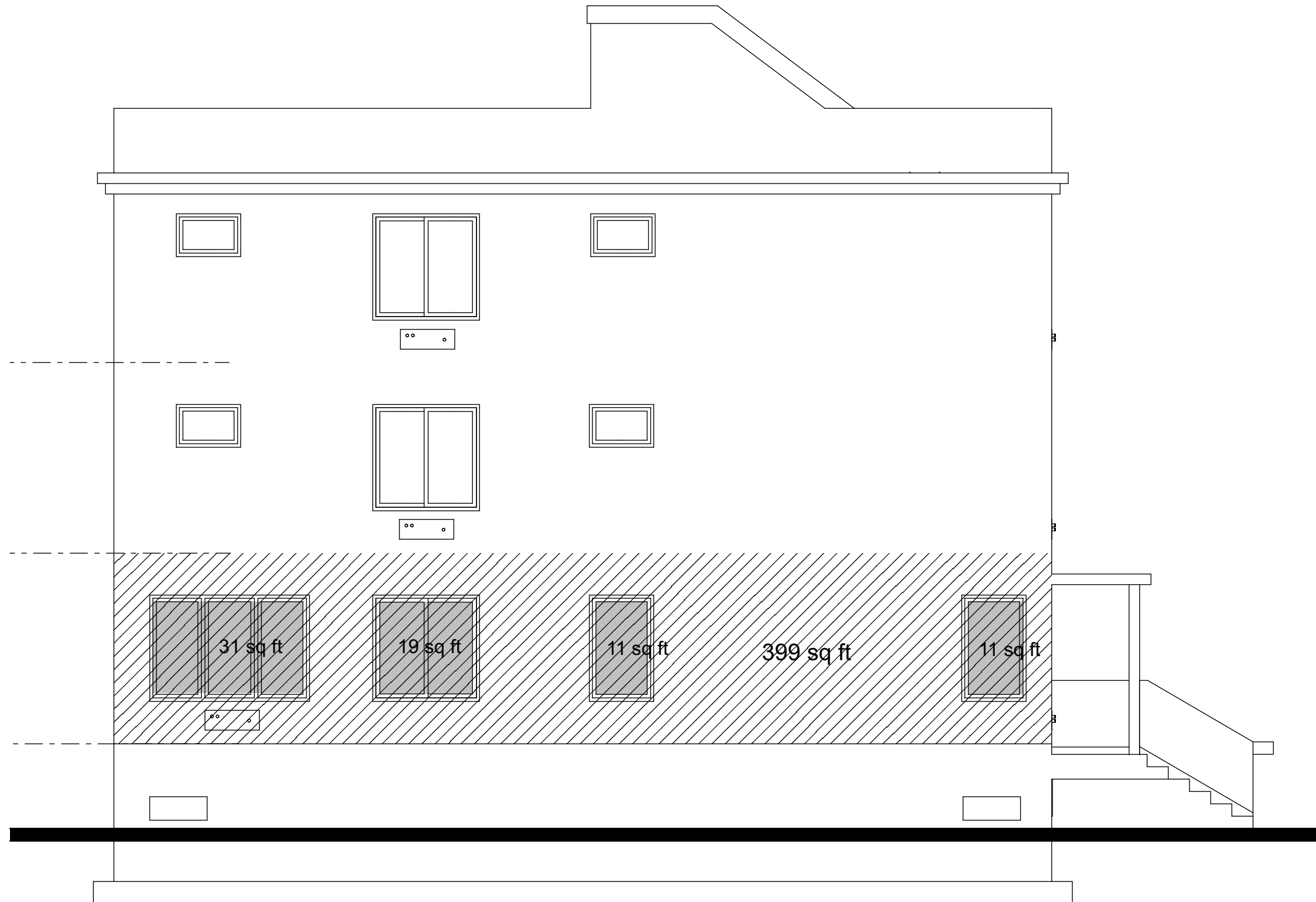
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18 PERCENT TRANSPARENCY - 72 SQ FT  
ACTUAL - 72 SQ FT

### Elevation at Columbia St.

SCALE: 3/16" = 1'-0"

### NEW MULTIFAMILY RESIDENCE

461 GREGORY STREET,  
BRIDGEPORT, CT

Dwg. No.  
**05**

Drawing Name  
**COLUMBIA ST  
ELEVATION**

Drawing Scale  
**3/16" = 1'-0"**

Date  
11/26/2022

VICTOR SHEPTOVITSKY  
ARCHITECT

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**NEW  
MULTIFAMILY  
RESIDENCE**

461 GREGORY STREET,  
BRIDGEPORT, CT

Dwg. No.  
**06**

Drawing Name  
**SIDE ELEVATION**

Drawing Scale  
**3/16" = 1'-0"**

Date  
11/26/2022



**Side Elevation**

SCALE: 3/16" = 1'-0"

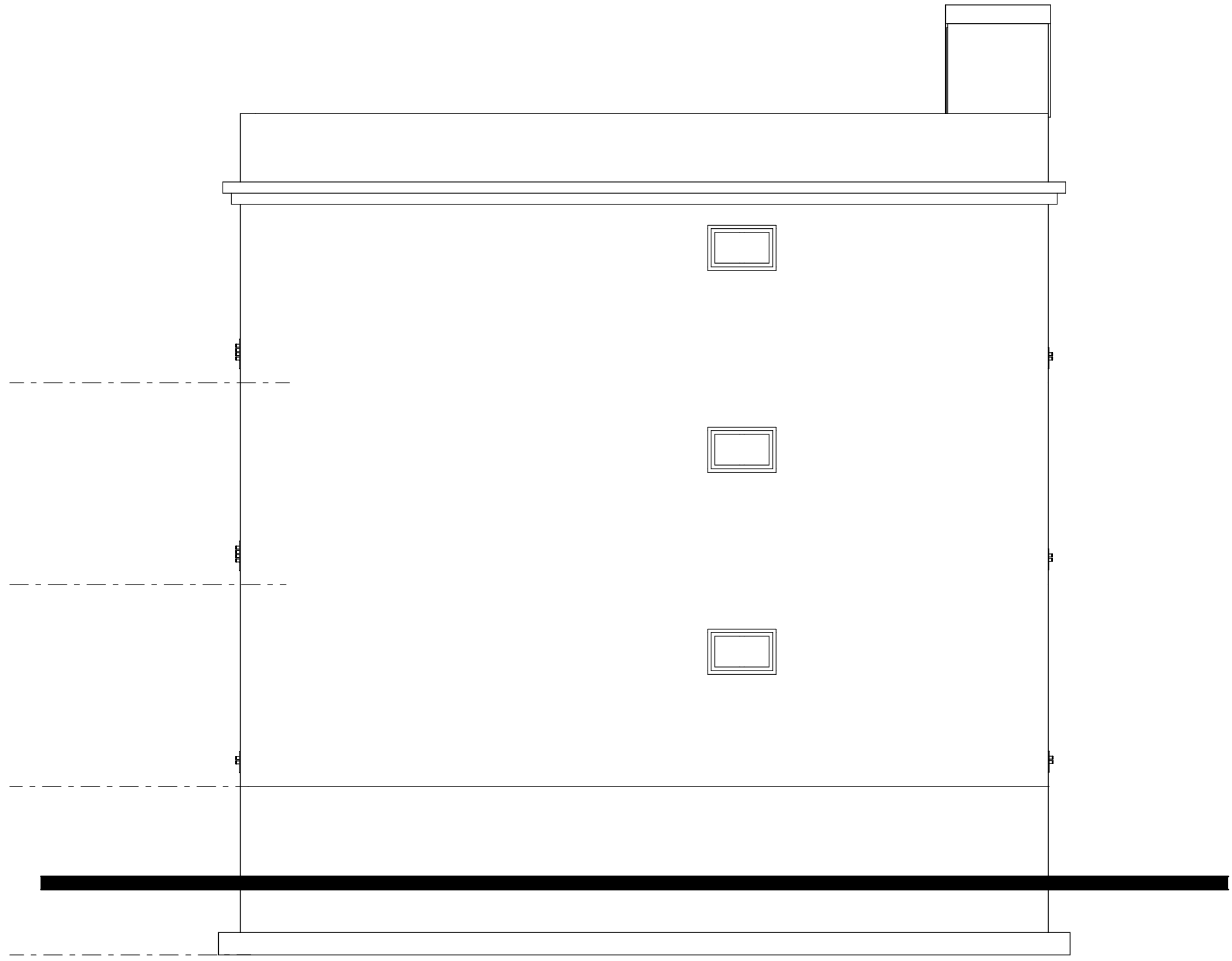
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**NEW  
MULTIFAMILY  
RESIDENCE**

461 GREGORY STREET,  
BRIDGEPORT, CT

Dwg. No.  
**07**

Drawing Name  
**SIDE ELEVATION**

Drawing Scale  
**3/16" = 1'-0"**

Date  
11/26/2022

# Side/Rear Elevation

SCALE: 3/16" = 1'-0"



| STANDARD                                 | MINIMUM/REQUIRED<br>MAXIMUM/ALLOWED | EXISTING<br>CONDITIONS | PROPOSED<br>CONDITIONS | AS-BUILT<br>CONDITIONS |
|--|-------------------------------------|------------------------|------------------------|------------------------|
| Minimum Lot Area                         | N/A                                 | 11,519 ± SF.           | 11,519 ± SF.           |                        |
| Primary Street Setback                   | 0.0' MIN / 15.0' MAX                | 51.0'                  | 51.0'                  |                        |
| Minimum Non-Primary Street Setback       | 0.0' MIN / 15.0' MAX                | N/A                    | N/A                    |                        |
| Minimum Side Setback                     | 2.0'                                | 5.8'                   | 5.8'                   |                        |
| Minimum Combined Side Setbacks           | 10.0'                               | 70.6'                  | 70.6'                  |                        |
| Minimum Space Between Adjacent Buildings | 6.0'                                | N/A                    | N/A                    |                        |
| Minimum Rear Setback                     | 15.0'                               | 1.7'                   | 1.7'                   |                        |
| Maximum Number of Stories Per Building   | 3                                   | 1                      | 1                      |                        |
| Maximum Site Coverage Percentage         | 85.0%                               | 86.5%                  | 79.5%                  |                        |

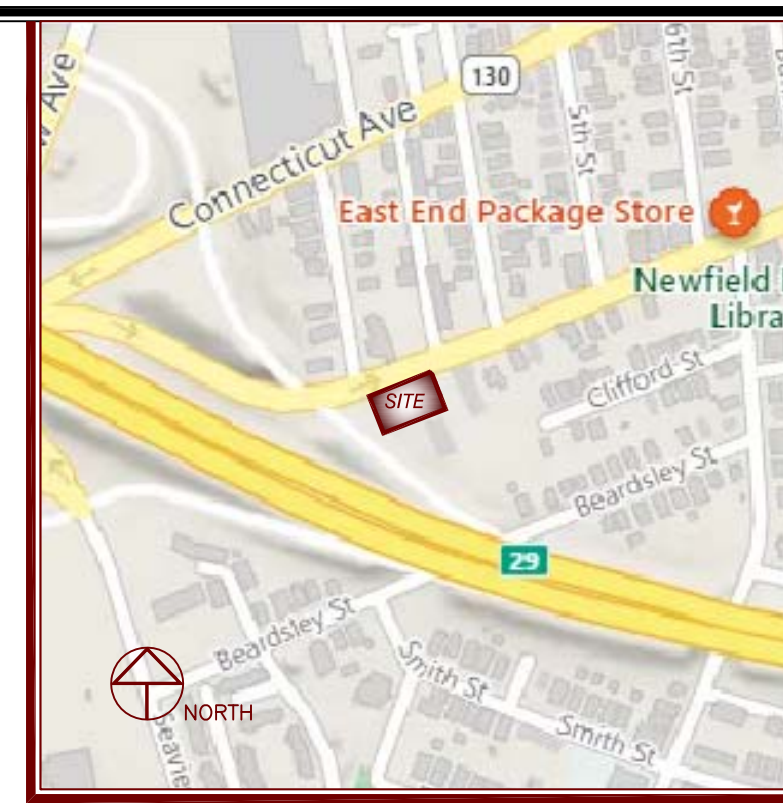
BUILDING ZONE: R1 SMALL GENERAL BUILDING

### GENERAL NOTES:

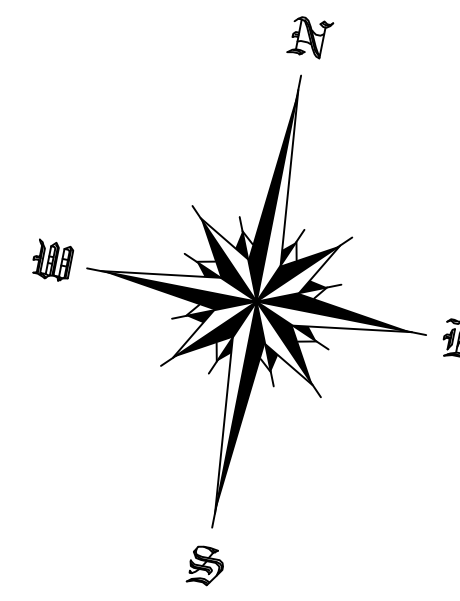
- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2, & T-2
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- Lot served by town sewer system and public water supply.

### MAP REFERENCES:

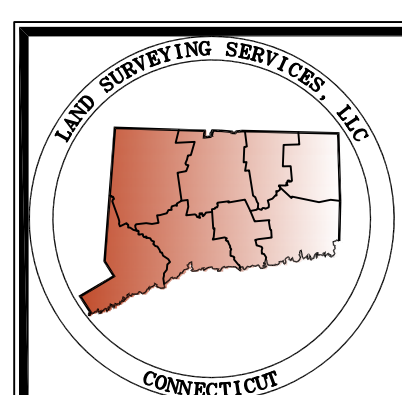
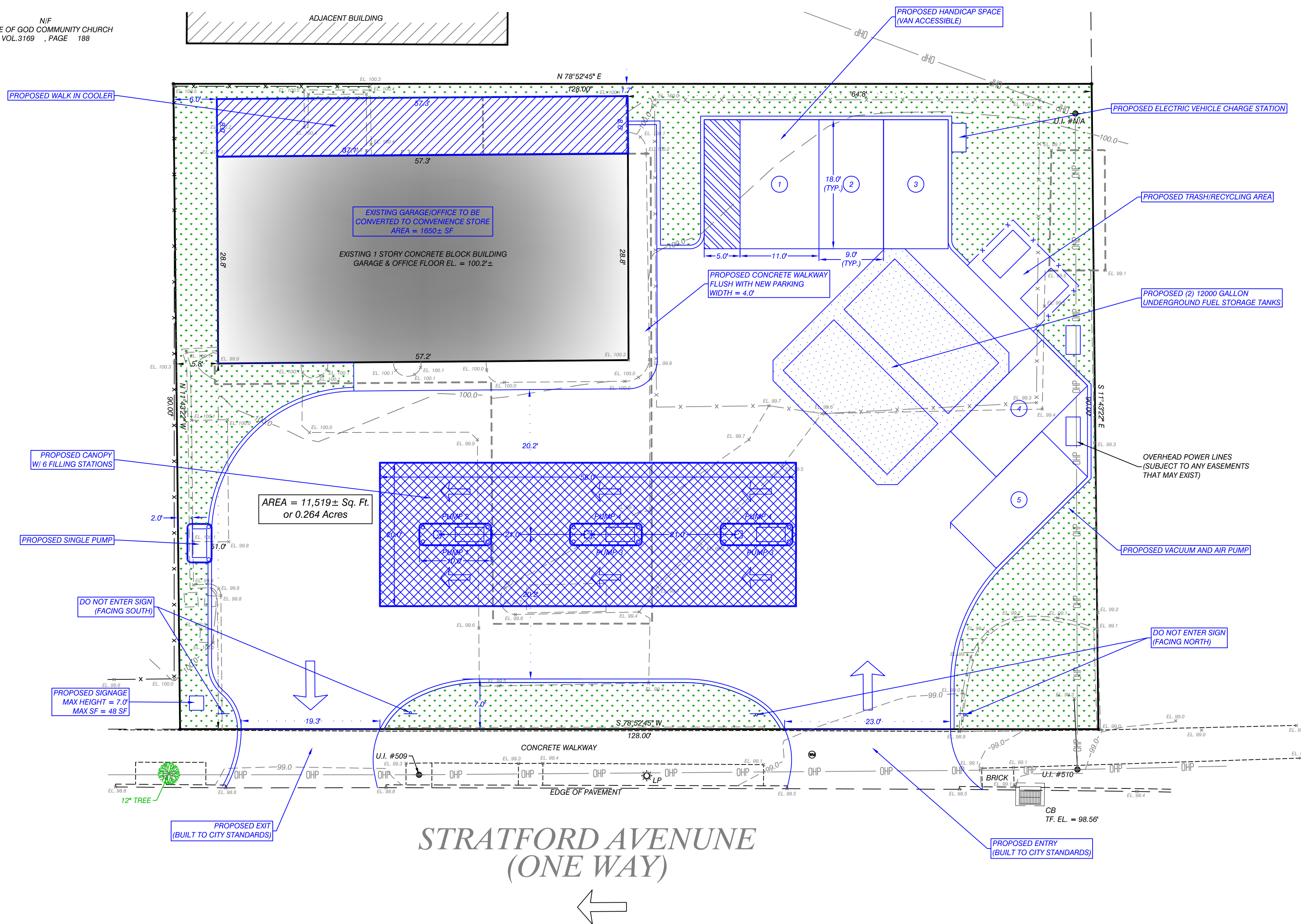
- RECORD MAP #VOL. 2 MAP 54



LOCATION MAP



NIP  
HOUSE OF GOD COMMUNITY CHURCH  
VOL. 3169 , PAGE 188



**LAND SURVEYING SERVICES, LLC**  
1275 POST ROAD, SUITE A-20  
FAIRFIELD, CONNECTICUT 06824  
TEL. (203) 522-4177  
FAX. (203) 615-0123  
EMAIL: info@A2survey.com

RES:JK SXT:HZ PL:WJ MAP:AB DWG: 22401

**TITLE BLOCK**  
ASSESSORS MAP # 6-3 BLK/MBBL # 40  
APPLICANT: SAME AS OWNER

CLASS A-2 SURVEY  
To the best of my knowledge and belief this map is substantially correct as noted hereon.

*Neal K. Jain*  
NEAL K. JAIN L.S. # 18139

| DATE       | DESCRIPTION          | REVISIONS |
|------------|----------------------|-----------|
| 02-06-2023 | REV. SITE LAYOUT     |           |
| 11-21-2022 | PROPOSED SITE LAYOUT |           |

IMPROVEMENT LOCATION & TOPOGRAPHIC SURVEY  
PREPARED FOR  
**WALTER COCHACHI ET AL**  
986 STRATFORD AVENUE, BRIDGEPORT, CONNECTICUT

SCALE: 1"= 10'  
DATE: OCT. 20, 2022





**ZONING BOARD OF APPEALS APPLICATION**

The undersigned presents the following application for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

2101 Commerce Drive Zone MX2  
(Number) (Street) (Zone Classification)  
On the South side of the street about 867 feet West from  
(North, South, East, West) (North, South, East, West)  
Dewey Street Block: 18/1234 Lot: 1/X  
(Street)  
Dimension of Lot in Question 160' x 220' x 160.78' x 229.15'  
(Specify)

1. NAME OF APPLICANT / BUSINESS Extra Space Properties Two, LLC  
(Print)  
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner  
3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING N/A  
(Yes or No)  
4. DESCRIBE PROPOSED DEVELOPMENT  
Proposed construction of two (2) indoor self service storage facilities and associated site improvements

5. THIS APPLICATION RELATES TO: Check all that Apply  
 Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY Indoor self service storage

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT [Signature] / [Print] DATE 01/05/2023  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / \_\_\_\_\_  
(Email)

Mailing Address c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_  
(If other than owner) (Signature) Print

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**

All questions must be answered in detail (use separate sheet if necessary).  
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this application.  
**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

\_\_\_\_\_ FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_

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Robert G. Golger  
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Anovella@russorizio.com



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Tel 203-254-7579 or 203-255-9928  
Fax 203-576-6626

5 Brook St., Suite 2B, Darien, CT 06820  
Tel 203-309-5500

[www.russorizio.com](http://www.russorizio.com)

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John J. Ryan+  
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Jane Ford Shaw  
Jane@russorizio.com

Vanessa R. Wambolt  
Vanessa@russorizio.com

\* Also Admitted in NY  
\* Also Admitted in VT  
+ Of Counsel

January 5, 2023

Paul Boucher  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604

## Re: Application for Variances – 2101 Commerce Drive

Dear Mr. Boucher:

Please accept this Application to the Bridgeport Zoning Board of Appeals for variances for the property located at 2101 Commerce Drive (the "Site") in the MX2 Zone.

### Variances Requested

1. Variance of Section 3.30.4.3 of the Bridgeport Zoning Regulations (the "Regulations") to increase the maximum Primary Street Build-to Zone from Twenty feet (20') to Fifty-nine and 30/00 feet (59.3');
2. Variance of Section 3.30.4.7 of the Regulations to increase the maximum Site Coverage from Eighty percent (80%) to Eighty-three and 40/00 percent (83.4%); and
3. Variance of Section 3.30.5.3 of the Regulations to locate surface parking in the front yard closer to the street lot line than the principal building.

### Proposed Development & Use

The Applicant proposes to construct a three-story indoor self-service storage facility and an additional one-story indoor self-service storage facility on the Site. The Site currently contains parking along with access easements to the neighboring self-service storage facility to the east. It is located within the MX2 Zone. The Site is located on Commerce Drive just east of the border with the Town of Fairfield and contains 34,854 SF, or 0.8 acres. The railroad tracks are located on the south side of the Site and Interstate 95 is directly to the

north. Vehicle lots are also located to the west and north of the Site. The Site is subject to an access easement to the abutting self-service storage facility that runs along the front of the Site in the area of the Primary Street Build-to Zone (“Access Easement”).

The Applicant proposes to construct a three-story indoor self-service storage facility and an additional one-story indoor self-service storage facility. The proposed buildings will be set back from the Primary Street Build-to Zone due to Access Easement. The Applicant is not permitted to build on the Access Easement, which necessitates the variance. In addition, there is a rather steep grade change from Commerce Drive to the Site. The building is located beyond the access driveway where the Site begins to level off in grade.

The larger L-shaped building will contain a floor area of 32,073 SF over its Three (3) stories with a ground floor area of 10,883 SF. The upper floor will be accessed via Two (2) elevators and Two (2) stairwells. The smaller rectangular building will be one-story and contain 3,716 SF. A covered loading area will be located within the “joint” of the L-shaped building. Gates will control access to this area. A two-way drive aisle will wrap the one-story building for ease of access. Eleven (11) parking spaces will be provided in the front yard, which is more than sufficient parking for the proposed use. Both buildings will feature ground floor storage units with access via an overhead door leading directly to the outside.

The design of the proposed building is in accordance with the Regulations. The street facades of both buildings will feature extensive transparency. The buildings will feature a mix of glass, masonry block and metal panels. The design and color scheme will complement the existing adjacent self-storage facility. The proposed buildings will seamlessly fit in with the character of the neighborhood. The proposed use is a permitted use in the MX2 Zone via a Special Permit.

### **Hardship**

Granting the Applicant the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Applicant as the Access Easement creates a significant hardship to the Site and necessitates a number of variances. As stated above, the Access Easement occupies a significant portion of the Primary Street Build-To Zone. It forces the proposed buildings to be set back to their proposed location, which necessitates the variance to increase that maximum setback. In addition, because buildings are not permitted to occupy the Access Easement area, it provides a natural area for off-street parking to be located. If the parking was located in the rear yard, it would reduce the buildable area even further. These conditions force the surface parking to be located in the front yard and necessitate the variance.

Finally, the Application requires a slight variance for Site Coverage. It should first be noted that the Site was formerly located within the I-L Zone when it was developed for access and parking for the existing self-storage facility. At the time, the zoning regulations permitted a site coverage of Eighty-five percent (85%). This Application would be compliant

with that standard. When the Regulations were adopted, the Site was placed in the MX2 Zone, which reduced the Site Coverage permitted. However, the Access Easement is still the unique condition that drives this variance. Due to the Access Easement, that area is obviously required to be paved. The proposed buildings are completely compliant in their design, but they must be located fully outside the Access Easement, which further increases Site Coverage. Since the proposed buildings must be located outside the Access Easement, it also requires the off-street parking to be located in the front yard, which increases the Site Coverage further. Without the Access Easement, the Applicant would be able to significantly reduce the Site Coverage.

The Application will not have a negative impact on the surrounding neighborhood. The Site is extremely well-buffered without any residential neighbors and significantly more intense uses surrounding it. It abuts an existing self-service storage facility, which it will essentially mirror. Self-service storage facilities have extremely low demand on parking and traffic. The Site is an ideal location for the proposed use.

For these reasons, we respectfully request approval of the above-stated variances for the Site.

Sincerely,



Christopher Russo

**PROPERTIES WITHIN 100' OF 2101 COMMERCE DRIVE**

| <b>LOCATION</b>  | <b>OWNER</b>                   | <b>ADDRESS</b>   | <b>CITY</b> | <b>STATE</b> | <b>ZIP</b> |
|------------------|--------------------------------|------------------|-------------|--------------|------------|
| 2101 COMMERCE DR | EXTRA SPACE PROPERTIES TWO LLC | P O BOX 320099   | ALEXANDRIA  | VA           | 22320      |
| 2170 COMMERCE DR | DERI DAVID A JR                | 2170 COMMERCE DR | BRIDGEPORT  | CT           | 06605      |
| 2155 COMMERCE DR | ONE COMMERCE DRIVE LLC         | 2155 COMMERCE DR | BRIDGEPORT  | CT           | 06605      |



# EXTRA SPACE PROPERTIES TWO LLC ACTIVE

2795 EAST COTTONWOOD PARKWAY, #400, SALT LAKE CITY, UT, 84121, United States

## BUSINESS DETAILS

### Business Details

#### General Information

**Business Name**

EXTRA SPACE PROPERTIES TWO LLC

**Business status**

ACTIVE

**Citizenship/place of formation**

Foreign/DE

**Business address**

2795 EAST COTTONWOOD PARKWAY, #400, SALT LAKE CITY, UT, 84121, United States

**Annual report due**

3/31/2023

**NAICS code**

Other Activities Related to Real Estate (531390)

**Business ALEI**

1122249

**Date formed**

10/25/2013

**Business type**

LLC

**Mailing address**

2795 EAST COTTONWOOD PARKWAY, #400, SALT LAKE CITY, UT, 84121, United States

**Last report filed**

2022

**NAICS sub code**

531390

#### Principal Details

**Principal Name**

GWYN G. MCNEAL

**Principal Title**

MANAGER

**Principal Business address**

2795 EAST COTTONWOOD PARKWAY, #400, SALT LAKE CITY, UT, 84121, United States

Principal Residence address

2795 EAST COTTONWOOD PARKWAY, #400, SALT LAKE CITY, UT, 84121, United States

Principal Name

P. SCOTT STUBBS

Principal Title

MANAGER

Principal Business address

2795 EAST COTTONWOOD PARKWAY, #400, SALT LAKE CITY, UT, 84121, United States

Principal Residence address

2795 EAST COTTONWOOD PARKWAY, #400, SALT LAKE CITY, UT, 84121, United States

Principal Name

GRIMSHAW KIRK

Principal Title

MANAGER

Principal Business address

2795 EAST COTTONWOOD PARKWAY, # 400, SALT LAKE CITY, UT, 84121, United States

Principal Residence address

2795 EAST COTTONWOOD PARKWAY, # 400, SALT LAKE CITY, UT, 84121, United States

**Agent details**

Agent name

C T CORPORATION SYSTEM

Agent Business address

67 BURNSIDE AVE, EAST HARTFORD, CT, 06108, United States

Agent Mailing address

67 BURNSIDE AVE, EAST HARTFORD, CT, 06108, United States

**Filing History**

**Business Registration - Certificate of Registration**

**0004968498**

Filing date: 10/25/2013

Filing time:

Volume Type

B

Volume

1861

Start page

3538

Pages

4

Date generated

10/25/2013





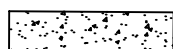
**ZONING INFORMATION**

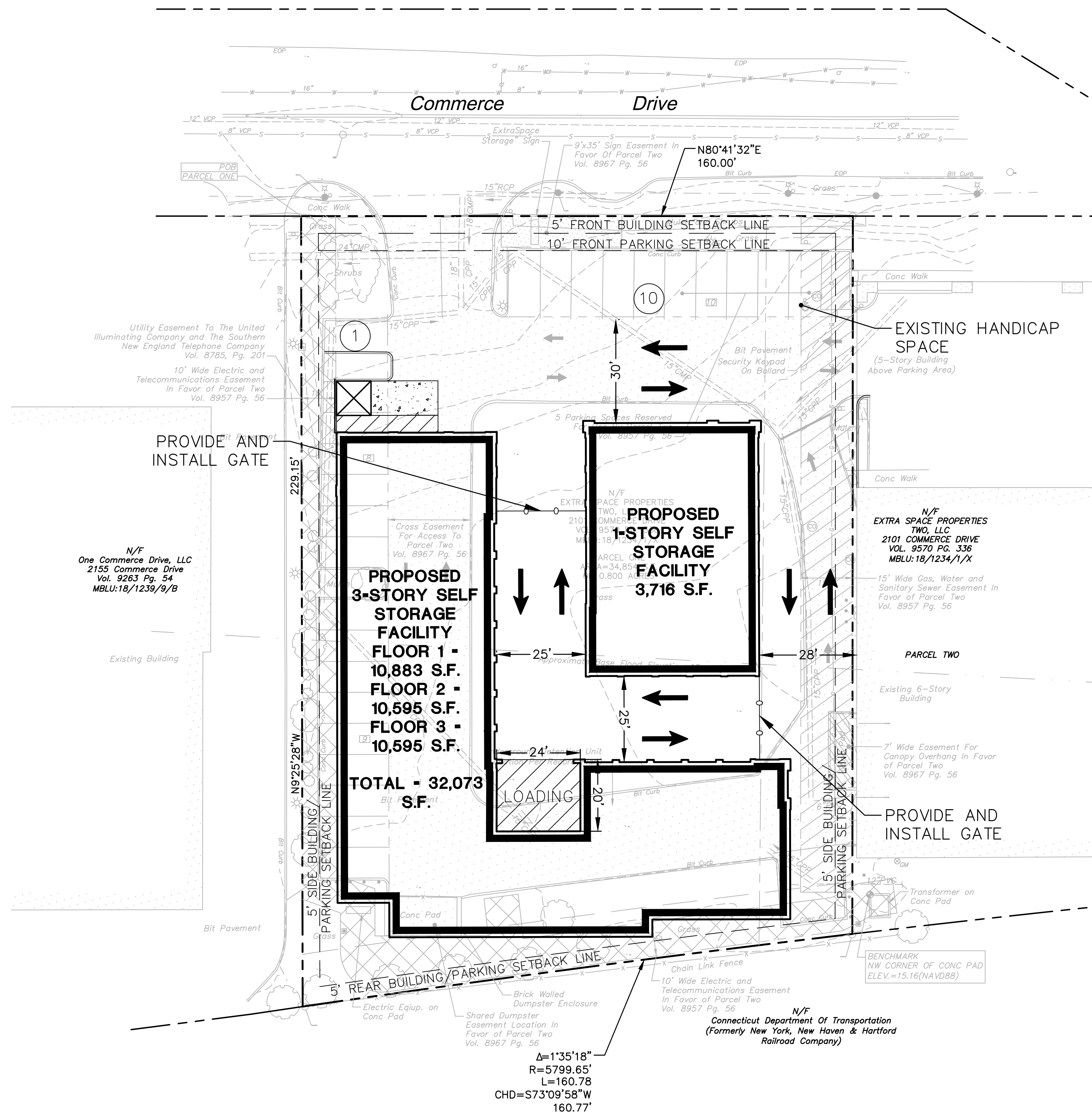
| LOCATION: 2102 STATE STREET EXTENSION, BRIDGEPORT, CONNECTICUT |                         |                           |                       |          |
|--|-------------------------|---------------------------|-----------------------|----------|
| ZONE: MX2 (MIXED-USE CENTERS) BUILDING TYPE: COMMERCIAL CENTER |                         |                           |                       |          |
| USE: SELF-SERVICE STORAGE-INDOOR (ALLOWED PER SPECIAL PERMIT)  |                         |                           |                       |          |
| ITEM #   | ITEM                    | REQUIREMENTS              | PROPOSED              | VARIANCE |
| 1  | MINIMUM LOT AREA        | NONE REQUIRED             | 34,854 S.F. (0.8 AC.) | NO       |
| 2  | MINIMUM LOT WIDTH       | 60 FEET                   | 160 FEET              | NO       |
| 3  | PRIMARY STREET WALL     | 60 PERCENT MIN            | 61 PERCENT            | NO       |
| 4  | MINIMUM FRONT SETBACK   | 5 FEET MIN / 20 FEET MAX  | 59.3 FEET             | YES      |
| 5  | MINIMUM SIDE SETBACK    | 5 FEET                    | 10.2 FEET             | NO       |
| 6  | MINIMUM REAR SETBACK    | 5 FEET                    | 6.3 FEET              | NO       |
| 7  | MAXIMUM BUILDING HEIGHT | 1 STORY MIN / 3 STORY MAX | 3 STORY               | NO       |
| 8  | MAXIMUM SITE COVERAGE   | 80 PERCENT                | ±83.4 PERCENT         | YES      |

**PARKING INFORMATION**

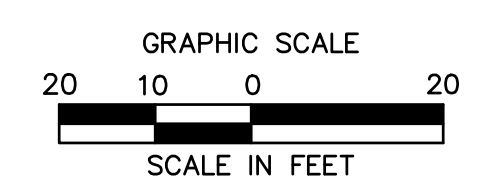
| ITEM # | ITEM  | REQUIREMENTS                              | PROPOSED                 | VARIANCE |
|--------|---|---|--------------------------|----------|
| 1      | BUILDING SIZE                               | NONE REQUIRED                             | 32,073 S.F. & 3,716 S.F. | NO       |
| 2      | PARKING REQUIRED                            | NO MINIMUM OFF-STREET PARKING REQUIREMENT | 11 SPACES                | NO       |
| 3      | MINIMUM HANDICAPPED PARKING SPACES REQUIRED | 1 SPACES                                  | 1 SPACES                 | NO       |
| 4      | MINIMUM PARKING DIMENSIONS                  | 9 FEET X 20 FEET                          | 9 FEET X 20 FEET         | NO       |
| 5      | MINIMUM AISLE WIDTH                         | 24 FEET -- 2-WAY                          | 24 FEET -- 2-WAY         | NO       |
| 6      | MINIMUM FRONT SETBACK                       | 10 FEET                                   | 10 FEET                  | NO       |
| 7      | MINIMUM SIDE SETBACK                        | 5 FEET                                    | 5 FEET                   | NO       |
| 8      | MINIMUM REAR SETBACK                        | 5 FEET                                    | 5 FEET                   | NO       |
| 9      | MINIMUM LOADING SPACES                      | GFA OF 15,000 REQUIRES 1 SPACE            | 1                        | NO       |
| 10     | MINIMUM LOADING SPACE SIZE                  | 12 FEET X 35 FEET                         | 20 FEET X 24 FEET        | NO       |

**SITE PLAN LEGEND**

- PROPERTY LINE 
- LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE 
- PROPOSED SAWCUT LINE 
- PROVIDE AND INSTALL TRAFFIC SIGN 
- PROVIDE AND INSTALL CONCRETE SIDEWALK 



FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION



355 Research Parkway  
Meriden, CT 06450  
(203) 630-1406

**PROPOSED DEVELOPMENT**  
2102 STATE STREET EXTENSION  
BRIDGEPORT, CONNECTICUT

| REVISIONS | No. | Date | Desc. |
|-----------|-----|------|-------|
|           |     |      |       |

Designed A.B.U.  
Drawn A.B.U.  
Reviewed A.B.U.  
Scale 1"=20'  
Project No. 2201222  
Date 11/14/2022  
CAD File: SP220122201

Title  
**PRELIMINARY SITE PLAN**

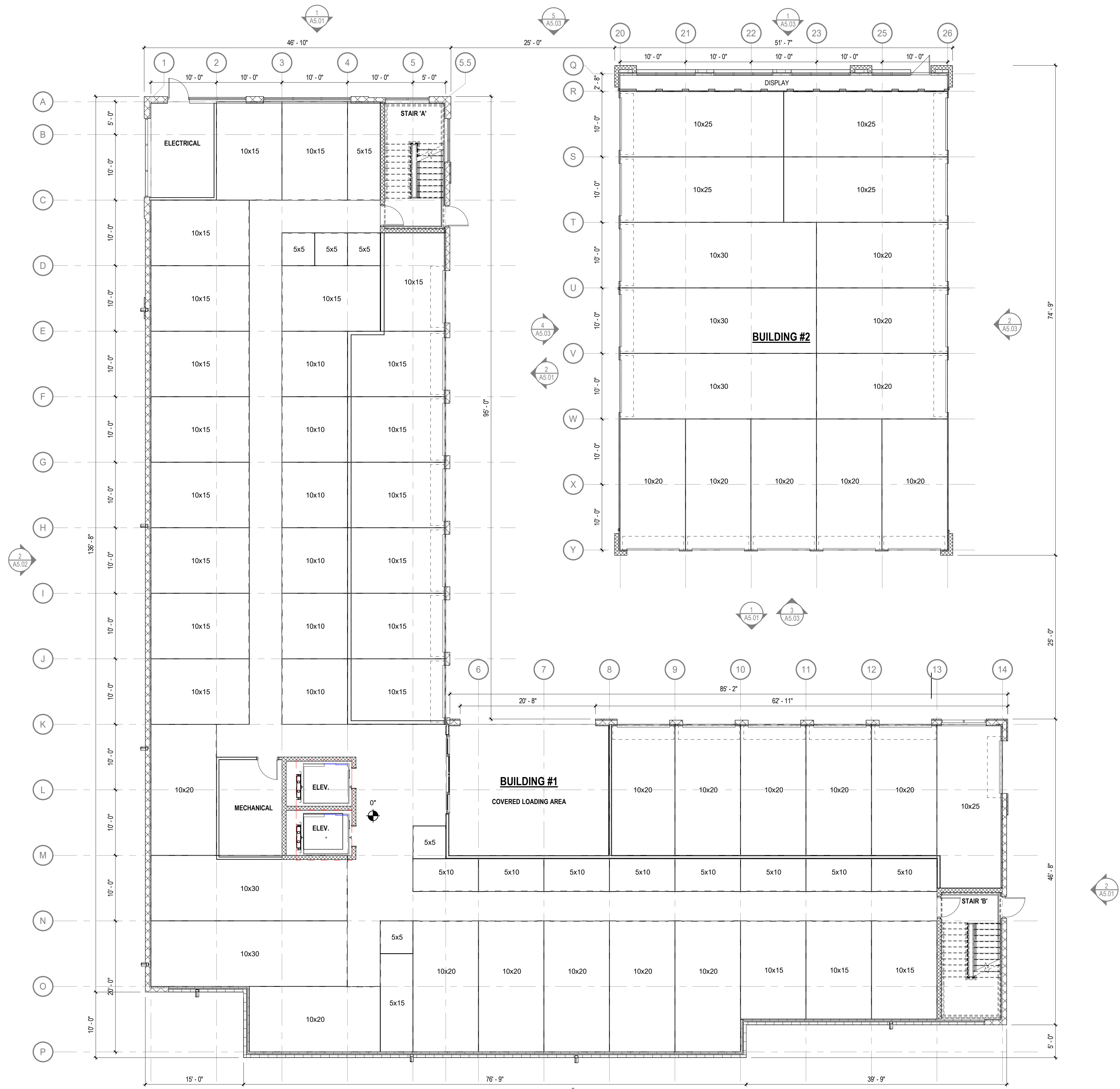
Sheet No.

**SP-1**

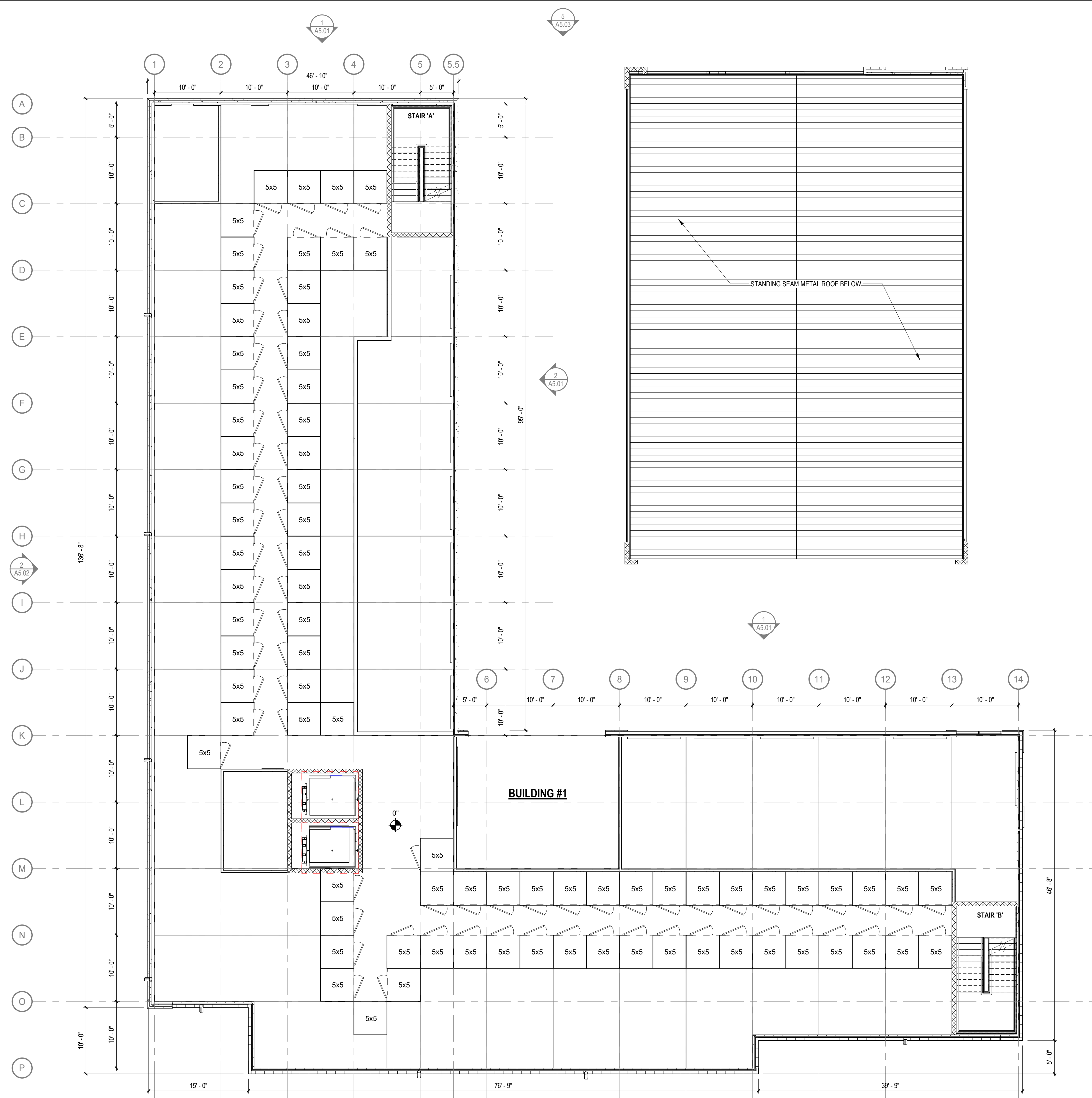
11/14/2022, 10:48:00 AM, C:\WORKSPACE\220122201\220122201.DWG, User: J. K. B. B. B.

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1 FIRST FLOOR PLAN  
1/8" = 1'-0"

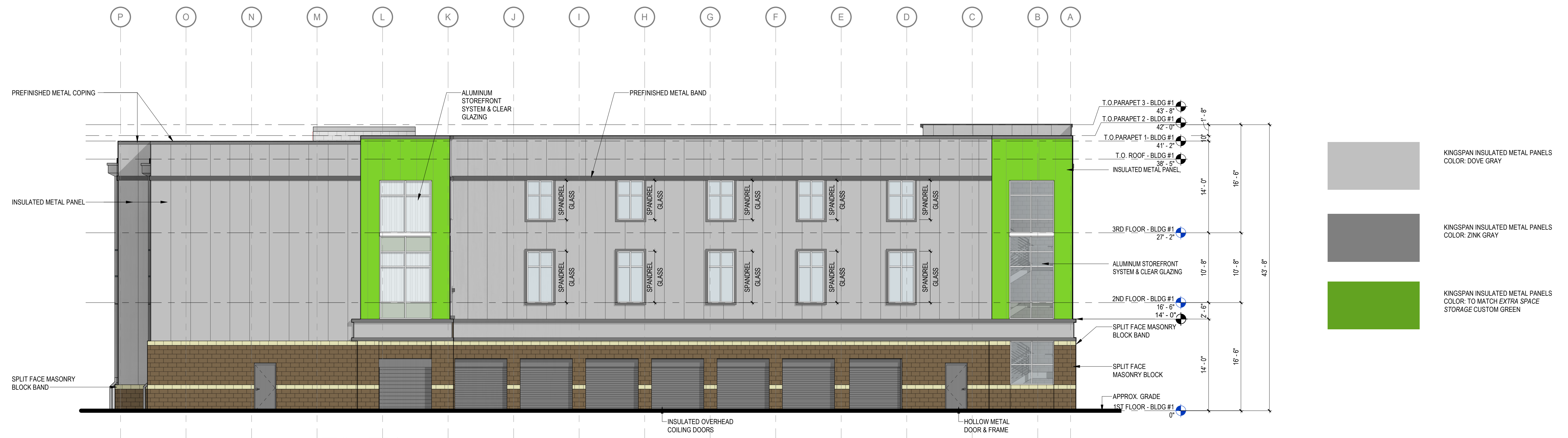


1 LOCKERS LEVEL  
1/8" = 1'-0"







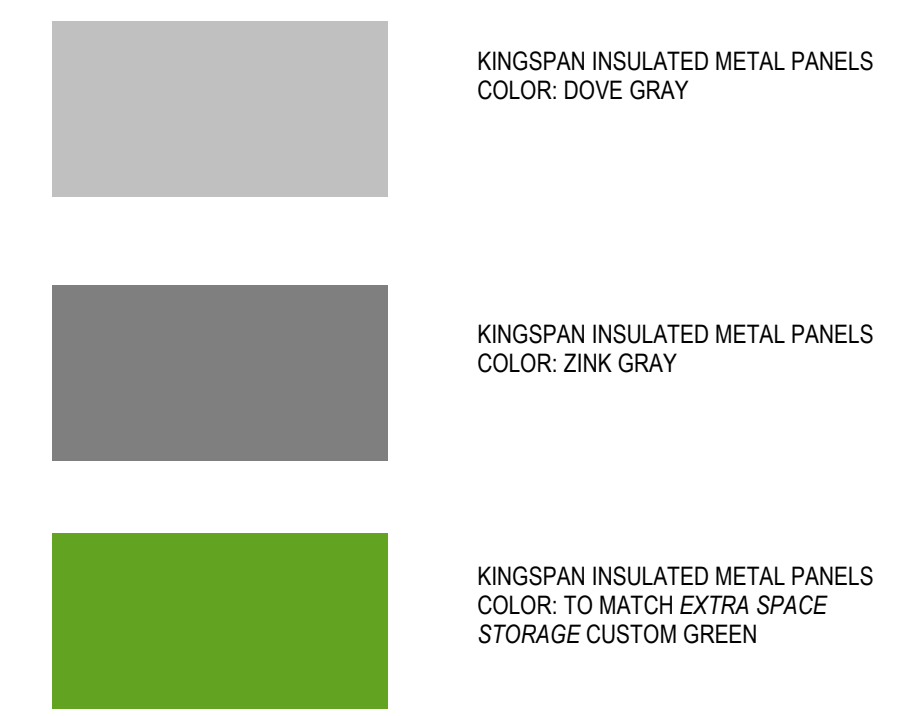
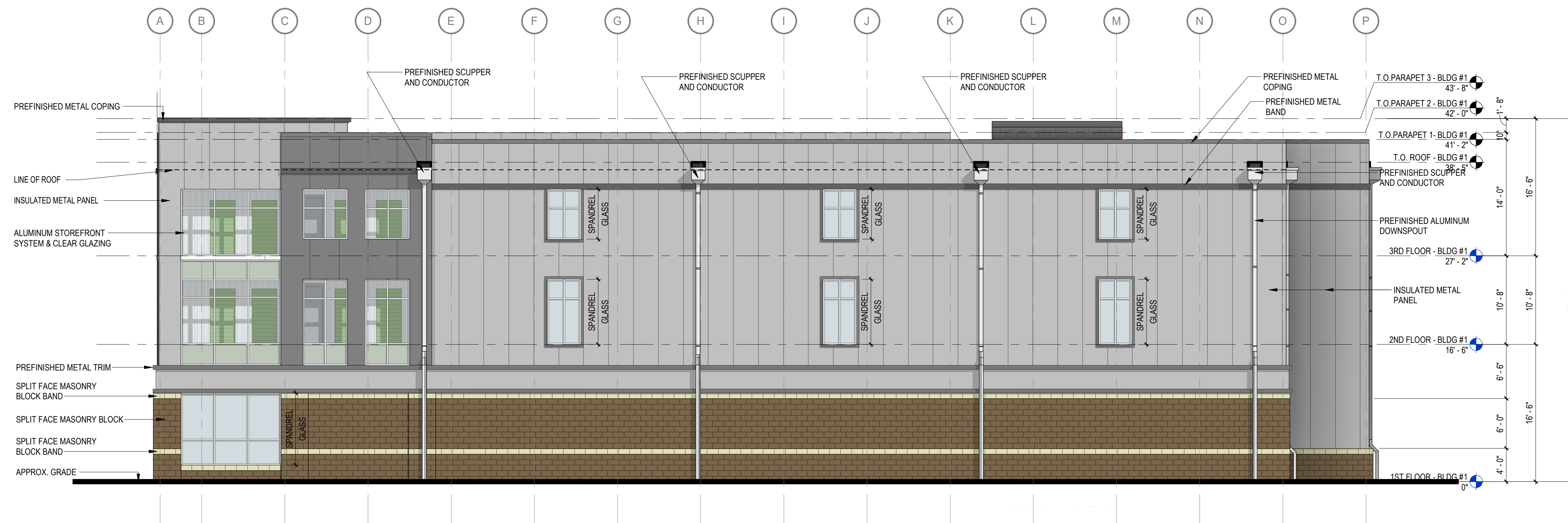


**2 EAST ELEVATION - BUILDING #1**  
1/8" = 1'-0"

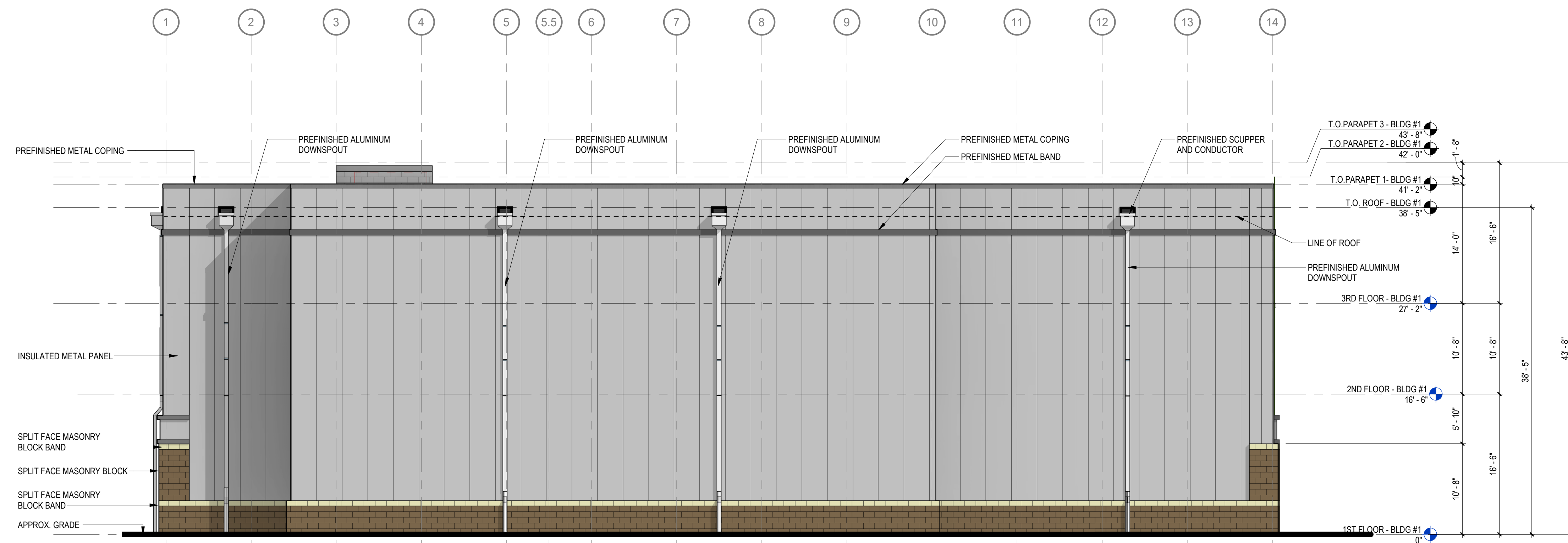


**1 NORTH ELEVATION - BUILDING #1**  
1/8" = 1'-0"

- KINGSSPAN INSULATED METAL PANELS  
COLOR: DOVE GRAY
- KINGSSPAN INSULATED METAL PANELS  
COLOR: ZINK GRAY
- KINGSSPAN INSULATED METAL PANELS  
COLOR: TO MATCH EXTRA SPACE  
STORAGE CUSTOM GREEN

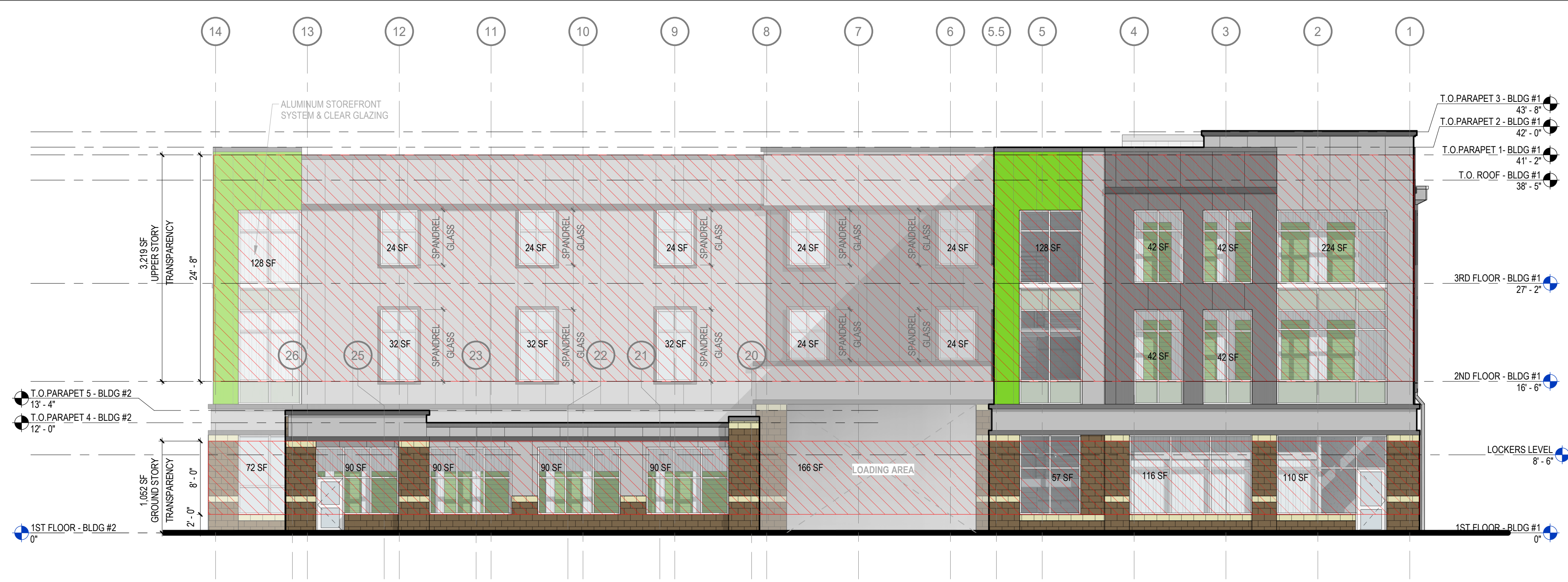


2 WEST ELEVATION - BUILDING #1  
1/8" = 1'-0"



1 SOUTH ELEVATION - BUILDING #1  
1/8" = 1'-0"





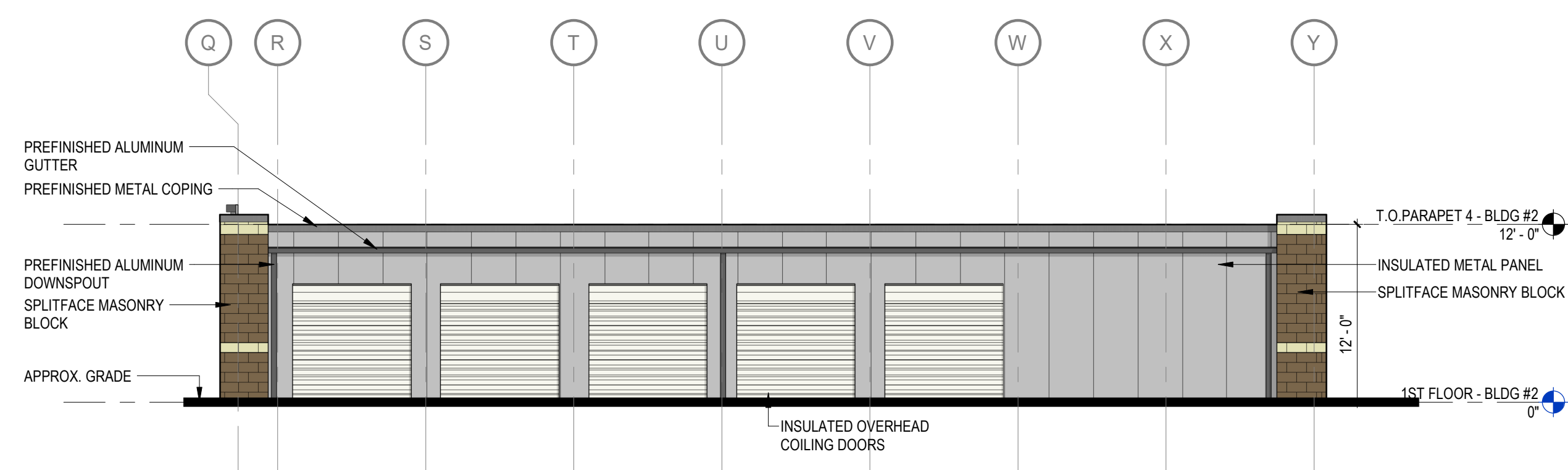
5 NORTH ELEVATION BUILDING #1 & #2  
1/8" = 1'-0"

**GROUND AND UPPER STORIES TRANSPARENCY**

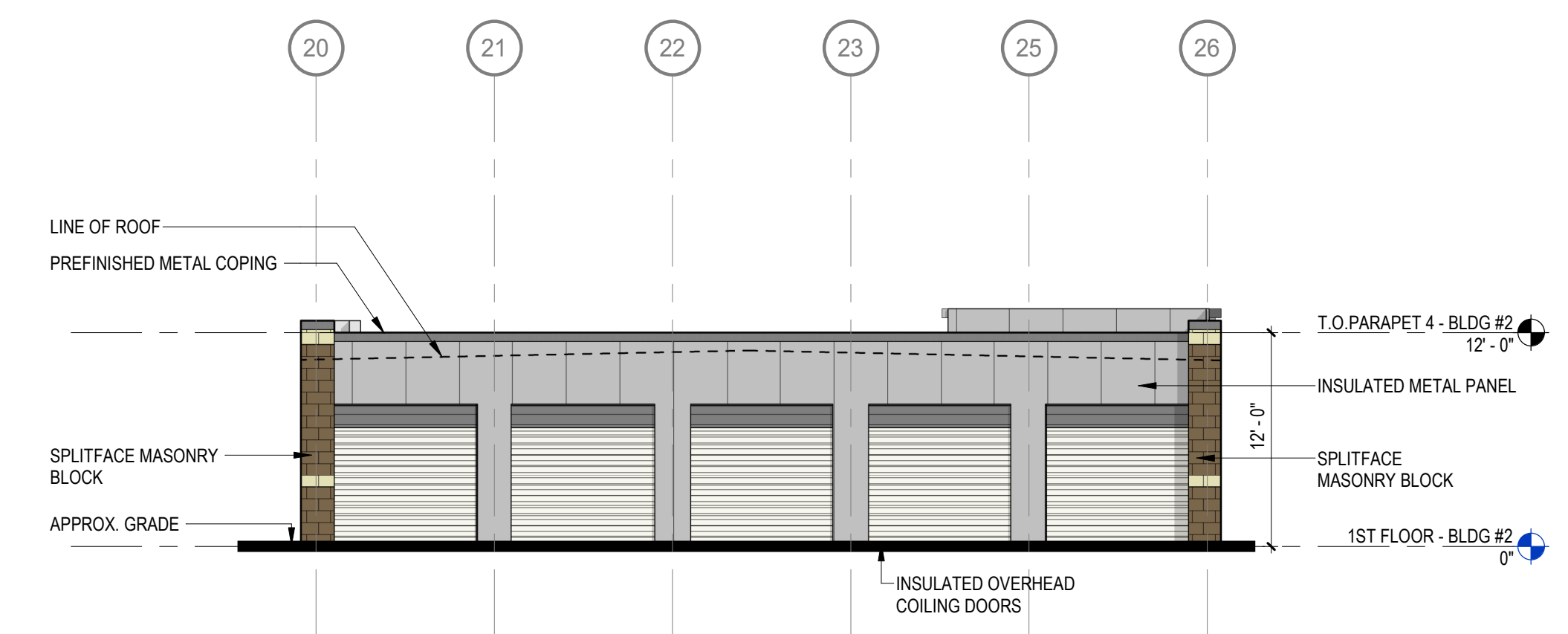
| 3.30.8. PRIMARY & NON-PRIMARY FACADES |                                |
|---------------------------------------|--------------------------------|
| GROUND STORY                          | 75 % REQUIRED<br>83 % PROVIDED |
| UPPER STORIES                         | 18 % REQUIRED<br>28 % PROVIDED |

**KINGSPAN INSULATED METAL PANELS**

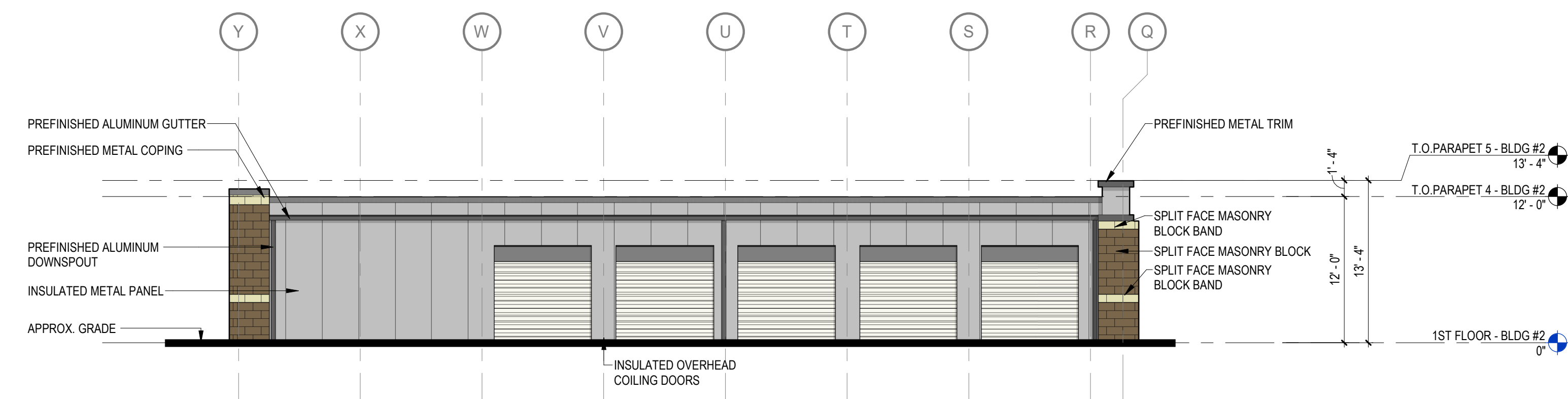
- COLOR: DOVE GRAY
- COLOR: ZINK GRAY
- COLOR: TO MATCH EXTRA SPACE STORAGE CUSTOM GREEN



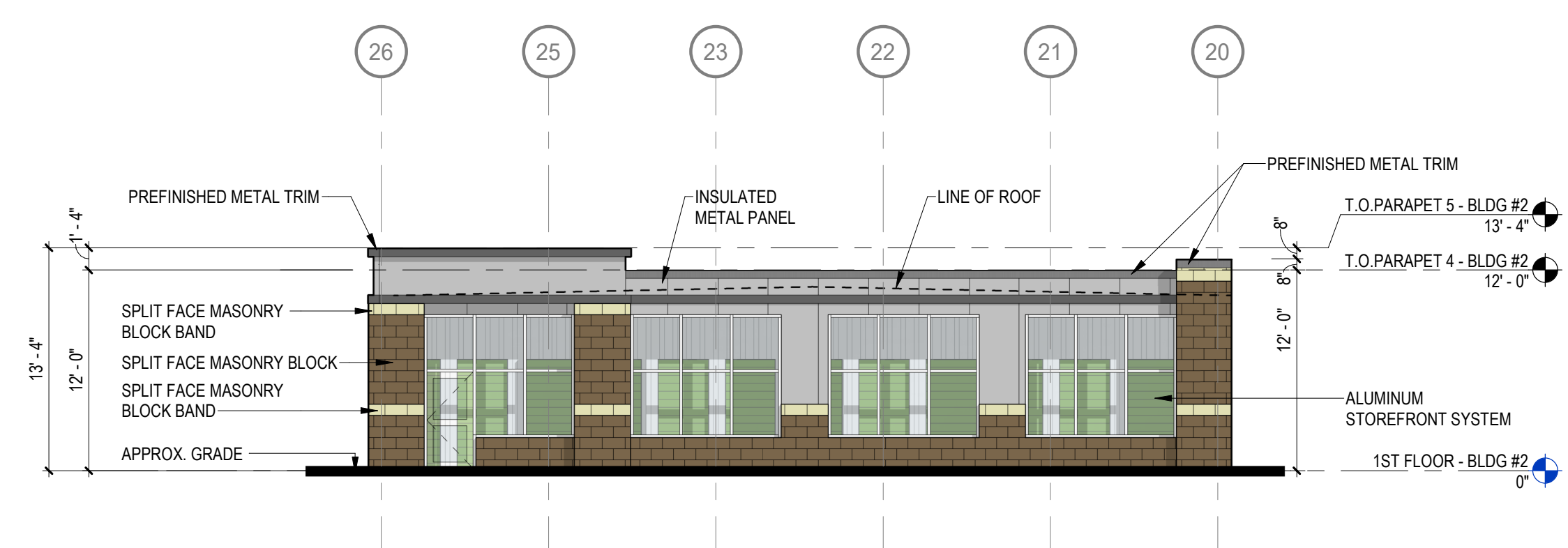
4 WEST ELEVATION - BUILDING #2  
1/8" = 1'-0"



3 SOUTH ELEVATION - BUILDING #2  
1/8" = 1'-0"



2 EAST ELEVATION - BUILDING #2  
1/8" = 1'-0"



1 NORTH ELEVATION - BUILDING #2  
1/8" = 1'-0"