

# PETITION TO THE BOARD OF APPEALS

## City of Bridgeport, Connecticut

The undersigned presents the following petition for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

3059 Old Town Road Zone N4  
(Number) (Street) (Zone Classification)

On the South side of the street about 330 feet East from  
(North, South, East, West) (North, South, East, West)

Macon Drive Block: 88 Lot: 2501/B13  
(Street)

Dimension of Lot in Question front lot 75 feet x 115 rear 75 feet x 50 feet  
(Specify)

1. NAME OF PETITIONER / BUSINESS Jorge Luis Rivera III  
(Print)

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) owner

3. HAS ANY PREVIOUS PETITION BEEN FILED? NO IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT new single family home

5. THIS PETITION RELATES TO: Check all that Apply  
 Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: accessway easement

6. USE TO BE MADE OF PROPERTY new single family home

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)?  
depressed land value, shape and size of lot

PETITIONER Jorge Luis Rivera III DATE 30 March 2023  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_

Mailing Address 636 Mill Hill Road Southport CT 06890 203 913 1633  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_  
(If other than owner) (Signature) Print

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
 Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION**

All questions must be answered in detail (use separate sheet if necessary).  
 The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this petition.  
**NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_

30 March 2023

RIVERA - 3059 Old Town Road Variance Request

Members of the Zoning Board,

Thank you for your consideration.

My name is Jorge Luis Rivera, III. My current address is 636 Mill Hill Road, Southport, CT 06890. My phone number is 203-913-1633.

I am the owner of 3059 Old Town Road and 3059 Old Town REAR (so described per the tax records).

I am looking to redraw the property lines between the two lots – taking land from the front lot and adding it to the rear lot to meet the requirements to build a home on the rear lot (similar footprint as the home in the front).

The reason for the variance requests is pertaining to the required 30-foot accessway easement. The home on the front lot is positioned in such a way that the accessway is 18.2 feet wide for a stretch of 25.8 feet (the length of the house.) Excluding the 3,558 square feet of land needed for the easement from the front lot would also make that lot 6,237 square feet.

The total lot is 17,296 square feet. The rear lot would be expanded to 7,501. The front lot would be reduced to 6,237 square feet (9,795 square feet minus 3,558 square feet for the easement.)

A few court case examples that seem to apply taken from the State of CT website:

CGS § 8-6 allows ZBAs to grant variances from zoning bylaws, ordinances, or regulations with respect to a parcel of land...

- To establish a hardship sufficient to support a variance, the applicant must show not only that he cannot use the property the way he desires, but that he is being completely or almost completely deprived of the land's value. *Jaser v. Zoning Bd. of Appeals of City of Milford* 42 Conn. App. 545 (1996).
- A hardship may arise from, among other things, the shape, size, or topography of a lot that makes it difficult to use for the use permitted in the zone. *Fiorilla v. Zoning Bd. of Appeals of City of Norwalk*, 144 Conn. 275 (1957).

Again, thank you for your time,

Jorge Rivera

Neighboring Properties of 3059 Old Town Road, Bridgeport

3075 Old Town Road – REYES, ALEJANDRO A & VIOLETA

3091 Old Town Road – PEREZ, JOSE L JR & MIRIAM PEREZ

3051 Old Town Road – QUILES, RAYMOND M & ERNIE

Across Old Town:

3070 Old Town Road – VIEIRA, JENNIFER FISCHER

3064 Old Town Road – RANGER, MICHAEL & GINA

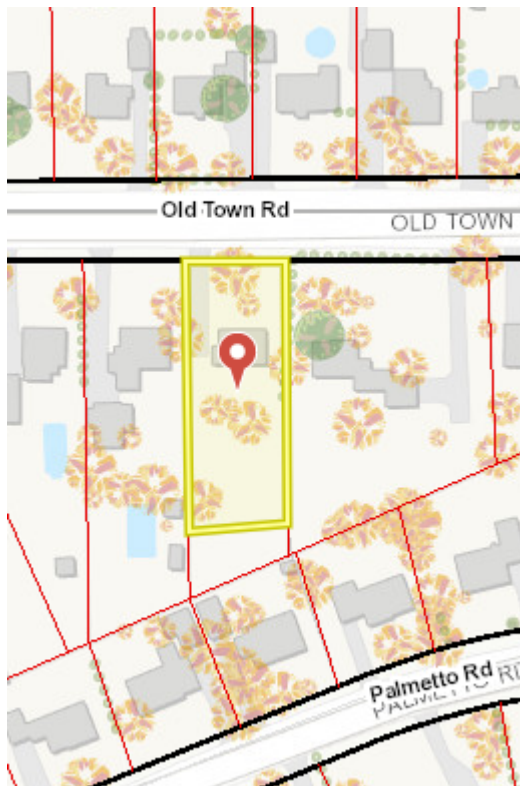
3050 Old Town Road – TUOZZOLI, RICHARD P & ALICIA

Rear lot:

452 Palmetto Road – ZARGO, IRENE A

432 Palmetto Road – VAZQUEZ, ARIEL & JONAIRIS

416 Palmetto Road - GONZALEZ-BUSTAMENTE, ISMAEL



STANDARD	MINIMUM/REQUIRED MAXIMUM/ALLOWED	EXISTING CONDITIONS	PROPOSED NEW LOT A	PROPOSED NEW LOT B
Minimum Lot Area	7,500 SF	17,296 ± SF.	6,237 ± SF.	7,501 ± SF.
Minimum Lot Width	60.0'	75.00'	75.00'	75.00'
Maximum Primary Street Setback	20.0'	51.8'	51.8'	35.9'
Minimum Porch, Enclosed Porch, Bay Setback	8.0'	46.7'	46.7'	29.9'
Minimum Non-Primary Street Setback	10.0'	N/A	N/A	N/A
Minimum Side Setback	6.0'	16.8'	16.8'	19.8'
Minimum Combined Side Setbacks	20.0'	35.0'	35.0'	29.8'
Minimum Space Between Adjacent Buildings	12.0'	N/A	N/A	N/A
Minimum Rear Setback	20.0'	138.3'	53.0'	29.2'
Maximum Height From First Floor El. To Eave	N/A	N/A	N/A	N/A
Maximum Number of Stories Per Building	2	1 1/2	1 1/2	2
Maximum Site Coverage Percentage	65.0%	12.9%	57.0%	26.5%

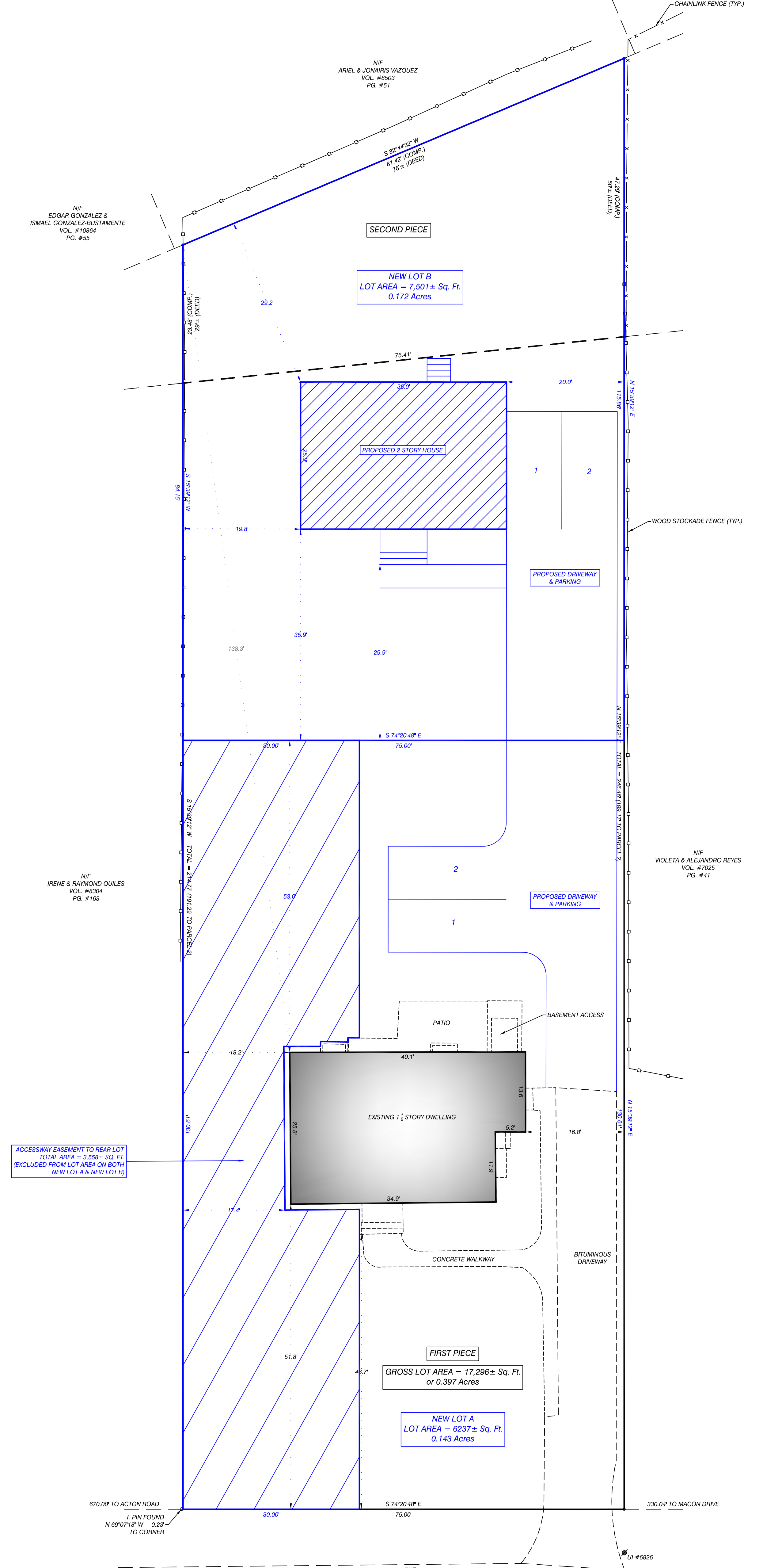
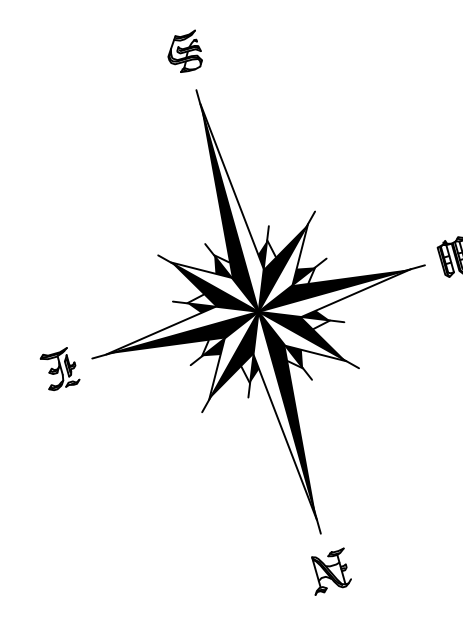
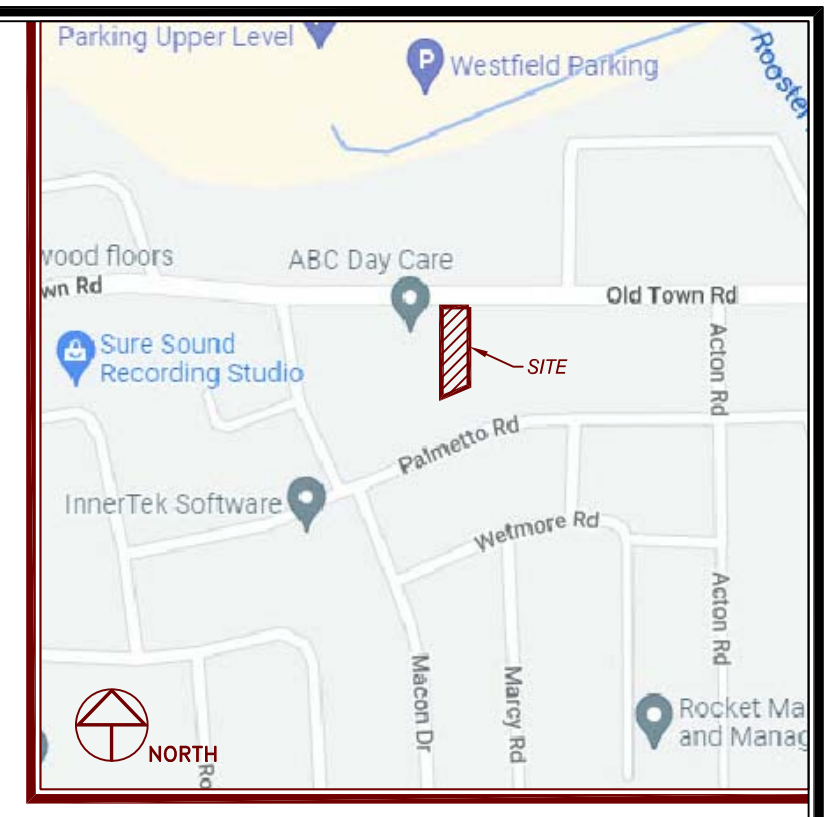
BUILDING ZONE: N4 HOUSE D

**GENERAL NOTES:**

- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- Lot served by town sewer system and public water supply.

**MAP REFERENCES:**

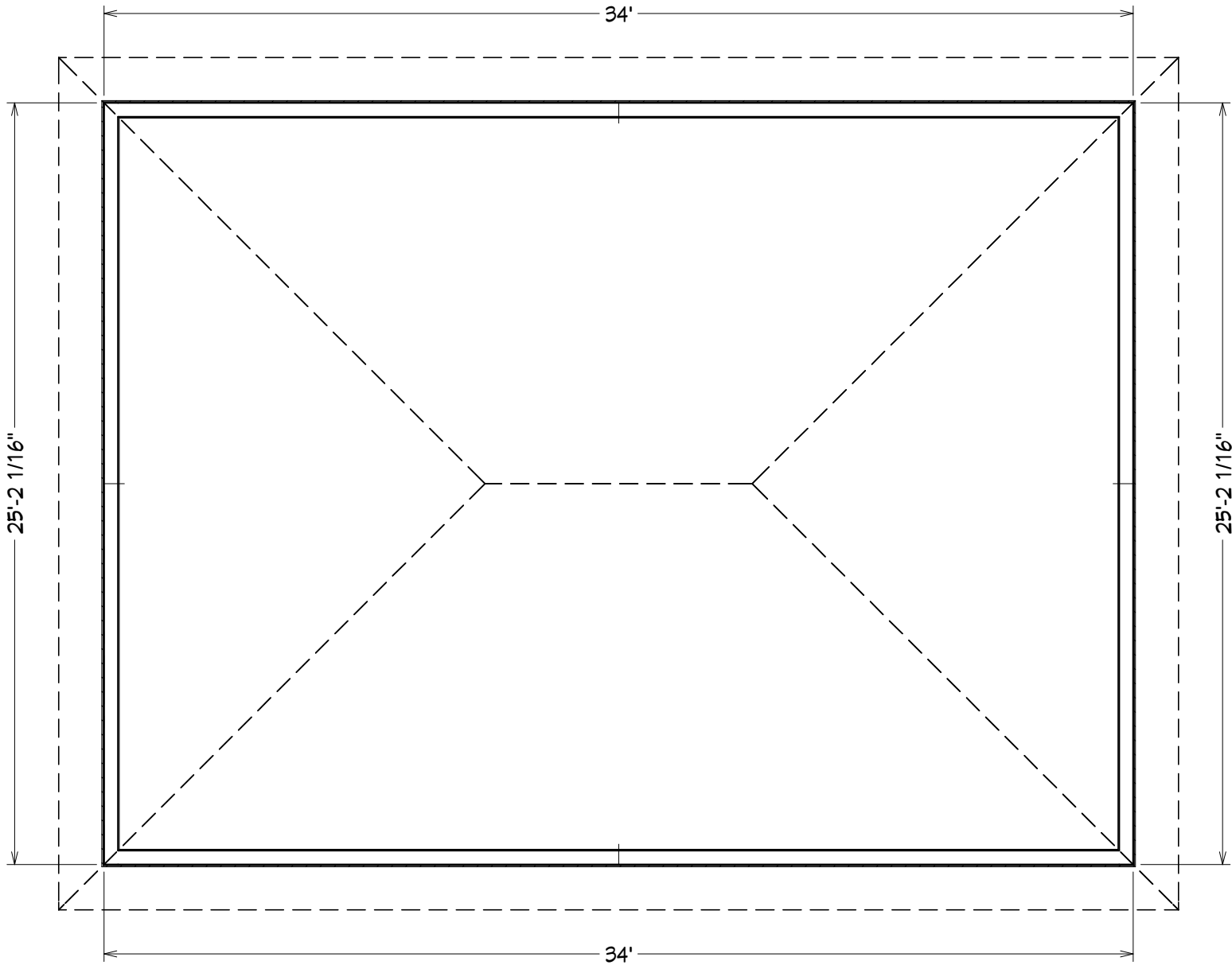
- VOL. #12 MAP #65
- VOL. #12 MAP #82
- VOL. #13 MAP #85
- VOL. #16 MAP #3
- VOL. #28 MAP #10



**OLD TOWN ROAD**

<p><b>LAND SURVEYING SERVICES, LLC</b> 1275 POST ROAD, SUITE A-20 FAIRFIELD, CONNECTICUT 06824 TEL. (203) 522-4177 FAX. (203) 615-0123 EMAIL: info@A2Survey.com</p>	<p>TITLE BLOCK</p> <p>ASSESSORS MAP # 88, PARCEL # 2501 / B13, ZONE: N4          APPLICANT: SAME AS OWNER</p>	<p>SUBDIVISION FEASIBILITY PREPARED FOR  <b>JORGE RIVERA III</b>          3059 OLD TOWN ROAD, BRIDGEPORT, CONNECTICUT 06606</p> <p>SCALE: 1" = 10'          DATE: NOVEMBER 28, 2022</p>			
	<p>DESCRIPTIVE TITLE:          To the best of my knowledge and belief this map is substantially correct as noted hereon.</p> <p><i>Neal K. Jain</i>          NEAL K. JAIN L.S. # 18139</p>		<p>REVISIONS</p> <table border="1"> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>02-28-2023</td> <td>REVISIONS</td> </tr> </table>	DATE	DESCRIPTION
DATE	DESCRIPTION				
02-28-2023	REVISIONS				





Proposed Foundation Plan  
3059 Oldtown RD







### ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

49 & 55 Cannon Street Zone DX-1  
(Number) (Street) (Zone Classification)  
On the South side of the street about 189 feet East from  
(North, South, East, West) (North, South, East, West)  
Broad Street Block: 932 Lot: 11 & 11A  
(Street)  
Dimension of Lot in Question 49.13' at Cannon Street frontage x 134.25' at East x 47.08' at rear boundary x 134.46' at West.

1. NAME OF APPLICANT / BUSINESS Made in Bridgeport LLC  
(Specify)  
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner  
(Print)  
3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)  
4. DESCRIBE PROPOSED DEVELOPMENT  
Hotel with ground floor retail.

5. THIS APPLICATION RELATES TO: Check all that Apply  
 Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY Mixed Use. Ground floor retail with upper floor hotel.

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See Attached

APPLICANT Patricia C. Sullivan DATE 4/6/2023  
(Signature) (Print) (Email)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ Lawyer \_\_\_\_\_ psullivan@cohenandwolf.com

Mailing Address c/o Patricia Sullivan, P.O. Box 1821, 1115 Broad Street, Bridgeport, CT 06601  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT Niels Heilmann Print Niels Heilmann  
(If other than owner) (Signature)

Subscribe & Sworn to before me this 5 day of April 2023  
Patricia C. Sullivan Notary Public in & for the County of Fairfield, State of Connecticut.  
COMMISSIONER OF THE SUPERIOR COURT PATRICIA C. SULLIVAN

#### Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).  
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.

**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_





PATRICIA C. SULLIVAN

Please Reply To Bridgeport  
Writer's Direct Dial: (203) 337-4124  
E-Mail: psullivan@cohenandwolf.com

April 6, 2023

**Via Hand Delivery**

Paul Boucher, Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604

**Re: Application for Variances 49-55 Cannon Street**

Dear Mr. Boucher,

Enclosed please find an Application to the Bridgeport Zoning Board of Appeals for a Variance filed on behalf of my client, Made in Bridgeport LLC, for properties located at 49-55 Cannon Street in the DX1 Zone.

**Variance Requested**

A Variance of the rear setback in DX1 Zone is requested to allow the squaring off of a preexisting nonconforming footprint where a 15 foot setback from the rear lot line would otherwise be required. See, Table 3.20.4 (6) of the Bridgeport Zoning Regulations (the "Regulations"). This variance would allow an 11 square foot encroachment within the rear setback while reducing the existing nonconformity by 384 square feet.

**Proposed Development and Use**

The Applicant proposes a boutique hotel on 49-55 Cannon Street, midblock between Broad and Main Streets. The 49 Cannon Street parcel is currently improved with a four-story historic building. Immediately adjacent, at 55 Cannon Street, is a two-story attached structure.

The Applicant/Owner of the Property proposes to renovate the four-story historic structure and demolish and replace the two-story structure with a new addition. The proposal includes a hotel on the upper floors and retail space on the ground floor, including a lobby, atrium area, and bar.

The current two-story structure, which is to be demolished, has an angled footprint along the rear property line. The requested variance is to allow the Applicant to straighten the footprint on the rear property line. The variance asks for 11 square feet of encroachment into the rear setback, but also reduces the existing encroachment by 384 square feet. The requested variance and the reduction are illustrated on the Site Plan provided.

### Hardship

Bridgeport Zoning Regulation Section 11.90 authorizes the ZBA to grant variances as a way to provide regulatory relief to property owners, where the regulations of the zoning code render property very difficult or impossible to put to reasonable use because of some unique or special characteristics of the property. Variances are intended to help alleviate an exceptional difficulty or unusual hardship that would result from literal enforcement of applicable zoning requirements. Strict adherence to the Regulations would cause a unique hardship to the Applicant.

The unusually angled shape of the rear of the existing two-story structure is a challenge for the proposed redevelopment. While the Owner is entitled to rebuild on the existing nonconforming footprint, allowing the Applicant to square off the footprint of the existing building in the rear, a variance of 11 square feet, will permit the reduction of existing nonconformity by 384 square feet. The removal of a nonconformity serves as an independent basis for granting a variance.

The proposed use is designed to allow the preservation and renovation of an existing historic structure and the proposal precisely aligns with DX1 zone. The DX1, Downtown Core, zone is intended for the highest intensity of activity in the downtown, where mixed-use buildings include ground-floor storefronts and upper story offices, residential, and other commercial uses.

The requested variance represents the least deviation from the applicable regulations sufficient to address the unique challenges presented. The variance will allow the Owner to make reasonable use of its property

Granting the requested variance will not substantially affect the comprehensive zoning plan, will not adversely impact the neighborhood, will not impair the appropriate use or development of adjacent property and will maintain the public welfare. The request is consistent with the zoning code and the master plan of conservation and development.

We respectfully request that the Variance be granted.

Sincerely,



Patricia C. Sullivan

PCS/gpt  
Enclosure



# Secretary of the State of Connecticut

## Certificate of Organization

Domestic Limited Liability Company

### Filing Details

Filing Number: 0010099656 Number of Pages: 2 Filed On: 08/10/2021 03:06 PM

### Primary Details

Name of Limited Liability Company: MADE IN BRIDGEPORT, LLC  
Business ALEI: US-CT.BER:2322986  
Business Email Address: niels.heilmann@gmail.com  
NAICS Information: Lessors of Other Real Estate Property (531190)

### Business Location

Principal Office Address: 89 Grovers Ave, Bridgeport, CT, 06605-3630, United States  
Mailing Address: 89 Grovers Ave, Bridgeport, CT, 06605-3630, United States

### Appointment of Registered Agent

Type: Individual  
Agent's Name: Niels Heilmann  
Business Address: 89 Grovers Ave, Bridgeport, CT, 06605-3630, United States  
Residence Address: 89 Grovers Ave , Bridgeport, CT, 06605-3630, United States  
Mailing Address: 89 Grovers Ave, Bridgeport, CT, 06605-3630, United States

### Agent Appointment Acceptance

Agent Signature: Niels Heilmann  
*This signature has been executed electronically*



# Secretary of the State of Connecticut Certificate of Organization

Domestic Limited Liability Company

## Manager or Member Information

<i>Name</i>	<i>Title</i>	<i>Business Address</i>	<i>Residence Address</i>
Niels Heilmann	Member	89 Grovers Ave, Bridgeport, CT, 06605-3630 United States	89 Grovers Ave, Bridgeport, CT, 06605-3630 United States
Calabria Heilmann	Member	N/A	89 Grovers Ave, Bridgeport, CT, 06605-3630 United States

## Acknowledgement

I hereby certify and state under penalties of false statement that all the information set forth on this document is true.

I hereby electronically sign this document on behalf of:

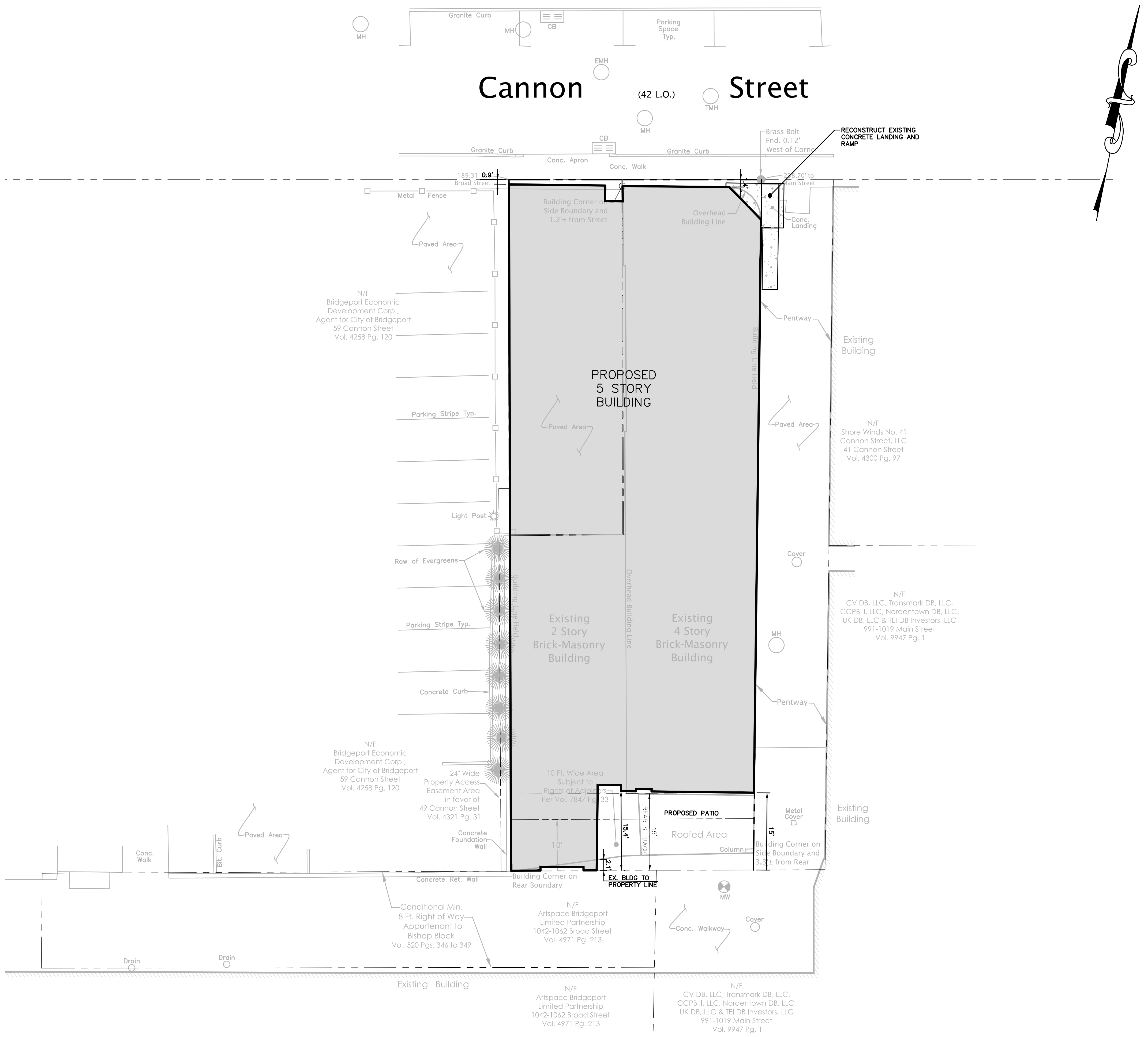
Name of Organizer: Niels Heilmann  
Organizer Title: Member

Filer Name: John Gale  
Filer Signature: John Gale  
Execution Date: 08/10/2021  
*This signature has been executed electronically*



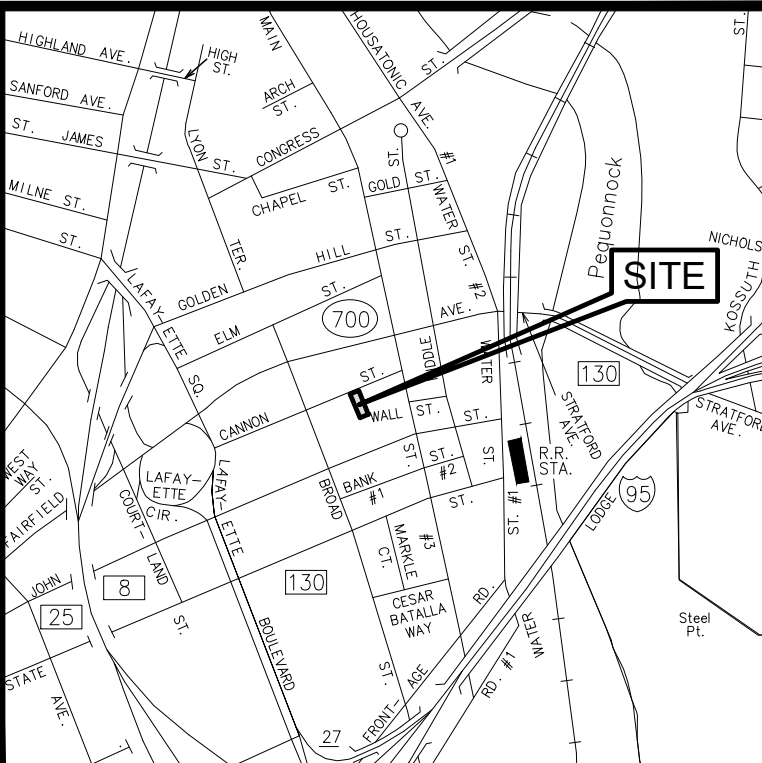
**49 & 55 CANNON STREET – 100 FOOT ABUTTERS**

<b>LOCATION</b>	<b>OWNER'S NAME</b>	<b>ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
140 JOHN ST	MID WESTERN CT COUNCIL OF ALCOHOLISM, INC	38 OLD RIDGEBURY RD	DANBURY	CT	06810
1042 BROAD ST #1062	ARTSPACE BRIDGEPORT LIMITED PARTNERSHIP	250 THIRD NORTH AVE #400	MINNEAPOLIS	MN	55401
979 MAIN ST #987	BENEDETTO JOAN D	74 GOODSSELL ST	BRIDGEPORT	CT	06604
1082 BROAD ST	BRIDGEPORT ECONOMIC DEVELOPMENT CORPORATION	10 MIDDLE ST	BRIDGEPORT	CT	06604
67 CANNON ST	ARTSPACE BRIDGEPORT LIMITED PARTNERSHIP	250 THIRD NORTH AVE #400	MINNEAPOLIS	MN	55401
59 CANNON ST #69	BEDCO AS AGENT FOR THE CITY OF BRIDGEPORT	10 MIDDLE ST	BRIDGEPORT	CT	06604
991 MAIN ST #1019	CV DB LLC ET AL; TRANSMARK DB LLC CCBP 11 DB LLC BORDENTOWN DB LLC	55 FIFTH AVE 15TH FL	NEW YORK	NY	10003
41 CANNON ST	SHORE WINDS NO.41 CANNON ST LLC	38 WINDWARD LANE	MADISON	CT	06443
35 CANNON ST	KRASNOW MARC A	35 CANNON ST	BRIDGEPORT	CT	06604
31 CANNON ST #33	31 CANNON STREET LLC	PO BOX 347	BRIDGEPORT	CT	06601
1021 MAIN ST #1025	ABL BRIDGEPORT REALTY LLC	112-11 69TH AVE	FOREST HILLS	NY	11375- 3917
1130 BROAD ST	BRIDGEPORT CITY OF PARK DEPT	7 QUARRY ROAD	TRUMBULL	CT	06611
1061 MAIN ST	STATE OF CONN	1061 MAIN ST	BRIDGEPORT	CT	06604



**GENERAL NOTES:**

- ALL WORK SHALL CONFORM TO THE CITY OF BRIDGEPORT STANDARDS AND SPECIFICATIONS OR IN THE ABSENCE THEREOF TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION FORM 817 (OR LATEST EDITION).
- IF (IN THE OPINION OF THE ENGINEER) CONFLICTS OR DISCREPANCIES OCCUR BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER DOCUMENT ITSELF IN DESCRIBING THE WORK, THE BETTER QUALITY, GREATER QUANTITY, OR MORE COSTLY OPTION FOR WORK WILL BE INCLUDED IN THE CONTRACTOR'S (ORIGINAL) CONTRACT PRICE. THIS WORK SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CLARIFYING ANY CONFLICTS OR DISCREPANCIES IN THE WORK PRIOR TO SUBMITTING THE CONTRACT PRICE. THE CONTRACTOR SHALL NOT PROCEED WITH SUCH WORK UNTIL THE ENGINEER HAS BEEN CONTACTED FOR CLARIFICATION AND PROPER DIRECTION.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS AND SHALL IMMEDIATELY REPORT ANY AND ALL DISCREPANCIES TO ENGINEER.
- THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND APPURTENANCES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" (CBYD) LOCATING SERVICE AT 1-(800)-922-4455 AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO THE START OF CONSTRUCTION IN ORDER TO HAVE ALL UTILITIES LOCATED AND MARKED. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATING SERVICE (AT HIS OWN EXPENSE) TO VERIFY AND/OR LOCATE ANY/ALL UTILITIES THAT CBYD DOES NOT LOCATE. ANY/ALL REFERENCES ON DRAWINGS TO "UTILITIES" INCLUDES ANY/ALL TYPES OF BUILDING AND/OR SITE "SERVICES" AS WELL.
- SURVEY INFORMATION WAS TAKEN FROM A MAP ENTITLED PROPERTY SURVEY PREPARED FOR NIELS HEILMAN; 49 CANNON STREET AND 55 CANNON STREET; BRIDGEPORT, CONNECTICUT; PREPARED BY CABEZAS DEANGELIS, BRIDGEPORT, CT; DATED APRIL 1, 2022.
- TOPOGRAPHIC INFORMATION WAS TAKEN FROM A MAP ENTITLED XX; PREPARED PEREIRA ENGINEERING, LLC, SHELTON, CT; DATED X/X/23.
- ALL ELEVATIONS ON THIS PROJECT ARE BASED ON N.G.V.D. OF 1929.
- PROPOSED BUILDING WILL BE SERVED WITH PUBLIC WATER AND SANITARY SEWERS.
- ALL ROOF AND FOUNDATION DRAIN DISCHARGE PIPING SHALL BE 6" SDR-35 PVC PLASTIC PIPE (ASTM D 3034) WITH RUBBER GASKETS, BELL AND SPIGOT TYPE JOINTS.
- TREES LOCATED ON TOWN PROPERTY SHALL BE TAGGED FOR INSPECTION BY THE TREE WARDEN. TREES SHALL NOT BE CUT DOWN UNTIL INSPECTED AND APPROVED BY THE TREE WARDEN.
- NO STUMPS, BRUSH, BUILDING DEBRIS, OR UNSUITABLE MATERIALS ARE TO BE BURIED ONSITE. CONTRACTOR IS RESPONSIBLE FOR ANY/ALL COSTS ASSOCIATED WITH REMOVING ALL MATERIALS OFFSITE AT NO ADDITIONAL COST TO THE OWNER.
- ALL UTILITY WORK TO BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY'S REQUIREMENTS AND STANDARDS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE UTILITY RELATED WORK WITH THE RESPECTIVE UTILITIES. ALL COSTS, INCLUDING PERMIT FEES, SHALL BE INCLUDED IN THE PRICES BID FOR THE VARIOUS ITEMS OF WORK UNDER THIS CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR DOING WORK THAT IS COMPLIANT WITH SECTION 504 OF THE REHABILITATION ACT OF 1973 AND TITLE II OF THE AMERICANS WITH DISABILITIES ACT AS AMENDED THROUGH LATEST VERSION.
- DETECTABLE WARNING (TACTILE) STRIPS (TILES) SHALL BE INSTALLED AT ALL LOCATIONS AS REQUIRED PER ADA REQUIREMENTS. ALL DETECTABLE WARNING STRIPS SHALL BE CAST-IN-PLACE TYPE ONLY. SURFACE MOUNTING OF TACTILE TILES TO EXISTING CONCRETE IS NOT ACCEPTABLE. EXISTING CONCRETE SHALL BE SAW-CUT, REMOVED, AND REPLACED WITH CAST-IN-PLACE TACTILE STRIPS.
- ACCESSIBLE ROUTES SHALL CONNECT BUILDINGS, FACILITIES, ELEMENTS, SPACES, PARKING, PASSENGER LOADING ZONES, PUBLIC STREETS, AND SIDEWALKS. ACCESSIBLE ROUTES' SLOPES SHALL BE 1:20 (5%) OR LESS AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVEL SHALL NOT BE GREATER THAN 1/4", AND SLOPES SHALL NOT BE GREATER THAN 1:20 UNLESS RAMPS OR LIFTS ARE PROVIDED. EXISTING SIDEWALKS LOCATED ALONG THE ACCESSIBLE ROUTE WHICH HAVE A CHANGE IN LEVEL GREATER THAN 1/4" FROM AN ADJUTING SIDEWALK SHALL BE REPLACED WITH NEW CONCRETE SIDEWALK (FROM JOINT TO JOINT). OPENINGS IN FLOOR OR GROUND SURFACES (INCLUDING EXPANSION & CONTROL JOINTS) SHALL NOT BE GREATER THAN 1/2".
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 DAYS FOR REVIEW.

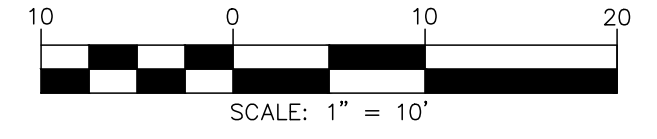


**LOCATION MAP**  
NOT TO SCALE

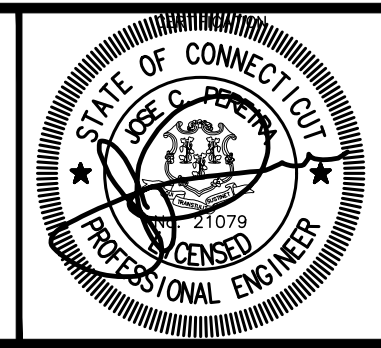
**ZONING DATA TABLE**  
**DX-1 ZONE - DOWNTOWN CORE**

STOREFRONT BUILDING TYPE	MINIMUM	MAXIMUM	EXISTING 49 CANNON ST.	EXISTING 55 CANNON ST.	PROPOSED COMBINED
<b>3.20.4. BUILDING SITING</b>					
Lot Width	18'	None	27.11' <sup>(6)</sup>	22.02'	49.13'
Lot Depth	None	None	134.25'	69.13'	134.25±'
Lot Area	None	None	4,951 sf	1,524 sf	6,475 sf
Primary Streetwall	90%	None	27.11' (100%)	NA	49.1' (100%)
Primary Street Build-to Zone	0'	5'	0'	NA	0.9' - 1.4'
Non-Primary Street Build-to Zone	0'	10'	NA	NA	NA
Side Setback	5', if setback	None	0' <sup>(6)</sup>	NA	0'
Rear Setback	15 ft. min.	None	0' <sup>(6)</sup>	NA	0'
Site Coverage	None	95%	4,634 sf (93.6%) <sup>(6)</sup>	1,524 sf (100%) <sup>(6)</sup>	100%
<b>3.20.6. HEIGHT.</b>					
Height	2 stories	10 stories	4 stories	NA	5 stories
Additional High-Rise or Stepped-Back Height		15 additional stories <sup>(6)</sup>	-	-	-
Ground Story Height	12'	16' <sup>(6)</sup>	13' - 4"	None	13' - 4"
Upper Story Height	9'	14'	10' - 6"	None	10' - 6"
<b>8.0 Parking</b>					
(8.20) Off Street Parking	None	None	None	None	None
(8.30) Bicycle Parking	0-2 <sup>(6)</sup>	None	None	None	None

- NOTES:
- Lot width taken at Primary Streetwall. Full lot width at rear of site is 47.08'.
  - Building coverage only.
  - Includes Building and paving.
  - There is no building, paving only.
  - Not used.
  - 10-15 stories - Building base shall be minimum 5 stories, then the facade may step back. 16-25 stories - Building base shall be minimum 7 stories, then the facade may step back.
  - Up to 24' with PZC approval.
  - Based on Low Occupancy Use (Table 8-2), with 0-20 employees.
  - Setback at existing southwest building corner.



**PEREIRA ENGINEERING, LLC**  
Civil • Environmental • Land Surveying  
One Enterprise Drive, Suite 312 Phone: (203) 944-9944  
Shelton, CT 06484 Fax: (203) 944-9945



REVISIONS			
NO.	BY	DATE	REMARKS

PREPARED FOR  
**MADE IN BRIDGEPORT, LLC**  
FOR PROPERTY LOCATED AT  
49 & 55 CANNON STREET  
BRIDGEPORT, CONNECTICUT

**PROPOSED SITE IMPROVEMENT PLANS**  
**THE POST HOTEL**  
**SITE PLAN**  
SCALE: 1"=10'

COPYRIGHT © 2023  
DATE APRIL 6, 2023  
C SHEET 1 OF 1  
CAD REF. NO. 1433BASE



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CERTIFICATION:

REVISIONS:

DATE	DESCRIPTION

**THE POST HOTEL**  
CONCEPTUAL DESIGN PHASE  
49 & 55 CANNON STREET  
BRIDGEPORT, CONNECTICUT

DRAWING TITLE:  
SITE PLAN

SCALE: 1/16" = 1'-0" DRAWN BY: RF REVIEWED BY: PAL

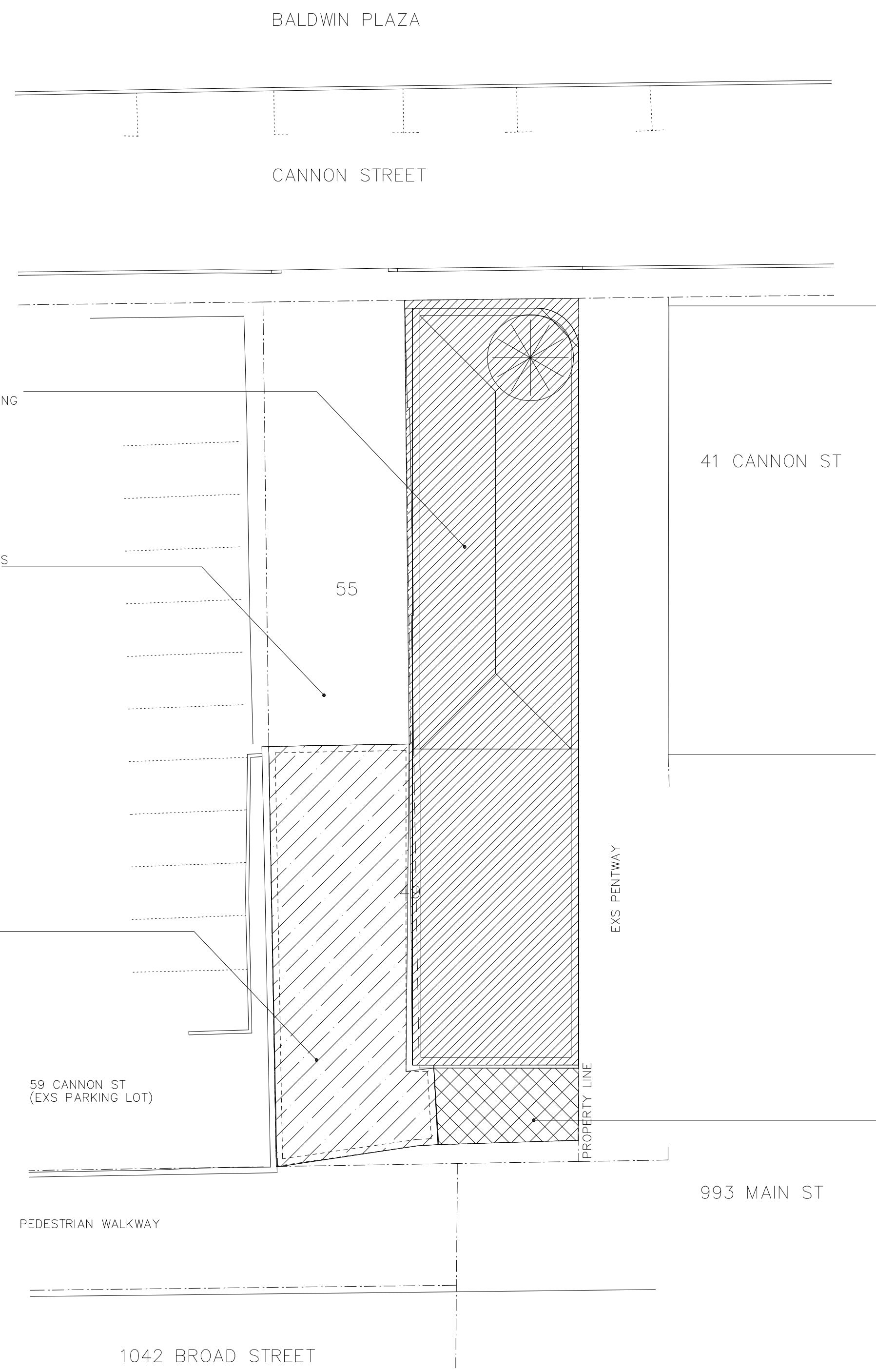
DRAWING NO.:

**SS-1**

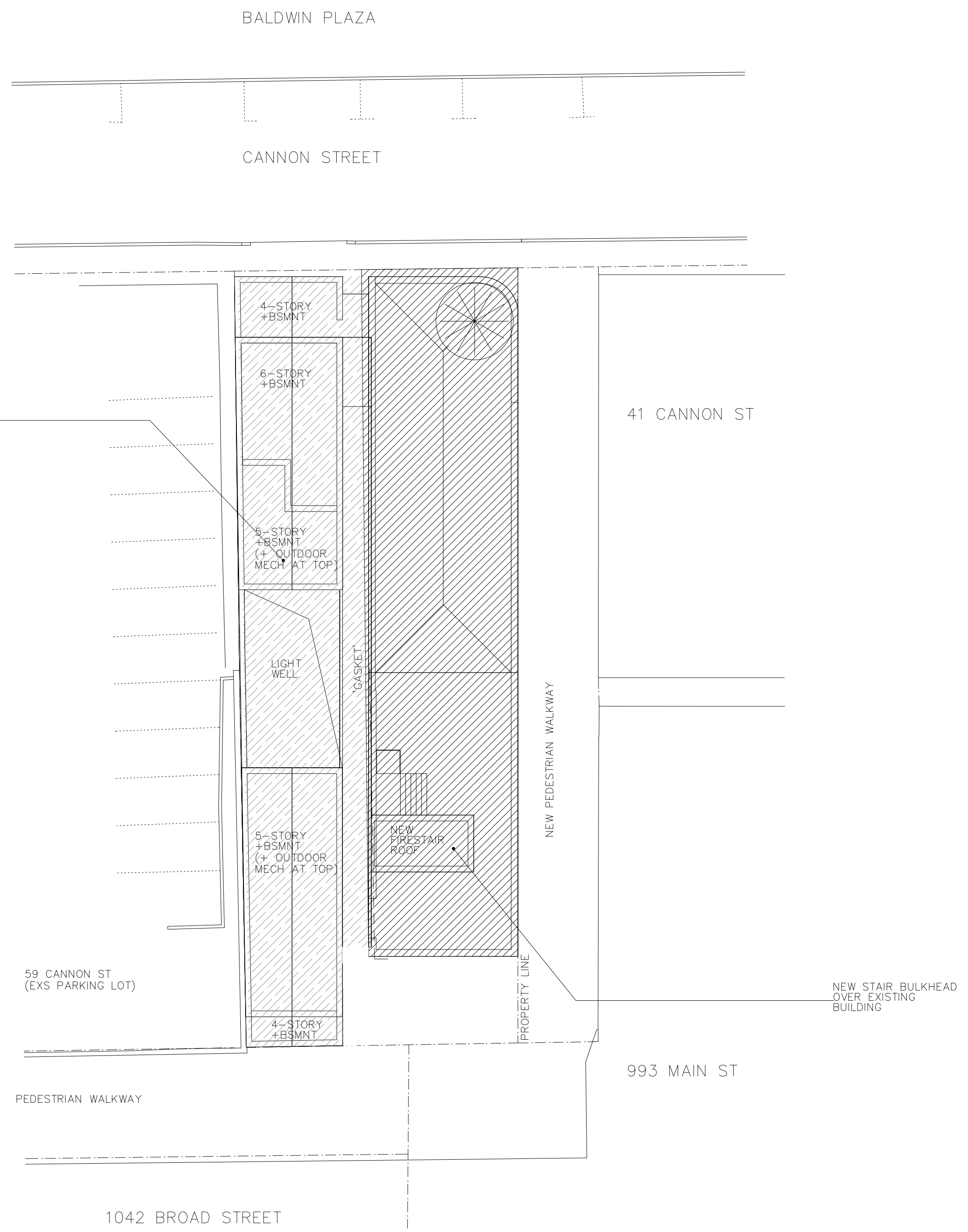
DATE: 27 MARCH 2023 JOB NUMBER: 22033



NORTH



**A1** EXISTING SITE PLAN  
SCALE: 1/16" = 1'-0"



**A2** PROPOSED SITE PLAN  
SCALE: 1/16" = 1'-0"





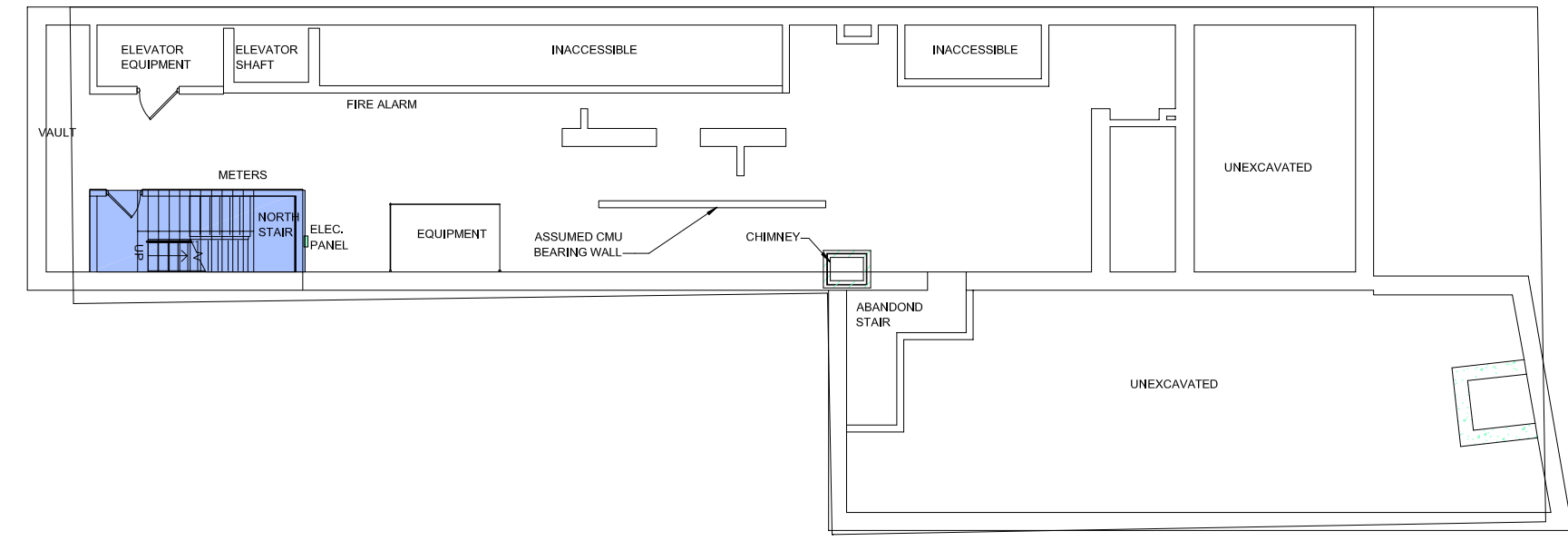
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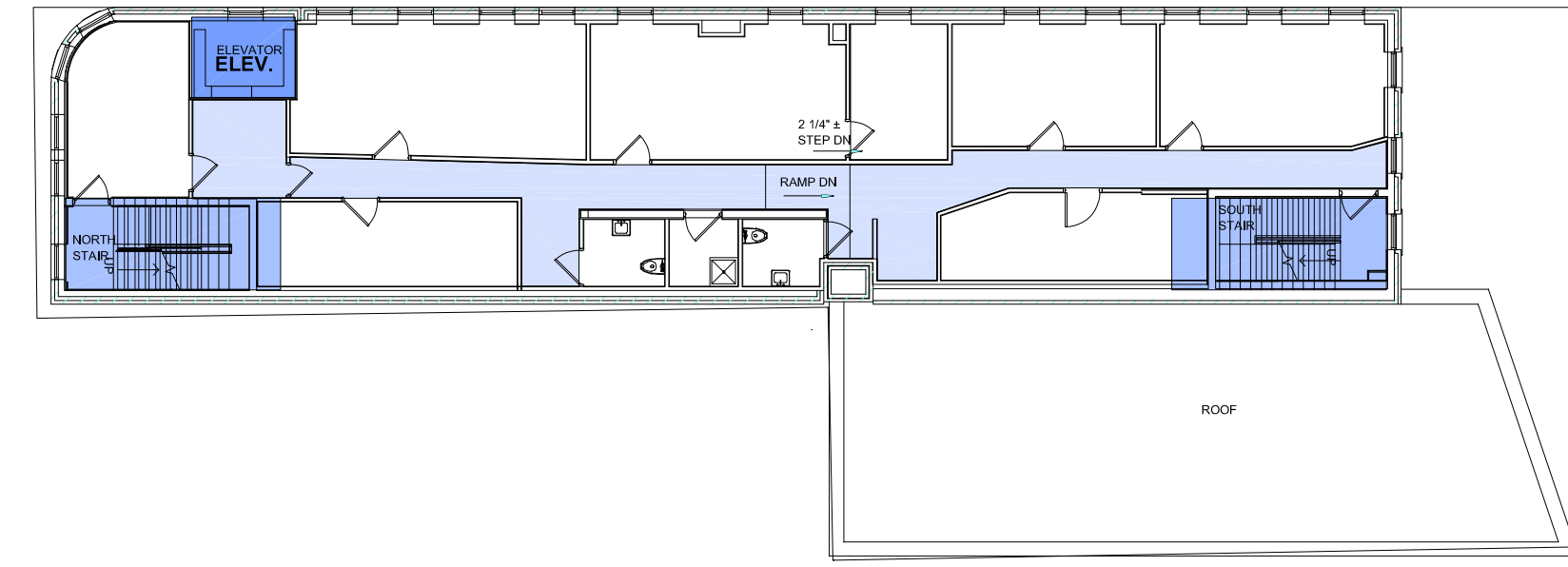
CERTIFICATION:

REVISIONS:

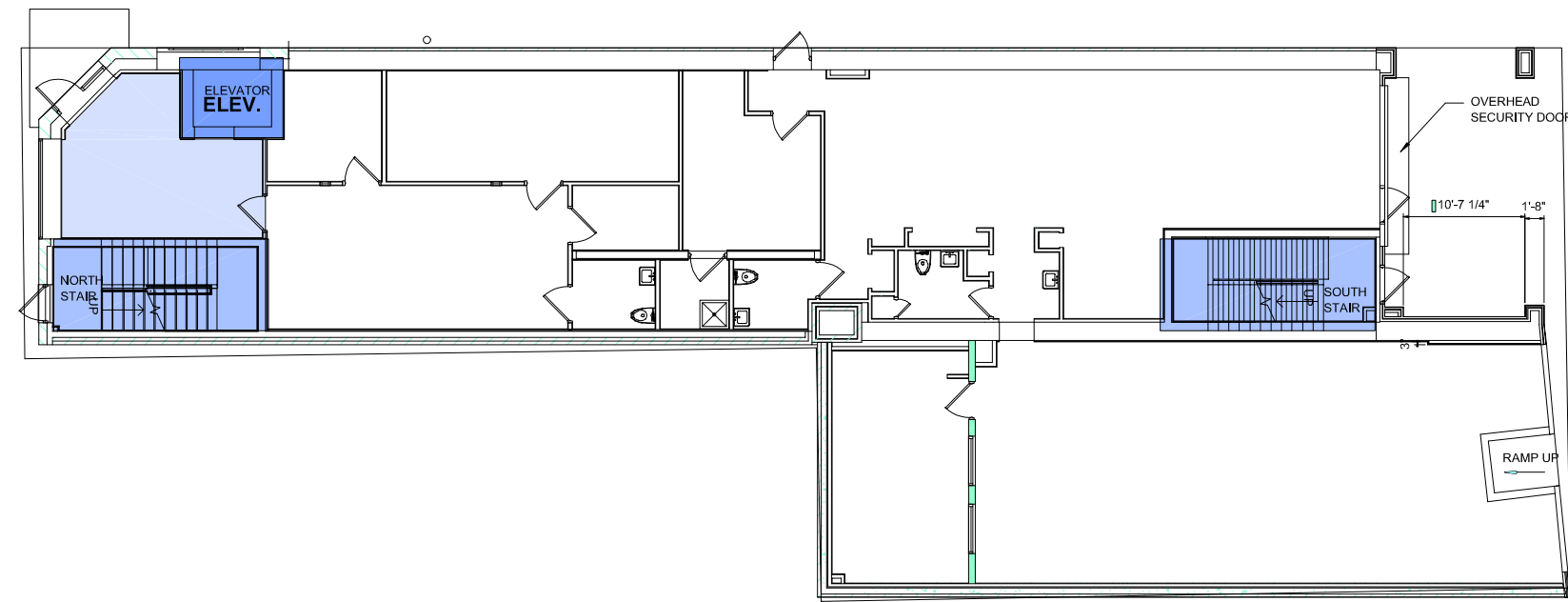
Δ	DATE	DESCRIPTION



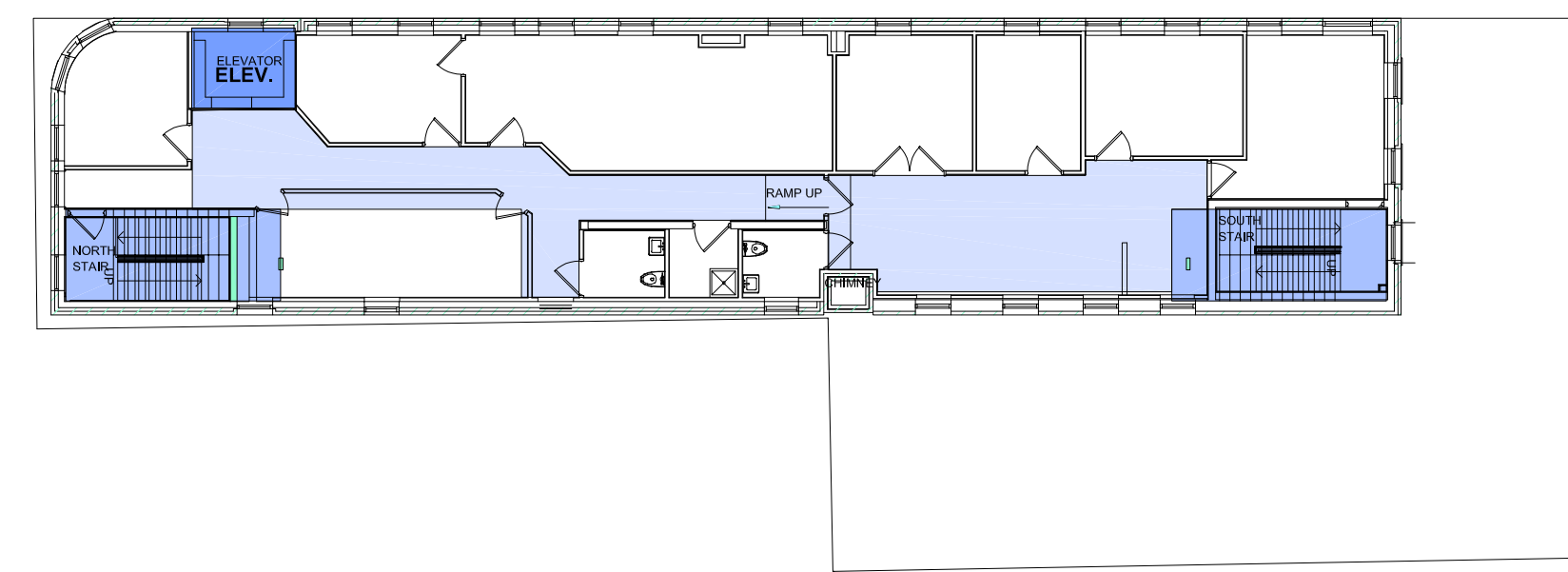
C1 EXISTING PLAN  
SCALE: 1/16" = 1'-0"



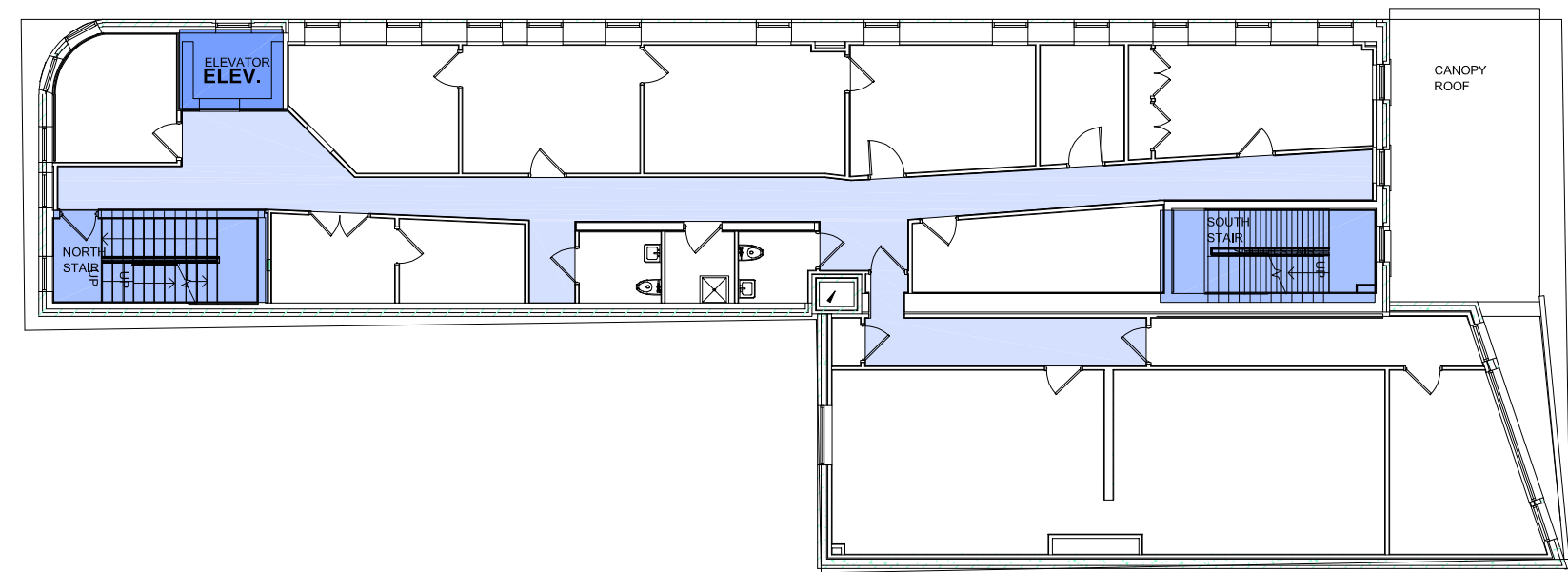
C2 EXISTING PLAN  
SCALE: 1/16" = 1'-0"



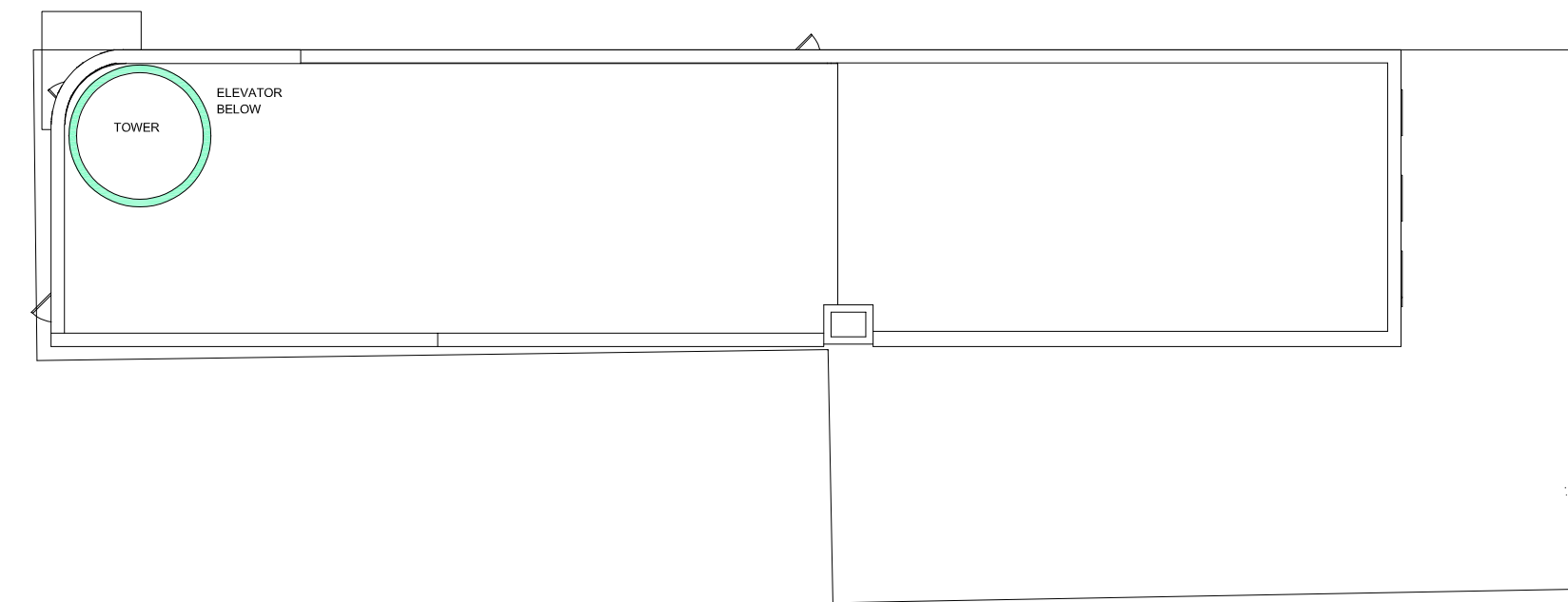
B1 EXISTING PLAN  
SCALE: 1/16" = 1'-0"



B2 EXISTING PLAN  
SCALE: 1/16" = 1'-0"

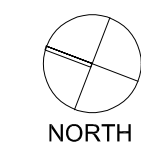


A1 EXISTING PLAN  
SCALE: 1/16" = 1'-0"



A2 EXISTING PLAN  
SCALE: 1/16" = 1'-0"

- ELEVATOR
- STAIRWAY
- CORRIDOR



THE POST HOTEL  
CONCEPTUAL DESIGN PHASE  
49 & 55 CANNON STREET  
BRIDGEPORT, CONNECTICUT

DRAWING TITLE:  
EXISTING FLOOR PLANS

SCALE: 1/16" = 1'-0"    DRAWN BY: RF    REVIEWED BY: PAL

DRAWING NO.:

EX-1

DATE: 27 MARCH 2023    JOB NUMBER: 22033





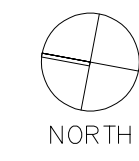
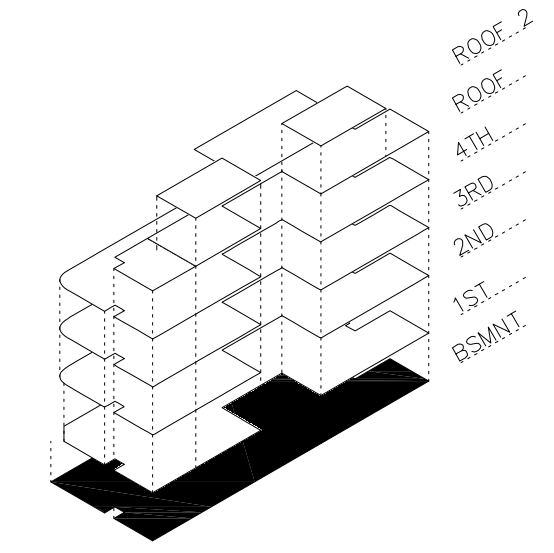
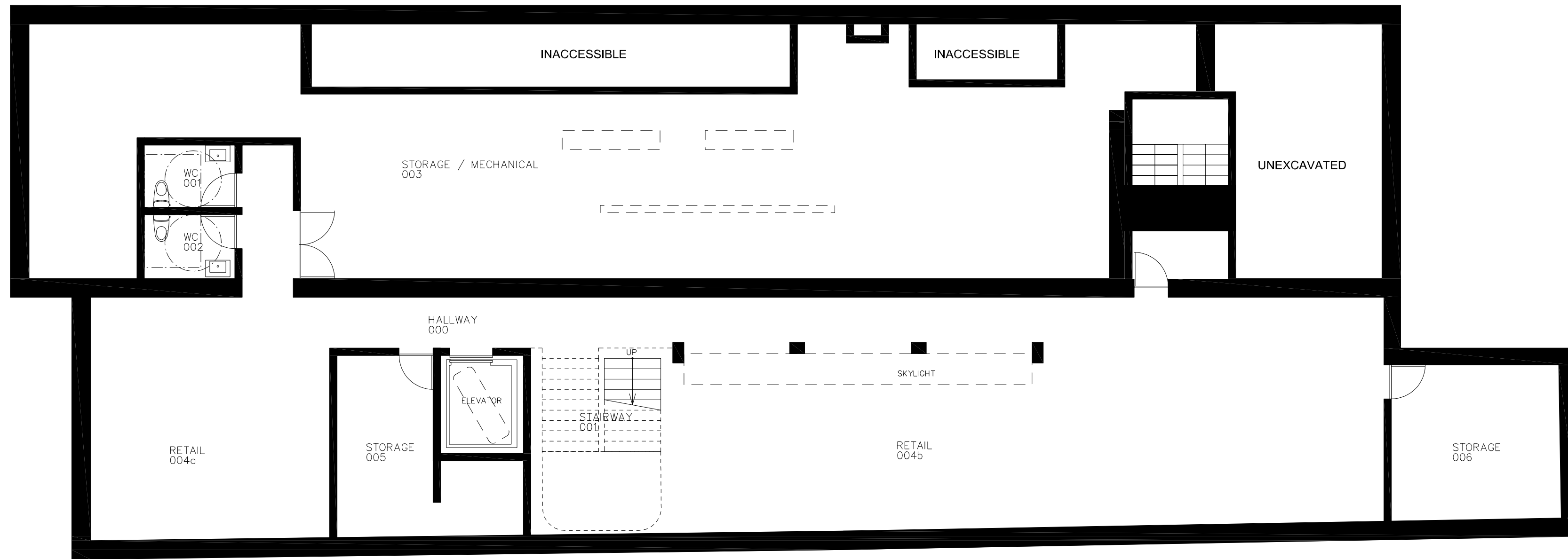
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A1 BASEMENT PLAN  
SCALE: 1/8" = 1'-0"

THE POST HOTEL  
CONCEPTUAL DESIGN PHASE  
49 & 55 CANNON STREET  
BRIDGEPORT, CONNECTICUT

DRAWING TITLE:  
BASEMENT PLAN

SCALE: 1/8" = 1'-0"	DRAWN BY: RF	REVIEWED BY: PAL
------------------------	-----------------	---------------------

DRAWING NO.:

A-1

DATE: 27 MARCH 2023	JOB NUMBER: 22033
------------------------	----------------------



**ANTINOZZI ASSOCIATES**  
ARCHITECTURE & INTERIORS

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REVISIONS	DATE	DESCRIPTION

**THE POST HOTEL**  
**CONCEPTUAL DESIGN PHASE**  
49 & 55 CANNON STREET  
BRIDGEPORT, CONNECTICUT

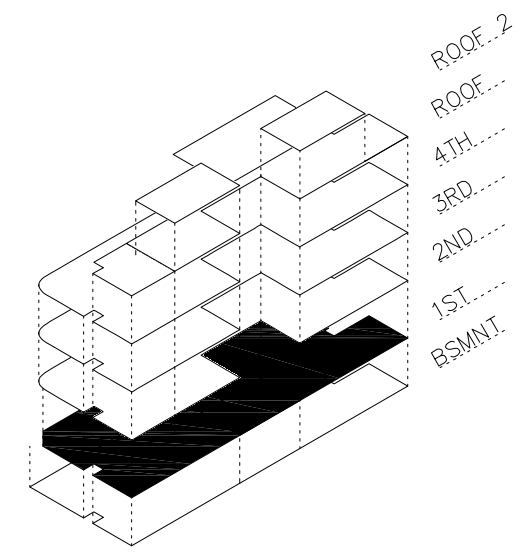
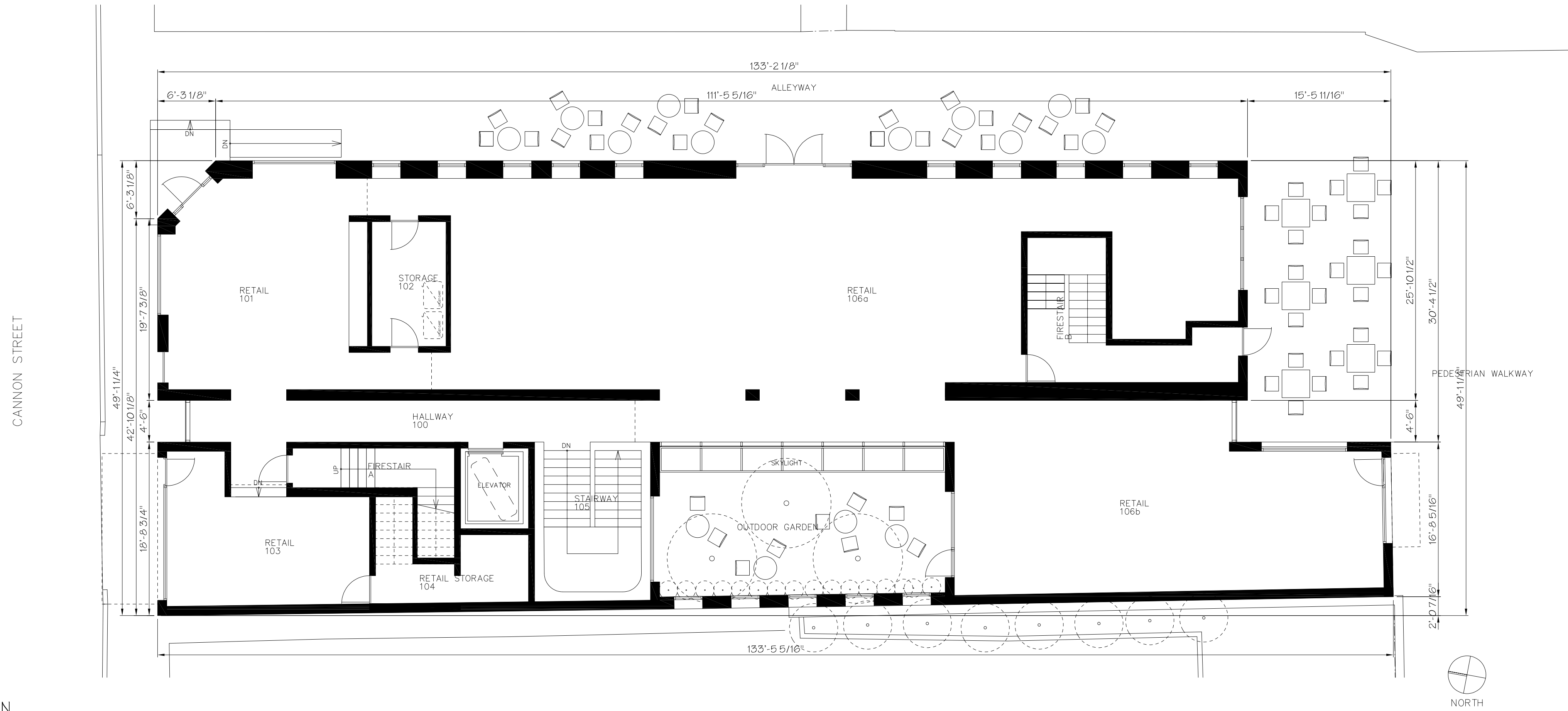
DRAWING TITLE:  
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"    DRAWN BY: RF    REVIEWED BY: PAL

DRAWING NO.

**A-2**

DATE: 27 MARCH 2023    JOB NUMBER: 22033



1 FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"







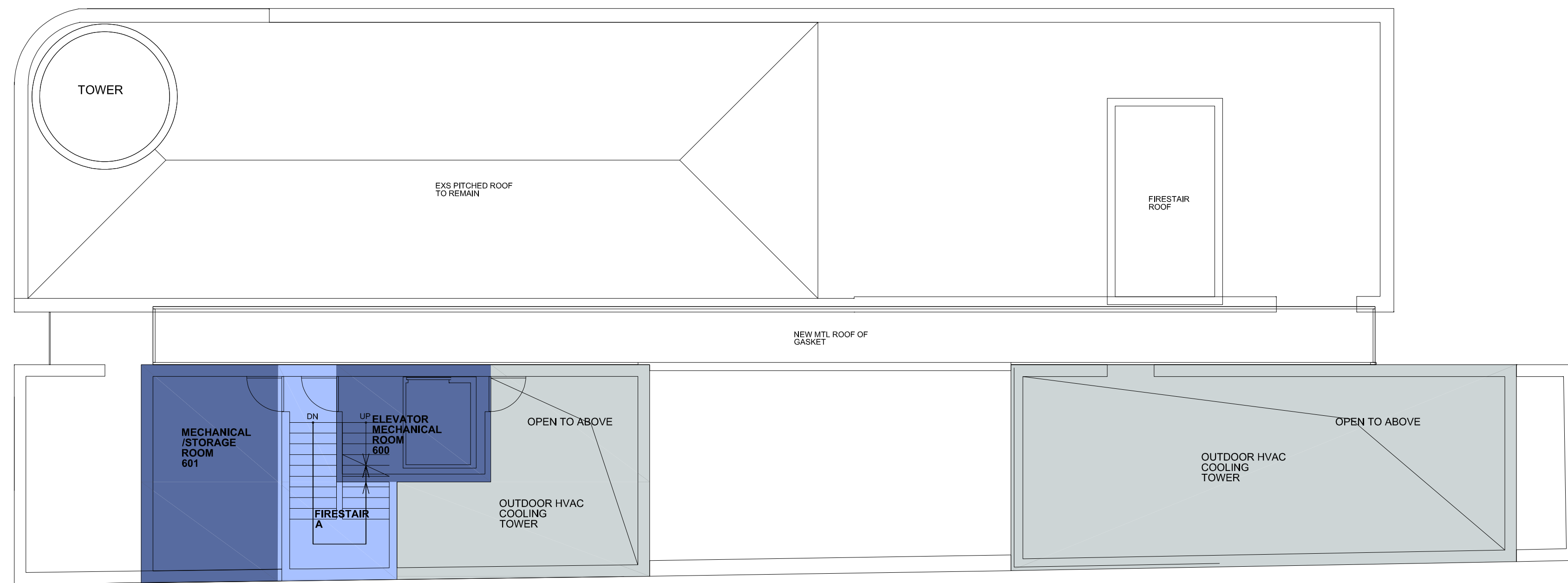
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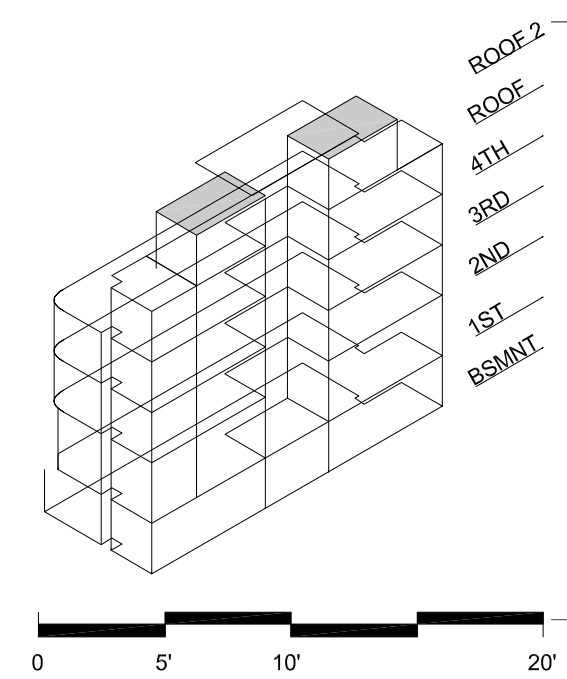
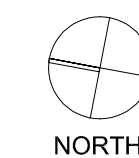
REVISIONS:

NO.	DATE	DESCRIPTION



A2 ROOF PLAN  
SCALE: 1/8" = 1'-0"

- SUITE
- ROOM (QUEEN)
- ROOM (KING)
- ROOM (DOUBLE QUEEN)
- PUBLIC HALLWAYS
- FIRESTAIR
- ELEVATOR
- STORAGE / MECH
- RETAIL
- RESTROOM
- OUTDOOR GARDEN / TERRACE
- OUTDOOR MECHANICAL



**THE POST HOTEL**  
CONCEPTUAL DESIGN PHASE  
49 & 55 CANNON STREET  
BRIDGEPORT, CONNECTICUT

DRAWING TITLE:  
ROOFTOP 2 PLAN

SCALE: 1/8" = 1'-0"	DRAWN BY: RF	REVIEWED BY: PAL
------------------------	-----------------	---------------------

DRAWING NO.:

A-5

DATE: 27 MARCH 2023	JOB NUMBER: 22033
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REVISIONS:

Δ	DATE	DESCRIPTION

**THE POST HOTEL**  
CONCEPTUAL DESIGN PHASE  
49 & 55 CANNON STREET  
BRIDGEPORT, CONNECTICUT

DRAWING TITLE:  
EXTERIOR ELEVATION

SCALE: AS NOTED    DRAWN BY:    REVIEWED BY: PAL

DRAWING NO.:

**A-6**

DATE: 27 MARCH 2023    JOB NUMBER: 22033



**(A) NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**(B) SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"





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CERTIFICATION:

REVISIONS:

DATE	DESCRIPTION



① West Elevation  
SCALE: 1/8" = 1'-0"

THE POST HOTEL  
CONCEPTUAL DESIGN PHASE  
49 & 55 CANNON STREET  
BRIDGEPORT, CONNECTICUT

DRAWING TITLE:  
WEST ELEVATION

SCALE: 1/8" = 1'-0"	DRAWN BY: RF	REVIEWED BY: PAL
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DRAWING NO.:

A-7

DATE: 27 MARCH 2023	JOB NUMBER: 22033
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CERTIFICATION:

REVISIONS:

DATE	DESCRIPTION



**(A) EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

- TOP OF TOWER  
89' - 9"
- TOP OF ADDITION  
86' - 6"
- ROOF 2  
77' - 10"
- ROOF OF EXS BGD  
68' - 0 1/8"  
ROOF  
66' - 10 3/8"
- FOURTH FLOOR  
54' - 10 11/32"
- THIRD FLOOR  
44' - 1 3/8"
- SECOND FLOOR  
33' - 4"
- FIRST FLOOR  
20' - 0"  
19' - 0"  
STREET LEVEL
- CANNON STREET
- BASEMENT  
9' -
- CLEAN, RESTORE BROWNSTONE AT 1ST FLOOR TYP.
- RESTORE 1ST FLOOR FACADE DETAILS AND OPENINGS PER HISTORICAL EVIDENCE TYP.

**THE POST HOTEL**  
CONCEPTUAL DESIGN PHASE  
49 & 55 CANNON STREET  
BRIDGEPORT, CONNECTICUT

DRAWING TITLE:  
**EXTERIOR ELEVATION**

SCALE: AS NOTED	DRAWN BY: PAL	REVIEWED BY: PAL
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DRAWING NO.:

**A-8**

DATE: 27 MARCH 2023	JOB NUMBER: 22033
------------------------	----------------------



# Secretary of the State of Connecticut Annual Report

## Filing Details

Filing Number: 0010254060      Report Year: 03/31/2022  
Filing Fee: \$80.00      Due Date:  
Filed On: 1/27/2022 10:03:44 AM

## Primary Details

Business Type: Domestic  
Legal Structure: LLC  
Business Name: MADE IN BRIDGEPORT, LLC  
Business ALEI: US-CT.BER:2322986

	<i>Existing Information</i>	<i>Updated Information</i>
Business Email Address:	niels.heilmann@gmail.com	No update
NAICS Information:	Lessors of Other Real Estate Property (531190)	No update

## Business Location

	<i>Existing Information</i>	<i>Updated Information</i>
Principal Office Address:	89 Grovers Ave Bridgeport, CT 06605-3630 United States	No update
Mailing Address:	89 Grovers Ave Bridgeport, CT 06605-3630 United States	No update

## Agent Information

Type: Individual  
Agent's Name: Niels Heilmann



# Secretary of the State of Connecticut Annual Report

	<i>Existing Addresses</i>	<i>Updated Addresses</i>
Business Address:	89 Grovers Ave Bridgeport, CT 06605-3630 United States	No update
Residence Address:	89 Grovers Ave Bridgeport, CT 06605-3630 United States	No update
Mailing Address:	89 Grovers Ave Bridgeport, CT 06605-3630 United States	No update

## Acknowledgement

I hereby certify and state under penalties of false statement that all the information set forth on this document is true.

I hereby electronically sign this document on behalf of:

Name of Authorizer: Niels Heilmann  
Authorizer Title: Member

Filer Name: Niels Heilmann  
Filer Signature: Niels Heilmann  
Execution Date: 01/27/2022

*This signature has been executed electronically*

May 4, 2023

**VIA HAND DELIVERY**

Mr. Paul Boucher  
Zoning Official  
City of Bridgeport  
45 Lyon Terrace #210  
Bridgeport, CT 06604

**RE: TD Bank, N.A. (the “Applicant”)  
965 (a/k/a 975) Madison Avenue (Mblu 46/2202/26/A) and 391 Garfield  
Avenue (Mblu 46/ 2202/ 14/ /), Bridgeport, CT (collectively, the “Property”)  
Variance Application to the Bridgeport Zoning Board of Appeals (the “ZBA”)**

Dear Mr. Boucher:

On behalf of the Applicant, TD Bank, N.A., the tenant of the above-captioned Property,<sup>1</sup> enclosed please find application materials for variance approval from the ZBA for the Property. Specifically, the Applicant requests a variance from Table 6.3, Row K of the City of Bridgeport Zoning Regulations (the “Zoning Regulations”) to permit the installation of ALPOLIC metal panels (a form of aluminum metal composite) on portions of the existing building façade on Madison Avenue and Capitol Avenue. The Applicant respectfully requests this variance in connection with a national design refresh of TD Bank, which will facilitate a welcome modernization to the design of the existing building.

In connection with this application request, enclosed please find the following physical application materials, along with a USB drive with identical electronic versions:

- One (1) firm check in the amount of \$305.00 representing the ZBA Application Fee;
- One (1) Letter of Authority from the Applicant;
- One (1) Letter of Authority from the Property Owner;
- Eleven (11) ZBA Application Form and Checklist;
- Eleven (11) copies of Schedule A - Project Narrative;
- Eleven (11) copies of the list of abutters within 100’ of the Property;

---

<sup>1</sup> The Property owner, PREP Financial-Bridgeport LLC (the “Owner”), consents to this application.  
{S7500100}

- Eleven (11) copies of the Legal Property Description;
- Eleven (11) copies of photos of existing conditions; and
- Eleven (11) full size copies of the following plans:
  - Site Plan prepared by Bergmann, P.C., dated April 7, 2023, and entitled, “G-004 – Site Plan.”
  - Elevations prepared by Bergmann, P.C., dated April 7, 2023, and entitled, “A-201 – Exterior Elevations.”

We look forward to presenting this application to the ZBA. Please let me know if you require any additional information. Thank you for your time and attention regarding this matter.

Sincerely,

*Rachel Breslin*

Rachel Breslin

Enclosures.

cc: Tisha Volkmann, TD Bank, N.A.  
P. Ellen Prows, PREP Financial-Bridgeport LLC



America's Most Convenient Bank®

April 27, 2023

Chairman Ira Nachem  
Zoning Board of Appeals  
City of Bridgeport  
45 Lyon Terrace  
Bridgeport, Connecticut 06604

**RE: TD Bank NA (the "Applicant")  
Application to Bridgeport Zoning Board of Appeals  
Letter of Authority**

Dear Chairman Nachem:

TD Bank NA (the "Applicant") is a tenant of property known as known as 965 (aka 975) Madison Avenue, Bridgeport, Connecticut (Mblu 46/2202/26/A) (the "Property") pursuant to a long-term lease agreement with the owner of the Property, Prep Financial-Bridgeport LLC. TD Bank is requesting a variance from the Zoning Board of Appeals in connection with façade updates to its existing bank building on the Property.

On behalf of the Applicant, I hereby authorize the attorneys of Carmody Torrance Sandak & Hennessey LLP, with offices located at 1055 Washington Boulevard, Stamford, Connecticut 06901, to act as agent for TD Bank NA in connection with the enclosed application. Thank you for your acknowledgement of said authority.

Sincerely,

TD Bank NA

By: Trisha Volkmann

Print: Trisha Volkmann, Sr. Construction Project  
Manager

Duly Authorized

TD Bank, N.A.  
US Real Estate Department  
4140 Church Road  
Mount Laurel, NJ 08054



May 2, 2023

Chairman Ira Nachem  
City of Bridgeport Zoning Board of Appeals  
45 Lyon Terrace  
Bridgeport, Connecticut 06604

**RE: PREP Financial-Bridgeport LLC  
Application to Bridgeport Zoning Board of Appeals  
Letter of Authority**

Dear Chairman Nachem:

PREP Financial-Bridgeport LLC (“PREP”) owns the property known as 965 Madison Avenue and 391 Garfield Avenue, Bridgeport, Connecticut 06606 (the “Property”).

PREP hereby authorizes the attorneys of Carmody Torrance Sandak & Hennessey LLP, with offices located at 1055 Washington Boulevard, Stamford, Connecticut 06901, to submit the enclosed application in connection with obtaining a variance for ACM panels for the Property. Thank you for your acknowledgement of said authority. Please continue to include PREP on all communications regarding the variance application.

Sincerely,

PREP Financial-Bridgeport LLC

By: 

Print: Kendra W. Bowers

Duly Authorized

Address: 2750 Rasmussen Road, Suite 202  
Park City, Utah 84098  
Phone: 435-602-4718  
Email: kendra.bowers@preppg.com





### ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

- Variance
- Appeal from Zoning Officer
- Extension of Time Permit / Modification of Plan of Development
- Request for Re-hearing
- Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

965 Madison Avenue & 391 Garfield Avenue Zone MX1  
(Number) (Street) (Zone Classification)

On the West side of the street about N/A feet between \_\_\_\_\_ from \_\_\_\_\_  
(North, South, East, West) (North, South, East, West)

Garfield Avenue & Capitol Avenue Block : 2202 Lot: 26/A and 14  
(Street)

Dimension of Lot in Question Please see attached Legal Property Description  
(Specify)

1. NAME OF APPLICANT / BUSINESS TD Bank, N.A.  
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Lessee/Tenant
3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT Please see Schedule A - Project Narrative.
5. THIS APPLICATION RELATES TO: Check all that Apply  
 Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: Building Design - Facade Materials
6. USE TO BE MADE OF PROPERTY No change of use proposed. The Property currently and will continue to operate as a bank.
7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? The Property is a corner lot fronting on three streets, and the existing Building predates the design guidelines. Please see Schedule A for further detail.

c/o Agent:

APPLICANT Rachel Breslin / Rachel Breslin DATE 5/3/23  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) c/o Agent: Rachel Breslin, Esq., Carmody Torrance Sandak & Hennessey LLP  
rbreslin@carmodylaw.com /   
(Email)

Mailing Address c/o Agent: 1055 Washington Boulevard, Stamford, CT 06901 203-252-2693  
(Zip Code) (Phone #)

c/o owner:

PROPERTY OWNERS ENDORSEMENT Rachel Breslin Print Rachel Breslin  
(If other than owner) (Signature)

Subscribe & Sworn to before me this 3rd day of May 20 23  
Lindsay Reed Notary Public in & for the County of Fairfield, State of Connecticut.  
Commissioner of the Superior Court

#### Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).  
 The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.  
**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

\_\_\_\_\_ FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_



CITY OF BRIDGEPORT

**ZONING BOARD OF APPEALS  
APPLICATION CHECKLIST**

**Required Information**

- All items must be submitted in sets of (11) Eleven
- All plans & drawings must be full size (24"x36"), drawn to scale and in a PROFESSIONAL manner and must include a title block noting the name, address & telephone number of preparer.
- Site Development Plan prepared in accordance with Sec. 14-2-3b of the Bridgeport Zoning Regulations. Include the Zone Development Standards table indicating both required as well as the proposed Standards.
- Elevation views of a proposed new structure or elevation views of an existing building where an addition or change is proposed.
- Floor plan of building(s) or section of building(s) being considered by the Board.  
(All sets **FOLDED DOWN** to 8" x 12" )
- A Design Standard submission for new developments.
- A written statement citing the specific provision(s) of the Regulations from which the variance is sought.
- A list of the names & addresses of all property owners within 100 ft of all property lines of the subject property. The Tax Assessor's Office (Room 105) can assist with this information or visit the COB website: <http://gis.cdm.com/BridgeportCT/map.htm>
- All applications must include the following:
- a) Mailing address & zip code of applicant or authorized agent.
  - b) Daytime telephone number of applicant or authorized agent.
  - c) Signature of owner(s) & applicant(s)
  - d) Filing fee - cash, check or money order payable to the ZONING BOARD OF APPEALS or BPT. ZBA.
- All items submitted must be saved and properly installed on a USB flash drive.**  
The information on the USB flash drive must include the application, site plans, and all other hard copy information (landscaping, floor elevations, etc) that will be submitted. It also **must be labelled** with the property address and the date of hearing. **All plans and paper work that is submitted to the zoning office must be FOLDED (8"x12" or smaller) and Collated into 11 separate packets.**

**Notes:**

1. Applications that do not provide ALL of the above required information will be considered "incomplete" and will be not be accepted. Applications will be limited to the first 10 submitted, regardless of the submission deadline.
2. No application will be assigned for a public hearing until such time as the City Engineering Department has reviewed and submitted comments to the Zoning Office.
3. A Use Variance approval by the Z.B.A. requires a Site Plan Review by the Planning & Zoning Commission as set forth in Section 14-2-2. This approval may be in addition to other requirements of the Zoning Regulations. All required approvals must be obtained prior to the use and/or development of any parcel granted a Variance.
4. Proposed signs are not accepted as part of any petition. Signage is regulated under Sec. 11-7 of the Zoning Regulations.

*Rachl Besi* 5/3/23

Applicant's Signature

Date

Reviewers Initials

Date

## Schedule A - Project Summary

The applicant, TD Bank, N.A. (the “Applicant”) seeks a variance approval from Table 6.3, Row K of the City of Bridgeport Zoning Regulations (the “Zoning Regulations”) from the Bridgeport Zoning Board of Appeals (the “ZBA”) for property located at 965 (a/k/a 975) Madison Avenue (Mblu 46/2202/26/A) and 391 Garfield Avenue (Mblu 46/ 2202/ 14/ /), Bridgeport, CT (collectively, the “Property”). Specifically, the Applicant requests a variance to permit the installation of ALPOLIC metal panels (a form of aluminum metal composite or “ACM” panel) on portions of the existing building façade on Madison Avenue and Capitol Avenue. For the reasons detailed herein, the Applicant respectfully requests a variance to facilitate a welcome modernization to the design of the existing building.

### **I. Background**

The Applicant, a national bank, is the tenant of the Property. The Property is 33,040± SF, is owned by PREP Financial-Bridgeport LLC,<sup>1</sup> is located in the MX1 Zone, and is improved with a 7,184± SF, one-story commercial building used as a TD Bank. The existing building was built in 1968.<sup>2</sup> The Property is a corner lot that fronts on three (3) street: Madison Avenue, Garfield Avenue, and Capitol Avenue. The existing building predates the enactment of the design guidelines found in Section 6 of the Zoning Regulations.

### **II. Proposed Design Upgrades**

As part of a national design refresh, the Applicant seeks to improve the exterior brand presence of the existing building along Madison and Capitol Avenues by updating the existing façade with the addition of ALPOLIC metal panels in the signature TD Bank green color.<sup>3</sup> The proposed panels will be located along both facades at the top of the building where a 2’-6” section of façade. There is no construction proposed with this design enhancement; the existing building will maintain its current footprint. There is no change of use proposed. The proposed design enhancements, including the addition of ACM panels, will create a significantly more modern and updated look to the building.

The building’s facades on Madison Avenue and Capitol Avenue are treated as “major facades” under the Zoning Regulations;<sup>4</sup> however, per Table 6.3, Row K, ACM panels such as those proposed by TD Bank are only permitted on “minor facades.” Therefore, the pleasant modernization of this existing Building requires limited variance relief for the reasons below.

### **III. Variance Review and Approval Criteria (Section 11.90.6):**

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<sup>1</sup>The property owner, PREP Financial-Bridgeport LLC, consents to this application.

<sup>2</sup> Per the Tax Assessor’s records.

<sup>3</sup> Renderings of the proposed facades are included within this application package.

<sup>4</sup>In accordance with § 3.10.11.D of the Zoning Regulations, when two primary streets intersect on the subject lot, the street with the most existing primary frontage treatments may be treated as the primary façade (as determined by the zoning official). Here, that is Madison Avenue. However, per § 3.20.10, for façade treatments on building corners, the primary façade regulations must be met along the first 30 feet of façade, measured horizontally, on the non-primary street from the corner. The result is that the building façade on both Madison Avenue and the first 30 feet of Capitol Avenue must comply with the design requirements for “major facades.”

- (1) *Literal enforcement of the applicable zoning regulations would result in exceptional difficulty or unusual hardship because of the unique physical conditions of the subject property;*

The Zoning Regulations state ACM can be utilized as a Minor Façade Material on non-street and non-primary facades only.<sup>5</sup> First, the Property has the unusual hardship of not only being a corner lot, but being a corner lot fronting on three separate streets: Madison Avenue, Garfield Avenue, and Capitol Avenue. Per the Zoning Regulations, the primary frontage is Madison Avenue.<sup>6</sup> Since the Property fronts on three streets, the only non-street and non-primary façade on the existing building is located at the back of the building, making façade improvements especially difficult.

Second, the proposal brings the design of the Building into greater conformity with the Zoning Regulations. The design of the existing Building significantly predates the enactment of Bridgeport's design guidelines, but are protected as legally non-conforming and may remain per § 13.60.2 of the Zoning Regulations. The ACM panels will cover an existing concrete surface, which is classified under Table 6.3 as a permitted material below ground floors, only, on "minor facades." On the other hand, ACM panels are permitted on all façade areas on "minor facades." Therefore, the proposed design enhancements are both a pleasant visual upgrade and bring the design of the existing Building into greater conformity with the Zoning Regulations.

- (2) *The exceptional difficulty or unusual hardship claimed results from conditions that are unique to the subject property and not generally applicable to other properties in the neighborhood or zone in which the property is located;*

This exceptional difficulty is not generally applicable to other properties in the surrounding neighborhood. Due to the grid layout of the surrounding streets, this exceptional difficulty only exists for other corner lots whose primary frontage is for that block's length of Madison Avenue. The Property is the only property with such a location for multiple blocks, the closest located almost 300' away at 864 Madison Avenue.

- (3) *The exceptional difficulty or unusual hardship has not been created by the owner or a previous owner;*

This exceptional difficulty is the result of the Property's three frontages, a condition not created by the Property owner. As the existing building was built in 1968, the current Property conditions have long existed. In particular, the design of the existing building significantly predates the enactment of the design guidelines in Section 6 of the Zoning Regulations.

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<sup>5</sup> Zoning Regs. Table 6.3, Row K.

<sup>6</sup> "Map. Primary streets define primary frontages for downtown zones and along commercial corridors." Sec. 3.10.11.A.(1).

- (4) The variance to be granted is the least deviation from the applicable regulations that is sufficient to reduce the exceptional difficulty or unusual hardship and that will allow the owner to make reasonable use of the subject property; and*

This variance request will allow the Applicant to make its necessary façade improvements in a way that will beautify the existing building within a design scheme that is otherwise consistent with the Zoning Regulations. In addition, this modest change significantly furthers the purpose and intent of the new building facade guidelines by: (1) installing material that is durable and high-quality, and (2) fostering a human-scaled façade, significantly improving existing conditions. The proposed panels significantly further the purpose and intent of the new design guidelines as a whole by: (1) modernizing and improving the physical quality of existing buildings, and (2) enhancing the pedestrian experience along Madison Avenue and Capitol Avenue.

- (5) The variance granted will not adversely impact the neighborhood, will not impair the appropriate use or development of adjacent property, will maintain the public welfare, and will be consistent with the general intent of this zoning code and the master plan of conservation and development.*

The proposed design improvements are in keeping with the mixed-use commercial character of the surrounding neighborhood. The Property is located in the MX1 Zone, which is, “intended for the mixed-use corridors throughout the city, where walkable storefronts provide shopping and services for neighborhood residents.”<sup>7</sup> Madison Avenue is the main commercial corridor for this neighborhood. The proposed design improvements will enhance and modernize the commercial profile of both the Property and other businesses in the neighborhood. The proposed facades are consistent with the Master Plan of Conservation and Development by increasing growth and presence of the Madison Avenue commercial corridor.<sup>8</sup> As provided above, this modest change significantly furthers the purpose and intent of the new building facade guidelines by: (1) installing material that is durable and high-quality, and (2) fostering a human-scaled façade, significantly improving existing conditions, and significantly furthers the purpose and intent of the new design guidelines as a whole by: (1) modernizing and improving the physical quality of existing buildings, and (2) enhancing the pedestrian experience along Madison Avenue and Capitol Avenue.

---

<sup>7</sup> Zoning Regs. Sec. 2.10.2.C.

<sup>8</sup> Bridgeport Master Plan of Conservation and Development, Page 6.



965 Madison Avenue 100' Abutters List  
May 3, 2023

No.	Acct#	Street Address	Owner Mailing Address
1	RV-0149250	913 Capitol Av	Ricardo Vital 913 Capitol Avenue Bridgeport, CT 06606
2	RL-0099550	909 Capitol Av #911	Patricia Renn 909 Capitol Ave Bridgeport, CT 06606
3	RA-0050550	905 Capitol Av #907	Maria R Xavier 905 Capitol Ave #907 Bridgeport, CT 06606
4	RA-0047001	891 Capitol Av	Paul Alcime 891 Capitol Ave Bridgeport, CT 06606
5	RS-0034498	924 Capitol Av #926	Mayra Hernandez 924-926 Capitol Ave Bridgeport, CT 06606
6	RK-0099680	941 Madison Av #945	Krishna Desai 941 Madison Ave #945 Bridgeport, CT 06606-5218
7	RJ-0001000	912 Capitol Av #914	Turkey Piont Properties LLC 49 Sealy Dr Lawrence, NY 11559
8	RP-0136930	902 Capitol Av	Maria V Medero 902 Capitol Ave Bridgeport, CT 06606
9	RM-0059200	942 Madison Av #944	650 Brooklawn Avenue LLC 518 Romanock Road Fairfield, CT 06825
10	RH-0025810	417 Garfield Av	Juliette B & Constant Casseus 417 Garfield Av Bridgeport, CT 06606
11	RB-0037120	409 Garfield Av #411	Carlos Palacios 409 Garfield Ave #411 Bridgeport, CT 06606-5230
12	RZ-0030090	399 Garfield Av #401	Leodan Saquipulla & Luz P Zhinin 399 Garfield Av #401 Bridgeport, CT 06606-5274
13	R--0066650	391 Garfield Av	Prep Financial-Bridgeport LLC 1790 Bonanza Dr., Suite 201 Park City, UT 84060
14	RG-0012400	964 Madison Av #968	Smart Management Services LLC 964 Madison Avenue Bridgeport, CT 06604
15	RB-0015109	970 Madison Av #972	Jay V Patel 21 Manor Drive Trumbull, CT 06611
16	R--0066660	965 Madison Av	PREP Financial-Bridgeport LLC

965 Madison Avenue 100' Abutters List  
May 3, 2023

			1111 Summer St Stamford, CT 06905
17	RM-0048580	984 Madison Av	Noga LLC 11 Ginger Circle Fairfield, CT 06825
18	RP-0015310	410 Garfield Av	Guadalupe Rojas & Gerardo Tapia 449 Laurel Ave Bridgeport, CT 06605
19	RP-0015300	402 Garfield Av	Gerrardo Tapia & Guadalupe Rojas 449 Laurel Ave Bridgeport, CT 06605
20	RC-0084555	990 Madison Av #992	Mary B Chakar 27 Meadow Road Trumbull, CT 06611
21	RR-0004985	1015 Madison Av #1017	Manishaben Patel 21 Manor Drive Trumbull, CT 06611
22	RC-0186040	998 Madison Av	Elizabeth & Robert J Crainich Crainich (Survivor of Them) 314 Oak Bluff Avenue Stratford, CT 06615
23	R--0110931	391 Lincoln Av	Lincoln Avenue Associates LLC 25 Craig Ln Trumbull, CT 06611
24	R--0073410	1031 Madison Av	Shlomo LLC 11 Ginger Cir. Fairfield, CT 06432
25	RC-0034700	1016 Madison Av #1018	PBHMx BPT LLC P.O. Box 55416 Bridgeport, CT 06610
26	RC-0172390	418 Garfield Av #434	JPW Power Inc 418 Garfield Avenue Bridgeport, CT 06606



965 Madison Avenue 100' Abutters List  
May 3, 2023



*EXHIBIT A TO SPECIAL WARRANTY DEED*

LEGAL DESCRIPTION OF PROPERTY

**PARCEL ONE (965 Madison Avenue):**

First Piece:

ALL THAT CERTAIN piece or parcel of land, together with the buildings and improvements thereon, situated in the City of Bridgeport, County of Fairfield, and State of Connecticut, designated as a parcel containing 5,503 square feet on a certain map entitled, "Map of Survey of Property in Bridgeport, Connecticut for Maurice J. Hoffman", made by Fuller & Co., Inc., dated April 27, 1971, said premises being more particularly bounded and described as follows:

NORTH: On land now or formerly of the Grantor herein, 50 feet;  
EAST: On land now or formerly of the Grantor herein, 110.28 feet;  
SOUTH: On Capitol Avenue, 50 feet;  
WEST: On land now or formerly of Rose Stehle, in part, and land now or formerly of Alfred Grassia, in part, a total of 110.28 feet.

Second Piece:

ALL THAT CERTAIN piece or parcel of land, together with the buildings and improvements thereon, situated in the City of Bridgeport, County of Fairfield, and State of Connecticut, bounded and described as follows:

NORTHERLY: by Garfield Avenue, 125 feet, more or less;  
EASTERLY: by Madison Avenue, 50 feet, more or less;  
SOUTHERLY: by land formerly of John Hughes, now or formerly of Nicholas and Virginia LaRosa, 125 feet, more or less;  
WESTERLY: by land formerly of John Hughes, now or formerly of Joseph A. Cerreta, 50 feet, more or less.

Third Piece:

ALL THAT CERTAIN piece or parcel of land, together with the buildings and improvements thereon, situated in the City of Bridgeport, County of Fairfield, and State of Connecticut, bounded and described as follows:

NORTH: on land now or formerly of Karl Miller, 125 feet, more or less;  
EAST: on Madison Avenue, 50 feet, more or less;  
SOUTH: on land now or formerly of Telstina B. Huntley, 125 feet, more or less;  
WEST: on land now or formerly of Karl H. Rau, 50 feet, more or less.

Fourth Piece:

ALL THAT CERTAIN piece or parcel of land, together with the buildings and improvements thereon, situated in the City of Bridgeport, County of Fairfield, and State of Connecticut, bounded and described as follows:

NORTH: by land formerly of Elizabeth T. Jayne, now or formerly of Nicholas and Virginia La Rosa, 125 feet;

EAST: by Madison Avenue, 50 feet;  
SOUTH: by land now or formerly of John Hughes, now or formerly of Richard A. Hamann, 125 feet; WEST: by land formerly of Karl Herman Raw, now or formerly of Loreta Cerreta, et al, 50 feet.

Fifth Piece:

ALL THAT CERTAIN piece or parcel of land, together with the buildings and improvements thereon, situated in the City of Bridgeport, County of Fairfield, and State of Connecticut, being more particularly bounded and described as follows:

Beginning at a point marking the intersection of the west street line of Madison Avenue and the north street line of Capitol Avenue, thence running the following courses and distances:

125.0 feet along the north street line of Capitol Avenue to a point at an interior angle of  $92^{\circ} 22' 25''$  with the west street line of Madison Avenue; thence running a distance of 58.10 feet to a point at an interior angle of  $87^{\circ} 37' 35''$  with the north street line of Capitol Avenue; thence running a distance of 125.07 feet to the west street line of Madison Avenue at an interior angle of  $93^{\circ} 14' 38''$  with the last described line; thence running a distance of 60.0 feet along the west street line of Madison Avenue at an interior angle of  $86^{\circ} 45' 22''$  with the last described line to the point and place of the beginning.

**Said Fifth Piece being also described as:**

965-969 Madison Avenue

Bounded as follows:

NORTHERLY Beatrice Yurdin  
EASTERLY Madison Avenue  
SOUTHERLY Capitol Avenue  
WESTERLly Donato, Alfred, Lorreta Cerreta and Jennie Cubelli,; Marry Hull and Theresa Smith;

As more fully shown on a certain map entitled, "Map of Survey of Bertha F. Hamann Property, Bridgeport, Connecticut, March 12, 1963", made by Fuller and Co., Inc., Engineers and Surveyors, which map is on record in the Town Clerk's Office in Bridgeport.

Said premises are further described as follows:

NORTHERLY by land of Beatrice W. Yurdin, 125 feet, more or less, as the fence now stands;  
EASTERLY by Madison Avenue, 60 feet, more or less, as the fence now stands.



**PARCEL TWO (391 Garfield Avenue):**

ALL THAT CERTAIN piece or parcel of land, together with the buildings and improvements thereon, situated in the City of Bridgeport, County of Fairfield, and State of Connecticut, bounded and described as follows:

Beginning at a point on the south street line of Garfield Avenue, 123.0 feet west of Madison Avenue, thence running the following courses and distances:

Southerly along property now or formerly of Maurice Hoffman and Virginia LaRosa at an interior angle of  $87^{\circ} 43' 40''$  with the south street line of Garfield Avenue 90.0 feet to a point; thence at an interior angle of  $92^{\circ} 16' 20''$  with the last described line, a distance of 50.0 feet along property now or formerly of Vincent G. and Althea S. Dinan; thence at an interior angle of  $87^{\circ} 43' 40''$  with the last described line, a distance of 90.0 feet along property now or formerly of Alfred Grassia to the south street line of Garfield Avenue; thence at an interior angle of  $92^{\circ} 16' 20''$  with the last described line running along the south street line of Garfield Avenue a distance of 50.0 feet to the point and place of beginning.

RECEIVED FOR RECORD  
Sep 28, 2021 01:41:50P  
CHARLES D. CLEMONS JR.  
TOWN CLERK  
BRIDGEPORT, CT

**Zoning Designations of the Property and Surrounding Parcels<sup>1</sup>**



<sup>1</sup> Retrieved from Bridgeport GIS (Mar. 28, 2023).

**Street Views of the Property<sup>2</sup>**



The Property from Madison Avenue

---

<sup>2</sup> Retrieved from Google Maps (Mar. 28, 2023).





The Property from Capitol Avenue



The Property from Garfield Avenue





TOTAL SITE AREA = 33,040 SF  
EXISTING ZONE: MX1

**1 SITE PLAN**  
SCALE: 1/16" = 1'-0"

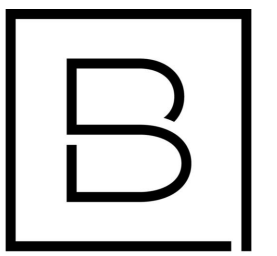
EXTERIOR KEYNOTES	
1	POWER WASH EXISTING MASONRY BUILDING AND CLEAN EXISTING STOREFRONT WINDOWS.
2	PREP AND PAINT EXISTING SITE LIGHT POLES AND HEADS.
3	REPLACE EXISTING WEATHERED STORE HOURS SIGN WITH NEW TD STANDARD SIGN.
4	SEAL AND RESTRIPE EXISTING PARKING AND DRIVE LANE AREAS.
5	PAINT EXISTING UTILITIES AT BUILDING.
6	PREP AND PAINT EXISTING HOLLOW METAL DOOR AND FRAME.
7	INSTALL NEW CONCRETE TOWER PAD WITH CONCRETE PATH AND ARBORVITAE SCREENING. REMOVE EXISTING TREE AND ADJACENT BUSHES AS REQUIRED. REFER TO A-202 FOR DETAILS.
8	POWER WASH EXISTING BRICK CANOPY COLUMNS.
9	MULCH EXISTING LANDSCAPE BEDS AROUND PERIMETER OF BUILDING. REPLACE ANY MISSING OR DEAD PLANTINGS.
10	PREP AND PAINT EXISTING HANDICAP PARKING SIGN FRAME AND BASE. TYPICAL FOR 3.
11	PAINT EXISTING DRIVE-THRU CANOPY CEILING TO MATCH EXISTING.
12	REPLACE MISSING LENSES ON DRIVE THRU CANOPY LIGHT FIXTURES.
13	PROVIDE NEW RAILING AT STEPS TO MATCH EXISTING.
14	REPAIR CRUMBLING CONCRETE AROUND PNEUMATIC TUBE EQUIPMENT.
15	PROVIDE NEW GREEN METAL PANELS AT UPPER PARAPET. PAINT BUILDING AND DRIVE THRU CANOPY AND COLUMNS PT-101 REPOSE GREY. REFER TO 2/G-004 AND 3/G-004 FOR ARTISTIC RENDERINGS, AND A-201 FOR EXTERIOR ELEVATIONS.



**3 RENDERED IMAGE - MADISON AVENUE ELEVATION**  
SCALE: 1" = 1'-0"



**2 RENDERED IMAGE - CAPITOL AVENUE ELEVATION**  
SCALE: N.T.S.



**BERGMANN**  
An affiliate of Colliers Engineering & Design

181 Washington Street  
Six Tower Bridge, Suite 430  
Conshohocken, PA 19428  
www.bergmannpc.com

**TD BANK**

**BRIDGEPORT**

975 MADISON AVE  
BRIDGEPORT, CT 06606

Date Revised	Description

**PERMIT SET**

SCOTT WRASMAN, AIA  
LICENSE NUMBER: #ARI.0010481 EXP: 07/31/2023

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Project Manager	Discipline Lead
A MCINTYRE	S WRASMAN
Designer	Reviewer
S HAYTER	A MCINTYRE
Date Issued	Project Number
04/07/2023	14496.54

Sheet Name

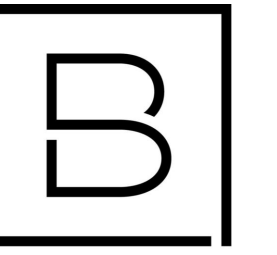
SITE PLAN

Drawing Number

**G-004**







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An affiliate of Colliers Engineering & Design

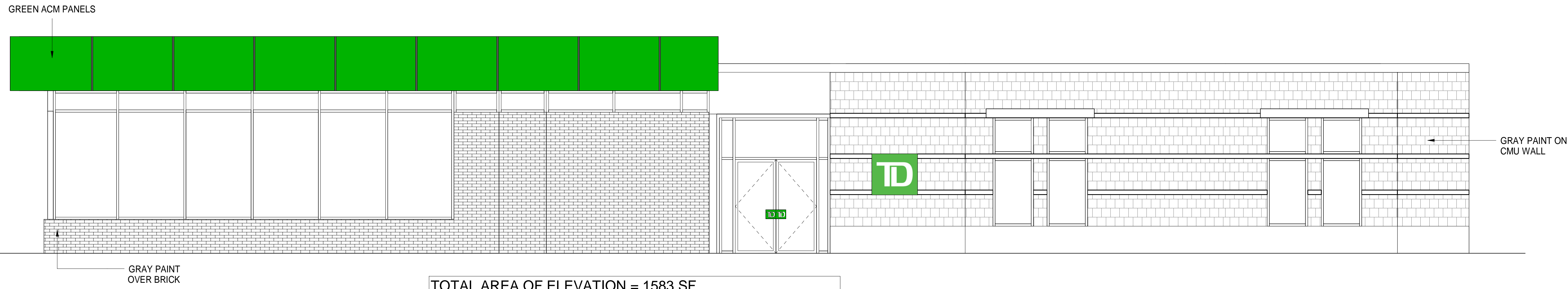
181 Washington Street  
Six Tower Bridge, Suite 430  
Conshohocken, PA 19428  
www.bergmannpc.com

**TD BANK**

**BRIDGEPORT**

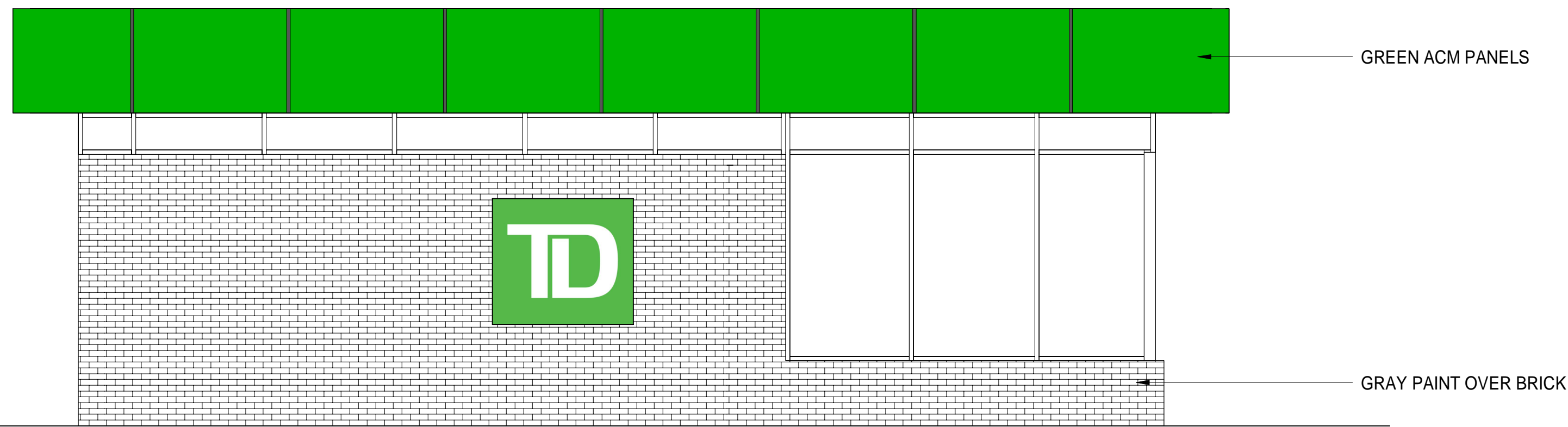
975 MADISON AVE  
BRIDGEPORT, CT 06606

Date Revised	Description



TOTAL AREA OF ELEVATION = 1583 SF  
TOTAL AREA OF PROPOSED ACM PANELS = 210 SF (13.3%)

**1 MADISON AVENUE ELEVATION (EAST)**  
SCALE : 1/4" = 1'-0"



TOTAL AREA OF ELEVATION = 683 SF  
TOTAL AREA OF PROPOSED ACM PANELS = 187 SF (27.4%)

**2 CAPITOL AVENUE ELEVATION (SOUTH)**  
SCALE : 1/4" = 1'-0"

**PERMIT SET**

SCOTT WRASMAN, AIA  
LICENSE NUMBER: #ARI.0010481 EXP. 07/31/2023

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Project Manager A MCINTYRE	Discipline Lead S WRASMAN
Designer S HAYTER	Reviewer A MCINTYRE
Date Issued 04/07/2023	Project Number 14496.54

Sheet Name

EXTERIOR ELEVATIONS

Drawing Number

**A-201**

#2

# PETITION TO THE BOARD OF APPEALS City of Bridgeport, Connecticut

203-545-5648  
Alex burgos 78  
@gmail.com

RECVD IN THE BPT. ZONING  
DEPT. ON 5/11/23

The undersigned presents the following petition for:  
(Check all that Apply)

- Variance
- Appeal from Zoning Officer
- Extension of Time Permit / Modification of Plan of Development
- Request for Re-hearing
- Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

3 Armstrong Place

Zone NX2  
(Zone Classification)

On the North side of the street about 31.29 feet East from Knawton St.

Block: 1649 Lot: 2A  
Dimension of Lot in Question 36' x 72.68' x 36' x 73.41'  
(Specify)

1. NAME OF PETITIONER / BUSINESS Alexis Burgos No Limit services
2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) CARLOS Batista
3. HAS ANY PREVIOUS PETITION BEEN FILED? NO IF SO, GIVE DATE OF HEARING \_\_\_\_\_
4. DESCRIBE PROPOSED DEVELOPMENT 20' x 30' one story Building for Industrial Use

5. THIS PETITION RELATES TO: Check all that Apply  
 Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY Garage with office

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? Zone Changed and The former approved use is no longer allowed.

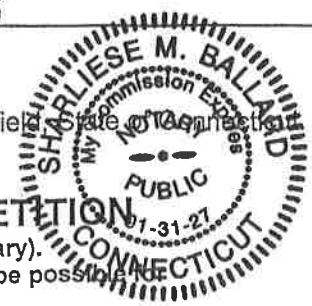
PETITIONER Alexis Burgos, Alexis Burgos DATE 5/11/23  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ /

Mailing Address 29 woodlawn Ave Ansonia CT 06401  
(Email) (Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT Carlos Batista Print CB  
(If other than owner) (Signature)

Subscribe & Sworn to before me this 11th day of May 2023  
Sharliese M Ballard Notary Public in & for the County of Fairfield, State of Connecticut  
Sharliese M Ballard



### Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All questions must be answered in detail (use separate sheet if necessary).  
The Petitioner or Agent for, must adhere to the attached check list or it will not be possible to present this petition to the Zoning Board of Appeals to process this petition.  
NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.  
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

# 595



Alex burgos # 203 - 545 - 5648

29 woodlawn Ave  
Ansonia CT  
06401

Alexburgos78@gmail.com

---

Seeking a reapproval of a project that  
was viewed in 2015 and it was approved  
and the approval expired and the zoning  
regulations has changed since then and  
garage is not allowed under new regulations

No Limit  
Service

Alex Burgos

5/17/23

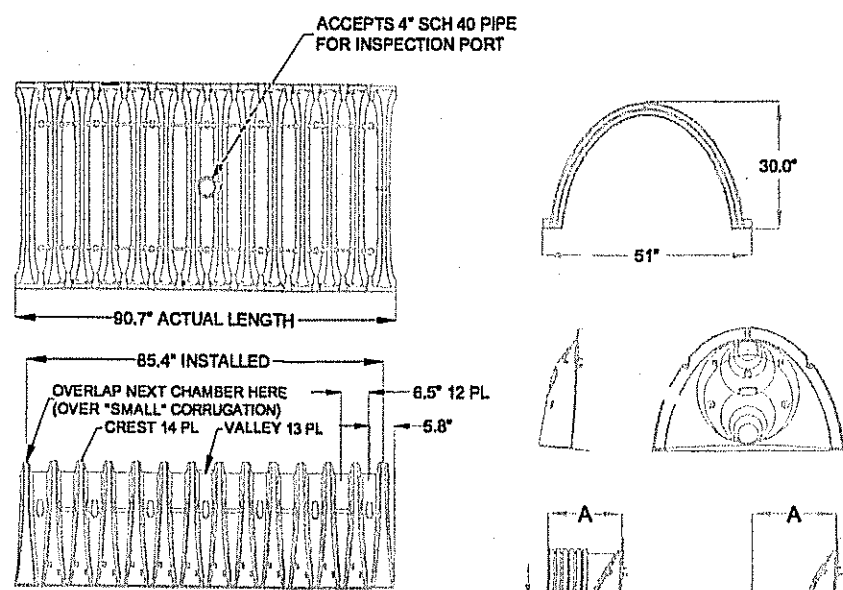
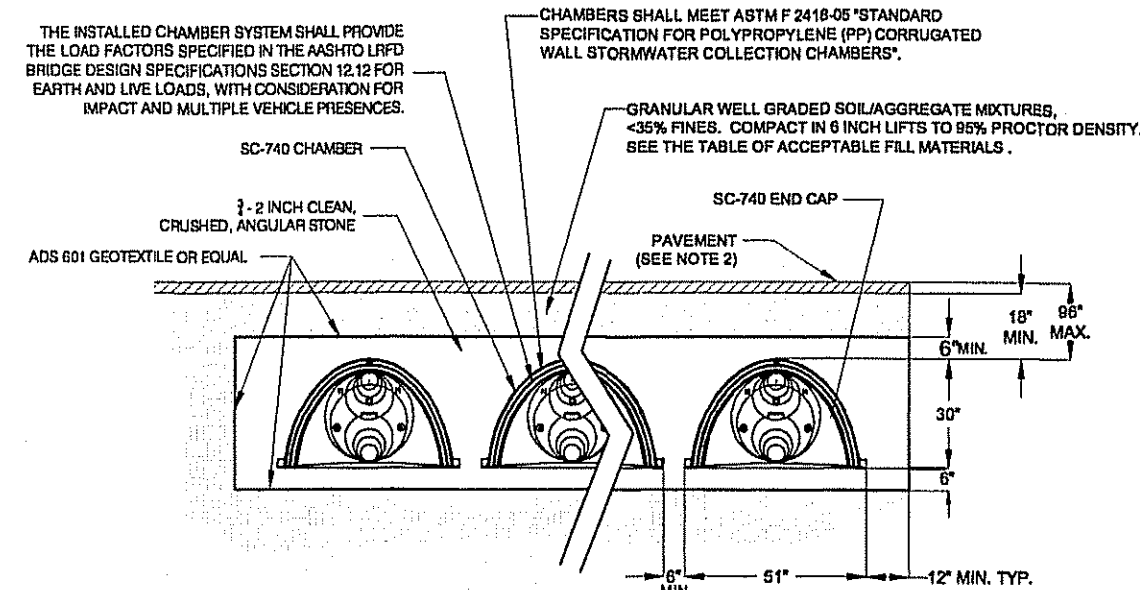
**PROPERTY OWNERS WITHIN 100-FEET**

**(3 Armstrong Place)**

<p align="center">(288 Knowlton St) <b>AYESHA K. IFTIKHAR</b> 288 Knowlton St Bridgeport, CT 06608-2110</p>	<p align="center">(10 Armstrong Pl) <b>BARBARA ANN SMALLS</b> 10 Armstrong Pl Bridgeport, CT 06608</p>	<p align="center">(8 Armstrong Pl) <b>ALFRED ALVAREZ</b> 75 Clifton St West Haven, CT 06516</p>
<p align="center">(6 Armstrong Pl) <b>LUIS M. BELTRE</b> 85-50 101 Street Richmond Hill, NY 11418</p>	<p align="center">(4 Armstrong Pl) <b>ARGJENT BEGOLLI</b> 4 Armstrong Pl Bridgeport, CT 06608-2118</p>	<p align="center">(2 Armstrong Pl) <b>RUPERTO &amp; ROSA A. RODRIQUEZ</b> 2 Armstrong Pl Bridgeport, CT 06608</p>
<p align="center">(305 Knowlton St) <b>THE KNOWLTON, LLC</b> 305 Knowlton St Bridgeport, CT 06608</p>	<p align="center">(9 Armstrong Pl) <b>THERESA DOLOR</b> 51 Magnolia Ave Norwalk, CT 06850</p>	<p align="center">(7 Armstrong Pl) <b>YAKOV COHEN</b> 7 Armstrong Pl Bridgeport, CT 06608-2119</p>
<p align="center">(5 Armstrong Pl) <b>CARLOS G. GUZMAN</b> 5 Armstrong Pl Bridgeport, CT 06608</p>	<p align="center">(3 Armstrong Pl) <b>ROMERO &amp; CARLOS BATISTA</b> 126 Burroughs St Bridgeport, CT 06608</p>	<p align="center">(1 Armstrong Pl) <b>ROGELIO RAMIREZ &amp; R. PEREZ</b> 1 Armstrong Pl Bridgeport, CT 06608-2119</p>
<p align="center">(332 Knowlton St) <b>STRATFORD INVESTMENTS, LLC</b> 9 Tashua Parkway Trumbull, CT 06611</p>	<p align="center">(94 Maple St) <b>AINSLEY JOSEPH</b> 94 Maple St Bridgeport, CT 06604</p>	<p align="center">(84 Maple St) <b>WESLEY S. PAMPHILE, ETAL</b> 84 Maple St Bridgeport, CT 06608</p>
<p align="center">(62 Maple St) <b>STRATFORD INVESTMENTS, LLC</b> 9 TASHUA PARKWAY TRUMBULL, CT 06611</p>		

**NOTES**

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300-1 THROUGH 20-300-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS AN IMPROVEMENT LOCATION SURVEY AND A TOPOGRAPHIC SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2 AND IS INTENDED FOR MUNICIPAL COMPLIANCE PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.
- VERTICAL DATUM PER CITY OF BRIDGEPORT BENCHMARK NUMBER 434 EL. 237.5. BEARING ORIENTATION IS ASSUMED.
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
  - A. PLAN ENTITLED "MAP NO. 1 ELIZABETH ARMSTRONG ESTATE" SCALE: 1"=20', DATED JUNE 12, 1907, CERTIFIED SUBSTANTIALLY CORRECT BY SCOPFIELD AND FORD SURVEYORS, AND FOUND ON FILE IN THE CITY OF BRIDGEPORT'S TOWN CLERKS OFFICE AS MAP VOL. 5, PAGE 55.
  - B. PLAT BOOK OF THE CITY OF BRIDGEPORT, CONNECTICUT, FROM OFFICIAL RECORDS, PRIVATE PLANS AND ACTUAL SURVEYS COMPILED UNDER THE DIRECTION OF AND PUBLISHED BY G.M. HOPKINS CO. ATLAS PUBLISHERS 136-138 SO. FOURTH ST., PHILADELPHIA, 1929 AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - C. PLAT BOOK OF THE CITY OF BRIDGEPORT, CONNECTICUT, FROM OFFICIAL RECORDS, PRIVATE PLANS AND ACTUAL SURVEYS COMPILED UNDER THE DIRECTION OF AND PUBLISHED BY G.M. HOPKINS CO. CIVIL ENGINEERS, 136-138 SO. FOURTH ST., PHILADELPHIA, 1917 AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - D. ATLAS OF THE CITY OF BRIDGEPORT, CONNECTICUT COMPILED FROM OFFICIAL RECORDS AND MAPS, CITY BLOCK MAPS, RECORDED AND PRIVATE PLANS, AND ORIGINAL SURVEYS, COMPILED AND PUBLISHED BY WILLIAM H. KERSHAW, CIVIL ENGINEER, 231-232 NEWFIELD BUILDING, 1188 MAIN STREET, BRIDGEPORT, CONN., 1919 AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - E. ATLAS OF THE CITY AND TOWN OF BRIDGEPORT, CONN. FROM OFFICIAL RECORDS AND ACTUAL SURVEYS PUBLISHED BY G.M. HOPKINS, 232 WALNUT STREET, PHILADELPHIA, 1888 AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - F. ATLAS OF THE CITY OF BRIDGEPORT, CONNECTICUT FROM ACTUAL SURVEYS BY AND UNDER THE DIRECTION OF H.C. SCOFIELD, PUBLISHED BY J.B. BEERS & CO., 36 VESSEY STREET, NEW YORK, 1876 AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - G. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING BLOCK 1649.
- RECORD OWNER: ROMERO BATISTA & CARLOS BATISTA VOL. 7594; PG. 298
- ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1649 | LOT 2A
- TOTAL PARCEL AREA = 2,645± SQ. FT., 0.061± AC.
- PARCEL IS LOCATED WITHIN THE 'MU-LI' ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 409 OF 926, COMMUNITY BRIDGEPORT, CITY OF, NUMBER 09002 PANEL 0429 SUFFIX G, MAP NUMBER 09001CA29G, MAP REVISED JULY 8, 2013. THE PARCEL IS LOCATED IN AREAS DESIGNATED AS ZONE X (UNSHADED) AND ZONE X (SHADED).
- PARCEL IS LOCATED WITHIN THE PEQUONNOK RIVER COASTAL BOUNDARY - RESIDENTIAL ZONE. SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT SHEET 4 OF 4, SCALE: 1"=500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.
- BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD DOCUMENTATION AND VAGUE DIED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DEANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DEANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DEANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).



**NOTE**

1. PIPE TO BE BEDDED IN CRUSHED STONE.

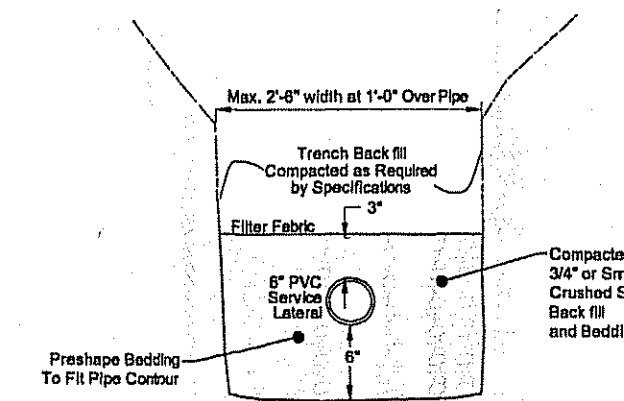
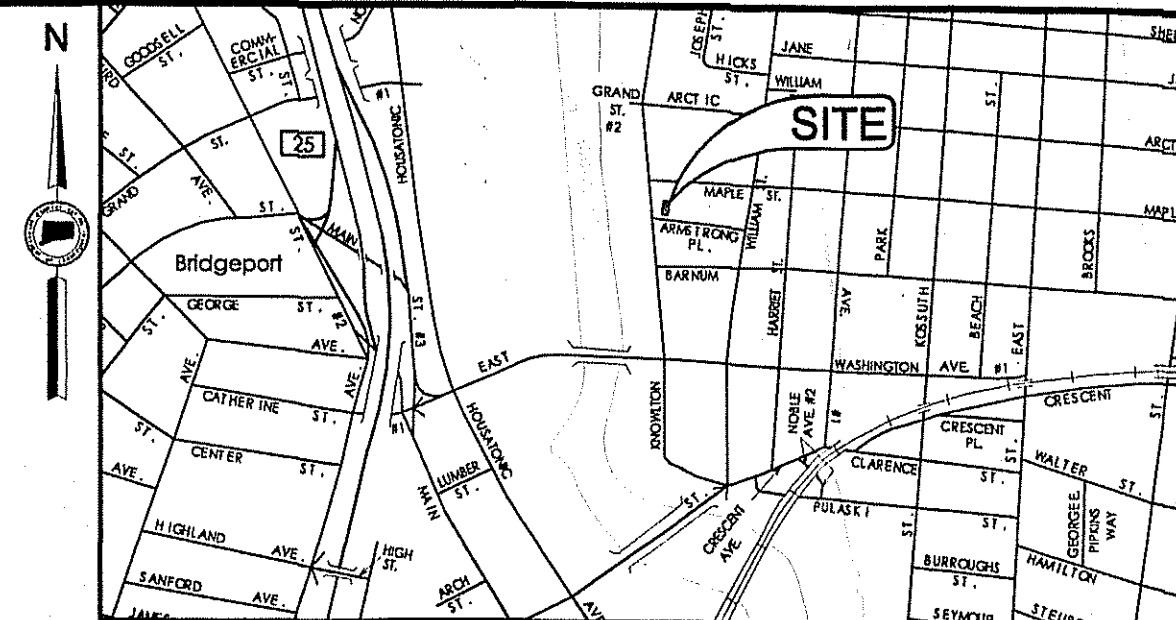


**REALITY TYPE "E" MULTI-RANGE WYE SEWER SADDLE.**  
VARIOUS CONTOURS TO FIT 4" THROUGH 36" O.D. GRAVITY SEWER MAINS

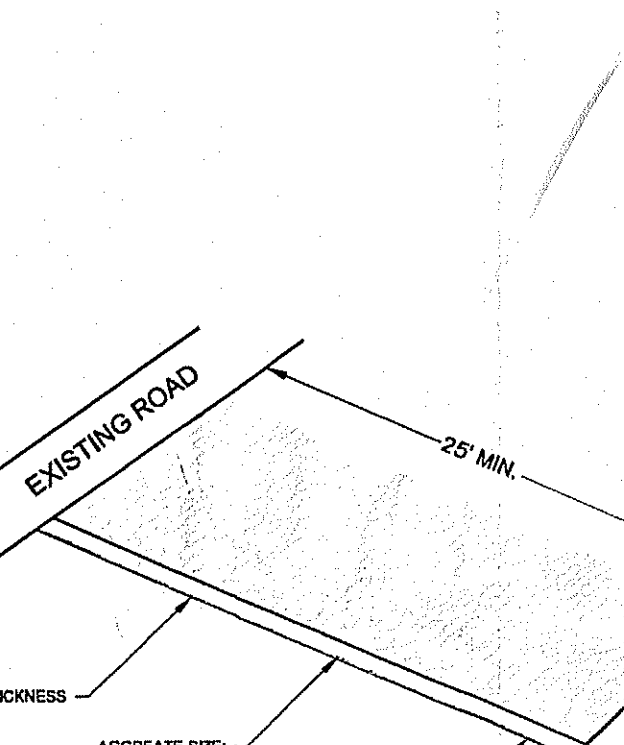
Stocks Available:  
 E2 4" x 6" Galvanized Steel to accept 3DR-35  
 E3 4" x 6" Solved Weld PVC to accept 3DR-35  
 E4 4" x 6" Solved Weld PVC to accept 3DR-35  
 E5 4" x 6" Solved Weld PVC to accept 3DR-35  
 E6 4" x 6" Solved Weld PVC to accept 3DR-35  
 E7 4" x 6" Solved Weld PVC to accept 3DR-35  
 E8 4" x 6" Solved Weld PVC to accept 3DR-35  
 E9 4" x 6" Solved Weld PVC to accept 3DR-35  
 E10 4" x 6" Solved Weld PVC to accept 3DR-35  
 E11 4" x 6" Solved Weld PVC to accept 3DR-35  
 E12 4" x 6" Solved Weld PVC to accept 3DR-35  
 E13 4" x 6" Solved Weld PVC to accept 3DR-35  
 E14 4" x 6" Solved Weld PVC to accept 3DR-35  
 E15 4" x 6" Solved Weld PVC to accept 3DR-35  
 E16 4" x 6" Solved Weld PVC to accept 3DR-35  
 E17 4" x 6" Solved Weld PVC to accept 3DR-35  
 E18 4" x 6" Solved Weld PVC to accept 3DR-35  
 E19 4" x 6" Solved Weld PVC to accept 3DR-35  
 E20 4" x 6" Solved Weld PVC to accept 3DR-35

**SANITARY SEWER NOTES**

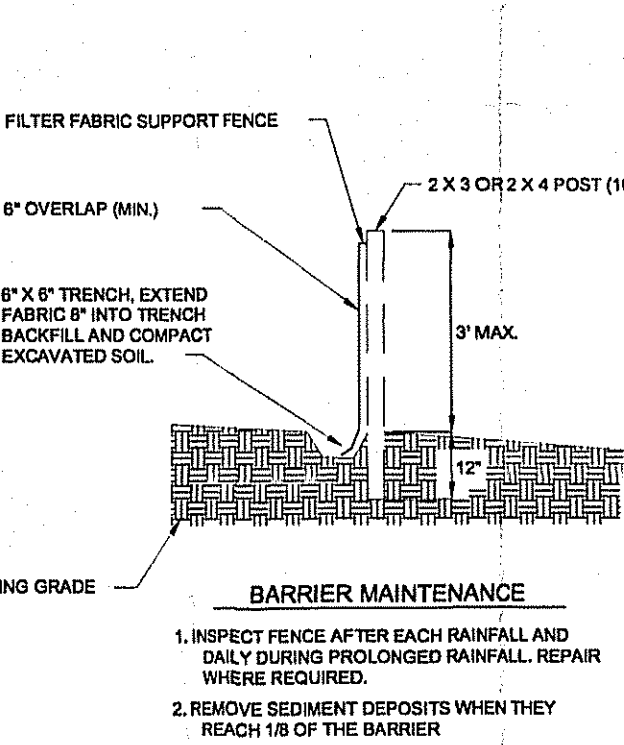
- SADDLE TO BE SEALTYPE TYPE "E" MULTI-RANGE WYE SEWER SADDLE. (TO BE USED IF CONNECTION IS NOT SADDLE).
- 6" PVC SEWER CONNECTION TO BE INSTALLED ON CRUSHED STONE BASE. CRUSHED STONE TO EXTEND FROM 6" BELOW PIPE TO 3" ABOVE PIPE. FILTER FABRIC TO BE INSTALLED ON TOP SURFACE OF CRUSHED STONE.
- SERVICE LATERALS TO CROSS SANITARY LINE. VERIFY ELEVATIONS AT CROSSINGS WITH TEST PITS.



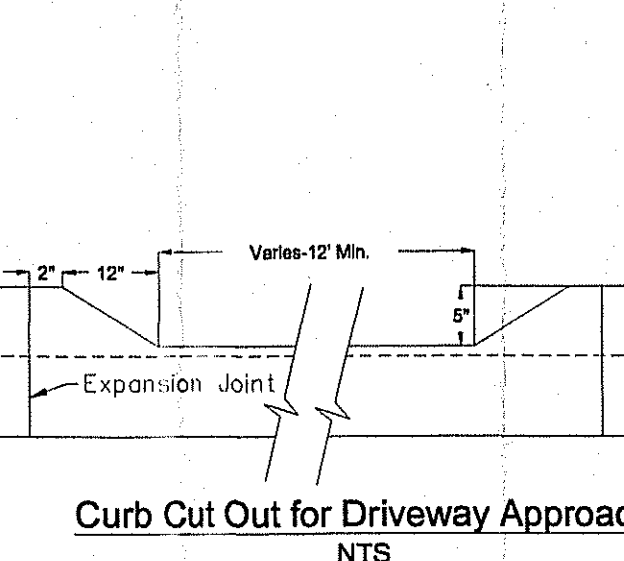
**ANTI-TRACKING PAD**  
NTS



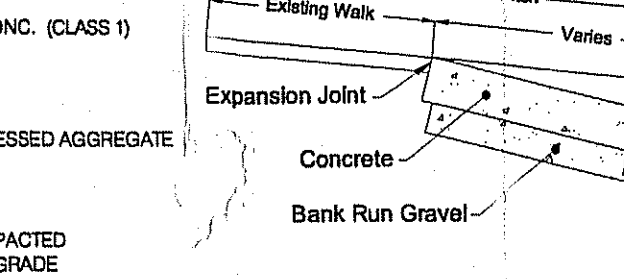
**Barrier Maintenance**  
(N.T.S.)



**Filter Fence Detail**  
(N.T.S.)



**Section of Concrete Driveway Approach**  
NTS



**STORMWATER INFILTRATION SYSTEM**

**PRE VS. POST**

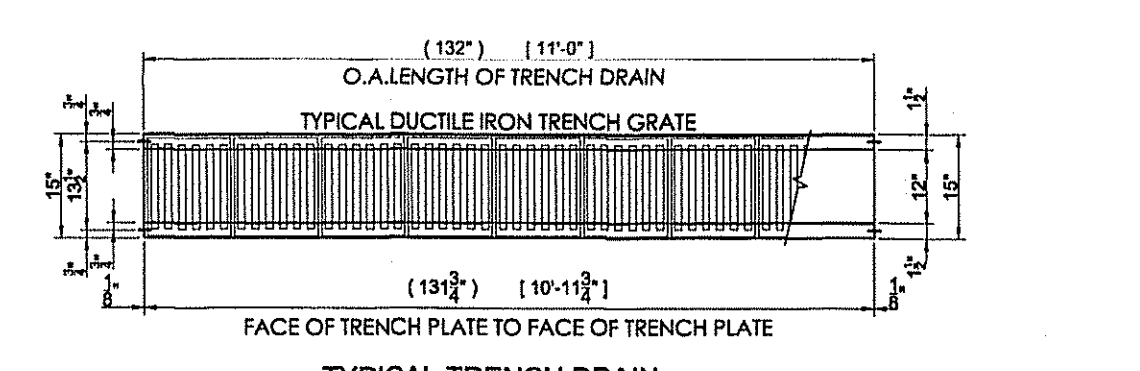
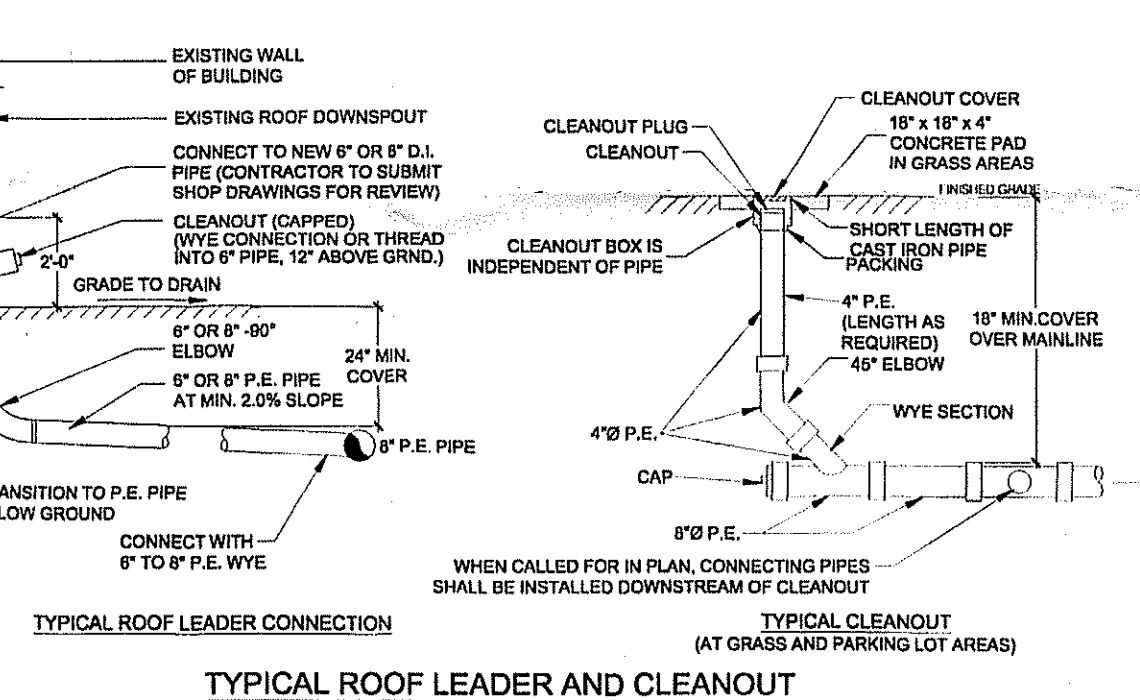
DRAINAGE AREA: 2,645± SF OR 0.061± AC.  
 STORM: 30 YEAR - 24 HOUR STORM - TYPE II EVENT  
 CN VALUES: 89 EXISTING, 87 PROPOSED  
 RAINFALL: 6.4 INCHES  
 DESIGN METHOD: SCS-TR20 METHOD (USING HYDROCAD SOFTWARE)

**DESIGN RESULTS:**  
 EXISTING CONDITIONS RUNOFF: 1,128 CF  
 PROPOSED CONDITIONS RUNOFF: 1,128 CF  
 INCREASE IN RUNOFF: 0 CF

**10% VOLUME REDUCTION REQUIREMENT**  
 0.10 (11.128 CF) = 112.8 CF  
 REQUIRED STORAGE: 0 CF + 112.8 CF = 112.8 CF

**SYSTEM USED:**  
 2 STORMTECH SC-740 CHAMBERS  
 STORAGE VOLUME/CHAMBER = 74.9 CF  
 MINIMUM STORAGE PROVIDED = 149.8 CF

**NOTE**  
 VOLUME ASSUMES 40% POROSITY FOR CRUSHED STONE SURROUNDING UNITS. TEST HOLES TO BE DUG AT LOCATIONS OF CHAMBERS PRIOR TO INITIATING CONSTRUCTION.



**Percolation Test - 3 Armstrong Place, Bridgeport, CT**  
Friday, August 14, 2015

A percolation test was conducted in Test Hole in the area of the proposed drainage units. The existing soil was relatively dry and composed of light to medium brown sand with small to medium stones in the upper stratum and light brown sand with larger stones in the lower stratum. All measurements taken to 0.01' of a foot.

**Test Hole Data**

Time	Measurement to Water Surface	Drop in Water Level (0.01')	Rate (Min./Inch)
2:21 PM	1.31		
2:26 PM	1.17	0.14	2.98
2:31 PM	1.08	0.09	4.63
2:36 PM	1.02	0.06	6.94
2:41 PM	0.97	0.05	8.33
2:46 PM	0.94	0.03	13.89
Overall Percolation Rate (Min/Inch)			4.73
Minimum Percolation Rate (Min/Inch)			13.89
Based on minimum percolation rate, a 30" tall system will drain in (hours):			6.9

**PARKING SUMMARY**  
Table 8.A

INDUSTRIAL USE	REQUIRED	PROVIDED
Warehouse: Parts, Inventory, Vehicles	600 SF	0
0.5 / 1000 SF	0.6	0
AND 0.5 / EMPLOYEE	1	1
TOTAL	1.1	1 (1 ADA)



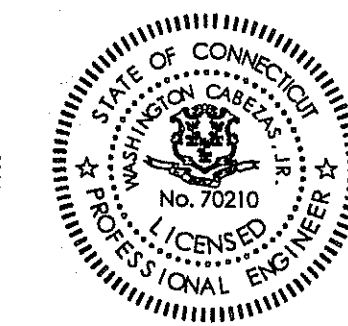
**LEGEND**

- NF NOW OR FORMERLY
- MON MONUMENT
- IP IRON PIPE
- FND FOUND
- S.F. SQUARE FEET
- CONC. CONCRETE
- BIT. BITUMINOUS
- OHU OVERHEAD UTILITIES
- UG UNDER GROUND
- MH MANHOLE
- ELEC. ELECTRIC
- UTILITY POLE
- DVL DOUBLE YELLOW LINE
- SWL SINGLE WHITE LINE
- BWL BROKEN WHITE LINE
- EDP EDGE OF PAVEMENT
- RET. RETAINING
- CLF CHAIN LINK FENCE
- FEE FINISHED FLOOR ELEVATION
- C.O. CLEANOUT
- LP LIGHT POST
- CB CATCH BASIN
- WM WATER METER
- WV WATER VALVE
- GV GAS VALVE
- RET. RETAINING
- SNET SOUTHERN NEW ENGLAND TELEPHONE
- UNITED ILLUMINATING COMPANY
- TMH TELEPHONE MANHOLE
- INT. INTERSECTION
- INVERT
- C.I. CAST IRON
- V.C. VITRIFIED CLAY
- RCP REINFORCED CONCRETE PIPE
- RD ROOF DRAIN
- MW MONITOR WELL
- E.S. EXISTING SPOT GRADE
- EXISTING CONTOUR ELEVATION
- LO LAYOUT OF STREET WIDTH
- PARKING SPACES
- HPDE HIGH DENSITY POLYETHYLENE
- PVC POLYVINYL CHLORIDE

**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS

1450 BARNUM AVENUE SUITE 201  
BRIDGEPORT, CT 06610  
P: 203 330 8700 F: 203 330 8701

SCALE: 1"=10'  
 FIELD FILE: 3 armstrong pl hpt-rev.nws  
 PROJECT NO. CD928  
 DATE: September 1, 2015  
 FILE: 3 armstrong PLS.dwg  
 SHEET 1 OF 1  
 REV: ENGINEERING COMMENTS 1-22-2016



TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

WASHINGTON CABEZAS, JR.  
PEL 70210

**IMPROVEMENT LOCATION SURVEY AND TOPOGRAPHIC SURVEY**

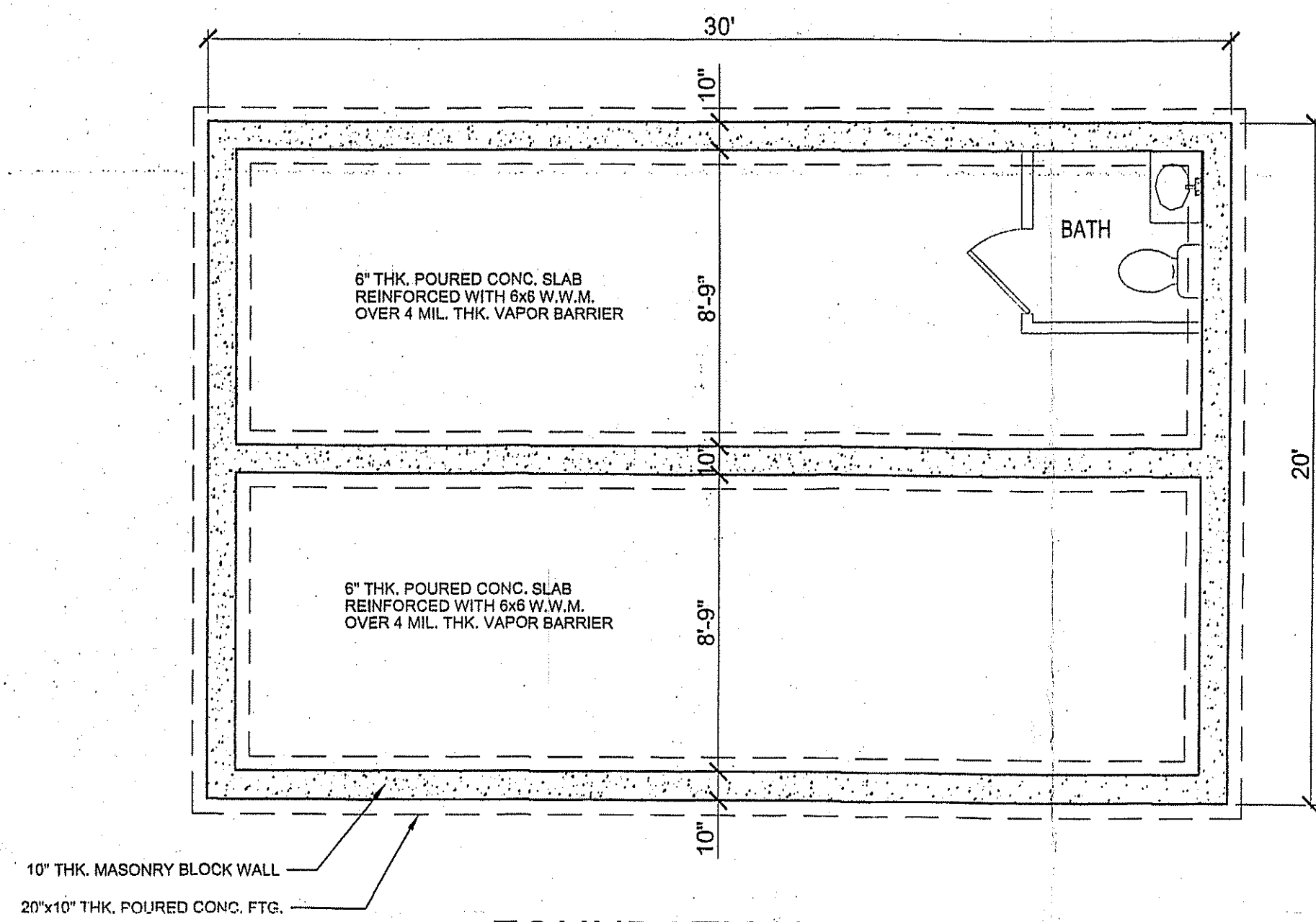
PREPARED FOR  
**ROMERO BATISTA**  
 3 ARMSTRONG PLACE  
 BRIDGEPORT, CONNECTICUT  
 ASSESSOR'S REFERENCE: MAP 41, BLOCK 1649, LOT 2A

SHEET 1 OF 1  
 SEPTEMBER 1, 2015 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1"=10'

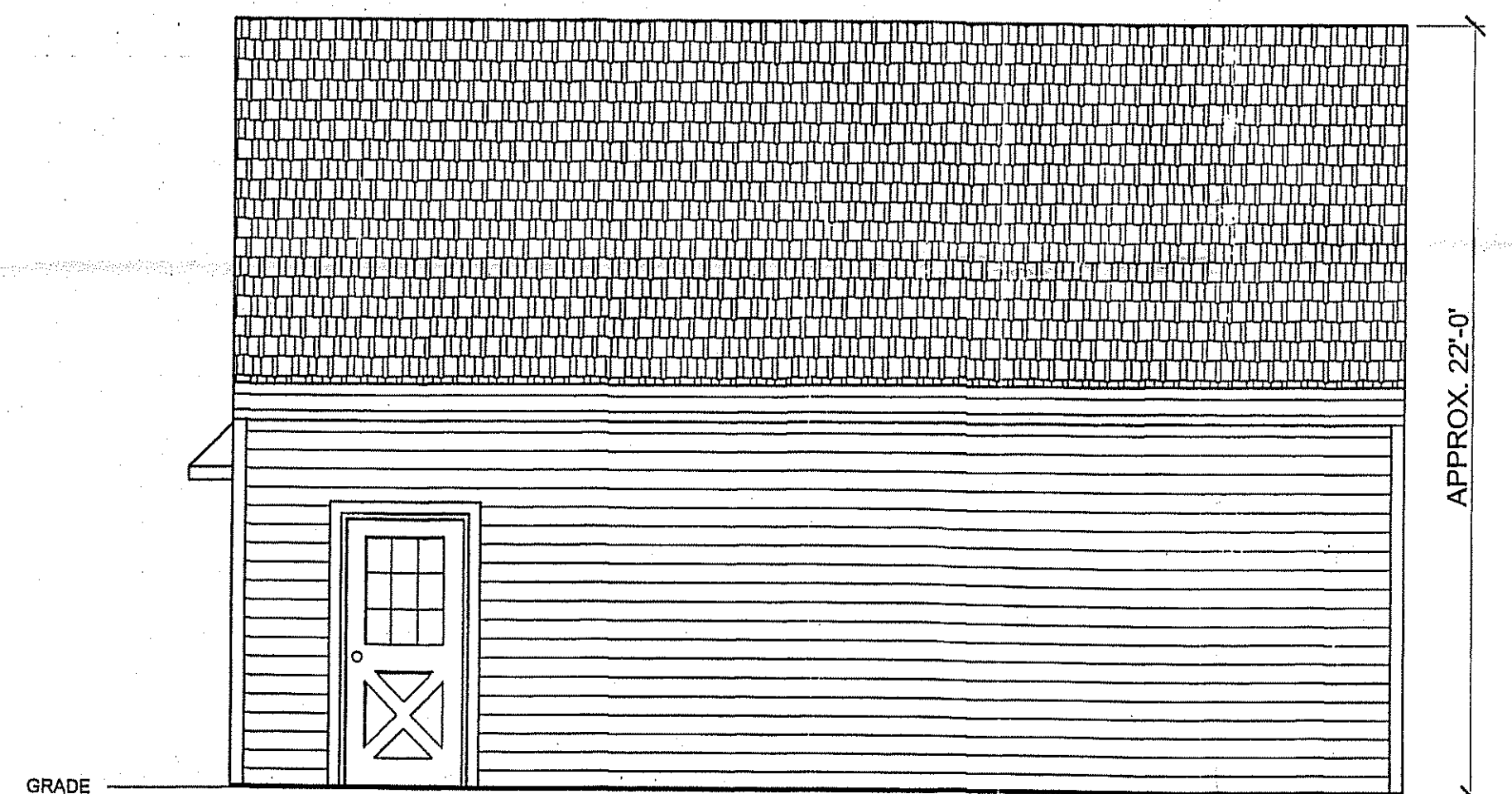


**LEGEND:**

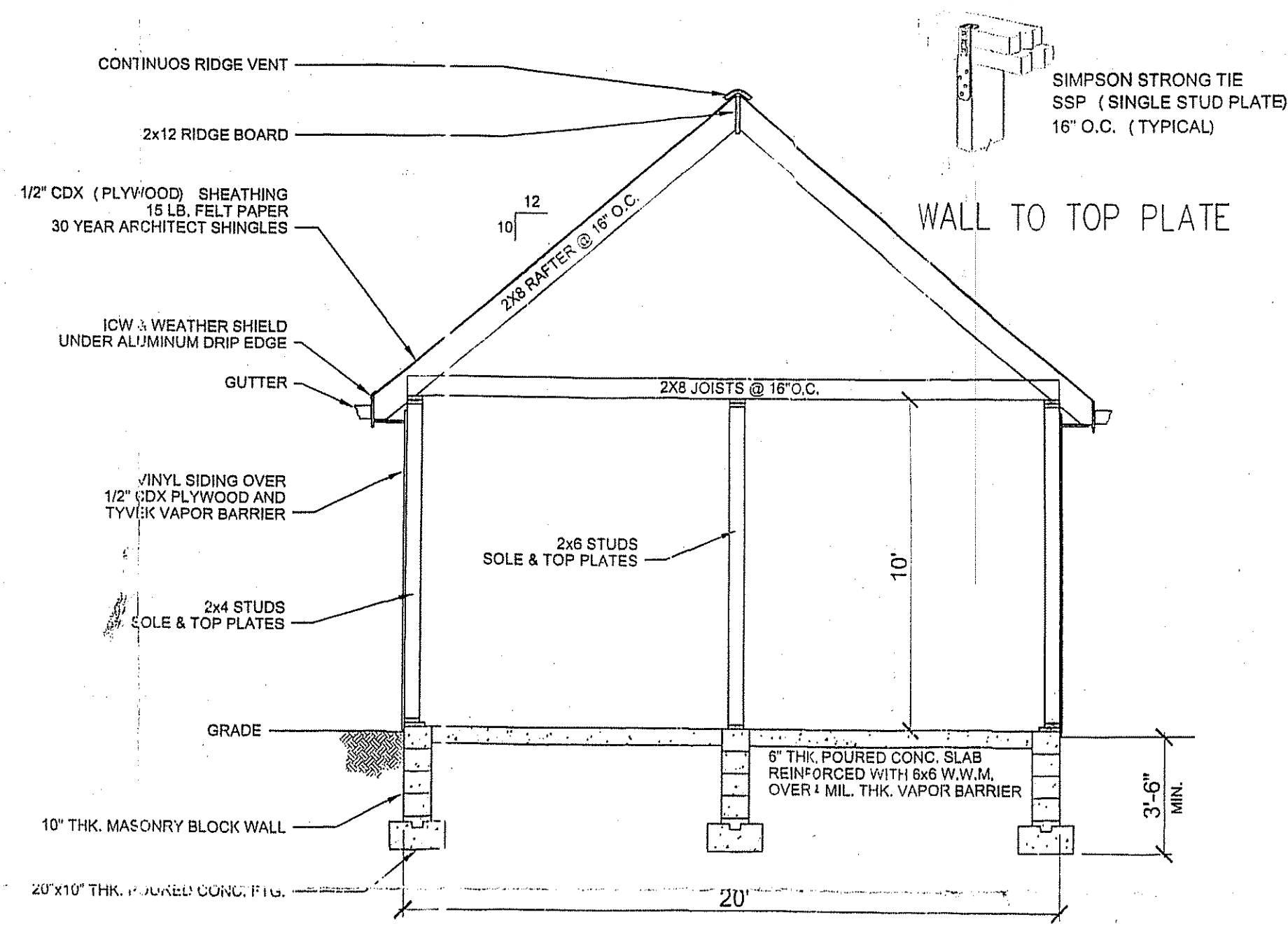
NEW MASONRY WALLS



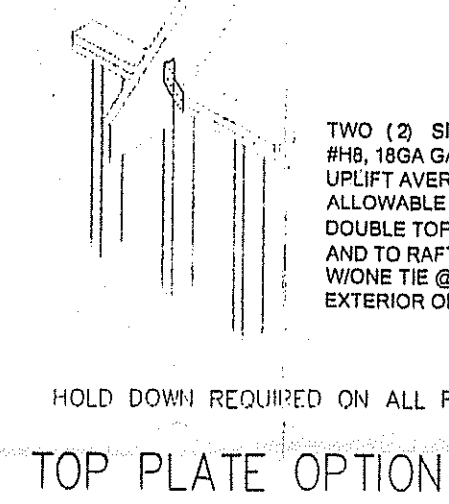
**FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"



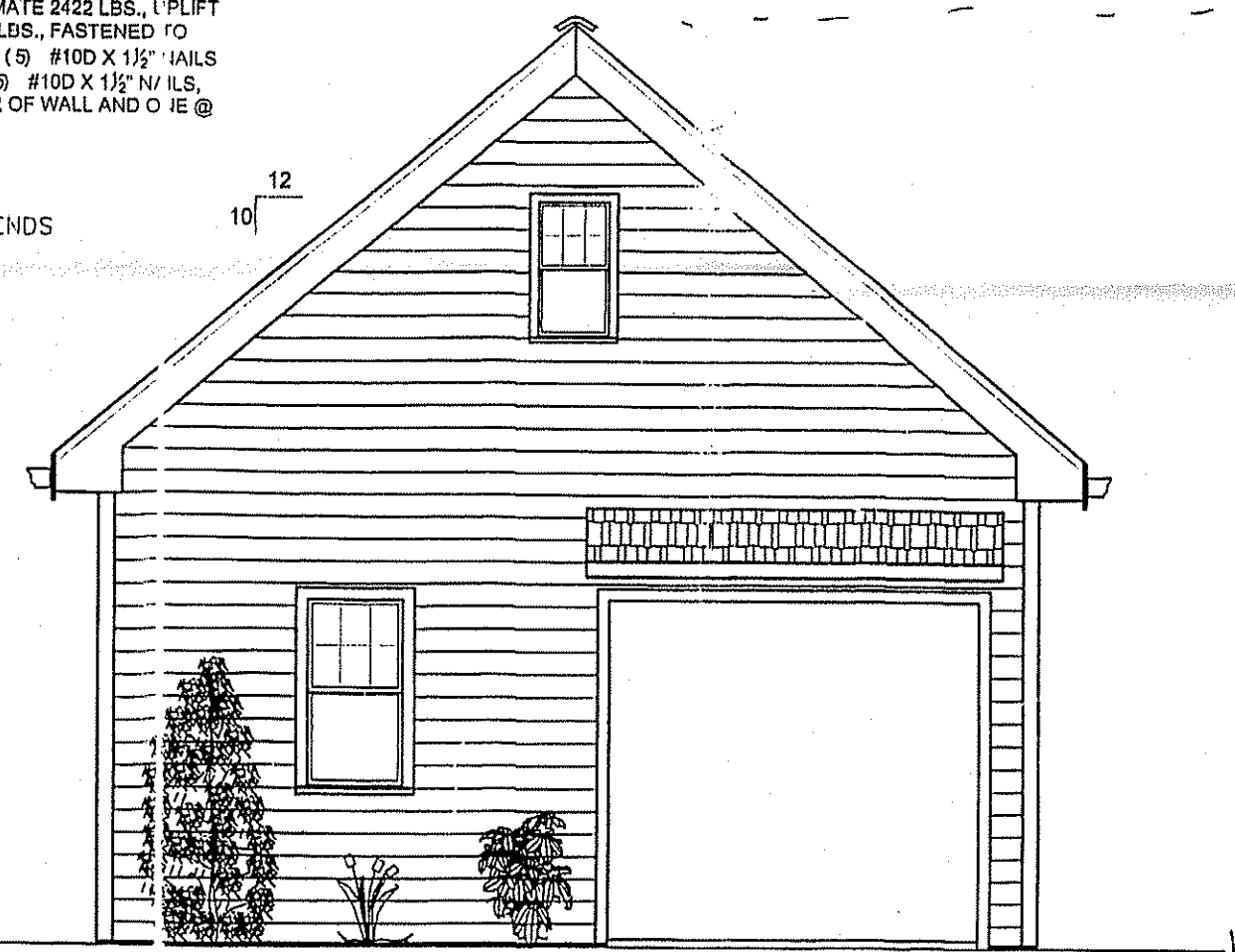
**SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



**SECTION DETAIL**  
SCALE: 1/4"=1'-0"



FASTENING:  
CONC. 3/4" AB w/WASHER &  
HEX NUT, @ 48" O.C.  
POST: 18-15x2 1/2  
SIMPSON STRONG-TIE HIT22  
NAILED H.D. @ CONC.



**FRONT ELEVATION**  
SCALE: 1/4"=1'-0"

REVISIONS:  
REV. X XXXXXXXX

**GARAGE SECTION DETAIL**  
3 ARMSTRONG PLACE  
BRIDGEPORT, CT

**NORTH ARROW ENGINEERING GRAPHICS LLC**  
ARCHITECTURAL & MECHANICAL  
DESIGNS • PLANS • BUILDING • CONST. MANAGEMENT  
www.northarroweg.com

Scale: AS NOTED  
Date: 10/29/15  
Drawn By: TJP

**A-1**

APPROVED FOR  
ZONING COMPLIANCE ONLY  
ZONING DEPARTMENT  
CITY OF BRIDGEPORT, CT  
DATE: 2/17/16