



#1

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

55 Lycett Street-Rear Zone N4
(Number) (Street) (Zone Classification)
On the West side of the street about 75 feet East from
(North, South, East, West) (North, South, East, West)
Sunnydale Road Block : 2522 Lot: 4B
(Street)
Dimension of Lot in Question 74.68' x 128.81' x 68.50' x 103.68'
(Specify)

1. NAME OF APPLICANT / BUSINESS Sound Property Development, LLC
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING _____
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT House D Building Type-Single Family Residence

5. THIS APPLICATION RELATES TO: Check all that Apply
 Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: \$10.40.2 (2) width of driveway

6. USE TO BE MADE OF PROPERTY House D Building Type-Single Family Residence

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached.

APPLICANT [Signature] Diane Lord DATE 9/5/23
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____, dlord@wwblaw.com
(Email)
Mailing Address 1000 Bridgeport Ave., Suite 501, Shelton, CT 06484 203-366-3939
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print _____
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20_____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: _____ DATE: _____, 20____ Clerk _____

City of Bridgeport
Zoning Board of Appeals
45 Lyon Terrace
Bridgeport, CT 06604

September 5, 2023

RE: Authorization for variance application

To whom it may concern,

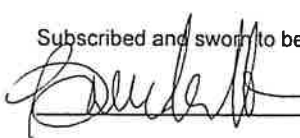
Please accept this as an authorization allowing Willinger, Willinger & Bucci, P.C to represent Sound Property Development, LLC concerning an application for a variance for the property located at 55 Lycett Street, Rear.

Thank you



Sound Property Development, LLC
BY: Joe Pettit, duly authorized

Subscribed and sworn to before me this 5th day of September, 2023.


Notary Public

Property Owners Within One Hundred Feet of
55 Lycette Street-Rear

Property Description	Owner(s)	Mailing Address
55 Lycette Street	Sound Property Development, LLC	20 Wolfpit Lane Wilton, CT 06897
69 Lycette Street	John & Danielle Balsamo	69 Lycette Street Bridgeport, CT 06606
41 Lycette Street	Milton Baculima	41 Lycette Street Bridgeport, CT 06606
83 Lycette Street	Cheron Dolor	83 Lycette Street Bridgeport, CT 06606
83 Lycette Street-Rear	Cheron Dolor	83 Lycette Street Bridgeport, CT 06606
2784 Old Town Road	Bruce Delgado	25 Redding Road Easton, CT 06612
2810 Old Town Road	Michell Wallace	2810 Old Town Road Bridgeport, CT 06606
2864 Old Town Road	Jonathan & Jacquelyn Chandler	2864 Old Town Road Bridgeport, CT 06606
2830 Old Town Road	Paulo & Shauna Lopes	2830 Old Town Road Bridgeport, CT 06606
50 Sunnydale Road	Rose Morgan	50 Sunnydale Road Bridgeport, CT 06606

CITY OF BRIDGEPORT
ZONING BOARD OF APPEALS
STATEMENT OF IN SUPPORT OF APPLICATION FOR A VARIANCE
55 LYCETTE STREET – REAR

The applicant, Sound Property Development, is the owner of 55 Lycette Street- Rear (the "Property"). The Property is located in the N4 zoning district. The applicant proposes to develop the Property with a single-family house, a use permitted in the N4 zoning district.

The Property is a rear lot with access along the southeast property line of the front lot. Due to the existence of the house on the front lot access is limited to a 15.2-foot right-of-way to the rear lot. Bridgeport Zoning Regulations, Section 10.40.2(2) requires a 30-foot-wide access from a public street which, in this case, is not possible and not essential as evidenced by the fact that Section 10.40.2 exempts Master Plan Developments which permit 10- and 12-foot-wide travel lanes per Section 5.20.2D.

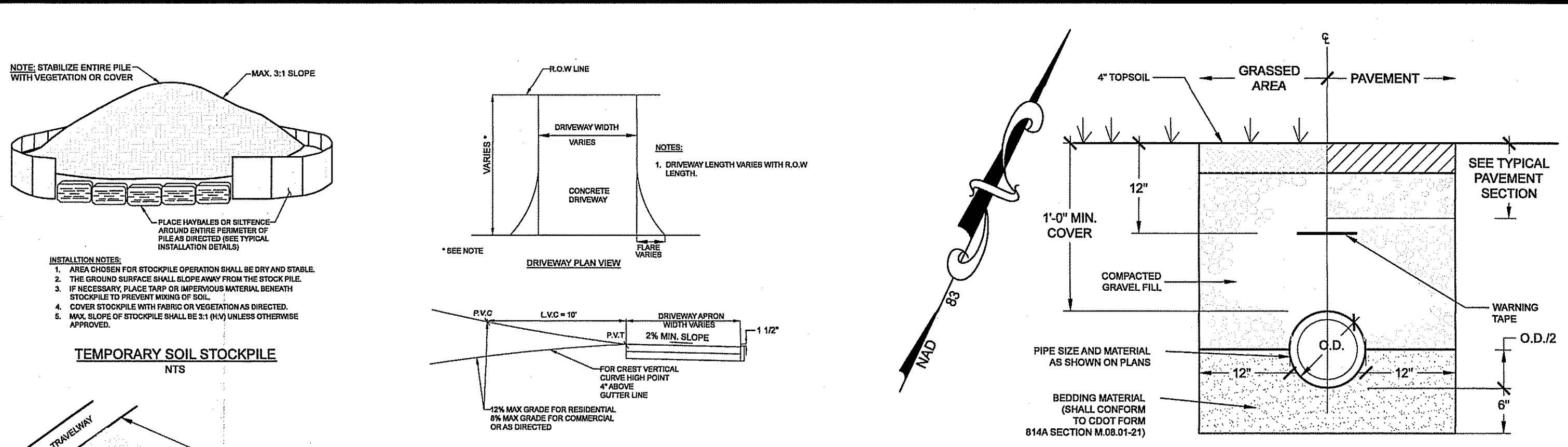
Thus, the shape of the lot together with the location of the existing house creates a hardship and the need for the requested variance. The proposed development meets or exceeds all other development standards. It must be noted that absent the requested variance, the Property is essentially worthless and this fact alone is sufficient justification for a variance per Connecticut case law.

The requested variance meets the standards in the Bridgeport Zoning Regulations and will not adversely affect the neighborhood as the proposed use

is a single-family house, a use permitted as-of-right in the N4 zoning district. The proposed development is consistent with the Master Plan as it is providing quality housing and increasing the tax base.

NOTES

- 1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT...
2. THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
3. ALL IMPROVEMENTS SHOWN BASED ON FIELD MEASUREMENTS AND OBSERVATIONS.
4. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) AS DETERMINED USING GEODIDS AND CONVERTED TO THE CITY OF BRIDGEPORT DATUM (+14.40). LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE COORDINATE SYSTEM OF 1983 AS RESULTED FROM OBSERVATION REFERENCED TO NAD83 (COR94). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON APRIL 16, 2022 IN ACCORDANCE WITH 'GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT' ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA: STATION: ORANGE, NORTING 458307.101, EASTING 930946.510, LATITUDE 41°14'03.13401", LONGITUDE 73°00'03.97333", ELLIPSOID 4.5047.

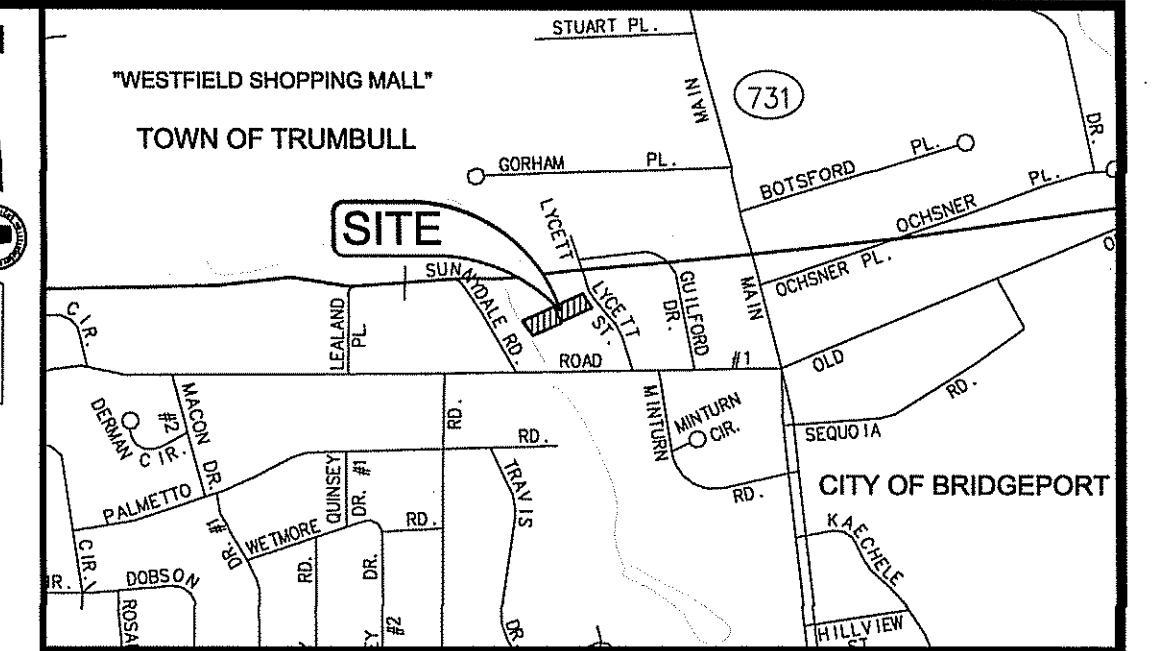
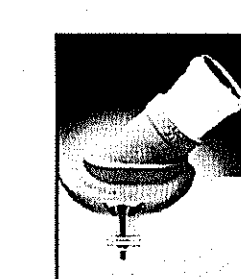


SANITARY SEWER NOTES

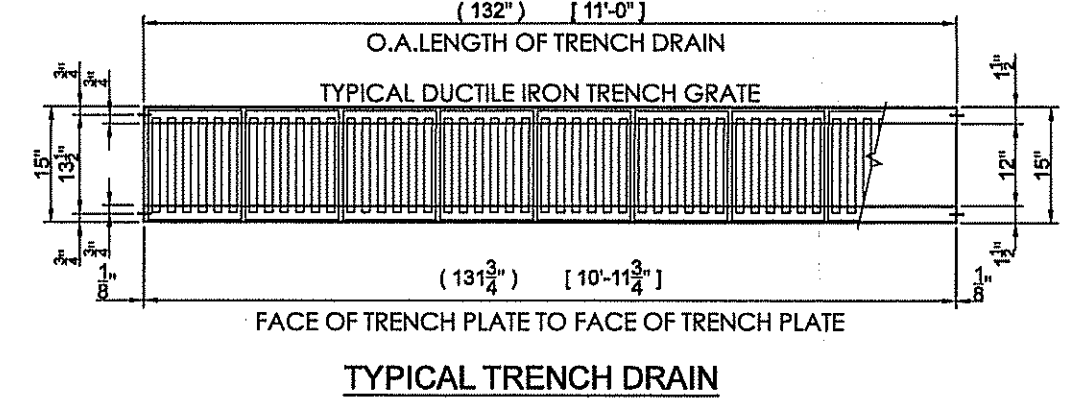
- 1. SADDLE TO BE SEALTITE TYPE 'E' MULTIRANGE WYE SEWER SADDLE (TO BE USED IF CONNECTION IS NOT FOUND)
2. 8" PVC SEWER CONNECTION TO BE INSTALLED ON CRUSHED STONE BASE. CRUSHED STONE TO EXTEND FROM 6" BELOW PIPE TO 3" ABOVE PIPE. FILTER FABRIC TO BE INSTALLED ON TOP SURFACE OF CRUSHED STONE.
3. SERVICE LATERALS TO CROSS SANITARY LINE. VERIFY ELEVATIONS AT CROSSINGS WITH TEST PITS.
NOTE
1. PIPE TO BE BEDDED IN CRUSHED STONE.

NOTE

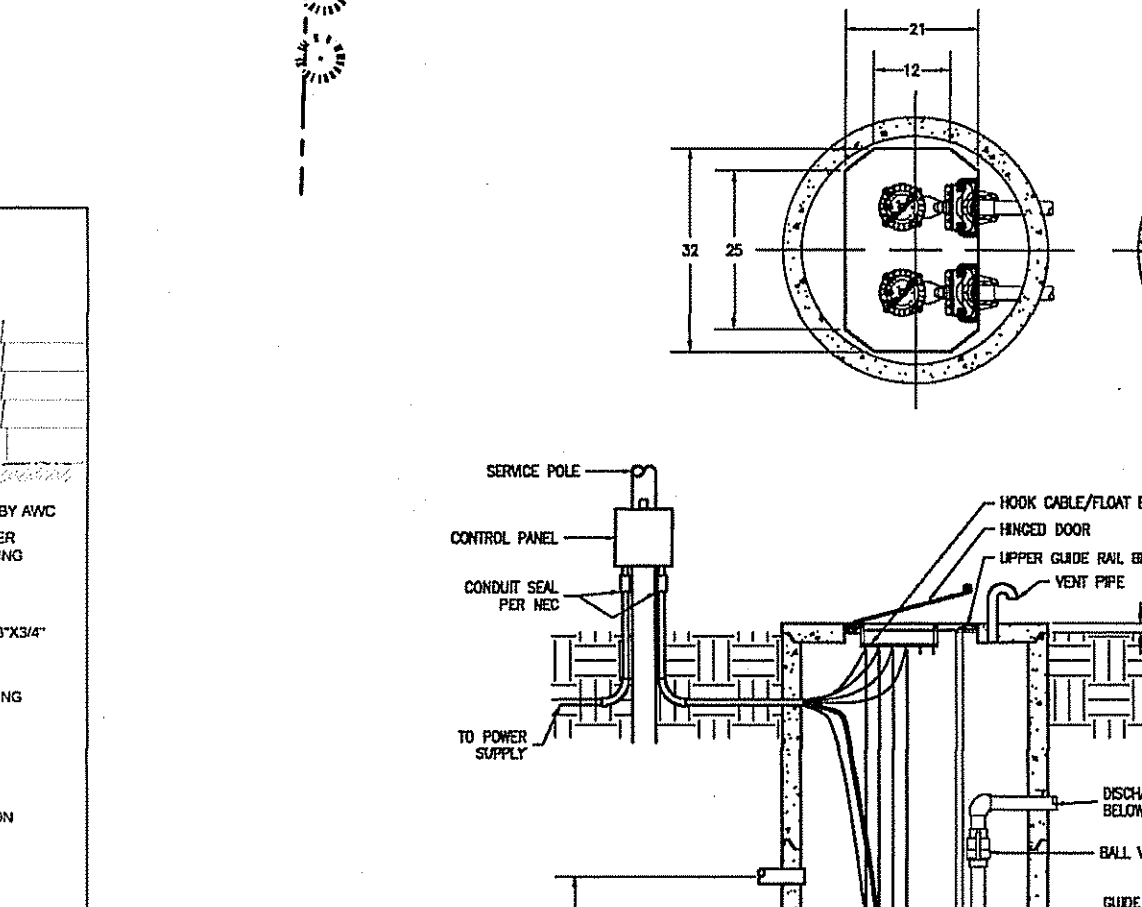
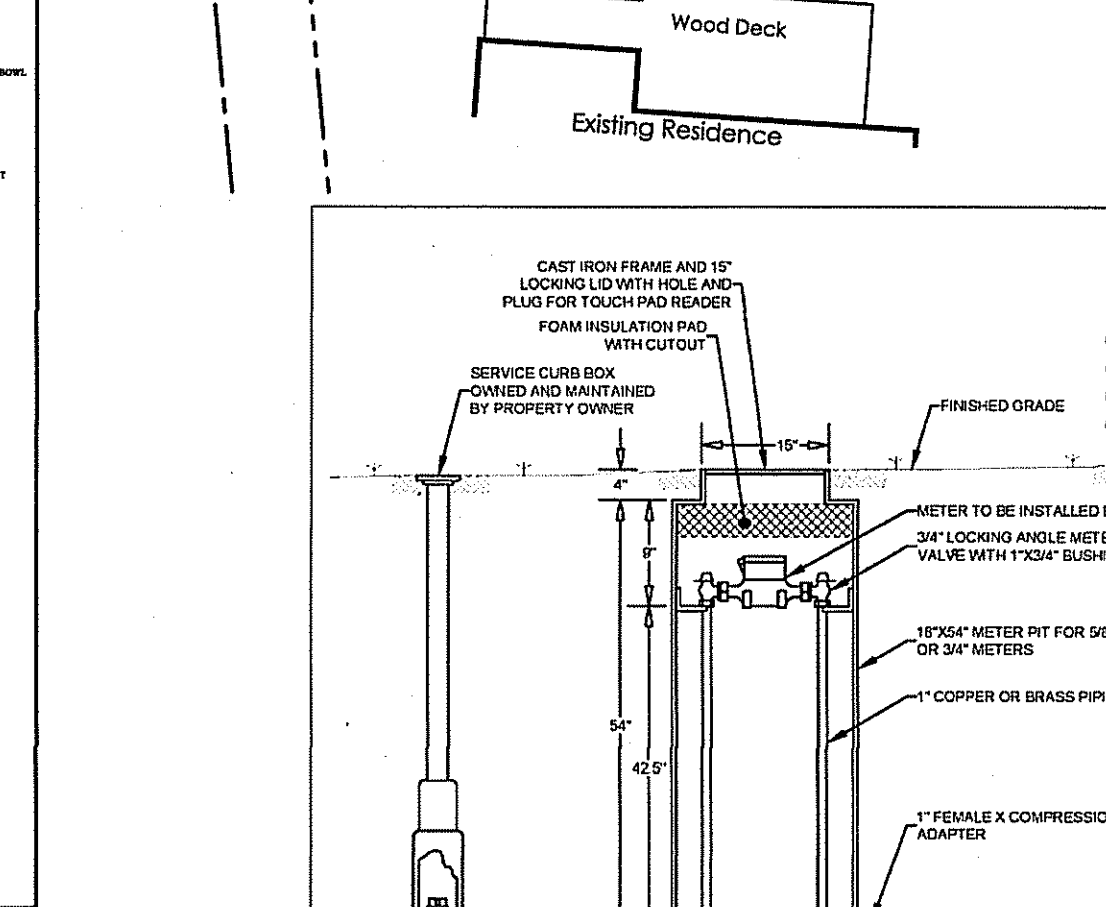
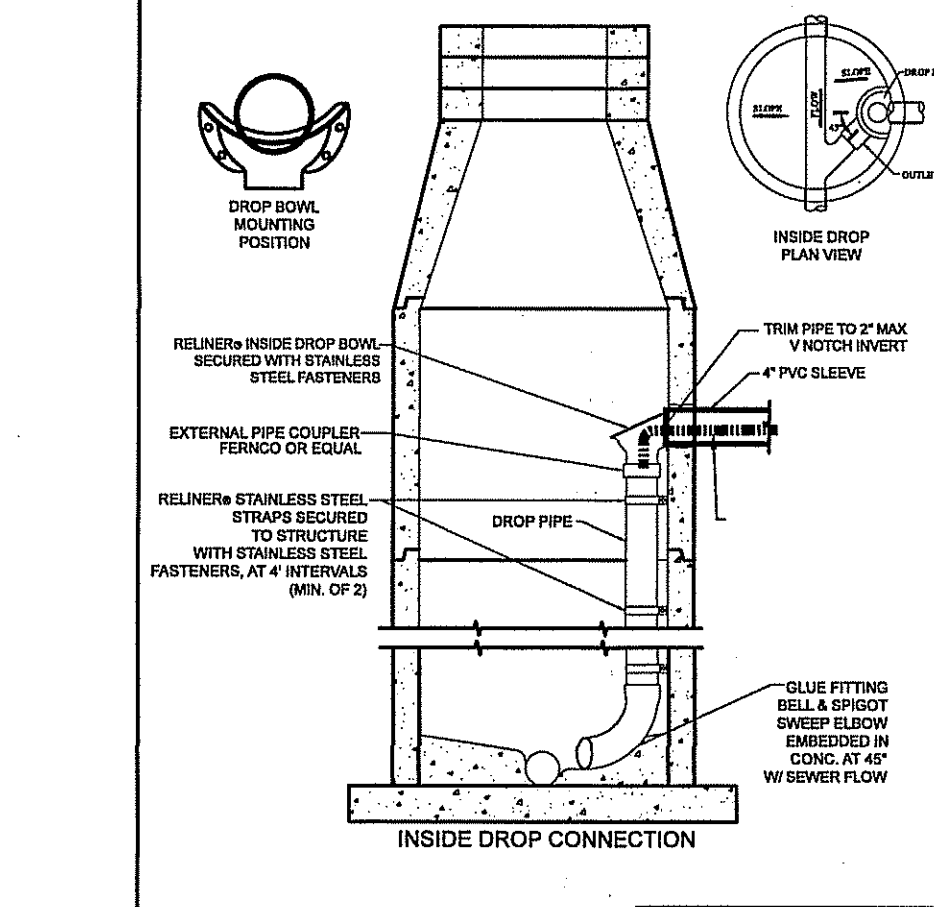
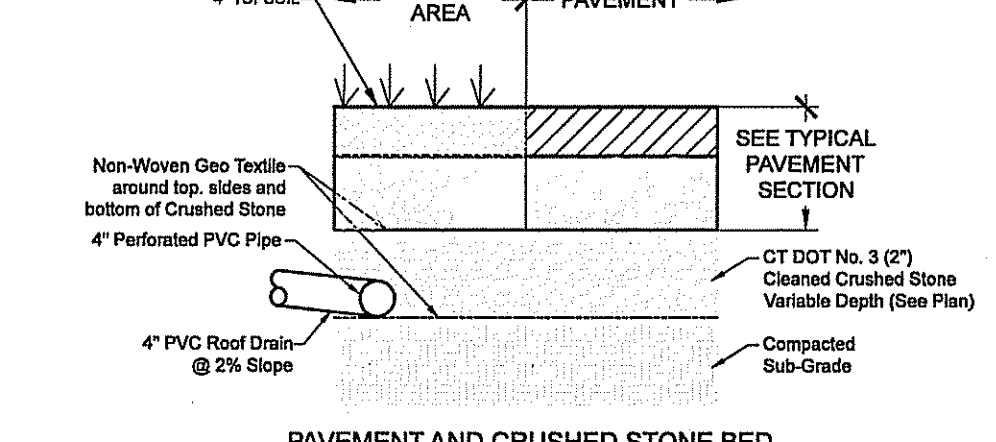
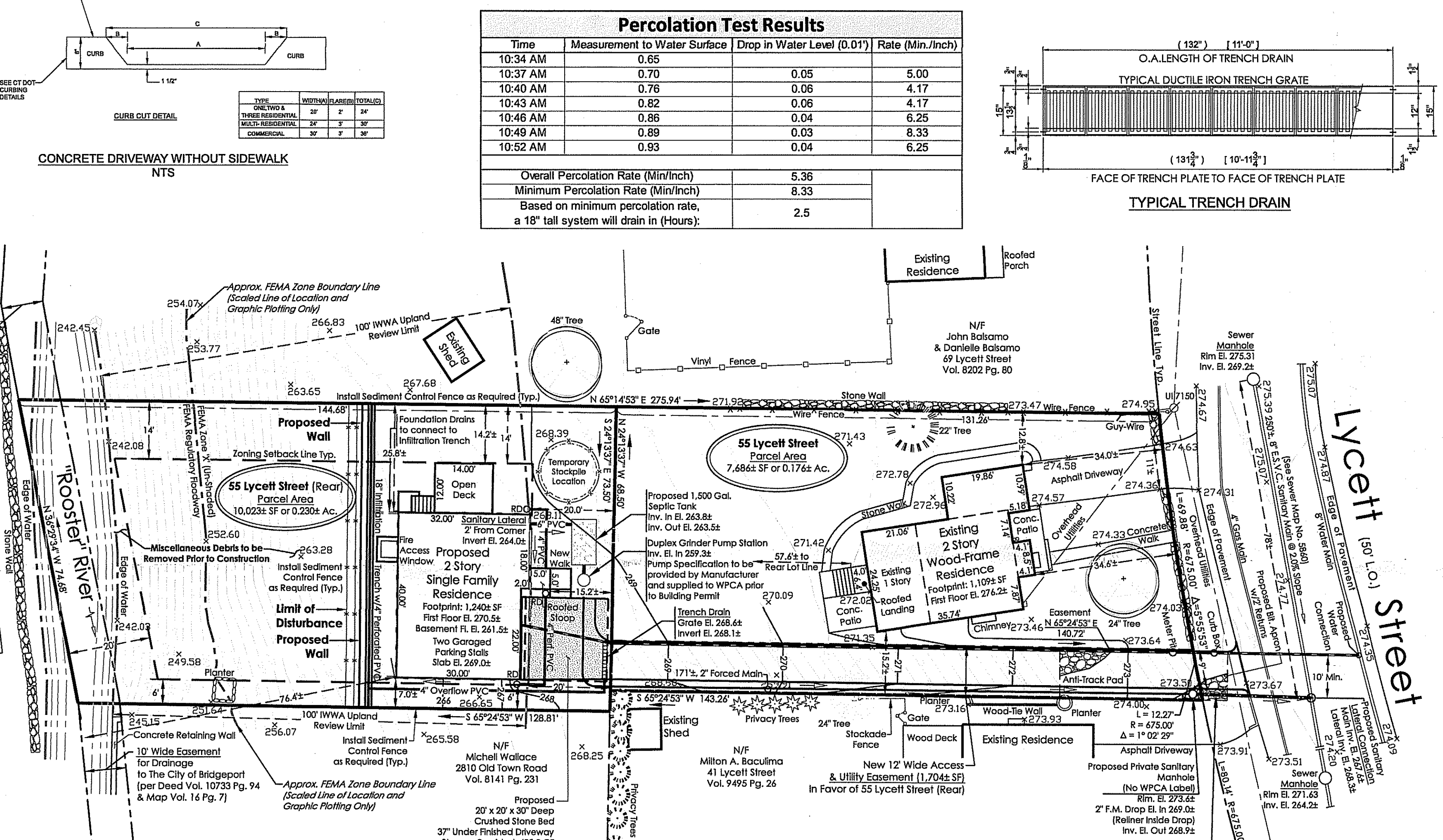
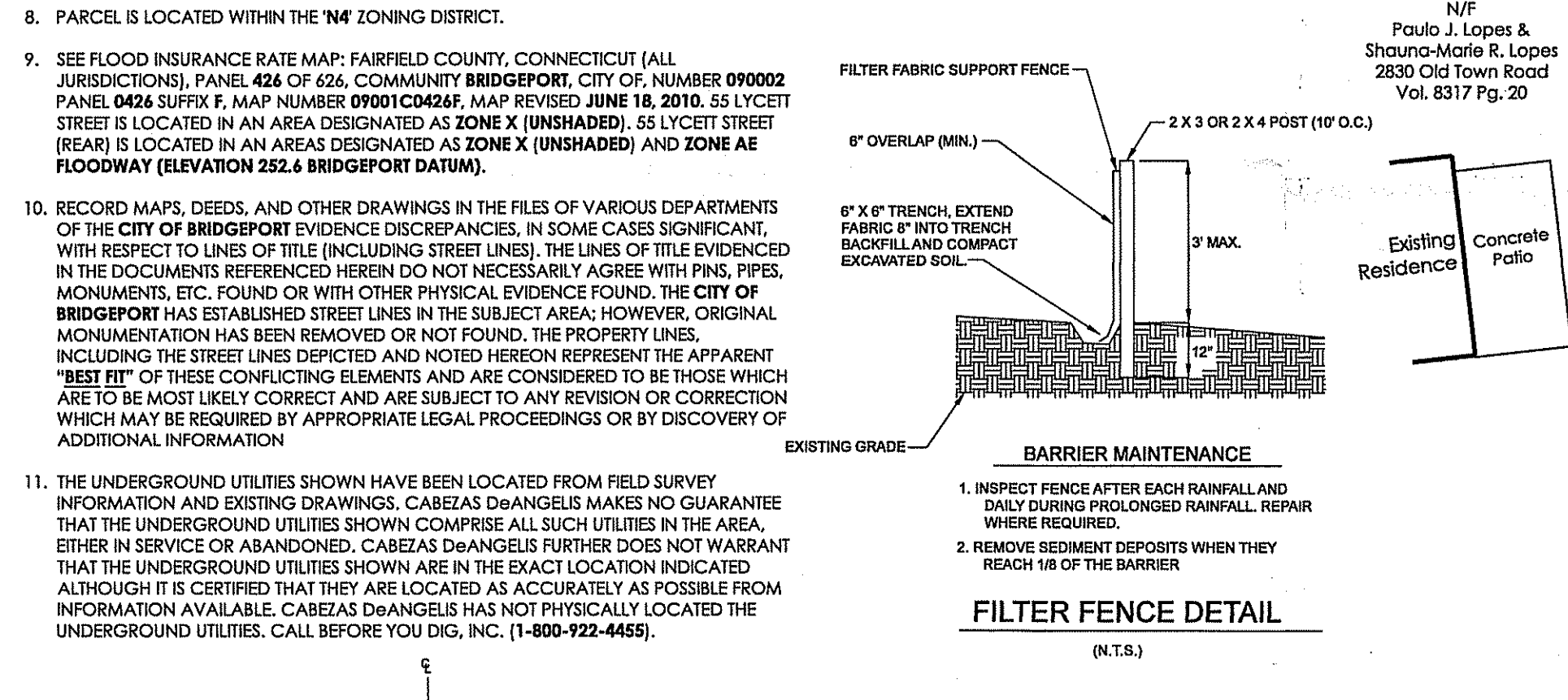
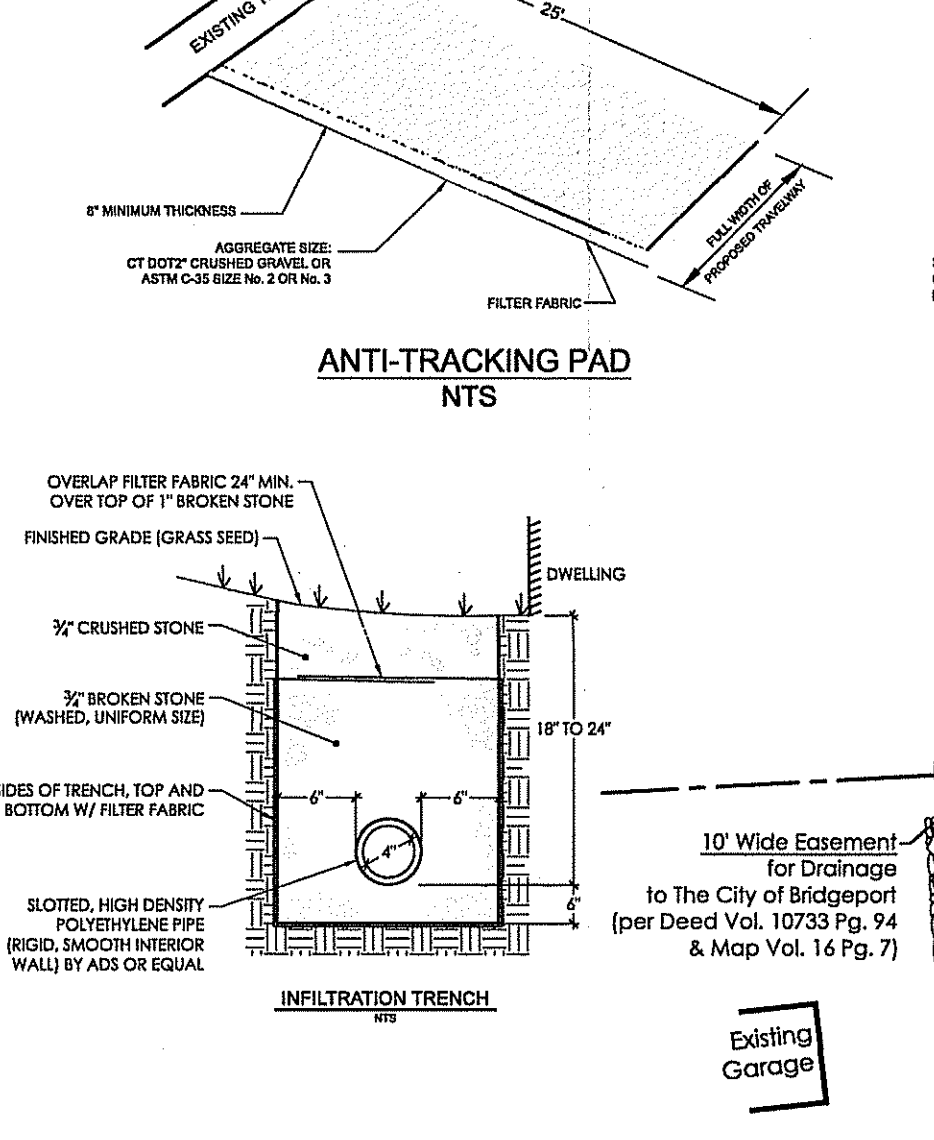
SEALTITE TYPE 'E' MULTIRANGE WYE SEWER SADDLE. VARIANTS CONTROLS TO BE AT LEAST 3/16" THICK 3/4" DIA. GRAVITY SEWER MANHOLES.



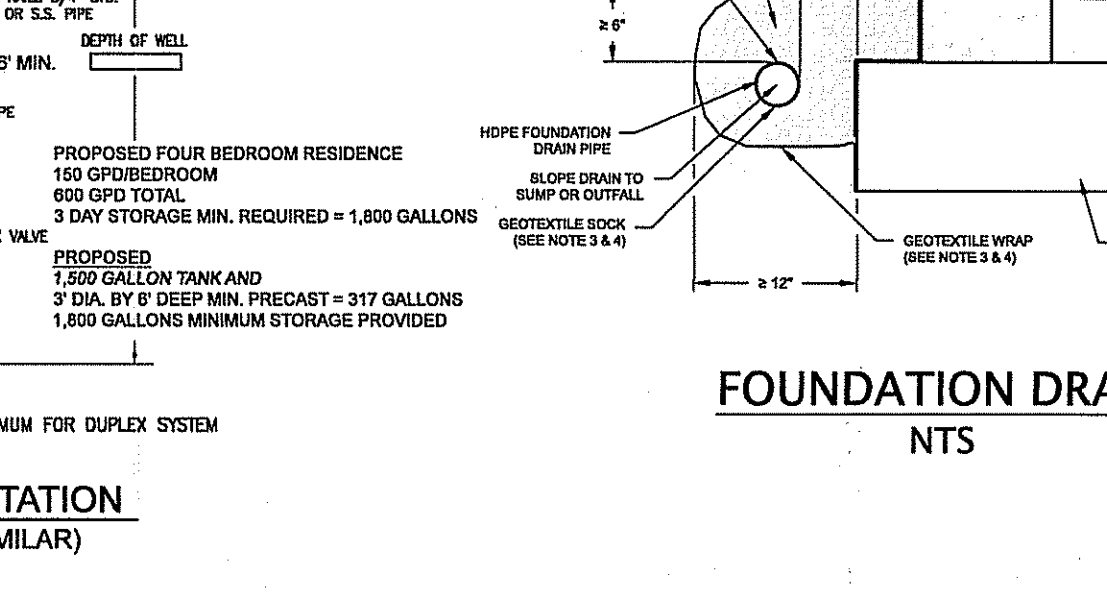
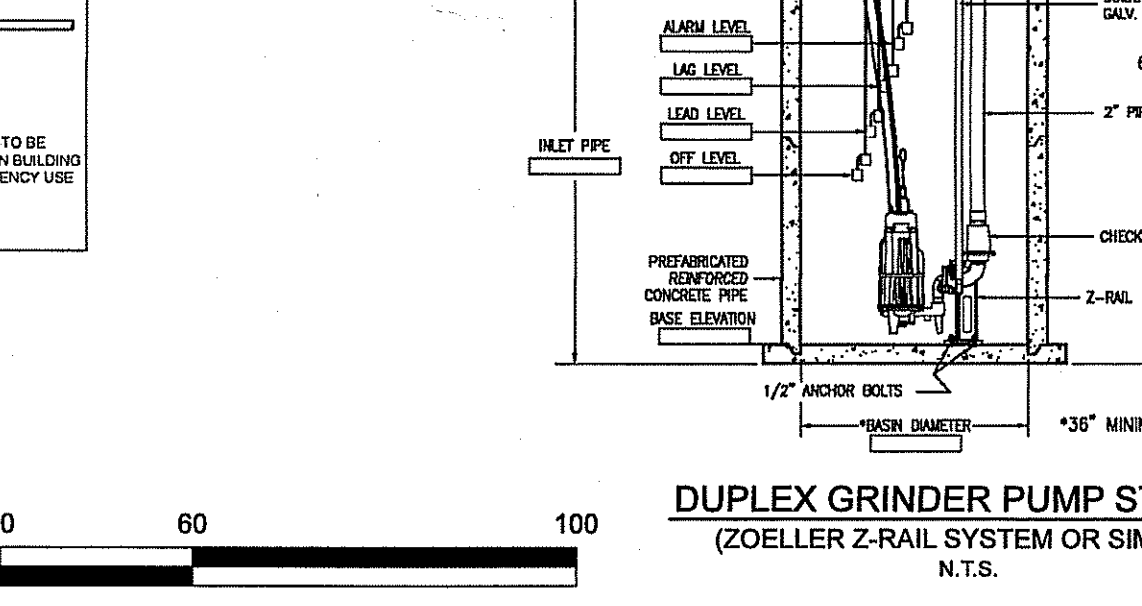
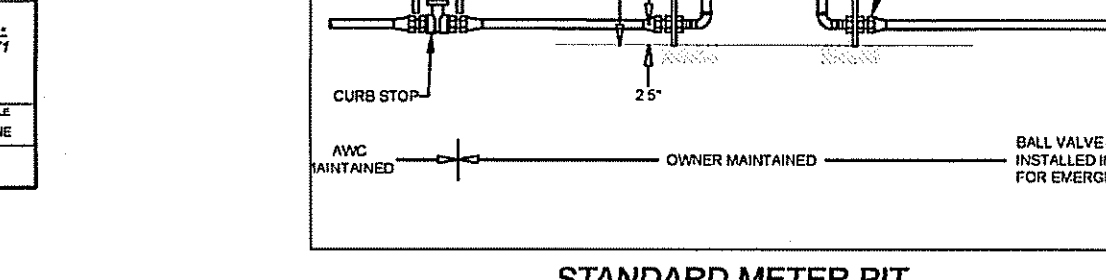
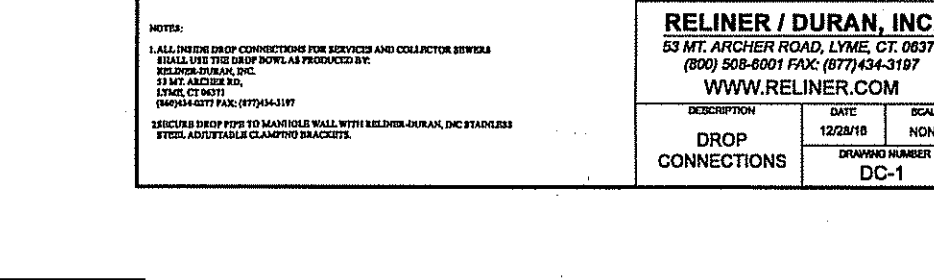
Percolation Test Results table with columns for Time, Measurement to Water Surface, Drop in Water Level (0.01'), and Rate (Min./Inch). Shows data points from 10:34 AM to 10:52 AM and overall/minimum percolation rates.



- 5. MAP REFERENCES
A. SUBDIVISION OF A TRACT OF LAND IN BRIDGEPORT, CONN. LONG HILL HOMES INC., SCALE 1" = 40', APRIL 8, 1941 PREPARED BY FULLER & CO. ENGINEERS AND SURVEYORS ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOLUME 12 PAGE 63.
B. MAP SHOWING PROPERTY OF BRIDGEPORT HYDRAULIC COMPANY IN BRIDGEPORT AND TRUMBULL, CONN. SCALE 1" = 40', APRIL 2, 1941 PREPARED BY FULLER & CO. INC. ENGINEERS AND SURVEYORS ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOLUME 13 PAGE 85.
C. MAP OF SUBDIVISION PROPERTY OF JOSEPH M. BRICK, BRIDGEPORT, CT., SCALE: 1" = 40', JUNE 5, 1954 PREPARED BY FULLER & CO. INC. ENGINEERS AND SURVEYORS ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOLUME 14 PAGE 87.
D. MAP OF PROPERTY LINE MERGER FOR PROPERTIES AT 69 LYCETT STREET BRIDGEPORT, CT. PREPARED FOR MICHAEL J. & GERI T. CONVERTITO, SCALE: 1" = 10', DECEMBER 14, 2009 PREPARED BY FULLER ENGINEERING AND LAND SURVEYING, LLC ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOLUME 54 PAGE 200.
E. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING BLOCK 2522.
6. PARCEL INFORMATION:
55 LYCETT STREET - FIRST PARCEL
A. ASSESSOR'S REFERENCE: MAP 89, BLOCK 2522, LOT 4
B. PARCEL AREA: 9,387.52 SQ. FT., OR 0.2164 AC.
C. RECORD OWNER: SOUND PROPERTY DEVELOPMENT, LLC; VOL. 10733 PG. 94
55 LYCETT STREET (REAR) - SECOND PARCEL
D. ASSESSOR'S REFERENCE: MAP 89, BLOCK 2522, LOT 4B
E. PARCEL AREA: 10,023.56 SQ. FT., OR 0.2304 AC.
F. RECORD OWNER: SOUND PROPERTY DEVELOPMENT, LLC; VOL. 10733 PG. 94
7. REFERENCE MADE TO OTHER INSTRUMENTS:
VOL. 10733 PG. 94 DRAINAGE EASEMENT (WESTERLY 10 FEET) IN FAVOR OF THE CITY OF BRIDGEPORT SHOWN ON RECORD MAP VOLUME 16 PAGE 7 (SECOND PARCEL)
VOL. 767 PG. 812 DECLARATION OF RESTRICTIONS BY LONG HILL HOMES, INCORPORATED DATED AUGUST 14, 1941 (FIRST PARCEL)
VOL. 772 PG. 177 MODIFIED DECLARATION OF RESTRICTIONS BY LONG HILL HOMES, INCORPORATED DATED OCTOBER 14, 1941 (FIRST PARCEL)
8. PARCEL IS LOCATED WITHIN THE 'N4' ZONING DISTRICT.
9. SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 428 OF 626. COMMUNITY RISKMAP, CITY OF LYCETT STREET PANEL 028 SURVEY MAP NUMBER 090010284F, MAP REVISED 18, 2010. 55 LYCETT STREET IS LOCATED IN AN AREA DESIGNATED AS ZONE X (UNSHADED). 55 LYCETT STREET (REAR) IS LOCATED IN AN AREA DESIGNATED AS ZONE X (UNSHADED) AND ZONE AE FLOODWAY (ELEVATION 252.4 BRIDGEPORT DATUM).
10. RECORD MAPS, DEEDS, AND OTHER DRAWINGS IN THE FILES OF VARIOUS DEPARTMENTS OF THE CITY OF BRIDGEPORT EVIDENCE DISCREPANCIES. IN SOME CASES SIGNIFICANT, WITH RESPECT TO LINES OF TITLE (INCLUDING STREET LINES), THE LINES OF TITLE EVIDENCED IN THE DOCUMENTS REFERENCED HEREIN DO NOT NECESSARILY AGREE WITH PINS, PIPES, MONUMENTS, ETC. FOUND OR WITH OTHER PHYSICAL EVIDENCE FOUND. THE CITY OF BRIDGEPORT HAS ESTABLISHED STREET LINES IN THE SUBJECT AREA. HOWEVER, ORIGINAL MONUMENTATION HAS BEEN REMOVED AND NOT FOUND. THE PROPERTY LINES, INCLUDING THE STREET LINES DEPICTED AND NOTED HEREON REPRESENT THE APPARENT 'BEST FIT' OF THESE CONFLICTING ELEMENTS AND ARE CONSIDERED TO BE THOSE WHICH ARE TO BE MOST LIKELY CORRECT AND ARE SUBJECT TO ANY REVISION OR CORRECTION WHICH MAY BE REQUIRED BY APPROPRIATE LEGAL PROCEEDINGS OR BY DISCOVERY OF ADDITIONAL INFORMATION.
11. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DEANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DEANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DEANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-422-4455).



- LEGEND
NF NOW OR FORMERLY
MON. MONUMENT
IP IRON PIPE
FP FOUND
S.F. SQUARE FEET
CONC. CONCRETE
BIT. BITUMINOUS
OHU OVERHEAD UTILITIES
UG UNDER GROUND
MH MANHOLE
ELEC. ELECTRIC
UTILITY POLE
DYL DOUBLE YELLOW LINE
SWL SINGLE WHITE LINE
BWL BROKEN WHITE LINE
EOP EDGE OF PAVEMENT
CLF CHAIN LINK FENCE
C.F. FINISHED FLOOR ELEVATION
CLEANOUT
LIGHT POST
EXISTING CONIFER TREE
CB CATCH BASIN
WM WATER METER
WV WATER VALVE
GV GAS VALVE
RET. RETAINING
SNET SOUTHERN NEW ENGLAND TELEPHONE
UI UNITED ILLUMINATING COMPANY
TMH TELEPHONE MANHOLE
INT. INTERSECTION
INV. INVERT
C.I. CAST IRON
V.C. VITRIFIED CLAY
RCP REINFORCED CONCRETE PIPE
RD ROOF DRAIN
MW MONITOR WELL
EXS. EXISTING SPOT GRADE
L.O. LAYOUT OF STREET WIDTH
P. PARKING SPACES
HDPE HIGH DENSITY POLYETHYLENE
PVC POLYVINYL CHLORIDE
EXISTING DECIDUOUS TREE



N4 Zone Development Standards House 'D' Building Type table with columns for Building Location, Required, 55 Lycett Street (Rear), and 55 Lycett Street. Rows include Lot Width, Lot Size, Primary Street Setback, etc.

3.120.5. PARKING AND ACCESSORY STRUCTURES table with columns for Accessory Structure Location, Maximum Width at Primary Lot Line, etc.

3.120.6. HEIGHT table with columns for Height, Story Height, Height to Eaves.

3.90.7. ROOFS table with columns for Roof Types, Tower, Allowed Uses.

3.90.9. ALLOWED USES table with columns for Residential, Number of Principal Units, Number of Accessory Apartments, Household Living.

IMPROVEMENT LOCATION SURVEY - AND - TOPOGRAPHIC SURVEY

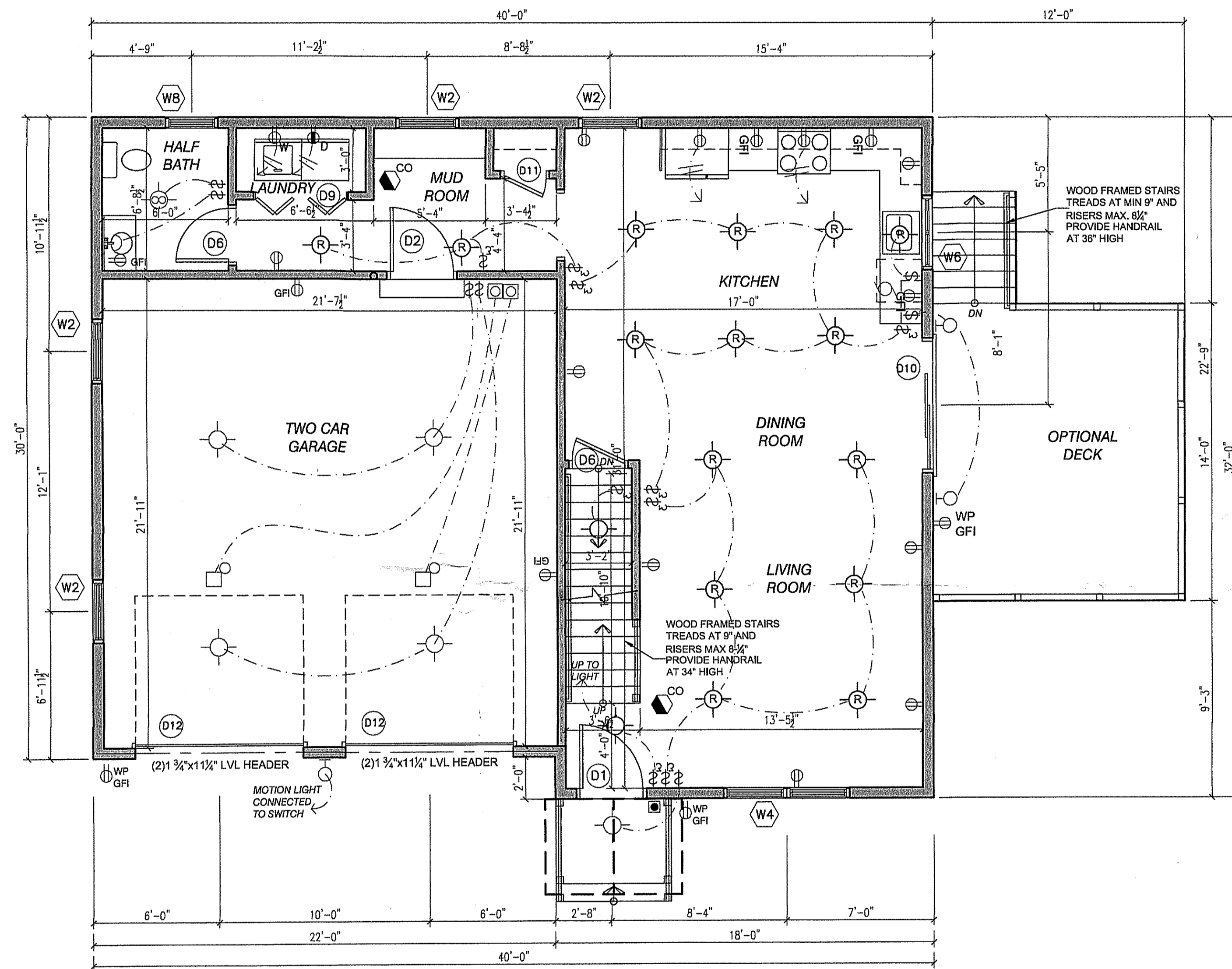
PREPARED FOR BM PRO BUILDERS, LLC
55 LYCETT STREET
ASSESSOR'S REFERENCE: MAP 88 | BLOCK 2522 | LOT 4 - AND - 55 LYCETT STREET (REAR)
ASSESSOR'S REFERENCE: MAP 88 | BLOCK 2522 | LOT 4B
BRIDGEPORT, CONNECTICUT
SHEET 1 OF 1

Cabezas DeAngelis ENGINEERS & SURVEYORS logo and contact information.

Professional Engineer and Land Surveyor seals for Washington Cabezas, Jr., PE, 70210.

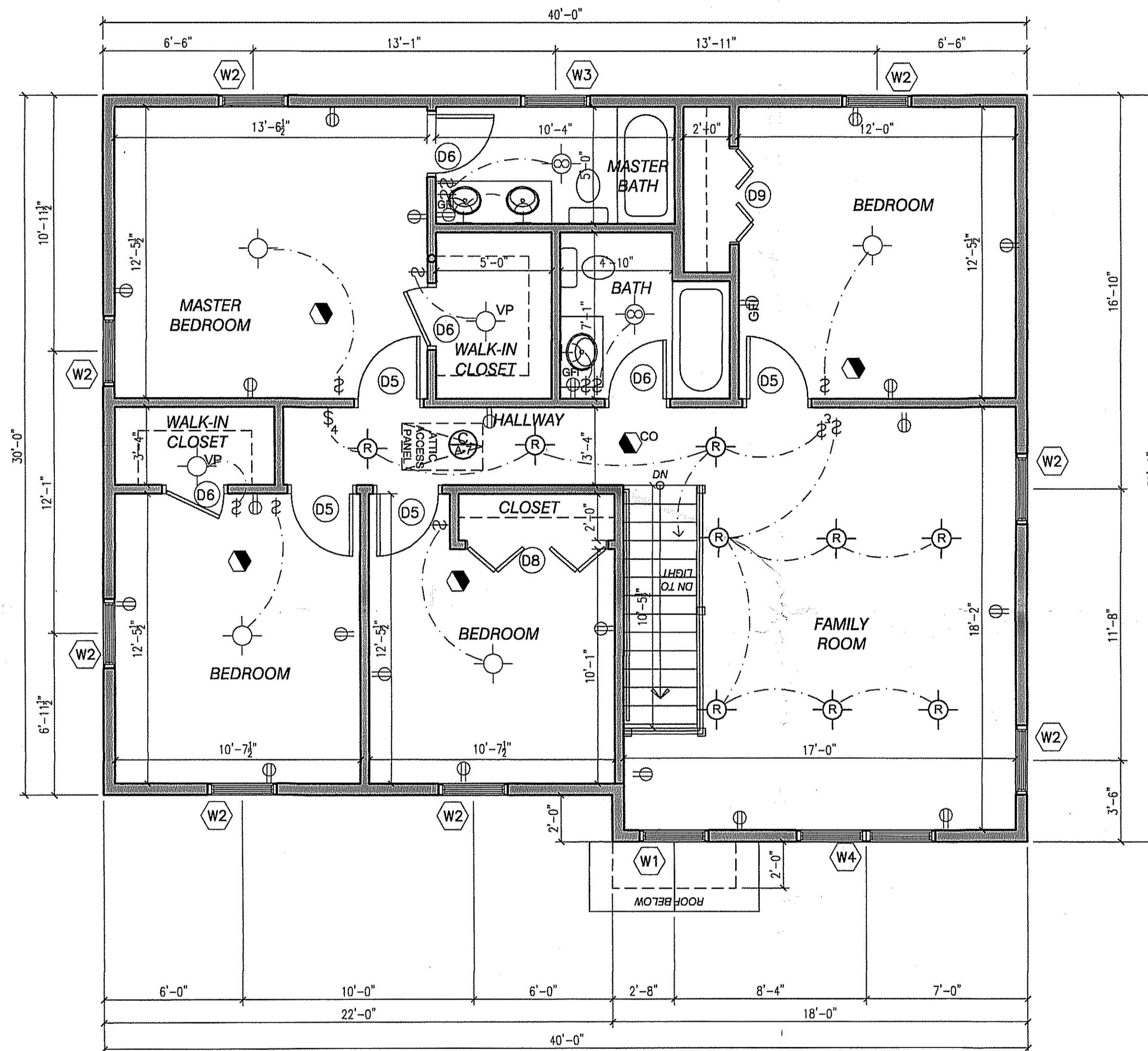
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. Washington Cabezas, Jr. WASHINGTON CABEZAS, JR., PE, 70210 PROFESSIONAL ENGINEER & LAND SURVEYOR





FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"
 660 SF LIVING SPACE
 570 SF GARAGE / UTILITY RM



SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"
 1200 SF LIVING SPACE

#1

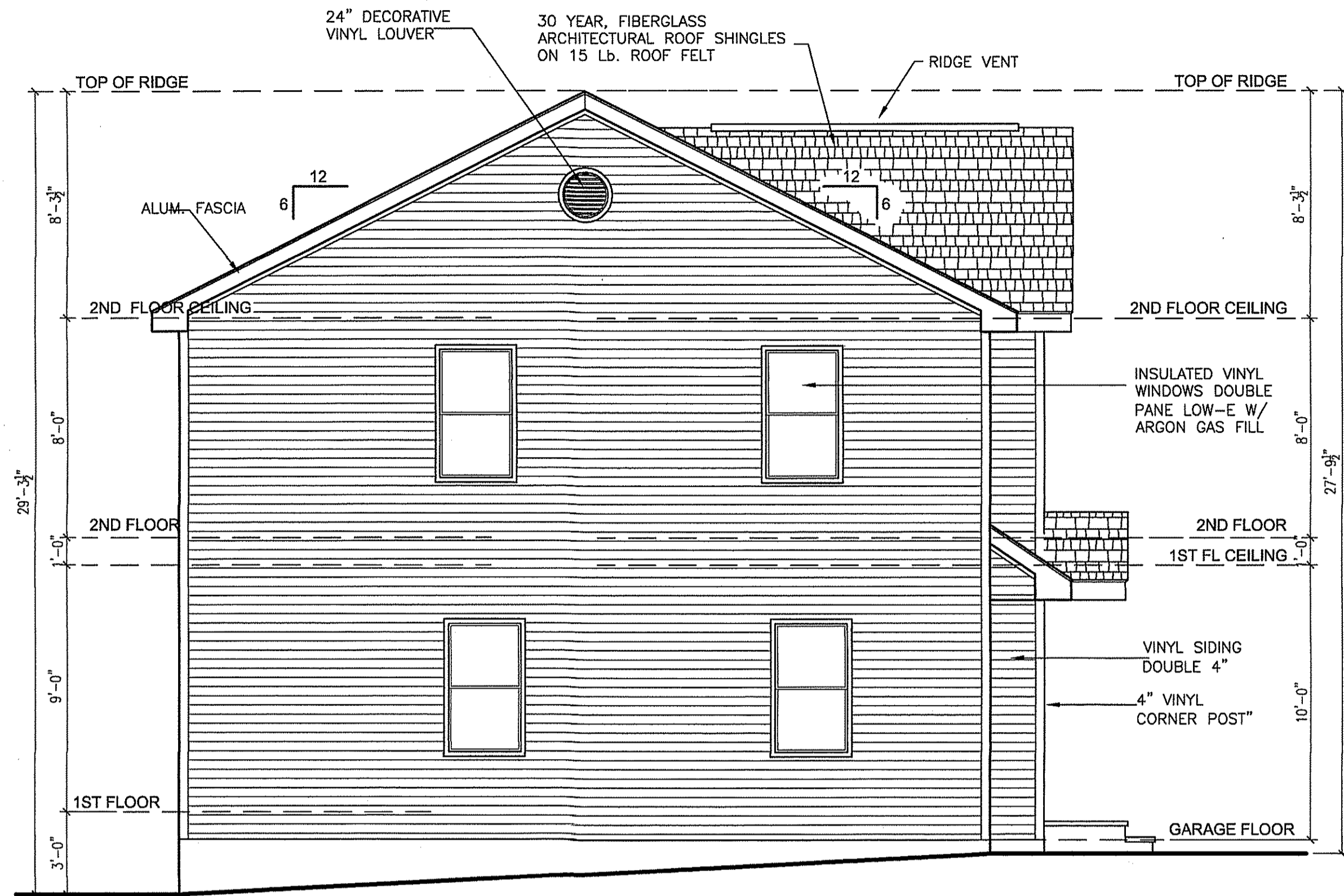
1	2	3	4	5	6

NEW SINGLE FAMILY HOME PLANS
 PREPARED FOR PROPERTY LOCATED AT
 55 LYCETT STREET (REAR), BRIDGEPORT, CT

FLOOR PLANS
date: 07-15-2022
scale: AS NOTED
drawn by: M. REINHILMER 203-449-6137
project #: MCR-2022-153
E-Mail: marcosprimrose@yahoo.com

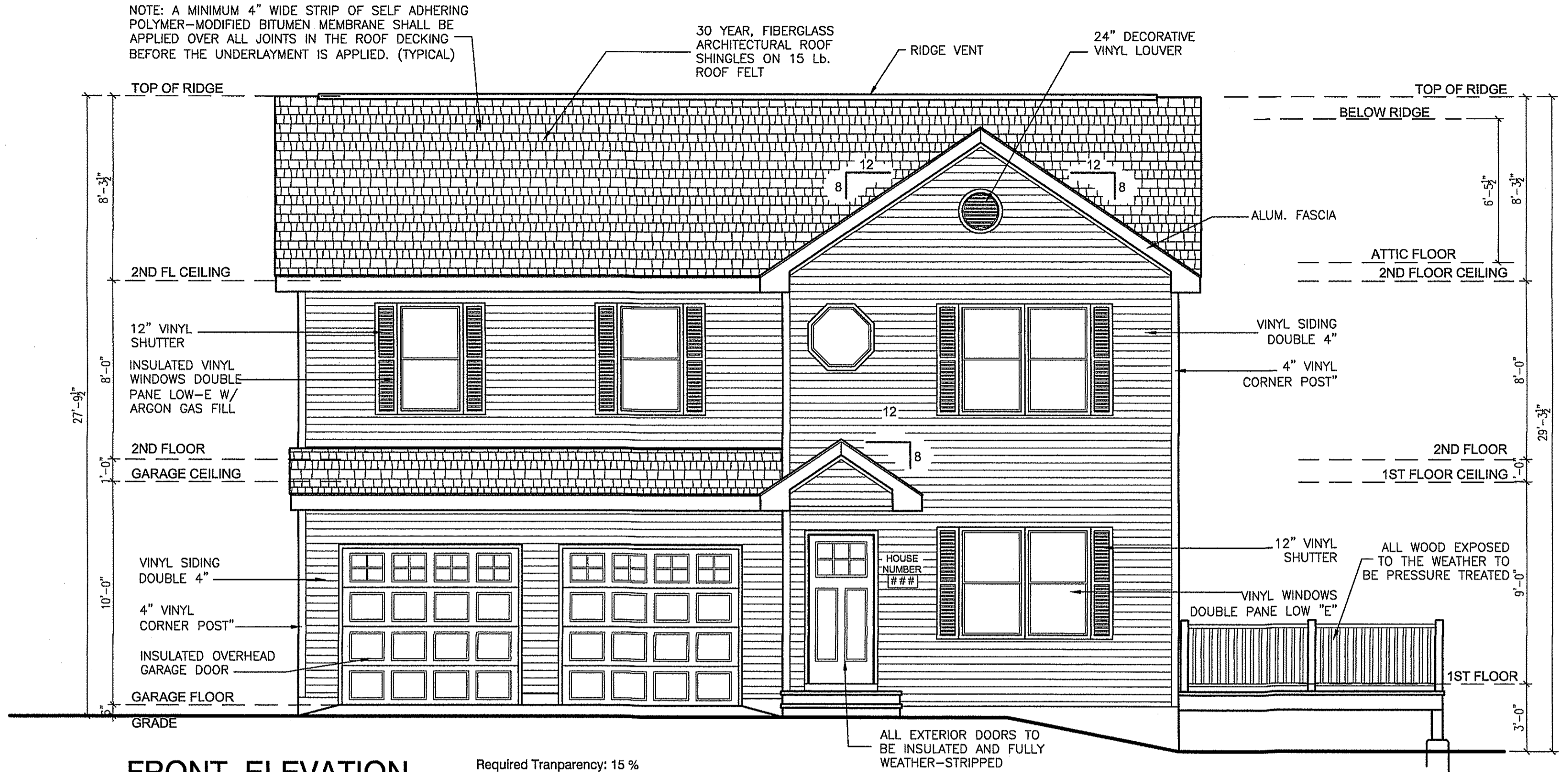
This drawing is the property of the designer. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervisor, the designer will not be held responsible for damages.

A-1



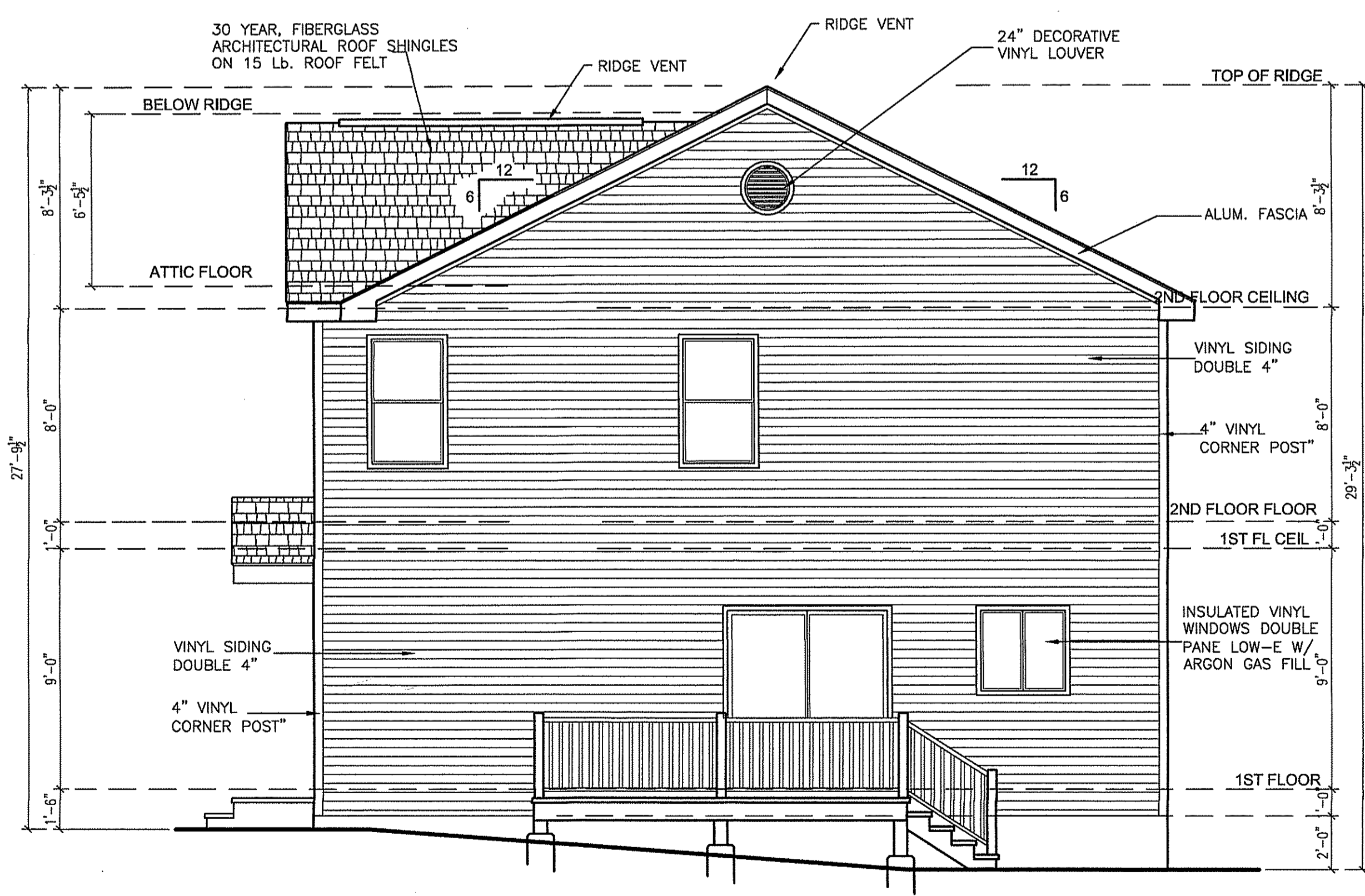
LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"

Required Transparency: 10 %
Provided 2nd Fl: 12.50%
Provided 1st Fl: 11.11%



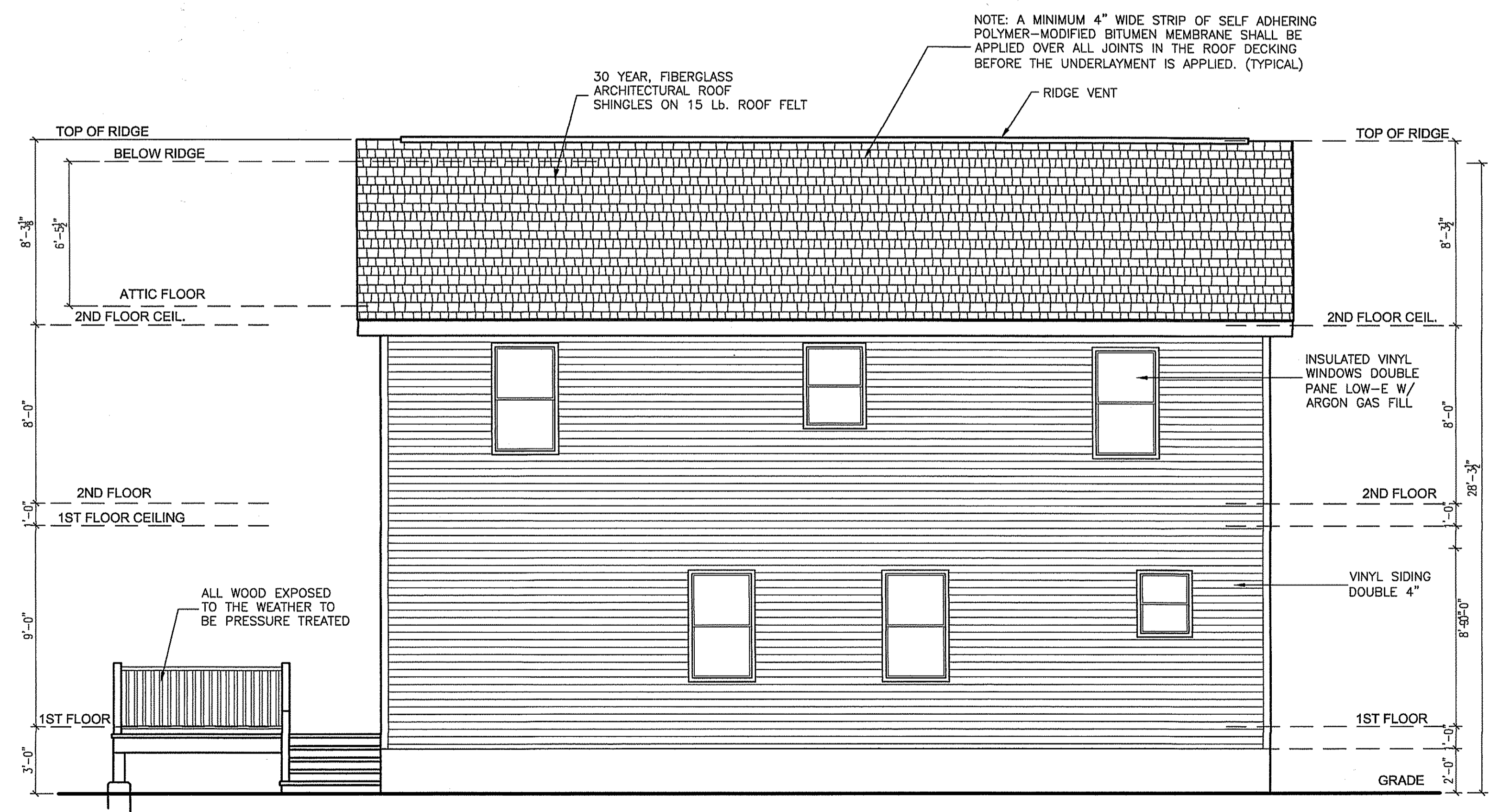
FRONT ELEVATION
SCALE 1/4" = 1'-0"

Required Transparency: 15 %
Provided 2nd Fl: 21.06%
Provided 1st Fl: 17.13%



RIGH SIDE ELEVATION
SCALE 1/4" = 1'-0"

Required Transparency: 10 %
Provided 2nd Fl: 11.71%
Provided 1st Fl: 18.63%



REAR ELEVATION
SCALE 1/4" = 1'-0"

Required Transparency: 10 %
Provided 2nd Fl: 12.76%
Provided 1st Fl: 10.41%

1	2	3	4	5	6
REVISIONS					

NEW SINGLE FAMILY HOME PLANS
 PREPARED FOR PROPERTY LOCATED AT
 55 LYCETT STREET (REAR), BRIDGEPORT, CT

ELEVATIONS	date:	07-15-2022
	scale:	AS NOTED
PROJECT	drawn:	M. REINHHEIMER 203-449-6137
	project #:	MCR-2022-153
E-Mail: marcosprimrose@yahoo.com		

This drawing is the property of the designer. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

A-2



ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

- Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

60 Armitage Drive Zone N3
(Number) (Street) (Zone Classification)

On the North side of the street about 270 feet West from
(North, South, East, West) (North, South, East, West)

Grovers Avenue Block : 134 Lot: 57
(Street)

Dimension of Lot in Question 120' x 190' x 66' x 125' x 169'
(Specify)

1. NAME OF APPLICANT / BUSINESS Brian O'Connor
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
3. HAS A PREVIOUS APPLICATION BEEN FILED? IF SO, GIVE DATE OF HEARING
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT Legalize non-conforming 2 story garage and 2nd floor breakfast room.

5. THIS APPLICATION RELATES TO: Check all that Apply
 Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other:

6. USE TO BE MADE OF PROPERTY No change. Single family dwelling.

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? Garage addition constructed by the previous owner between 1985 and 1988 without proper approvals and permits.

APPLICANT Brian R. O'Connor DATE 9/15/23
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) / (Email)

Mailing Address (Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT (If other than owner) (Signature) Print

Subscribe & Sworn to before me this 15th day of September 2023
Dolores K Ryan Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
 The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)



FEE RECEIVED: DATE: 20 Clerk

Letter of Authorization

September 15, 2023

Dear Members of the Zoning Board of Appeals,

My name is Brian O'Connor and together with my wife, Maura O'Connor we are the new owners of 60 Armitage Drive, which we purchased on April 27th of this year.

Our house was built in 1976 and the garage addition was constructed in 1985 and is an existing non-conforming building. We began an extensive renovation of the entire house to bring it up to current building standards and safety codes. Our renovation plans were approved by the Building Department over the summer. Our renovation plans include the installation of a small elevator and related enclosure of an existing open entry way between the house and the garage.

However, after approval, it was discovered that the permitting process for the 1985 garage addition was never completed. In addition to the permit issue, the garage addition is located within the side yard setback. The installation of the elevator requires the extension of the existing exterior wall of the garage. This small extension aligns with the existing garage wall and does not increase the non-conformity of the existing garage wall, i.e., the extension of the wall does not extend any further into the existing setback. We are requesting authorization from this Board to proceed with our proposed plans.

Sincerely,



Brian O'Connor



STATEMENT OF DEVELOPMENT

September 15, 2023

60 Armitage

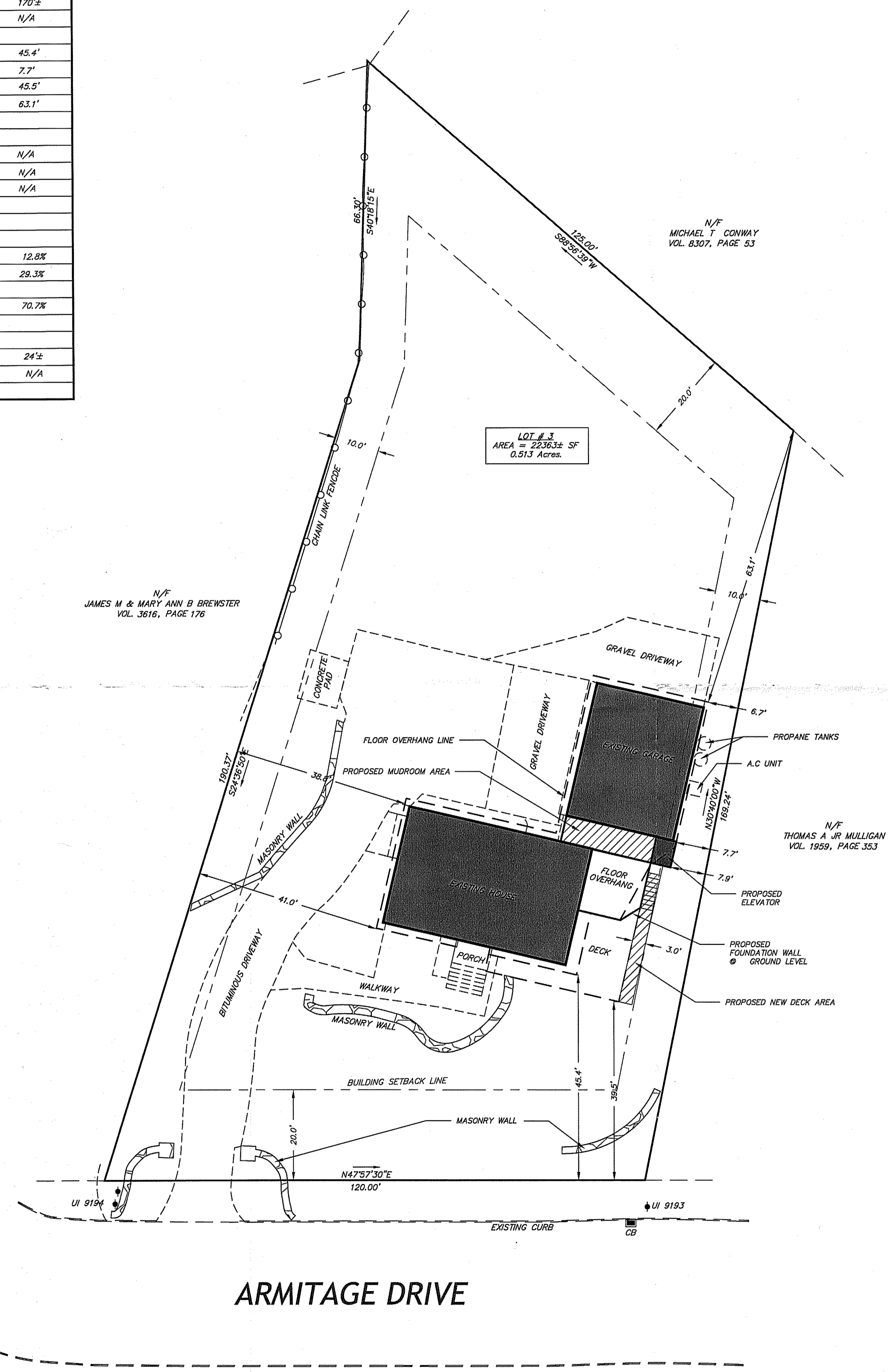
Dear Zoning of Appeals Commissioners,

On April 27 of 2023 Brian and Maura O'Connor purchased the property at 60 Armitage Drive in Bridgeport. The original house built in 1975 is a modest, contemporary Post and Beam 2,380 square foot house. In 1985 a 1,350 square foot, two-story stick framed addition was constructed. The addition consisted of a three-car garage with a second floor having a Dining Room, Family Room and two bedrooms. The O'Connor's began an extensive remodeling of the entire house. Contractor where hired, Building permits obtained and construction began. It was recently discovered that the permitting process for the 1985 addition was never completed, and the addition is not recognized by the Building and Zoning Departments. The O'Connor's are seeking to have the '85 addition properly register with the Zoning Department. Unfortunately the '85 addition is located within the side yard setback. The O'Connor's are applying for a Zoning Variance to the side yard setback regulation (3.110.4 #6) and to properly recognize the '85 addition with the Bridgeport Zoning and Building Departments.

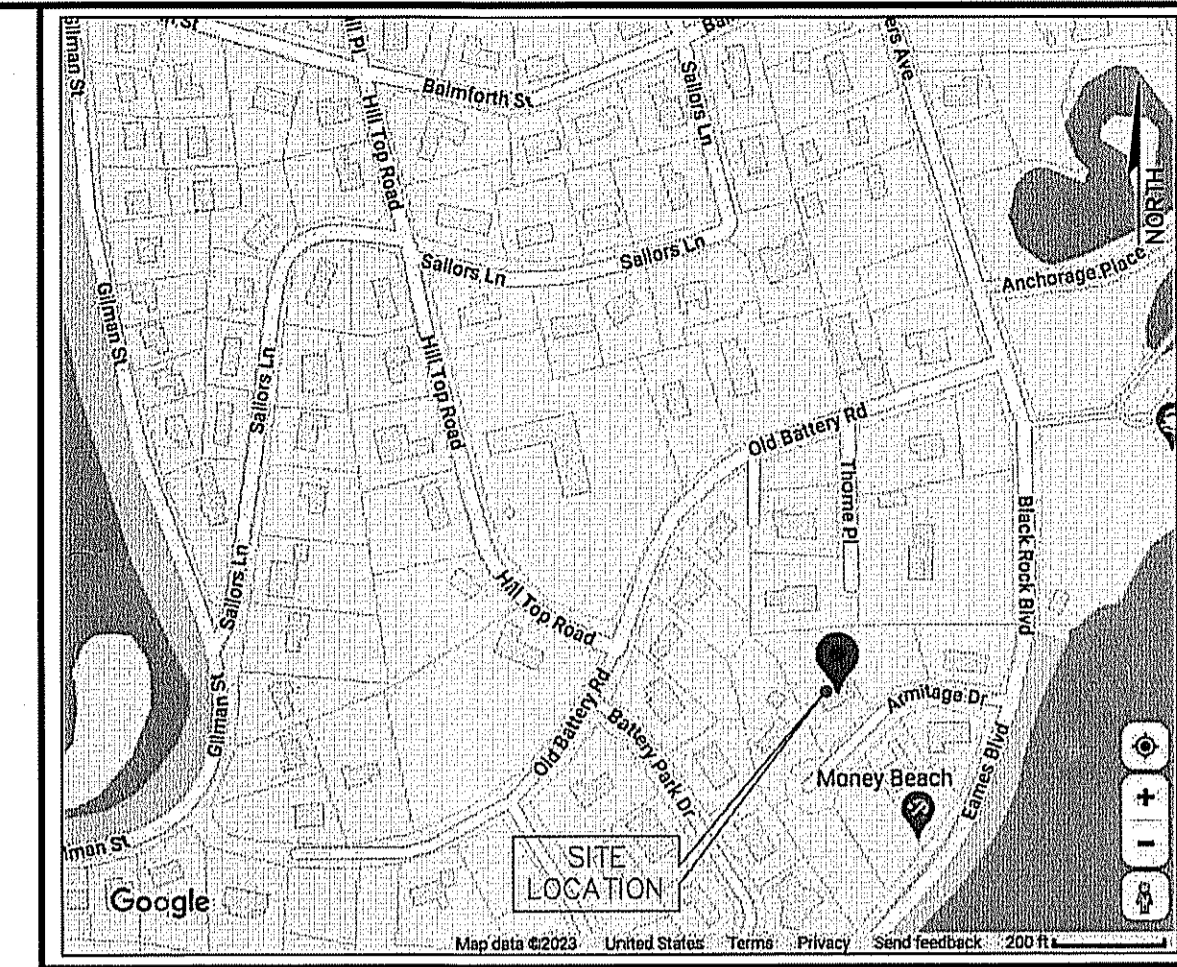
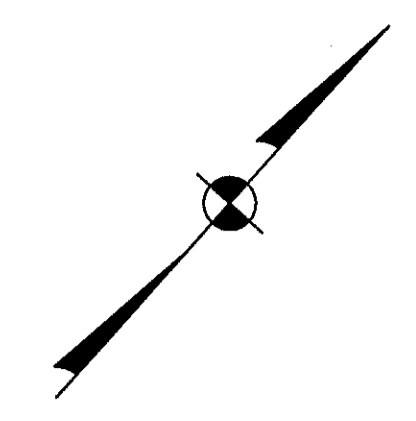
Parcel_ID	LOCATION	SLH_OWN_NA	SLH_CO_OWN	SLH_OWN_AD	SLH_CITY	SLH_STT	SLH_ZIP
134-60	69 ARMITAGE DR	HYMAN LESLIE & BARRY		69 ARMITAGE DRIVE	BRIDGEPORT	CT	06605
134-61	55 ARMITAGE DR	SAMOWITZ LEE A & FERNIE M	SAMOWITZ (SURV OF THEM)	55 ARMITAGE DR	BRIDGEPORT	CT	06605
134-62	15 ARMITAGE DR	HAWKINS BARRY C & LILYAN F		15 ARMITAGE DR	BRIDGEPORT	CT	06605
134-58	80 ARMITAGE DR	BREWSTER JAMES M & MARY ANN B		80 ARMITAGE DR	BRIDGEPORT	CT	06605
134-55	20 ARMITAGE DR	MULLIGAN THOMAS A JR &	LORRAINE H (SURVIVOR OF THEM)	20 ARMITAGE DR	BRIDGEPORT	CT	06605
134-35	169 OLD BATTERY RD	KIEL RICHARD W JR & DEBRA A		169 OLD BATTERY RD	BRIDGEPORT	CT	06605
134-4	11 THORNE PL	CONWAY MICHAEL T ET AL	(SURVIVOR OF THEM)	5 THORNE PLACE	BRIDGEPORT	CT	06605
134-34A	149 OLD BATTERY RD	HUBLER BRUCE A & MICHELE A	(SURVIVOR OF THEM)	149 OLD BATTERY RD	BRIDGEPORT	CT	06605
134-31X	1 THORNE PL	ROSENBERG GERALD TRUSTEE		1 THORNE PLACE	BRIDGEPORT	CT	06605
134-33	125 OLD BATTERY RD	ROSSI VALERIE A		125 OLD BATTERY RD	BRIDGEPORT	CT	06605

DEVELOPMENT STANDARDS	Req. N3	EXISTING	PROPOSED
LOT			
LOT AREA, MINIMUM	1,000 SF. 9000	22,363±	22,363±
FRONTAGE, MINIMUM	10 FT. 75	120'	120'
DEPTH, MINIMUM	100 FT.	170±	170±
LOT AREA PER DWELLING UNIT, MINIMUM	N/A	N/A	N/A
PRINCIPAL BUILDING SETBACK			
FRONT LOT LINE MINIMUM	20' 45	45.4'	45.4'
SIDE LOT LINE MINIMUM FORM -- ONE-SIDE	10' 20	6.7'	7.7'
SIDE LOT LINE MINIMUM FORM -- BOTH SIDES ADD UP TO	20'	45.5'	45.5'
REAR LOT LINE MAXIMUM	20'	63.1'	63.1'
ACCESSORY STRUCTURE SETBACK			
FRONT LOT LINE	75' /50% LOT DEPTH	N/A	N/A
SIDE LOT LINE	10'	N/A	N/A
REAR LOT LINE	5'	N/A	N/A
COVERAGE			
BUILDING COVERAGE, MAXIMUM	35%	12.5%	12.8%
SITE COVERAGE, MAXIMUM	60%	29.0%	29.3%
LANDSCAPED AREA			
MINIMUM	40%	71.0%	70.7%
HEIGHT			
MAXIMUM FOR PRINCIPAL BUILDING	28' /35' TO PEAK	24±	24±
ACCESSORY STRUCTURE, MAXIMUM	12' /15' TO PEAK	N/A	N/A

BUILDING ZONE: R-1A-N3
 SUBJECT PROPERTY ASSESSOR'S MAP & LOT NO # 02/134/57



ARMITAGE DRIVE



LOCATION MAP
 NOT TO SCALE

SURVEY NOTES

- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Improvement Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted herein have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- Elevations Are Based on Assumed Datum.

MAP REFERENCES

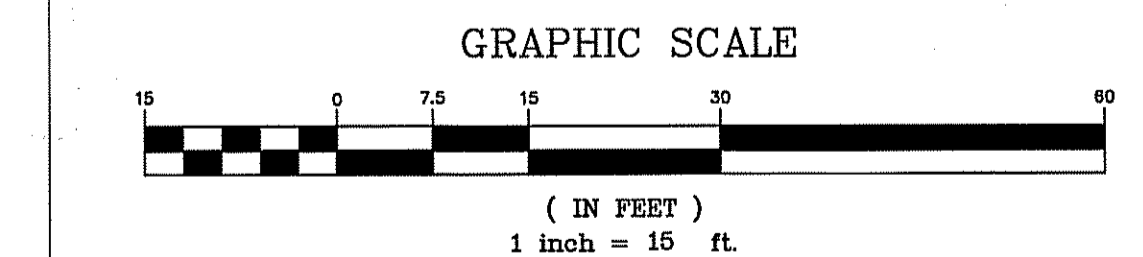
- RECORD MAP NO# VOL.30, PAGE 21.

PROPERTY SUBJECT TO:

- PROPERTY SUBJECT TO AN EASEMENTS, RESTRICTIONS, RIGHTS AND ENCUMBRANCES AS OF RECORD APPEAR IN THE BRIDGEPORT LAND RECORDS.

IMPORTANT! READ!
WARNING AND DISCLAIMER OF LIABILITY
UNDERGROUND UTILITIES

The user of this document is WARNED NOT TO RELY on the purported accuracy, scale, dimension, measurement, description, or elevations of any underground structure. The Preparer of this document DISCLAIMS ANY LIABILITY whatsoever to the user. There are no warranties or representations, expressed or implied and any use other than for informational purposes is excessive, unintended and an impermissible misuse of this document. Before Excavating Call Toll Free 1-800-922-4455 for Underground Utility Information.



NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

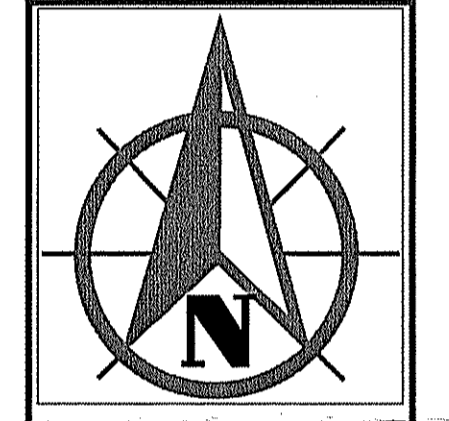
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

Jignesh M. Soni
 JIGNESH M. SONI, P.L.S. 70386

PREPARED FOR
 BRIAN & MAURA O'CONNOR
 60 ARMITAGE DRIVE,
 BRIDGEPORT, CT

OWNER
 BRIAN & MAURA O'CONNOR
 60 ARMITAGE DRIVE,
 BRIDGEPORT, CT

NO.	DATE	DESCRIPTION
2	09-13-2023	REV. PROPOSED ADDITION
1	05-30-2023	PROPOSED ELEVATOR

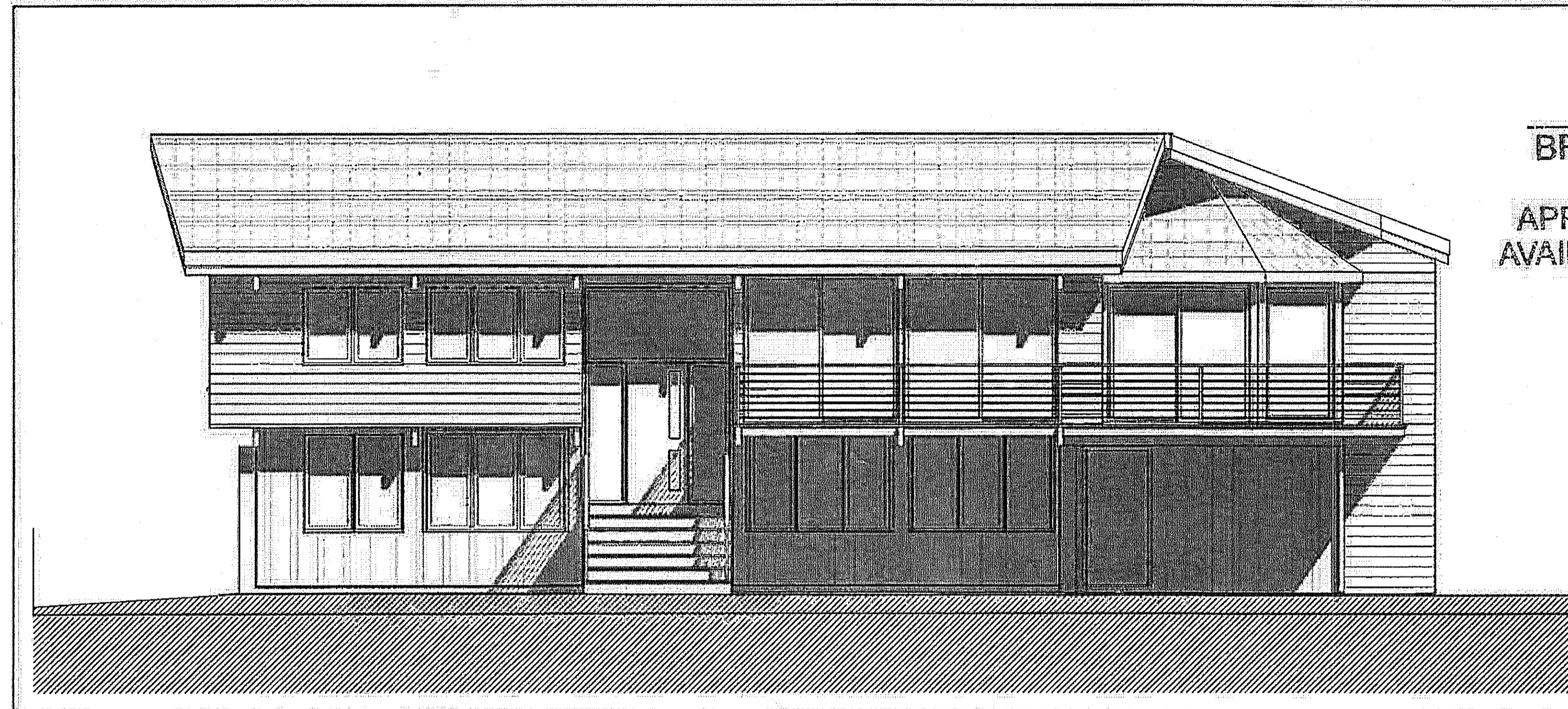


CT LAND SURVEYING, LLC
 SBE | MBE CERTIFIED
 LAND SURVEYING / LAND PLANNING
 CT LAND SURVEYING, LLC
 58 OLD TAVERN ROAD
 ORANGE, CT 06477
 P: (203) 503-1193
 Email: cctand2005@gmail.com

IMPROVEMENT LOCATION SURVEY
 PREPARED FOR
 BRIAN & MAURA O'CONNOR
 60 ARMITAGE DRIVE,
 BRIDGEPORT, CONNECTICUT

DRAFTED: CAD
 APPROVED: J.S.
 SCALE: 1" = 15'
 PROJECT NO.: 230408
 DATE: 05/01/2023
 CAD FILE: 230408

TITLE:
 IMPROVEMENT
 LOCATION SURVEY
 SHEET NUMBER:
EX-1 OF 1



PLANS & SPECIFICATIONS
REVIEWED FOR CODE
COMPLIANCE

8/14/23

BRIDGEPORT BUILDING DEPT.

APPROVED PLANS & SPEC'S TO BE
AVAILABLE ON JOB SITE AT ALL TIMES

O'CONNOR RESIDENCE
60 ARMITAGE, BRIDGEPORT, CT. 06605

ZONE R-AA MAP AND LOT 02/134/57

LIST OF DRAWINGS

D-100	DEMOLITION PLAN
A-100	FLOOR PLANS
A-101	DETAIL FLOOR PLANS / WALL SECTION
A-200	WEST / SOUTH / EAST ELEVATION
A-2021	NORTH ELEVATION / BUILDING SECTION

All work shall conform to the Connecticut State Building & Energy Codes and all other applicable municipal, state and federal rules and regulations.

Disconnect and safely cap all utilities serving the site prior to commencement of any demolition work. Provide any temporary services as needed.

Deliver, handle, and store materials in accordance with manufacturer's instructions.

Install materials and systems in accordance with manufacturer's instructions and approved submittal. Install materials and systems in proper relation with adjacent construction and with uniform appearance.

Provide temporary services and utilities: Water (potable and non-potable), Sewer, and Telephone.

Provide temporary erosion and sediment control. Coordinate erosion and sediment control system with local governing agency.

All new gas piping shall be bonded.

Provide sheet blast test as required by the 2012 IECC.



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Professional Seal of Gregory A. Korth, Architect, No. 12345, State of Connecticut, expires 12/31/2024. This drawing is the property of Gregory A. Korth, Architect. It is to be used only for the project and site identified on this drawing. It is not to be reproduced, copied, or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Gregory A. Korth, Architect.

CONSULTANTS:

PROJECT:
O'CONNOR RESIDENCE
60 ARMITAGE
BRIDGEPORT, CT
06605

REVISIONS:

#	DATE	DISCUSSION
1	5.31.23	PERMIF REVIEW
2	6.30.23	ELEVATOR / INSULATION

DRAWING TITLE:
TITLE SHEET

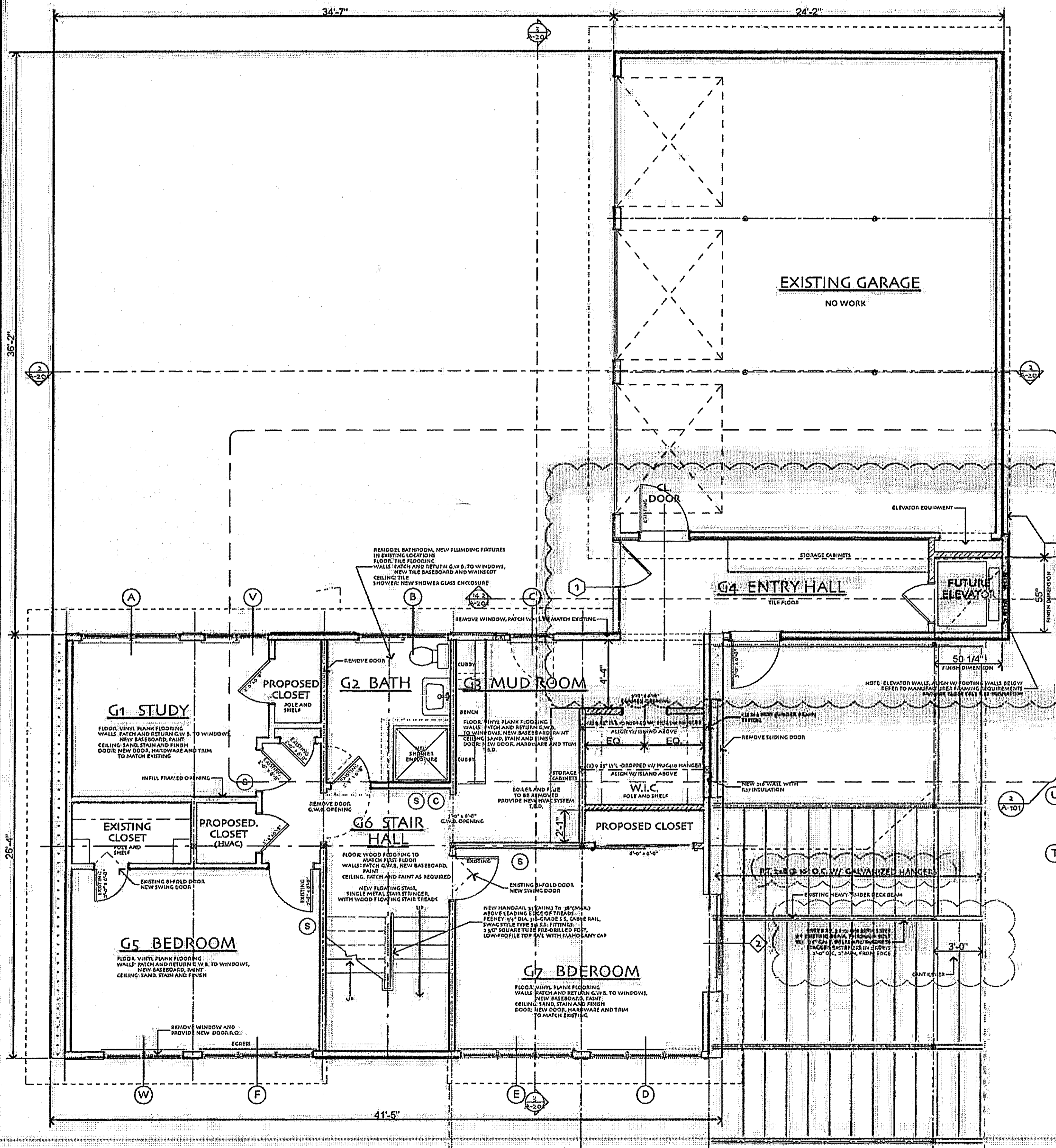
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SCALE: 1/4" = 1'-0"

DRAWING NUMBER

T-1

DOOR SCHEDULE
 WINDOW SPEC
 WINDOW DATA

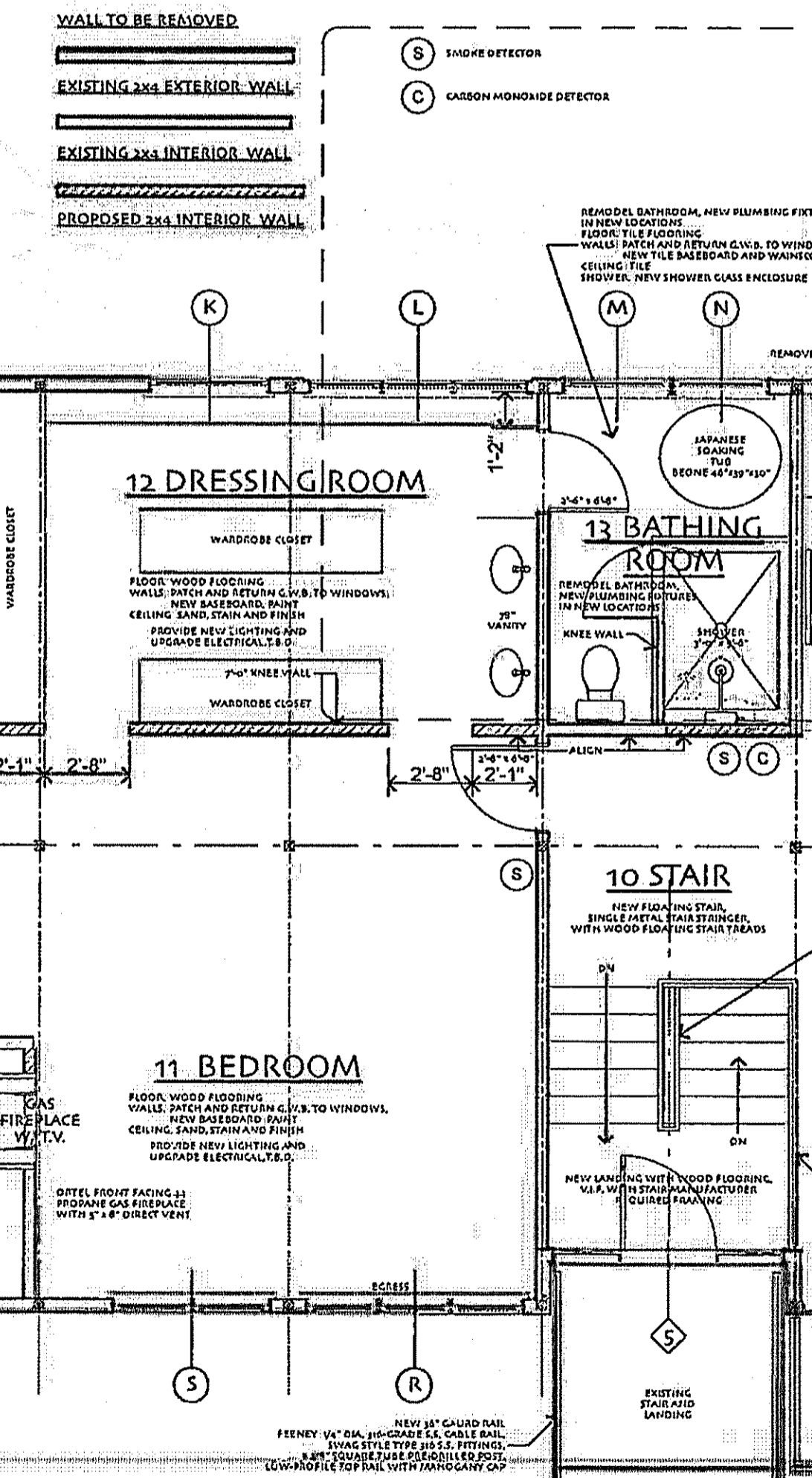


1 GROUND FLOOR
 SCALE: 1/4" = 1'-0"

ID	TYPE	MANUFACTURER	SIZE	LOCATION	REMARKS
A	CASEMENT	TO BE SET UP AFTER PERMITS TO ORDERING	8'0" x 3'6"	G1 STUDY	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., NEW HEIGHT TO MATCH UNIT "E"
B	AWNING		3'0" x 1'0"	G2 BATH	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O.
C	AWNING		3'0" x 1'0"	G3 MUD ROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O.
D	CASEMENT		8'0" x 3'6"	G2 BEDROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., NEW HEIGHT TO MATCH UNIT "E"
E	CASEMENT		8'0" x 3'6"	G1 BEDROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., NEW HEIGHT TO MATCH UNIT "E"
F	CASEMENT		8'0" x 3'6"	G1 BEDROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., NEW HEIGHT TO MATCH UNIT "E"
G	CASEMENT		8'0" x 3'6"	1 BEDROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., NEW HEIGHT TO MATCH UNIT "E"
H	CASEMENT		8'0" x 3'6"	2 BEDROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., NEW HEIGHT TO MATCH UNIT "E"
I	CASEMENT		8'0" x 3'6"	3 GREAT ROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., NEW HEIGHT TO MATCH UNIT "E"
J	CASEMENT		8'0" x 3'6"	4 GREAT ROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., NEW HEIGHT TO MATCH UNIT "E"
K	AWNING		4'0" x 3'6"	12 DRESSING ROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O.
L	CASEMENT		8'0" x 3'6"	13 BATHING ROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., V.I.F.
M	AWNING		8'0" x 3'6"	13 BATHING ROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., NEW HEIGHT TO MATCH UNIT "E"
N	FIXED		4'0" x 6'0"	8 KITCHEN	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., NEW HEIGHT TO MATCH UNIT "E"
O	AWNING		8'0" x 3'6"	8 KITCHEN	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O.
P	CASEMENT		8'0" x 3'6"	6 W.C.	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O.
Q	FIXED		8'0" x 6'0"	11 BEDROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., NEW HEIGHT TO MATCH UNIT "E"
R	CASEMENT		8'0" x 3'6"	11 BEDROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., V.I.F.
S	AWNING		8'0" x 3'6"	11 BEDROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., V.I.F.
T	FIXED		8'0" x 3'6"	11 BEDROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., V.I.F.
U	FIXED		8'0" x 3'6"	11 BEDROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., V.I.F.
V	FIXED		8'0" x 3'6"	11 BEDROOM	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., V.I.F.
W	AWNING		8'0" x 3'6"	G1 STUDY	NEW UNIT AT EXISTING WINDOW LOCATION EXISTING WORTH R.O., NEW HEIGHT TO MATCH UNIT "E"

WALL KEY

- WALL TO BE REMOVED
- EXISTING 2x4 EXTERIOR WALL
- EXISTING 2x4 INTERIOR WALL
- PROPOSED 2x4 INTERIOR WALL

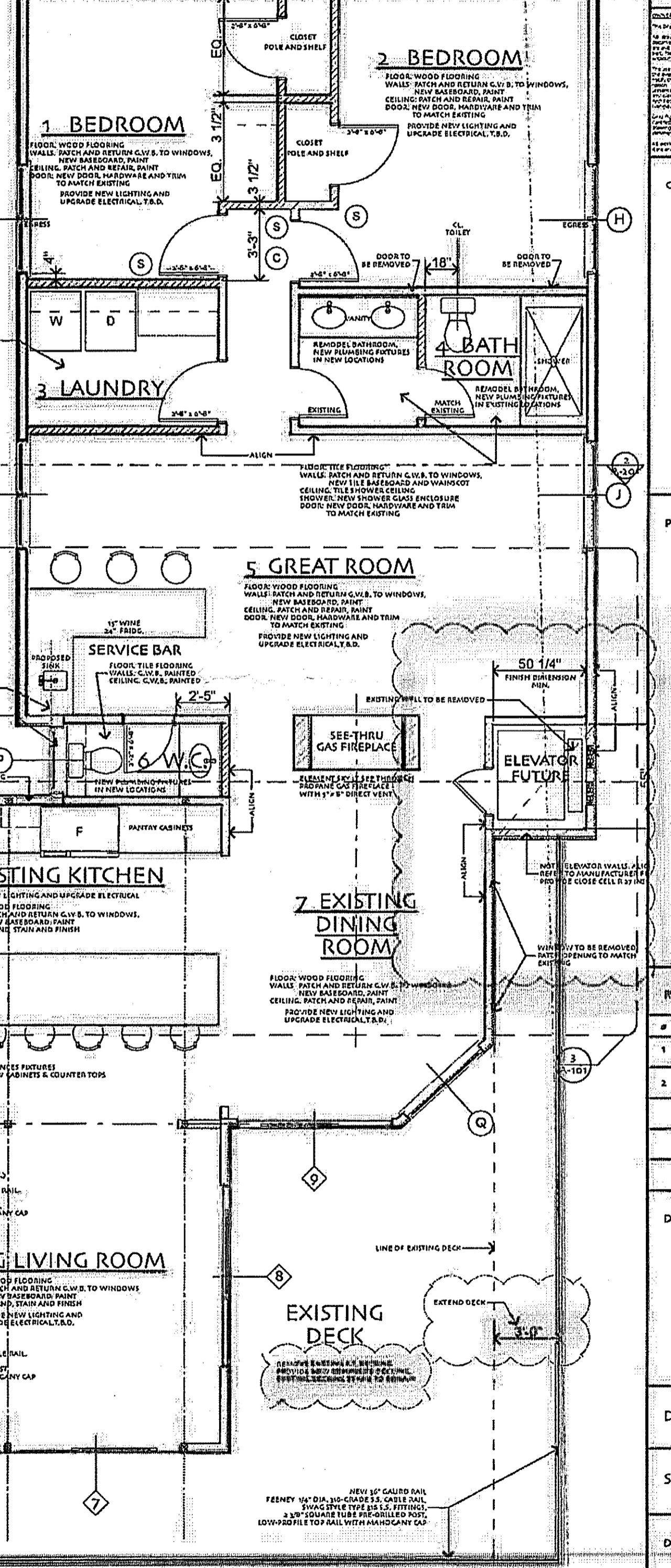


2 FIRST FLOOR
 SCALE: 1/4" = 1'-0"

PLANS & SPECIFICATIONS
 REVIEWED FOR CODE
 COMPLIANCE

8/14/23
 BRIDGEPORT BUILDING DEPT.

APPROVED PLANS & SPEC'S TO BE
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PROJECT:

O'CONNOR RESIDENCE
 60 ARMITAGE
 BRIDGEPORT, CT
 06605

REVISIONS:

#	DATE	DISCUSSION
1	5-31-23	PERMIT REVIEW
2	6-30-23	ELEVATOR / INSULATION

DRAWING TITLE:

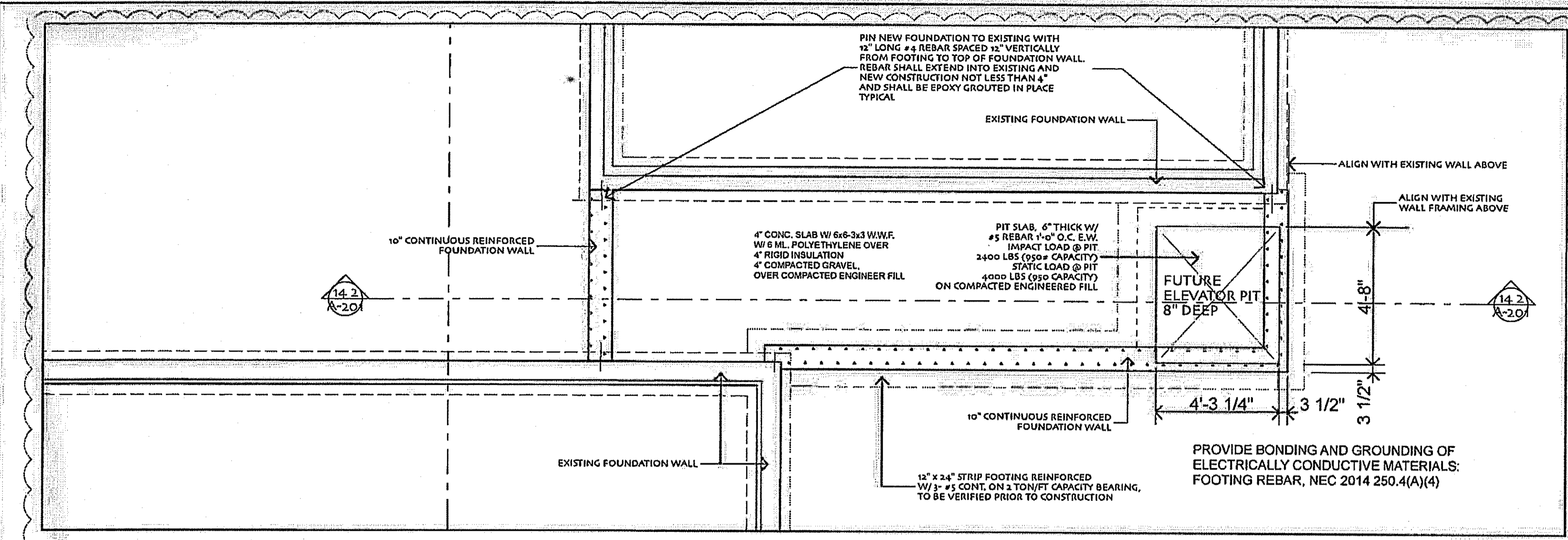
FLOOR PLANS

DATE: 5-15-23

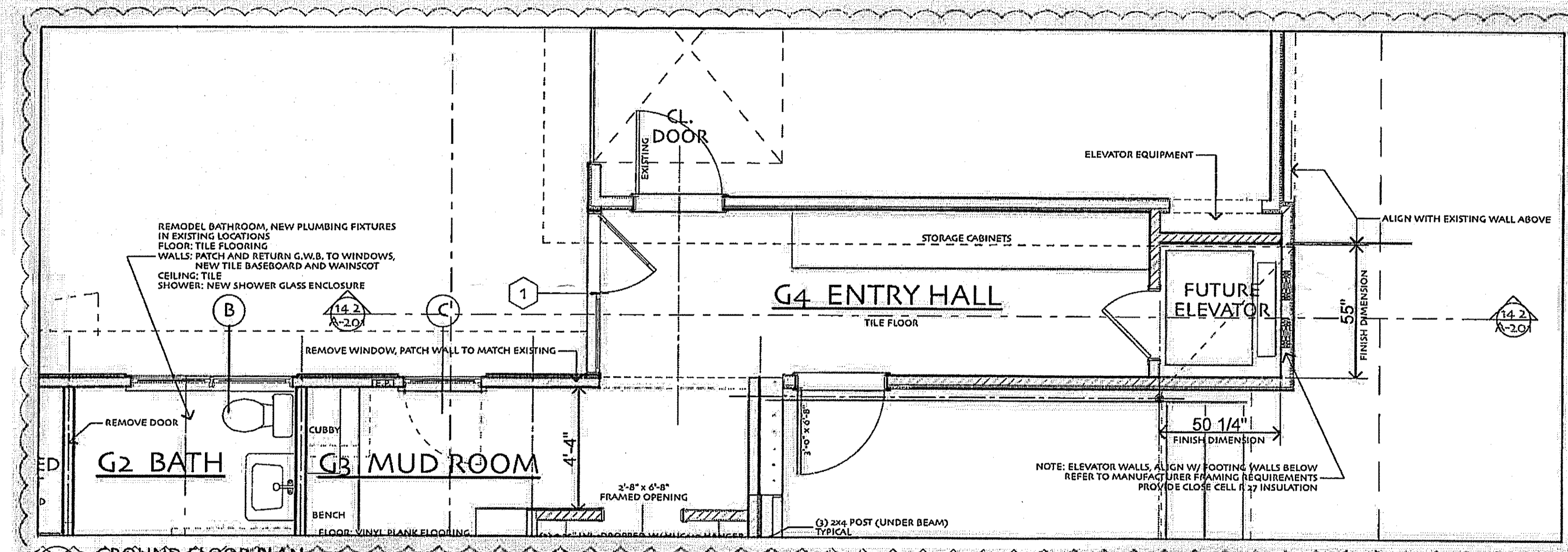
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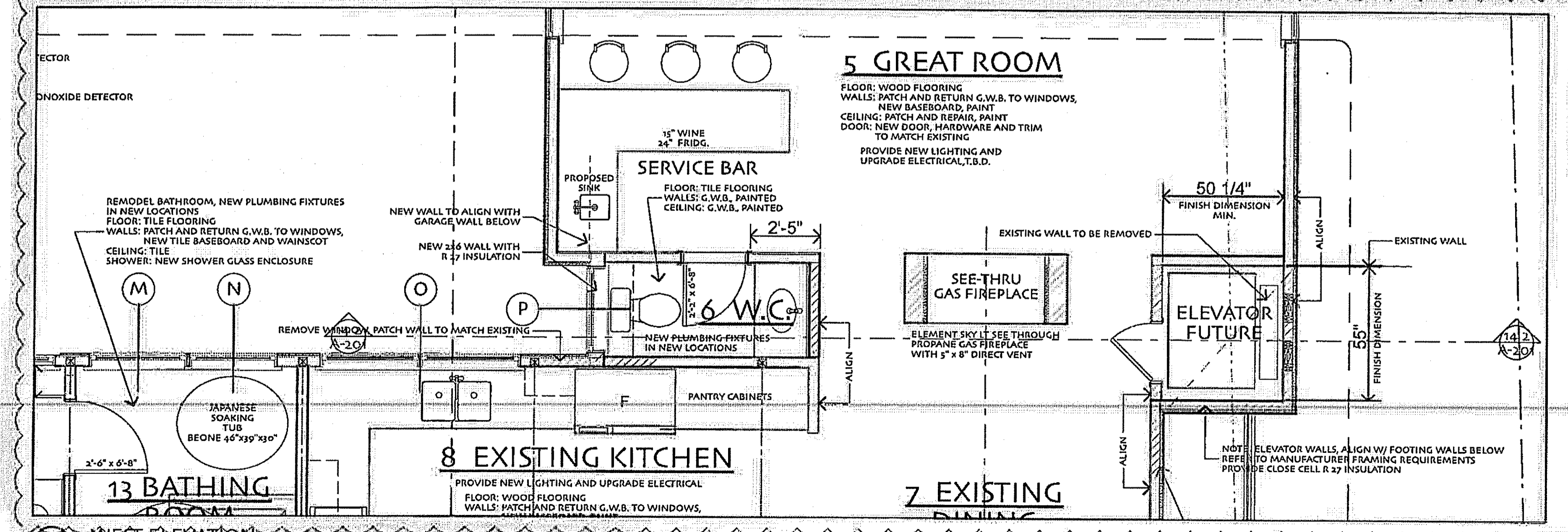
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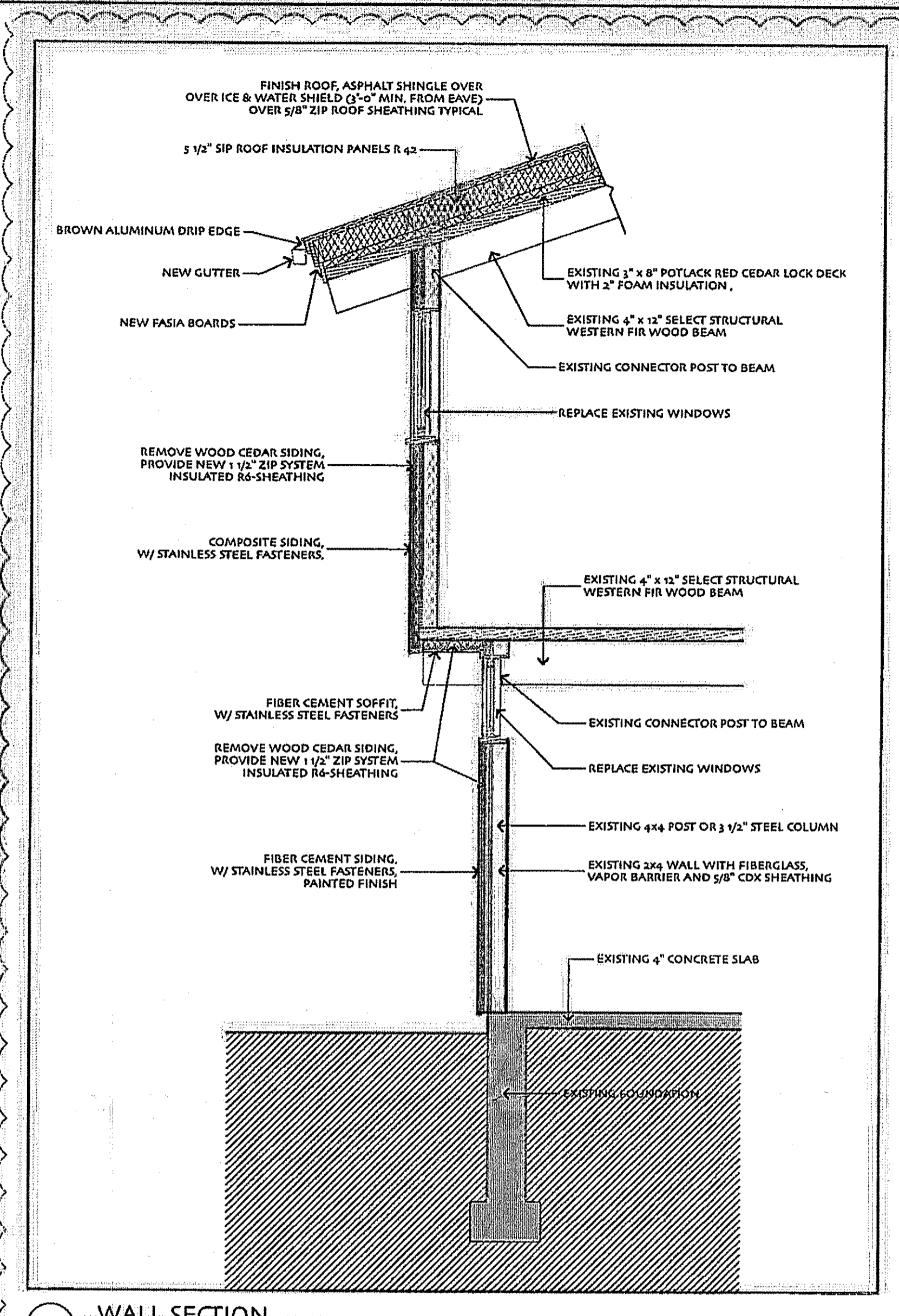
1 FOUNDATION PLAN
SCALE: 3/8" = 1'-0"



2 GROUND FLOOR PLAN
SCALE: 3/8" = 1'-0"



2 WEST ELEVATION
SCALE: 3/8" = 1'-0"



4 WALL SECTION
SCALE: 1/2" = 1'-0"

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2	6.30.23	ELEVATOR / INSULATION

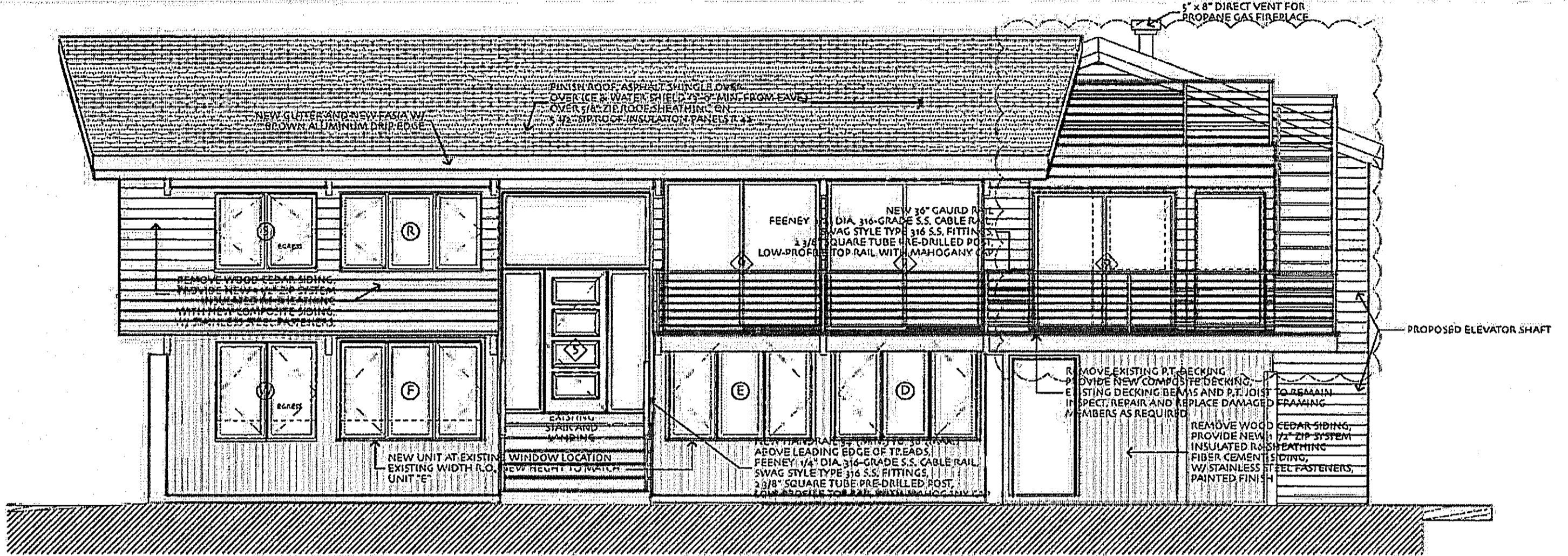
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DETAIL FLOOR
PLANS / WALL
SECTION

DATE: 5-15-23

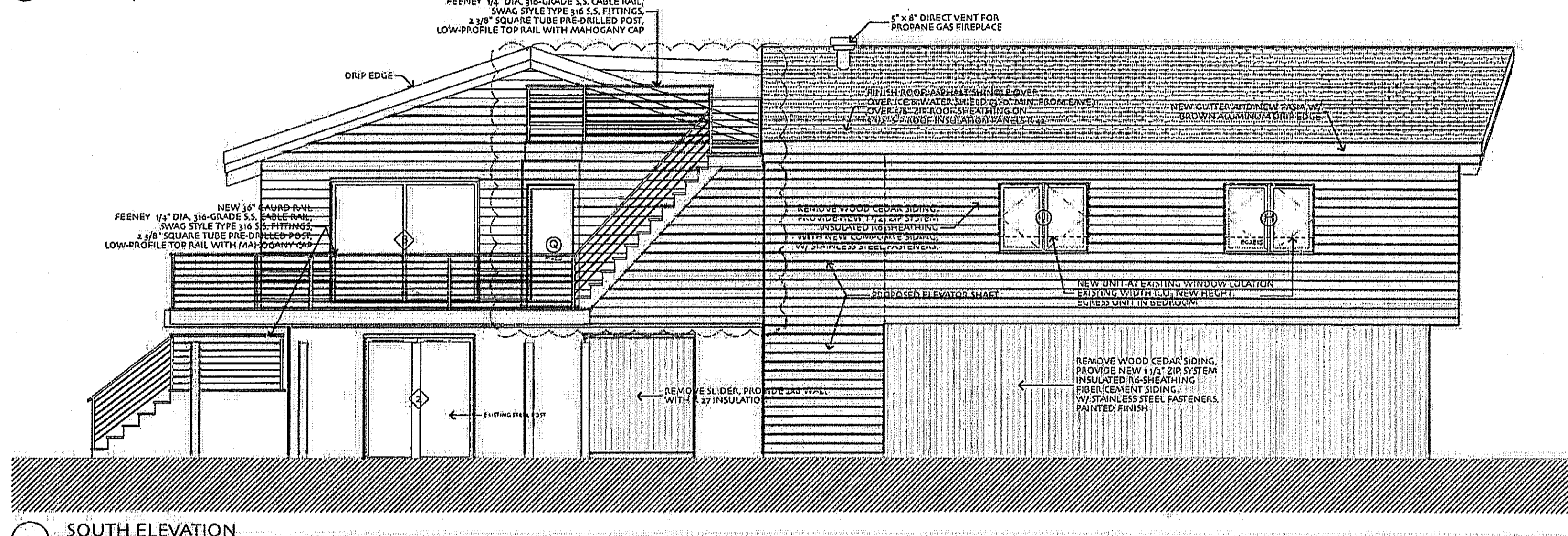
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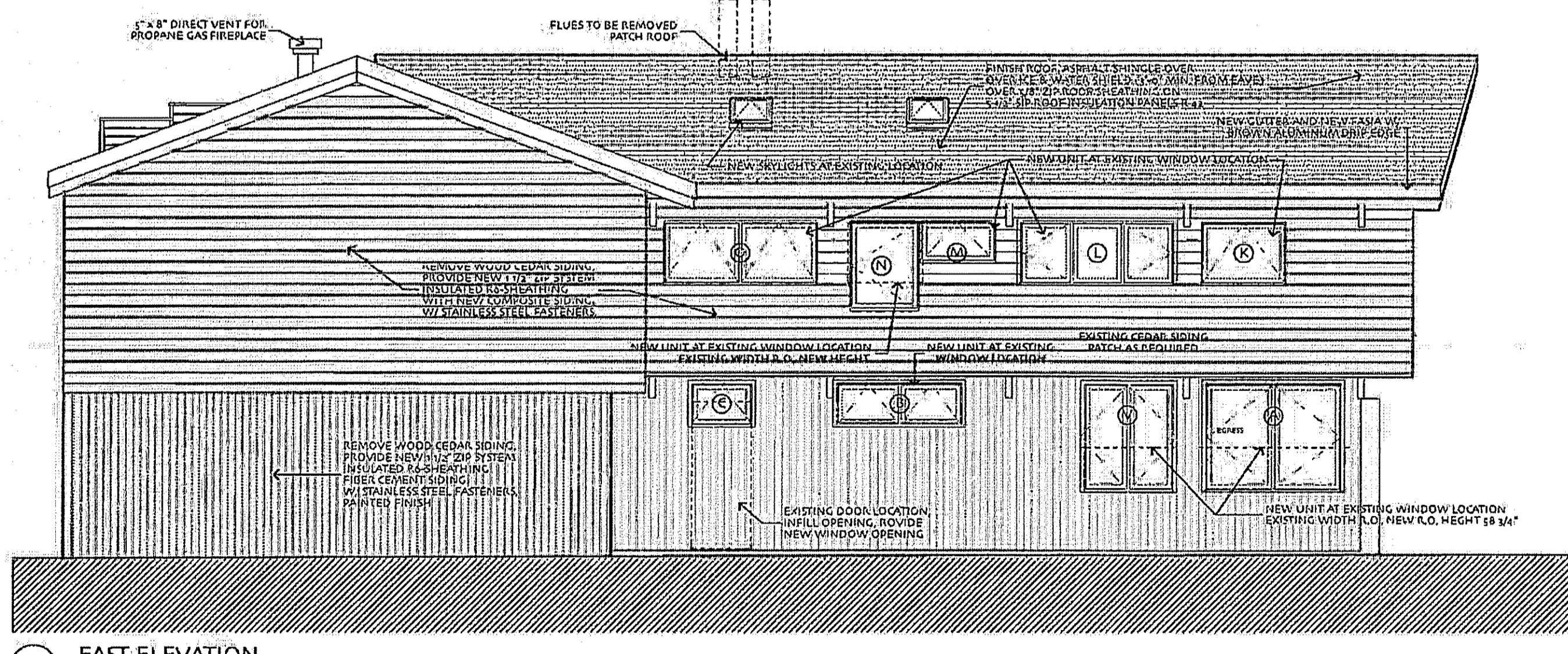
A-101



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

Vertical Vent Termination, Clearances

TERMINATION HEIGHTS FOR VENTS ABOVE FLAT OR SLOPED ROOFS

Termination Heights For Vents Above Flat Or Sloped Roofs Ref. NFPA 54 / ANSI Z223.1		
Roof Pitch	* Feet	* Meters
Flat to 6/12	1.0	0.3
6/12 to 7/12	1.25	0.38
7/12 to 8/12	1.5	0.46
8/12 to 9/12	2.0	0.61
9/12 to 10/12	2.5	0.76
10/12 to 11/12	3.25	0.99
11/12 to 12/12	4.0	1.22
12/12 to 14/12	5.0	1.52
14/12 to 16/12	6.0	1.83
16/12 to 18/12	7.0	2.13
18/12 to 20/12	7.5	2.29
20/12 to 21/12	8.0	2.44

*H = MINIMUM HEIGHT FROM ROOF TO LOWEST DISCHARGE OPENING OF VENT

The vent / air intake termination clearances above the high side of an angled roof is as shown in the following chart:

4 SCALE: 1:1.11

HVAC GENERAL DESCRIPTION

FIRST FLOOR: DUCTED CENTRAL WARM AIR HEATING AND AIR CONDITIONING SYSTEM
 4 TON GAS FURNACE
 4 TON CONDENSING UNIT

LOWER LEVEL: DUAL ZONE DUCTED HEAT PUMP SYSTEM
 2 TON HYPER-HEATING MULTI-ZONE HEAT PUMP
 1 TON MULTI-POSITION AIR HANDLER INDOOR UNIT
 1 TON LOW STATIC CEILING-CONCEALED DUCTED INDOOR UNIT



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BRIDGEPORT BUILDING DEPT.

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O'CONNOR RESIDENCE
 60 ARMITAGE
 BRIDGEPORT, CT
 06605

REVISIONS:

#	DATE	DESCRIPTION
1	5.15.23	PERMIT REVIEW
2	5.30.23	ELEVATOR / INSULATION
3	8.8.23	DINING ROOM REBUILD

DRAWING TITLE:
ELEVATIONS

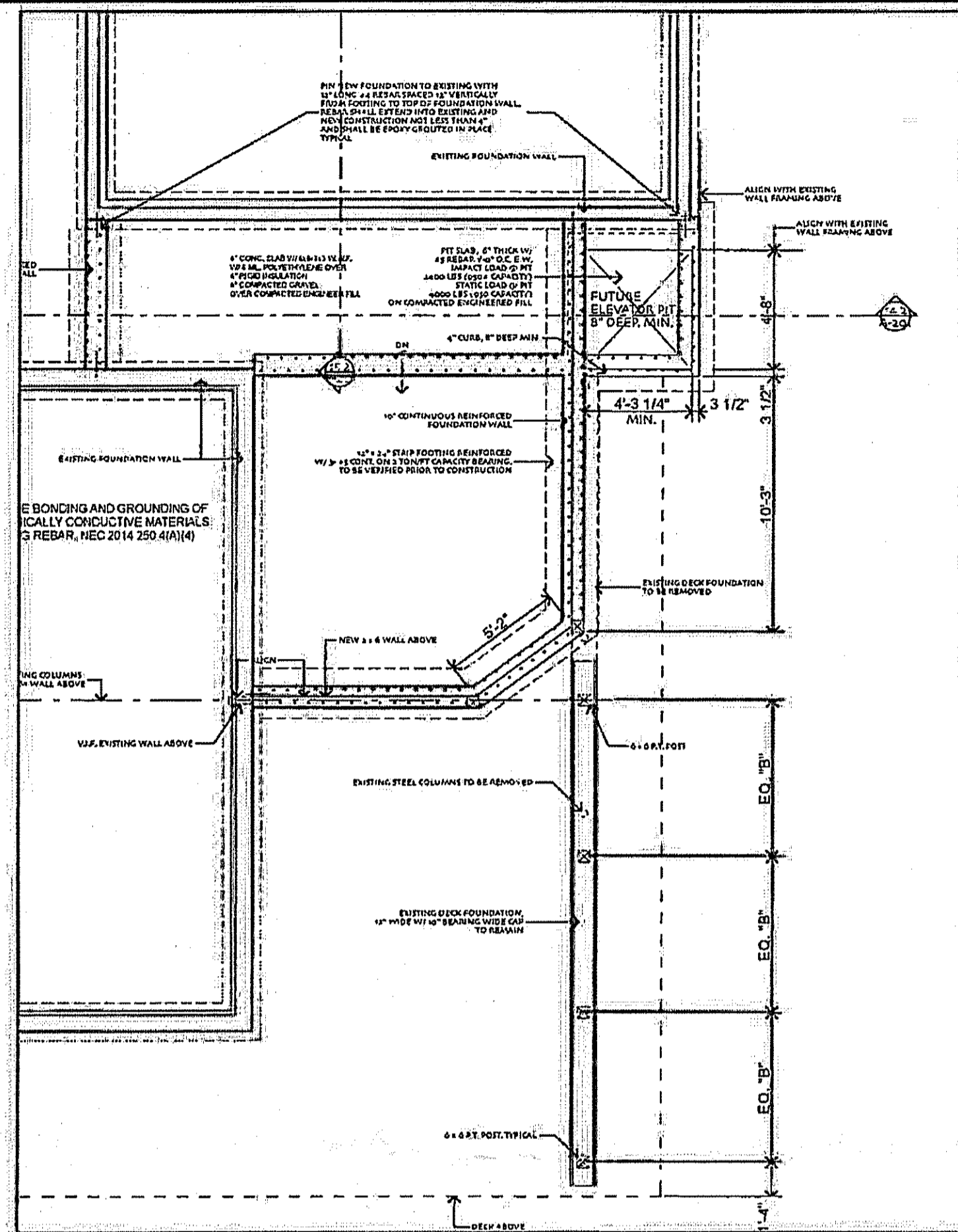
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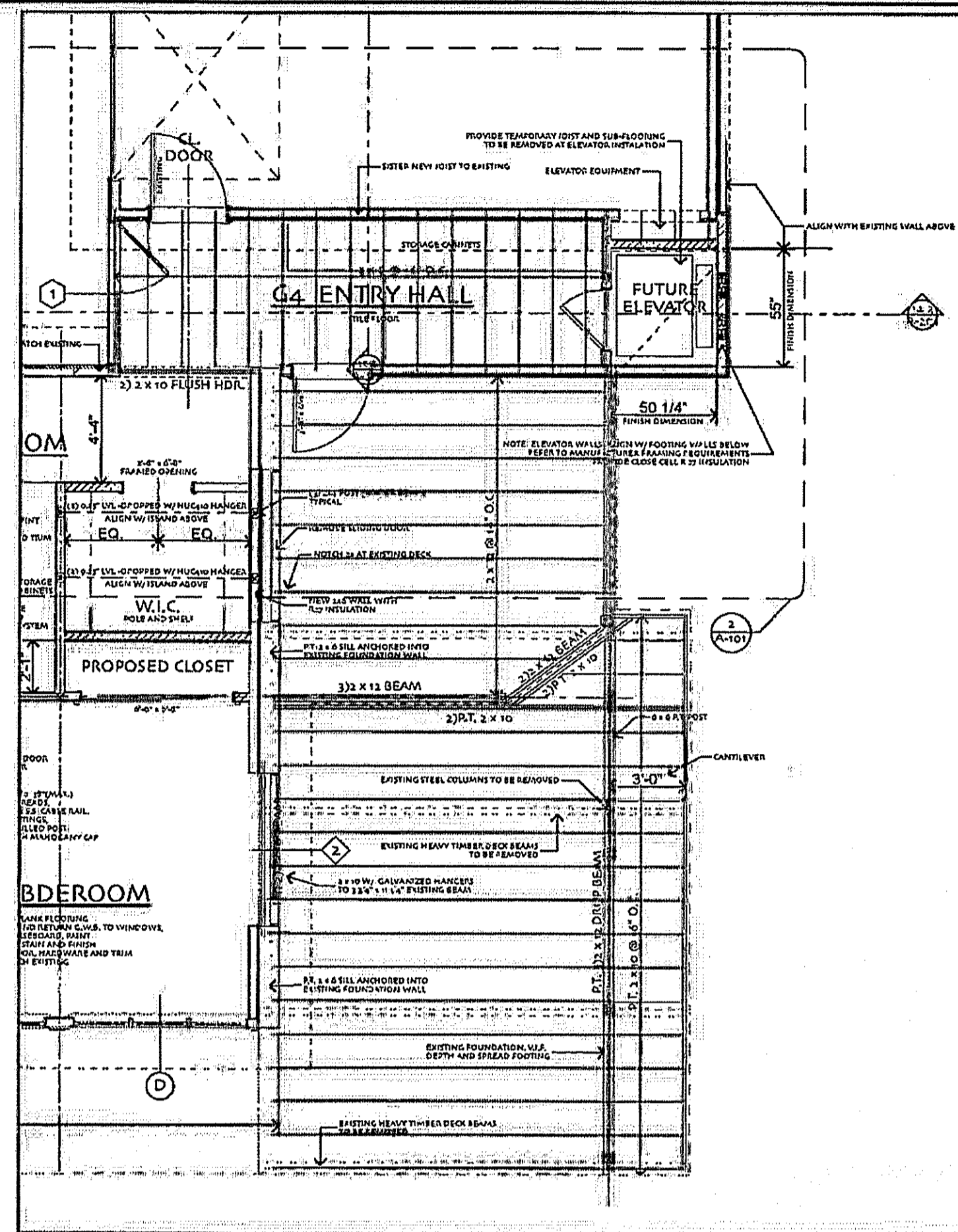
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A-200

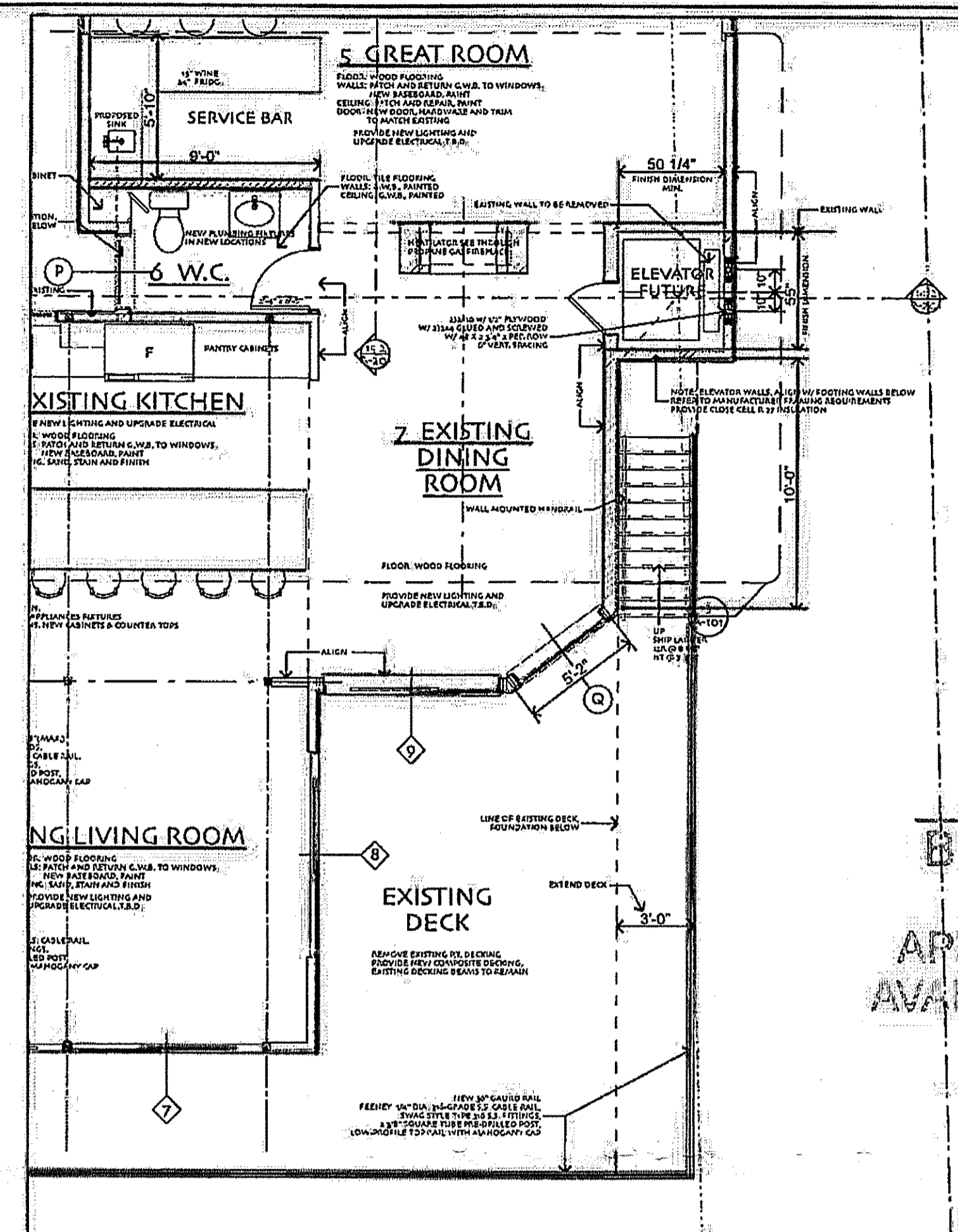
REVISED PAGE



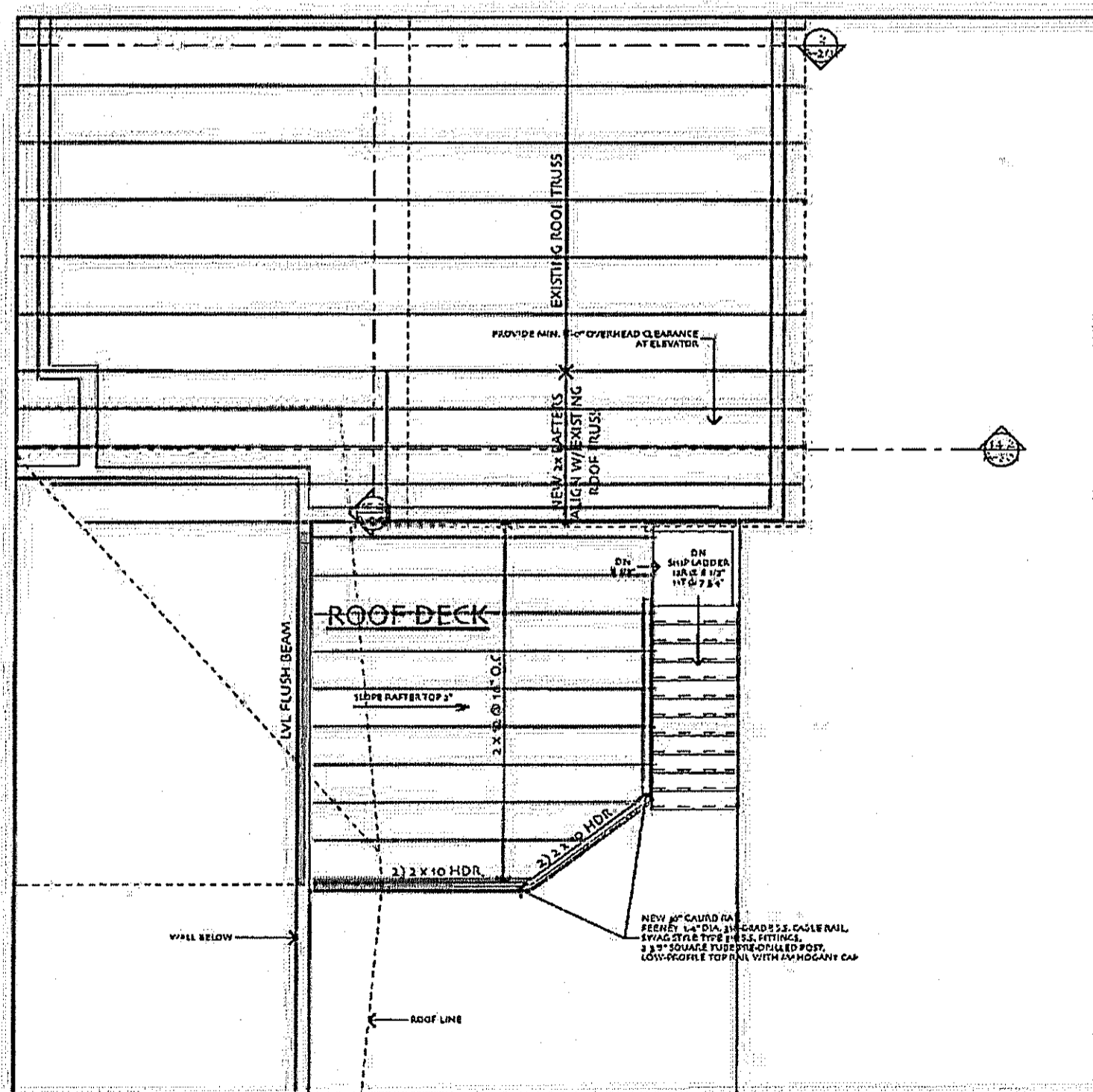
1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



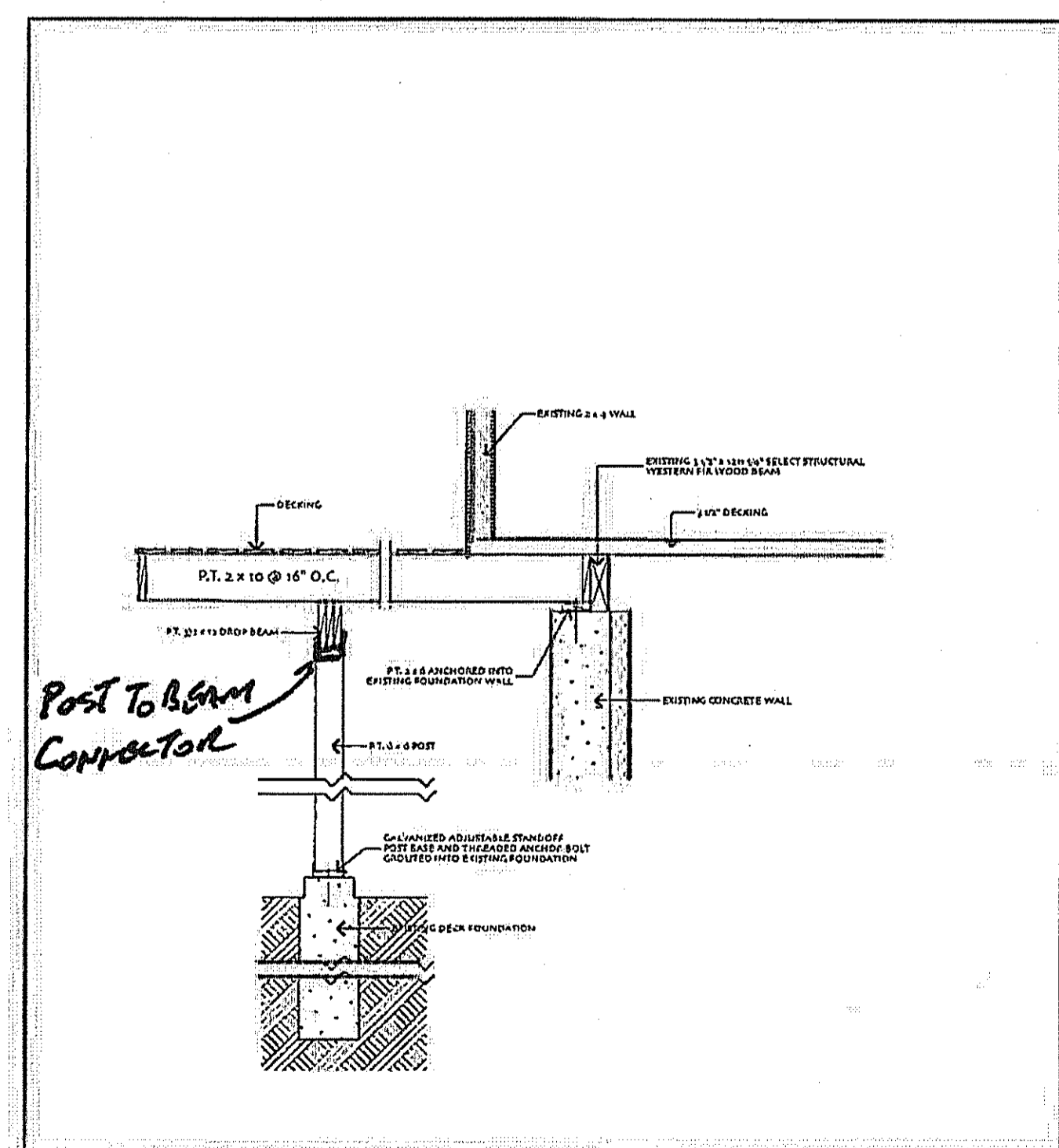
2 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



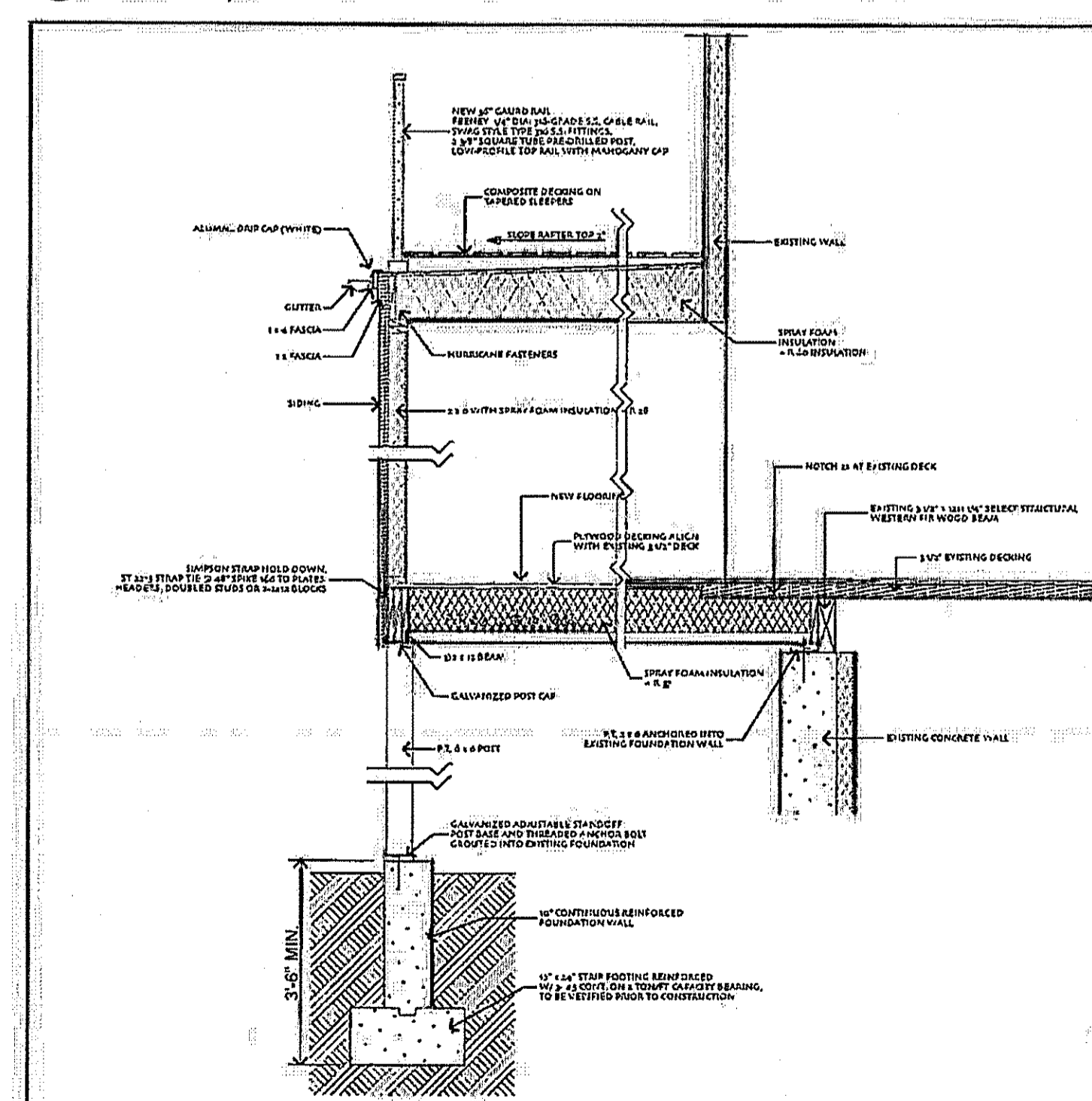
3 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



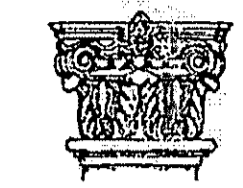
4 DECK PLAN
SCALE: 1/4" = 1'-0"



5 DETAIL
SCALE: 1/2" = 1'-0"



5 DETAIL
SCALE: 1/2" = 1'-0"



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BRIDGEPORT BUILDING DEPT.
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O'CONNOR RESIDENCE
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BRIDGEPORT, CT
06605

REVISIONS:		
#	DATE	DISCUSSION
1	5-3-23	PERMIT REVIEW
2	6-30-23	ELEVATOR / INSULATION
3	8-8-23	DINING ROOM REBUILD

DRAWING TITLE:
ROOF DECK

DATE: 5.15.23

SCALE: 1/4" = 1'-0"

DRAWING NUMBER

SK-4

REVISED PAGE

#4

PETITION TO THE BOARD OF APPEALS
City of Bridgeport, Connecticut

The undersigned presents the following petition for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

317 Center St (Number) (Street) Zone RX2 (Zone Classification)

On the West (North, South, East, West) side of the street about 50 feet South (North, South, East, West) from

Frank St (Street) Block: 1025 Lot: 7

Dimension of Lot in Question 50'x100' (Specify)

1. NAME OF PETITIONER / BUSINESS Show Car LLC (Print)
2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Adilson Alves de Macedo
3. HAS ANY PREVIOUS PETITION BEEN FILED? NO IF SO, GIVE DATE OF HEARING _____ (Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT license for muggler service

5. THIS PETITION RELATES TO: Check all that Apply

Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: Certificate of Location approval - MV

6. USE TO BE MADE OF PROPERTY muggler service

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? To better serve the community and nearby dealers in the muggler service

PETITIONER [Signature] (Signature) Adilson Alves de Macedo (Print) DATE 09/1/2023

If signed by agent, state capacity (lawyer, builder, etc) _____ (Email) adilson.assm@gmail.com

Mailing Address 317 Center St Bridgeport CT 06606 (Zip Code) (475) 449-6806 (Phone #)

PROPERTY OWNERS ENDORSEMENT [Signature] (Signature) Print FABIO GARCIA

Subscribe & Sworn to before me this 7 day of September 2023
Fernanda Juliane Ventura Notary Public, State of Connecticut
My Commission Expires September 30, 2027

Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All questions must be answered in detail (use separate sheet if necessary).
The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this petition.
NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

In Support of the Request for Variance

A variance is sought for a new muffler service, Show Car LLC.

Show Car LLC is a company that is now entering the muffler market.

The muffler services would be located at 317 Center St, Bridgeport, CT 06604, a commercial and residential zoned area.

Show Car LLC

317 Center St, Bridgeport, CT 06604, United States of America

Latitude: 41.1859150 - 41° 11' 9.29" | **Longitude:** 73.1992710 - 73° 11' 57.37"

The muffler services would only be open from 8:30 a.m. to 6 p.m. on weekdays. It will be open from 8:30 a.m. to 2 p.m. on Saturday and closed on Sunday. We will be closed on the holiday. At the location, there would be exterior signage and non-lighted. All work will be conducted inside.

The muffler services would only use the existing garage attached to the building. The muffler services would only use tools and equipment already present in the garage. There would be no outside storage of tools or equipment. The muffler services would not produce any noise, odors, or vibrations that would disturb the neighbors.

The muffler services would create jobs in the community.

I appreciate your consideration.

We respectfully submit.

Adilson Aires de Macedo

Owner

Show Car LLC

82 OAK STREET LLC
592 FIFTH AVENUE

82 OAK STREET LLC
12 EAST 49TH ST 39TH FL

82 OAK STREET LLC
592 FIFTH AVENUE

WOOD OAK APARTMENTS LLC
12 EAST 49TH ST 39TH FLOOR

82 OAK STREET LLC
592 FIFTH AVENUE

WOOD OAK APARTMENTS LLC
592 FIFTH AVENUE

82 OAK STREET LLC
592 FIFTH AVENUE

82 OAK STREET LLC
12 EAST 49TH ST 39TH FLOOR

82 OAK STREET LLC
592 FIFTH AVENUE

LUBRUZ PROPERTIESLLC
75 EVERETT ST

QUISHPI, CARLOS G CAJILEMA
325 CENTER ST

SANCHEZ LUIS J
2269 EAST MAIM ST

PASTO FRANCIS & MARTA
16 BRIDLE RD

TRIO TEAM LLC
2 ROBERT TREAT DRIVE #D

326-328 CENTER ST LLC
326 CENTER ST #328

ST RAPHAEL LLC
162 OAK STREET

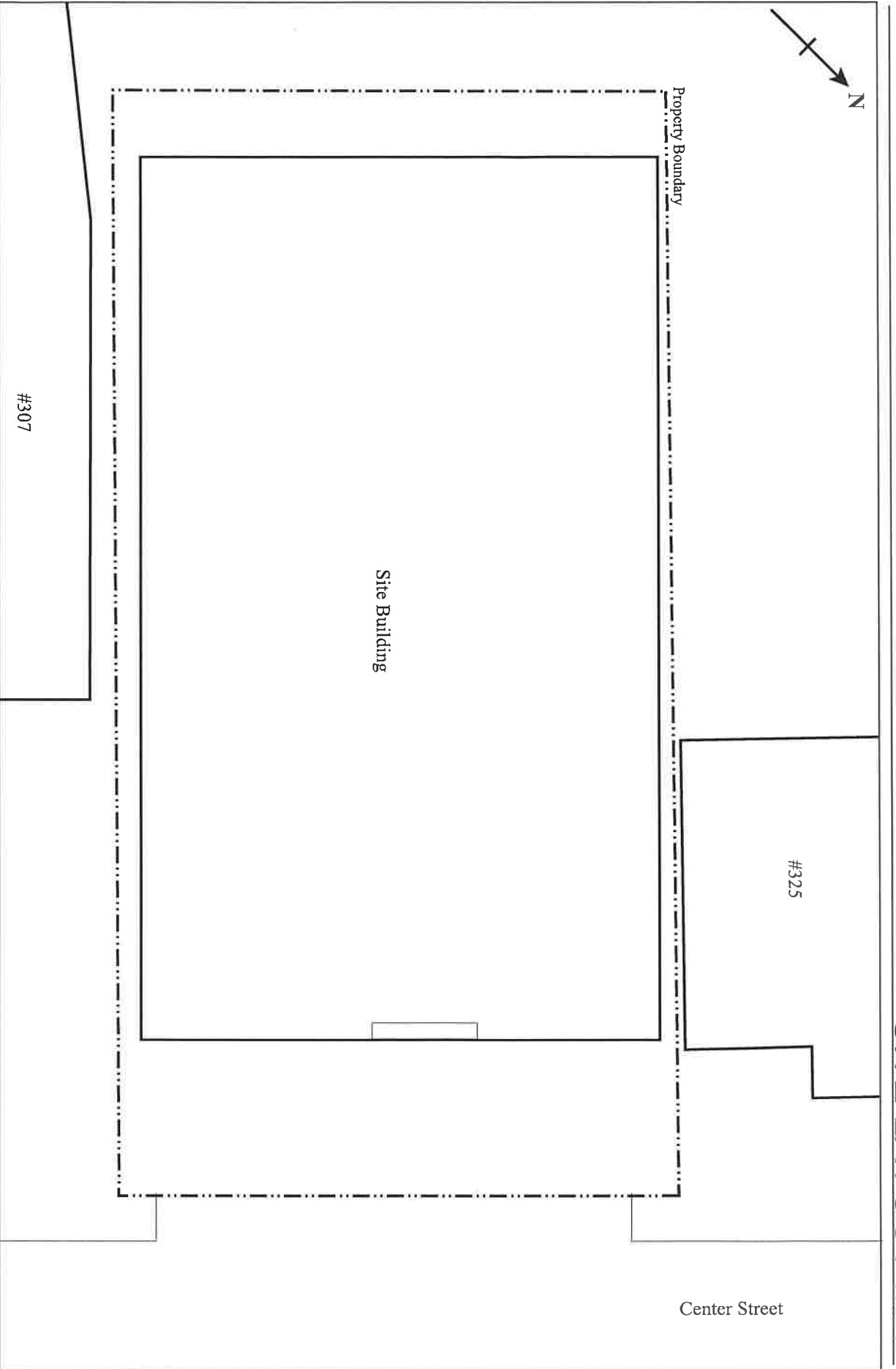
MAPPED SITES SUMMARY

Target Property Address:
317 CENTER STREET
BRIDGEPORT, CT 06604

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
40	CENTRAL HIGH SCHOOL	1 LINCOLN BLVD. JEFF	CT LUST, CT CPCS	Lower	1851, 0.351, WN
41	RUTH EPSTEIN TRUSTEE	6567 SEDGEWICK ST.	CT LUST, CT SPILLS, CT CPCS	Lower	1917, 0.363, Nor
42	FOUR ASSOCIATES SHEL	915 NORTH AVENUE	CT LUST	Lower	2256, 0.427, NNI
43	MOBIL STATION #06-HG	1705 PARK AVE.	CT CPCS	Lower	2312, 0.438, WS
44	MOBIL OIL CORP SERV	1705 PARK AVE	RCRA-SQG, CT SDADB, CT LUST, CT MANIFEST	Lower	2312, 0.438, WS
45	VACANT LOT	113 EAST WASHINGTON	CT SDADB	Lower	2333, 0.442, Eas
46	SOUTHERN CT GAS CO	412 HOUSATONIC AVE	EDR MGP	Lower	2348, 0.445, Eas
47	SOUTHERN CT GAS COMP	412 HOUSATONIC AVENU	CT SHWS, CT SDADB, CT SPILLS, CT CPCS, CT LWDS	Lower	2348, 0.445, Eas
48	SOUTHERN CONNECTICUT	412 HOUSATONIC AVENU	CT LUST, CT MANIFEST	Lower	2348, 0.445, Eas
49	RONALD HANSBEY	1823 PARK AVE	CT LUST, CT SPILLS, CT CPCS	Lower	2426, 0.459, WS
50	HOFFMAN FUEL CO. OF	156 EAST WASHINGTON	CT PROPERTY, CT SPILLS, CT SEH	Lower	2436, 0.461, Eas
51	HOFFMAN FUEL OIL CO	156 E WASHINGTON AVE	CT SDADB, CT UST, CT CPCS	Lower	2436, 0.461, Eas
52	HOFFMAN FUEL COMPANY	156 EAST WASHINGTON	CT AUL	Lower	2436, 0.461, Eas
53	INDEPENDENT	PARK AVENUE	CT LUST, CT CPCS	Lower	2480, 0.470, SSI
54	EAGLE SPEED	STATE ST. EXT.	CT LUST, CT CPCS	Lower	2480, 0.470, SSI
55	GRAND BRASS (AKA BRI	552 HOUSATONIC AVENU	CT VCP	Lower	2550, 0.483, ENI
56	CUSTOM AIR SYSTEMS,	765 HOUSATONIC AVENU	CT LUST, CT ENF	Lower	2554, 0.484, NE
57	MAGDY NOUH (FORMER B	1370 PARK AVENUE	CT LUST	Lower	2591, 0.491, SSI
58	BRIDGEPORT BRASS CO.	30 GRAND STREET AND	FUSRAP	Lower	2829, 0.536, ENI
59	ACME UNITED-BURRITTS	KNOWLTON STREET	SEMS-ARCHIVE, CT SHWS, CT SDADB, CT CPCS	Lower	3179, 0.602, NE
60	BRIDGEPORT MACHINES,	500 LINDLEY STREET	SEMS-ARCHIVE, CORRACTS, RCRA-TSDF, CT SDADB, RCRA	Lower	4585, 0.868, NNI

SITE LAYOUT MAP



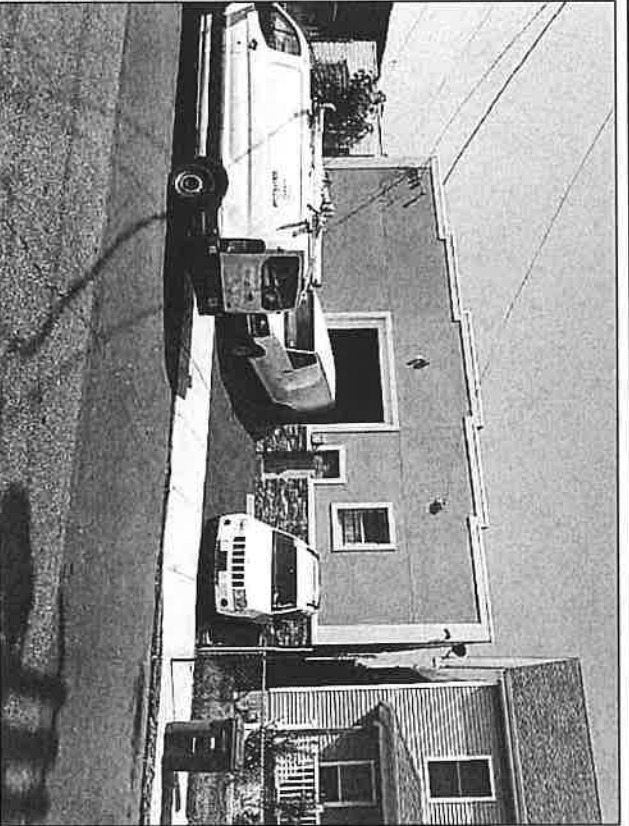
2 Barnard Lane
Bloomfield, CT
Tel: (860) 243-1757
Fax: (860) 243-9414

SITE LOCATION
313-317 Center Street
Bridgeport, Connecticut

DATE
September 2020

PROJECT NUMBER
3544

SITE PHOTOGRAPHS



Site Building



Building Interior (warehouse)



Building Interior (office)



Rear Exterior

CURRENT OWNER	TOPO	UTILITIES	STRT/ROAD	LOCATION	DESCRIPTION	CODE	APPRaised	ASSESSED	6015
MIGUEL CARLOS LLC					Ind Land	3-1	66,160	46,310	6015
31 WHITEWOOD DR					Ind Bldg	3-2	34,930	24,450	BRIDGEPORT, CT
SHELTON CT 06483									
Alt Prcil ID 1025--07----- Census Tr CEN714 Heart Abstract 200:200 Freeze GIS ID 1025-7 Assoc Pld#					VISION				

RECORD OF OWNERSHIP	BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	Year	Code	ASSESSED	Year	Code	ASSESSED
MIGUEL CARLOS LLC	8727	12-17-2012	Q	I	140,000	00	2018	3-1	46,310	2017	3-1	46,310
K M M REALTY INCORPORATED	6860	03-02-2006	U	I	0							
K M M REALTY INCORPORATED	3729	06-11-1997	U	I	32,500							
JONES ARNOLD J	3266	05-27-1994	U	I	0							
JONES ARNOLD J & MARY ANN	1909	07-09-1985	U	I	80,000							
Total							70760	Total	70760	Total	70760	70760

EXEMPTIONS	Description	Amount	Code	Description	Number	Amount	Comm Int
ASSESSING NEIGHBORHOOD							
Nbhd	Nbhd Name	B		Tracing			Batch
NC3							
Total 0.00							

OTHER ASSESSMENTS	Description	Number	Amount
This signature acknowledges a visit by a Data Collector or Assessor APPRAISED VALUE SUMMARY Appraised Bldg. Value (Card) 34,930 Appraised Xr (B) Value (Bldg) 0 Appraised Ob (B) Value (Bldg) 0 Appraised Land Value (Bldg) 66,160 Special Land Value 0 Total Appraised Parcel Value 101,090 Valuation Method C			

BUILDING PERMIT RECORD								
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments

VISIT / CHANGE HISTORY					
Date	Id	Type	Is	Cd	Purpose/Result
01-14-2009	RT			40	Hearing Change
08-22-2008	AD			91	Com Field Review
07-02-2008	BD			02	Call Back
03-10-1999	EC			B	Measured Exterior Only
08-27-1991	AP			A	Inside Inspection

LAND LINE VALUATION SECTION														
Use Code	Description	Zone	Land Type	Land Units	Unit Price	I. Factor	Site Index	Cond.	Nbhd.	Nbhd Adj	Notes	Location Adjustment	Adj Unit Price	Land Value
1	300 Industrial Mdl 96	RC		4,850 SF	19.49	1.00000	1	1.00	NC3	0.700		0	13.64	66,160

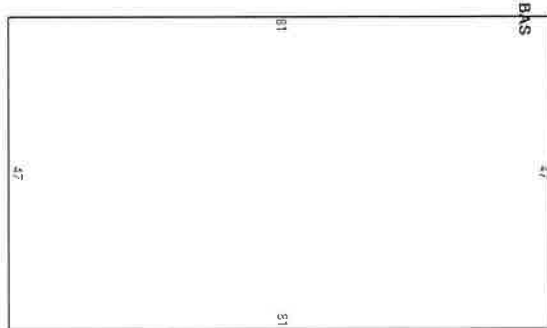
Total Card Land Units				0.111	AC	Parcel Total Land Area: 0.1113				Total Land Value 66,160				
-----------------------	--	--	--	-------	----	--------------------------------	--	--	--	-------------------------	--	--	--	--

CONSTRUCTION DETAIL

CONSTRUCTION DETAIL (CONTINUED)

Element	Cd	Description	Element	Cd	Description
Style: 48		Warehouse			
Model: 96		Ind/Comm			
Grade: 07		C-			
Stories: 1					
Occupancy: 1.00					
Exterior Wall 1: 15		Concr/CinderBl			
Exterior Wall 2:					
Roof Struct: 01		Flat			
Roof Cover: 02		T+G/Rubber			
Interior Wall 1: 01		Minim/Masonry			
Interior Wall 2:					
Interior Floor 1: 03		Concr-Finished			
Interior Floor 2: 04		Concr Adv Grad			
Heating Fuel: 01		None			
Heating Type: 01		None			
AC Type: 01		None			
Bldg Use: 300		Industrial Mdl 96			
Ttl Rooms: 00					
Ttl Bedrms: 00					
Ttl Baths: 0					
Ttl Half Baths: 0					
Ttl Xtra Fix: 0					
Heat/AC: 00		None			
Frame Type: 03		Masonry			
Baths/Plumbing: 02		Average			
Ceiling/Wall: 00		None			
Rooms/Prtns: 02		Average			
Wall Height: 16.00					
% Conn Wall:					
1st Floor Use:					

UBM
 (1.142 sq)

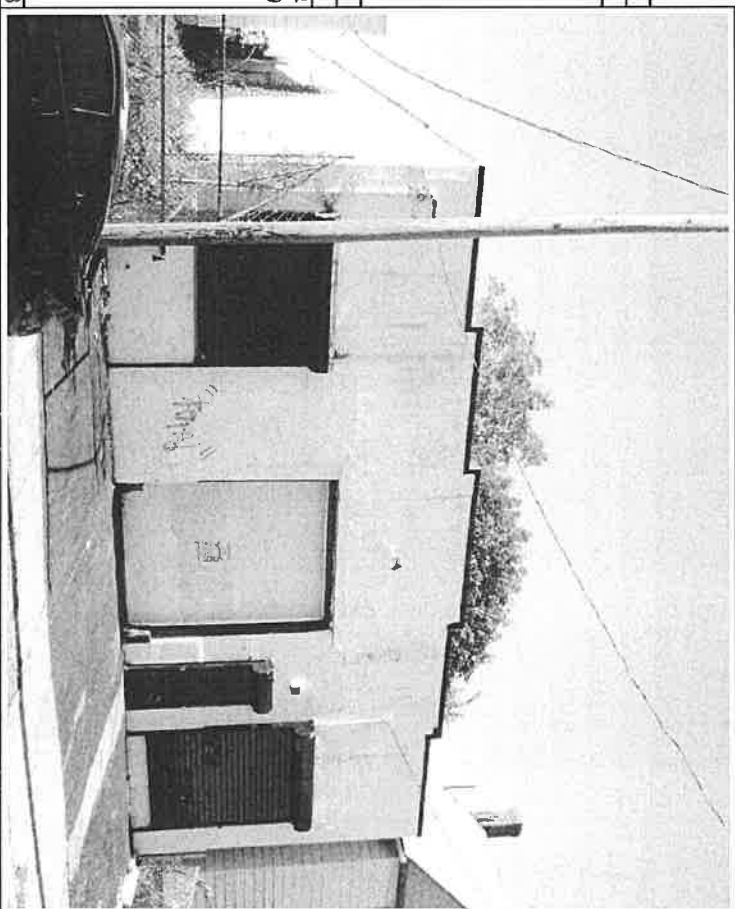


OB - OUTBUILDING & YARD ITEMS(L) / XE - BUILDING EXTRA FEATURES(B)

Code	Description	L/B	Units	Unit Price	Yr Bilt	Cond. Cd	% Good	Grade	Grade Adj	Appr. Value

BUILDING SUB-AREA SUMMARY SECTION

Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	3,807	3,807	3,807	43.29	164,794
UBM	Unfin Basement	0	1,142	228	8.64	9,859
Ttl Gross Liv / Lease Area		3,807	4,949	4,035		174,653



EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E 2247-16), the ASTM Standard Practice for Limited Environmental Due Diligence: Transaction Screen Process (E 1528-14) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

317 CENTER STREET
BRIDGEPORT, CT 06824

COORDINATES

Latitude (North):	41.1859150 - 41° 11' 9.29"
Longitude (West):	73.1992710 - 73° 11' 57.37"
Universal Transverse Mercator:	Zone 18
UTM X (Meters):	651025.2
UTM Y (Meters):	4560746.5
Elevation:	80 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map:	5641945 BRIDGEPORT, CT
Version Date:	2012

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from:	20140717
Source:	USDA

OVERVIEW MAP - 6164531.2S



- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Manufactured Gas Plants
- National Priority List Sites
- Dept. Defense Sites

-  Indian Reservations BIA
-  Power transmission lines
-  Special Flood Hazard Area (1%)
-  0.2% Annual Chance Flood Hazard
-  National Wetland Inventory
-  State Wetlands



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 317 Center Street
 ADDRESS: 317 Center Street
 Bridgeport CT 06824
 LAT/LONG: 41.185915 / 73.199271

CLIENT: GeoQuest, Inc.
 CONTACT: Jay Soltis
 INQUIRY #: 6164531.2s
 DATE: August 21, 2020 11:38 am

DETAIL MAP - 6164531.2S



- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Manufactured Gas Plants
- ▲ Sensitive Receptors
- National Priority List Sites
- Dept. Defense Sites



- Indian Reservations BIA
- Special Flood Hazard Area (1%)
- 0.2% Annual Chance Flood Hazard



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 317 Center Street
 ADDRESS: 317 Center Street
 Bridgeport CT 06824
 LAT/LONG: 41.185915 / 73.199271

CLIENT: GeoQuest, Inc.
 CONTACT: Jay Soltis
 INQUIRY #: 6164531.2s
 DATE: August 21, 2020 11:39 am



Secretary of the State of Connecticut Certificate of Organization

Domestic Limited Liability Company

Filing Details

Filing Number: 0011922146

Filed On: 8/8/2023 2:22:41 PM

Primary Details

Name of Limited Liability Company: SHOW CAR LLC
Business ALEI: US-CT.BER:2835878
Business Email Address: adilsonssm@gmail.com
NAICS Information: Automotive Exhaust System Repair (811112)

Business Location

Principal Office Address: 317 Center St, Bridgeport, CT, 06604-3231, United States
Mailing Address: 317 Center St, Bridgeport, CT, 06604-3231, United States

Appointment of Registered Agent

Type: Business
Agent's Name: VENTURA'S RABELO LLC
Agent's ALEI: US-CT.BER:1305390
Business Address: 1979 Old Town Rd, Bridgeport, CT, 06606-1321, United States
Mailing Address: 1979 Old Town Rd, Bridgeport, CT, 06606-1321, United States

Agent Appointment Acceptance

Agent Signature: Fernanda Ventura
Title: Owner
This signature has been executed electronically

Manager or Member Information

Name	Title	Business Address	Residence Address
ADILSON ALVES DE MACEDO	Member	317 Center St, Bridgeport, CT, 06604-3231, United States	500 Thorne St, Bridgeport, CT, 06606, United States

Acknowledgement

Filing Number: 0011922146

Filed On: 8/8/2023 2:22:41 PM



Secretary of the State of Connecticut Certificate of Organization

Domestic Limited Liability Company

I hereby certify and state under penalties of false statement that all the information set forth on this document is true.

I hereby electronically sign this document on behalf of:

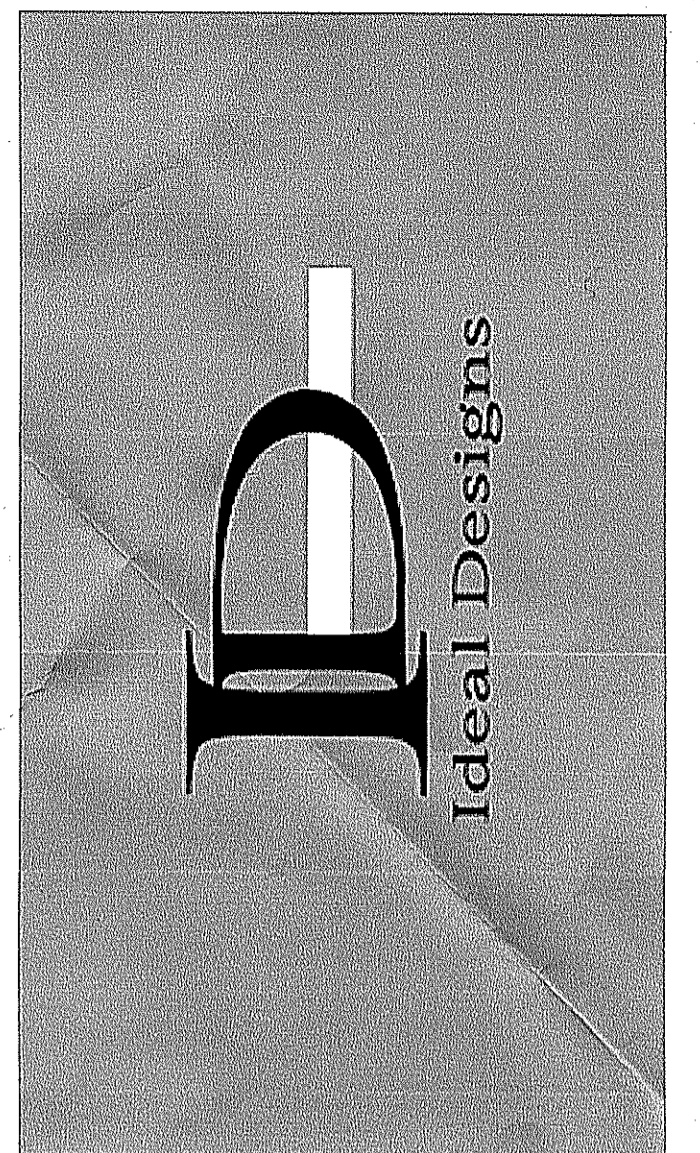
Name of Organizer: ADILSON ALVES DE MACEDO
Organizer Title: Member

Filer Name: FERNANDA VENTURA

Filer Signature: FERNANDA VENTURA

Execution Date: 08/08/2023

This signature has been executed electronically



Client:

313-317 Center Street,
Bridgeport/CT

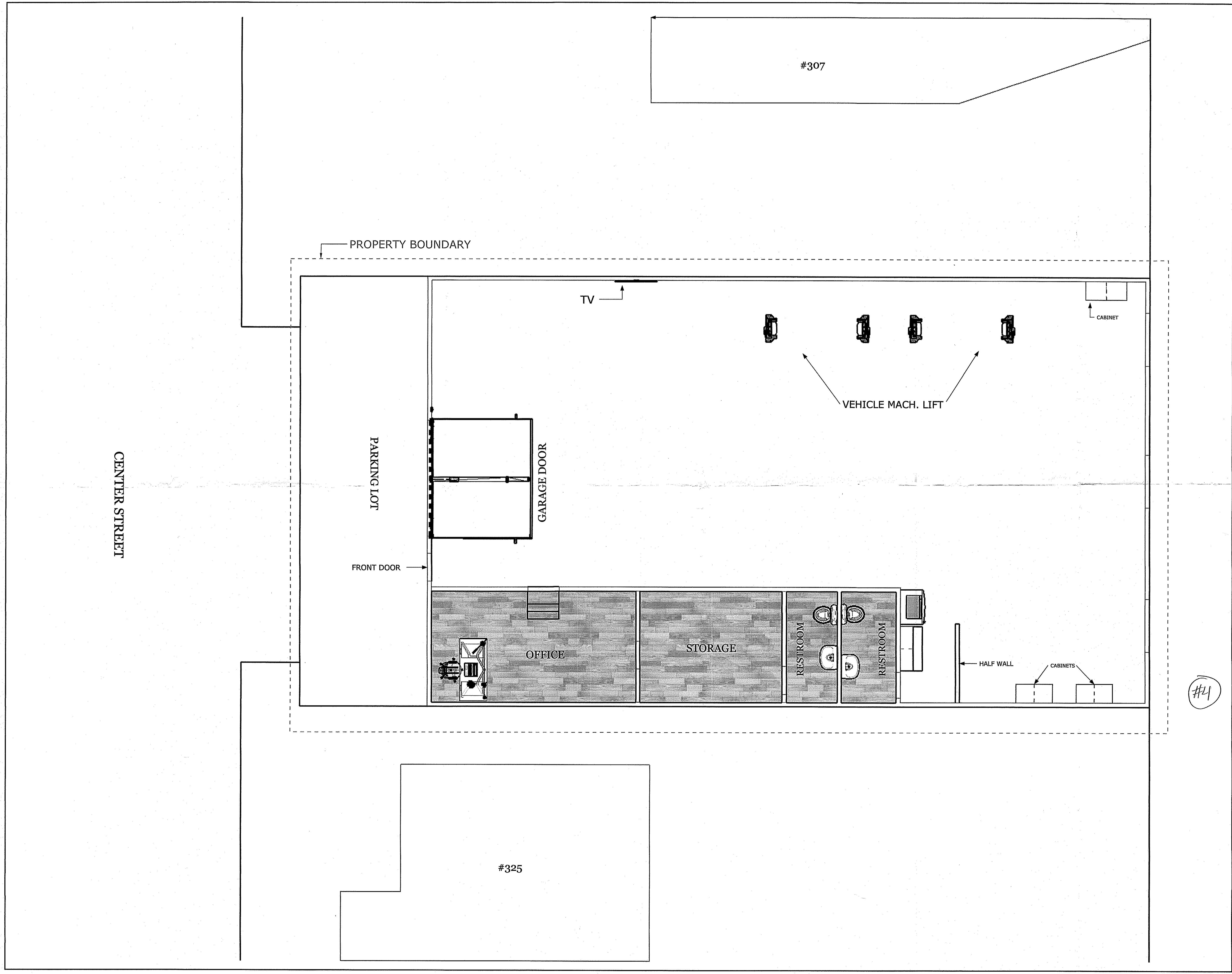
Revisions:

-
-
-
-

Date: 09/08/2023

Designer Sign:

Client Sign:



PETITION TO THE BOARD OF APPEALS

City of Bridgeport, Connecticut

The undersigned presents the following petition for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

694 CHOPSEY HILL AVE, BRIDGEPORT, CT 06606 Zone N4
(Number) (Street) (Zone Classification)

On the EAST side of the street about 200 feet SOUTH from
(North, South, East, West) (North, South, East, West)

~~XXXXXXXXXXXXXXXXXXXXXXXXXXXX~~ WOODROW Block: 2217 Lot: 3/13
CHOPSEY HILL AVE
(Street)

Dimension of Lot in Question 7543
(Specify)

1. NAME OF PETITIONER / BUSINESS A NEW M&M RENOVATIONS LLC
(Print)

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) MARCIA MACEDO

3. HAS ANY PREVIOUS PETITION BEEN FILED? NO IF SO, GIVE DATE OF HEARING _____
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT SPLIT REAR LOT

5. THIS PETITION RELATES TO: Check all that Apply

Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: _____

6. USE TO BE MADE OF PROPERTY SINGLE FAMILY HOUSE

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? SHORT FRONT AREA

PETITIONER *Marcia Macedo* / MARCIA MACEDO DATE 09/06/2023
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____ / MARCIALOPESCT@GMAIL.COM
(Email)

Mailing Address 606 NORTH AVE, BRIDGEPORT, CT 06606 - 203 615-4766
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print _____
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20 _____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All questions must be answered in detail (use separate sheet if necessary).
The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this petition.
NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

_____ FEE RECEIVED: _____ DATE: _____, 20 _____ Clerk _____

Bridgeport September 6, 2023

To: City of Bridgeport
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604

Re: Application for Variance – 694 Chopsey Hill Ave

Dear Commission

Please accept this letter on behalf of my company for an application for variance to an existing residential lot with a single family.

Variance Requested

- 1- The zoning variance is required for the front lot where the existing house is. The proposed lot area is 5,001 sf after the easement area is subtracted out. The minimum lot area in this zone is 7,500 sf.

Narrative

Due to a necessary easement, the frontage of the lot would be a little short of the necessary size required by the regulation.

There's a shortage of lots in the City of Bridgeport and I'm working diligently to create more affordable housing in the city. The creation of this new lot would significantly help with the much need housing increase in Bridgeport. There would be only one single family house on the new lot.

Hardship

Granting this variance will create one more affordable single-family house to the city. The new house will exhibit the character of the other houses in the neighborhood along with all the consistent Regulations.

The City is in desperate need of new houses, so I will be fulfilling a tremendous need in an area of single family homes. For the above-stated reasons, I, respectfully request approval of this application for variance.

Sincerely,


Marcia Macedo

Anew M&M Renovations LLC

606 North Ave

Bridgeport – CT 06606

Phone: 203 615-4766

Email: marciamacedo@gmail.com

LIST AND ADDRESS OF PROPERTY OWNERS WITH 100 FEET OF 394 CHOPSEY HILL AVE

661 CHOPSEY HILL AVE	UGUNA FAUSTO
658 CHOPSEY HILL AVE	ARSCOTT LEVAR L ET AL
645 CHOPSEY HILL AVE	BROWN CAROLA & TYRONE
635 CHOPSEY HILL AVE	MEJICANOS JORGE & JULIA
634 CHOPSEY HILL AVE	MEADOWS ROBERT
720 CHOPSEY HILL AVE	DAVIS ROBERT C
765 CHOPSEY HILL AVE	MALDONADO BLANCA
770 CHOPSEY HILL AVE	PINNOCK -BENNETT DELROSE



Secretary of the State of Connecticut Annual Report

FILING DETAILS

Filing Number:	0011144825	Report Year	03/31/2023
Filing Fee:	\$80.00	Due Date:	
		Filed On:	5/4/2023 2:58:53 PM

PRIMARY DETAILS

Business Type: Domestic
 Legal Structure: LLC
 Business Name: Anew M&M Renovations LLC
 Business ALEI: US-CT.BER:2428690

	<i>Existing Information</i>	<i>Updated Information</i>
Business Email Address:	marcialopesct@gmail.com	No update
NAICS Information:	Finish Carpentry Contractors (238350)	New Housing For-Sale Builders (236117)

BUSINESS LOCATION

	<i>Existing Information</i>	<i>Updated Information</i>
Principal Office Address:	606 NORTH AVE BRIDGEPORT, CT 06606 United States	No update
Mailing Address:	606 NORTH AVE BRIDGEPORT, CT 06606 United States	No update



Secretary of the State of Connecticut Annual Report

AGENT INFORMATION

Type: Individual
Agent's Name: MARCIA MACEDO

	<i>Existing Addresses</i>	<i>Updated Addresses</i>
Business Address:	606 NORTH AVE BRIDGEPORT, CT 06606 United States	No update
Residence Address:	2989 Broadbridge Ave Stratford, CT 06614-2929 United States	No update
Mailing Address:	606 NORTH AVE BRIDGEPORT, CT 06606 United States	No update

CURRENT PRINCIPAL INFORMATION

This section contains principals already on record who remained the same as part of this report; updates to address or title information is displayed as applicable.

Principal Name:	MARCIA MACEDO	
	<i>Existing Information</i>	<i>Updated Information</i>
Title:	Managing Member	No Update
Business Address:	606 NORTH AVE, BRIDGEPORT, CT, 06606, United States	No Update
Residence Address:	2989 Broadbridge Ave, Stratford, CT, 06614-2929, United States	No Update



Secretary of the State of Connecticut Annual Report

ACKNOWLEDGEMENT

I hereby certify and state under penalties of false statement that all the information set forth on this document is true.

I hereby electronically sign this document on behalf of:

Name of Authorizer: MARCIA MACEDO

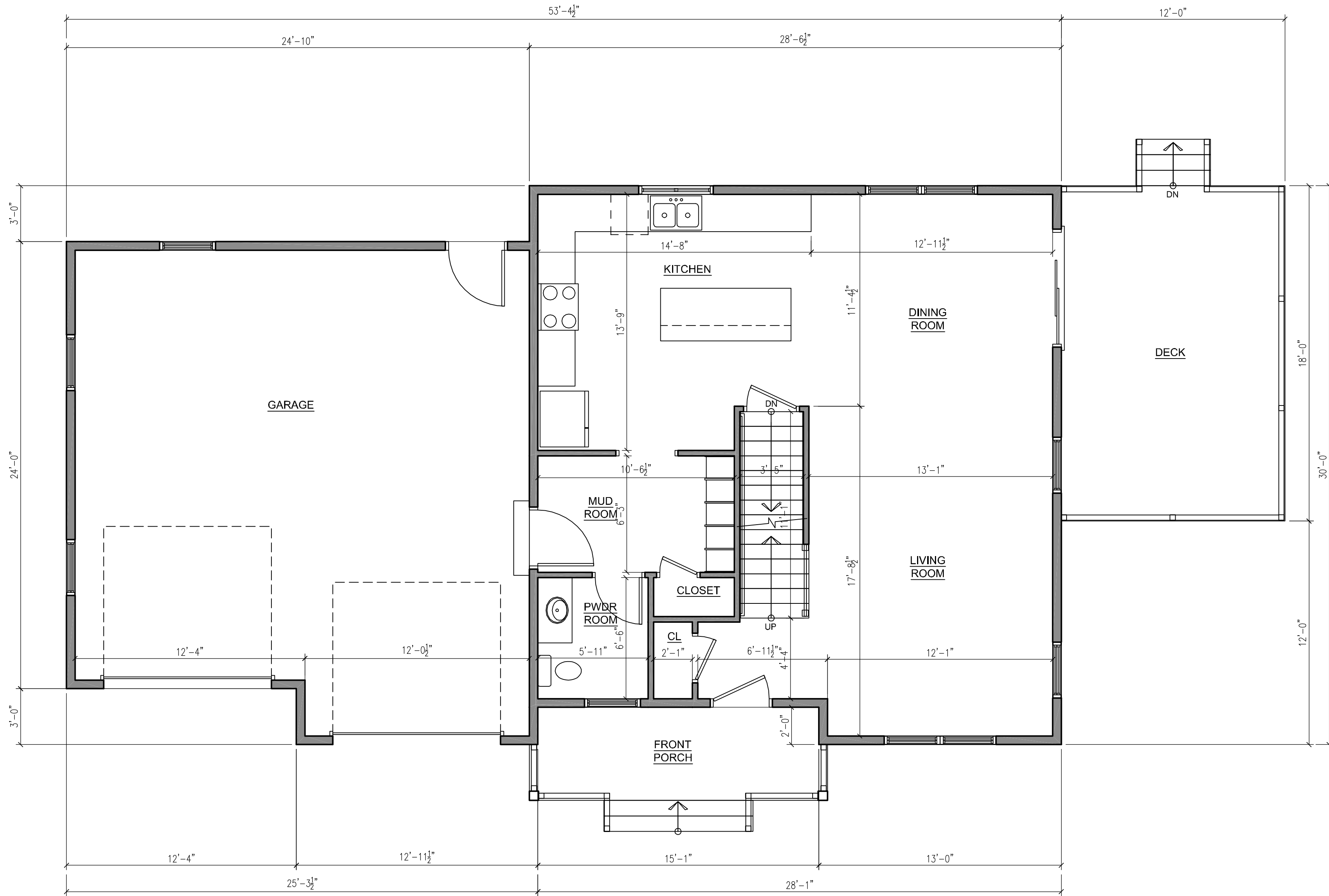
Authorizer Title: Managing Member

Filer Name: Marcia Macedo

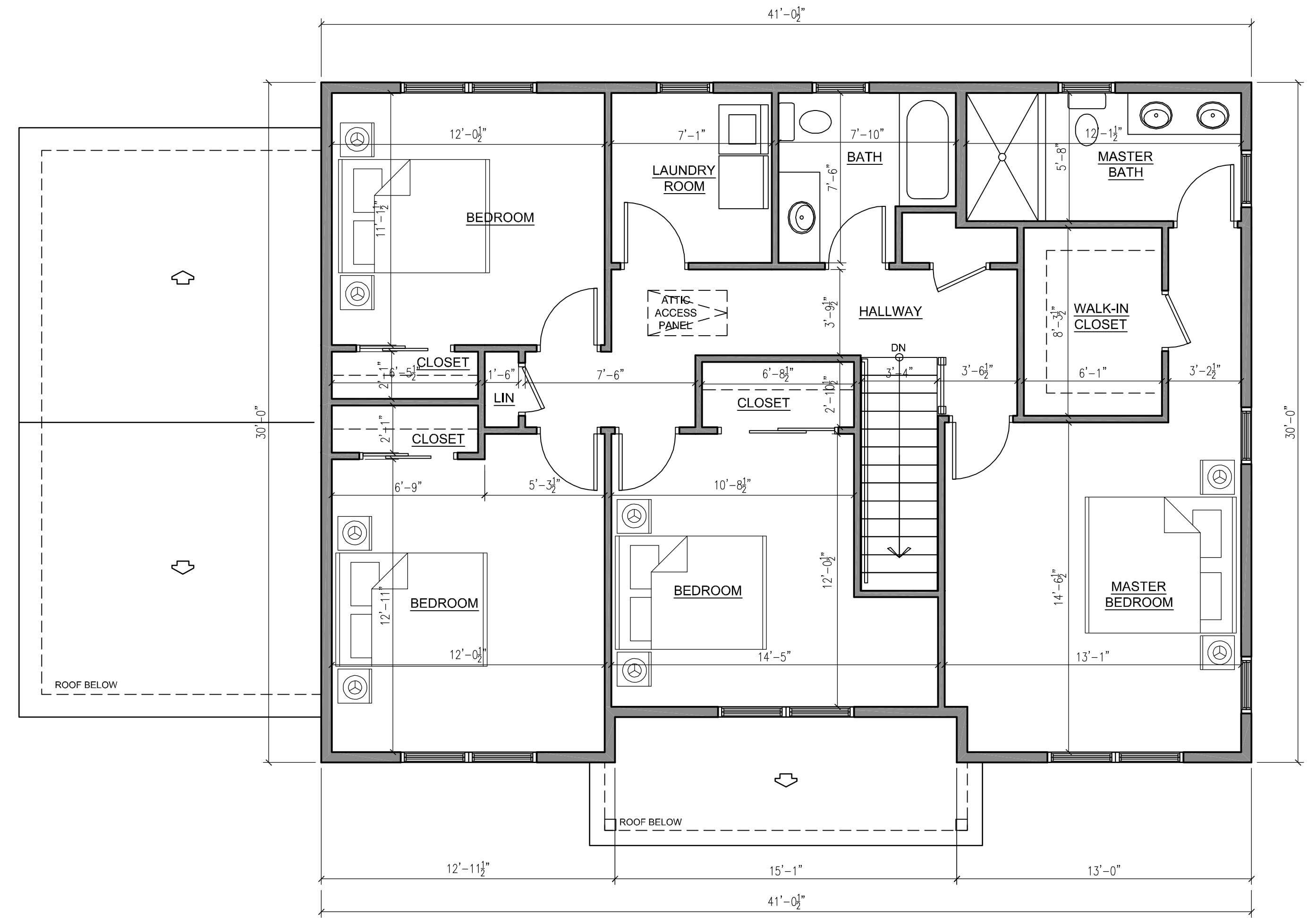
Filer Signature: Marcia Macedo

Execution Date: 05/04/2023

This signature has been executed electronically



1ST FLOOR PLAN
 SCALE 1/4" = 1'-0"
 1ST FLOOR LIVING SPACE = 825 SF



2ND FLOOR PLAN
 SCALE 1/4" = 1'-0"
 2ND FLOOR LIVING SPACE = 1165 SF

1	2	3	4	5	6
REVISIONS					

SINGLE FAMILY HOME - NEW CONSTRUCTION
 PREPARED FOR PROPERTY LOCATED AT
 694 CHOPSEY HILL RD. (NEW REAR LOT), BRIDGEPORT, CT

FLOOR PLANS

date: 08-24-2023
 drawit: M. REINHEIMER 203-449-6137
 E-mail: marcosprimrose@yahoo.com

scale: AS NOTED
 project #: MCR-2023-107

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

A-1



FRONT ELEVATION
SCALE 1/4" = 1'-0"



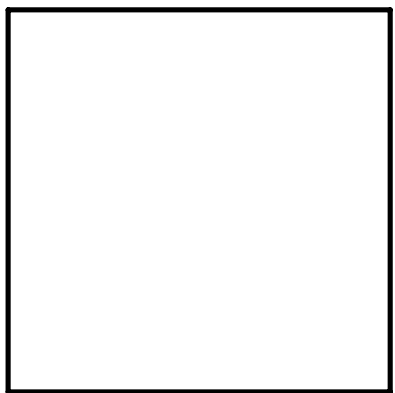
RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



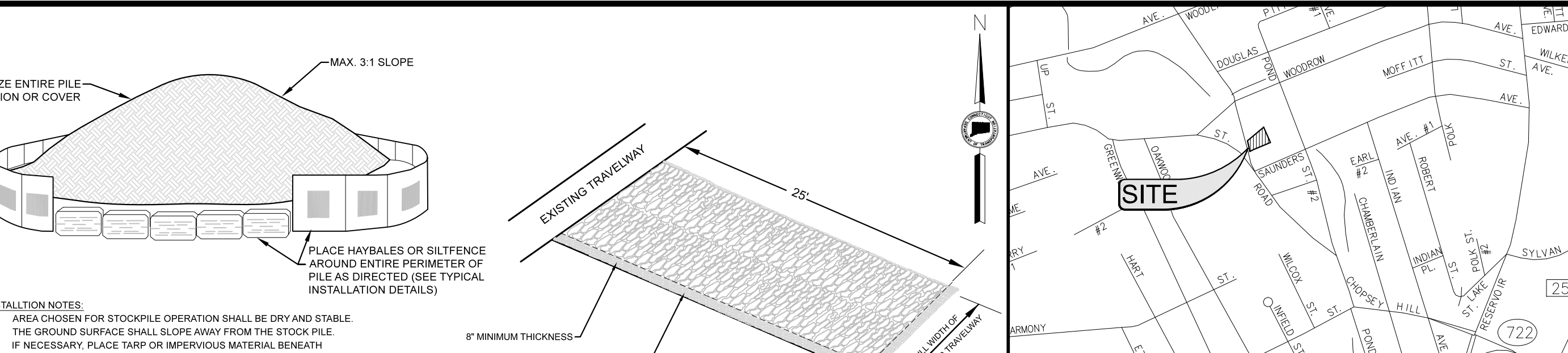
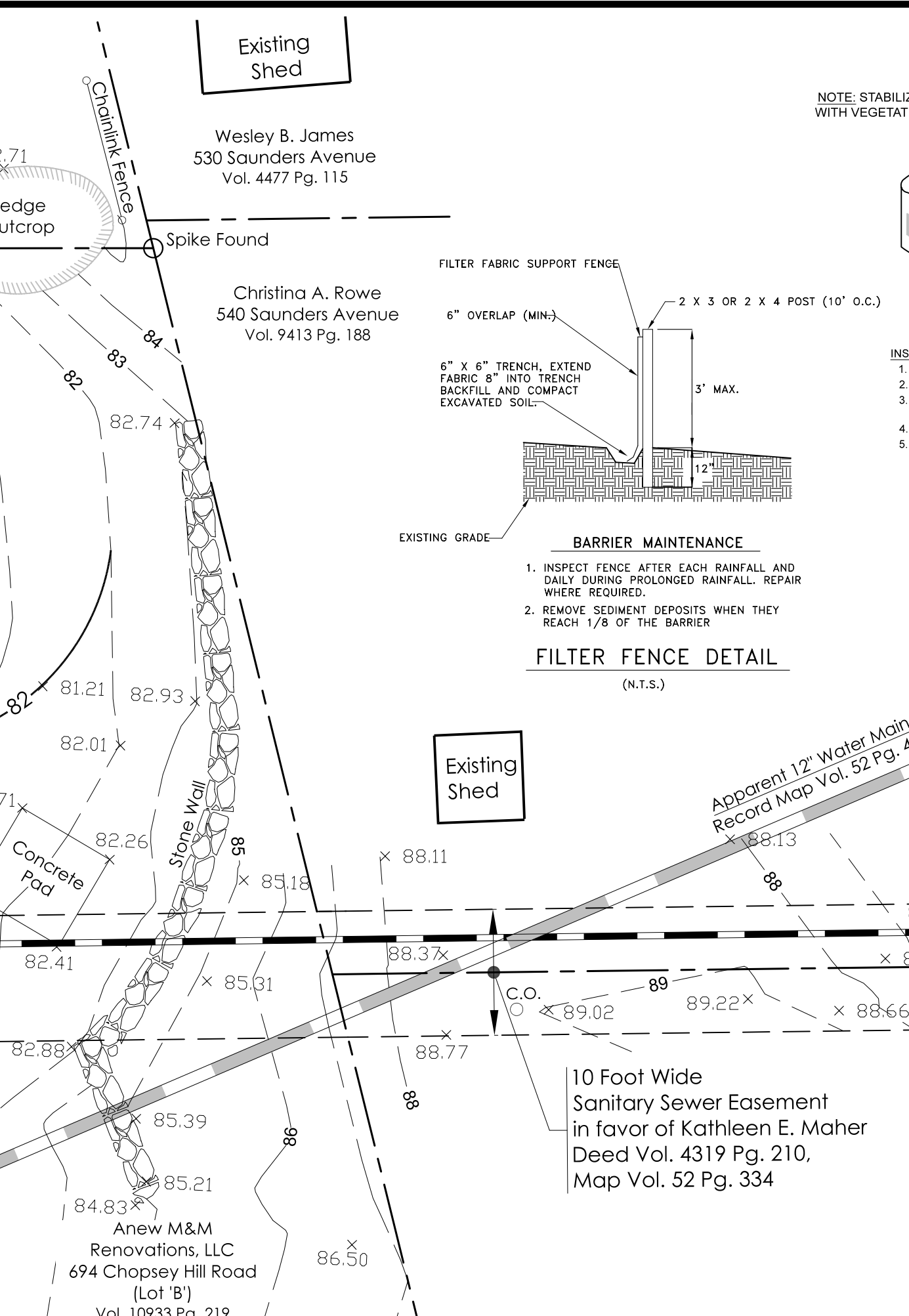
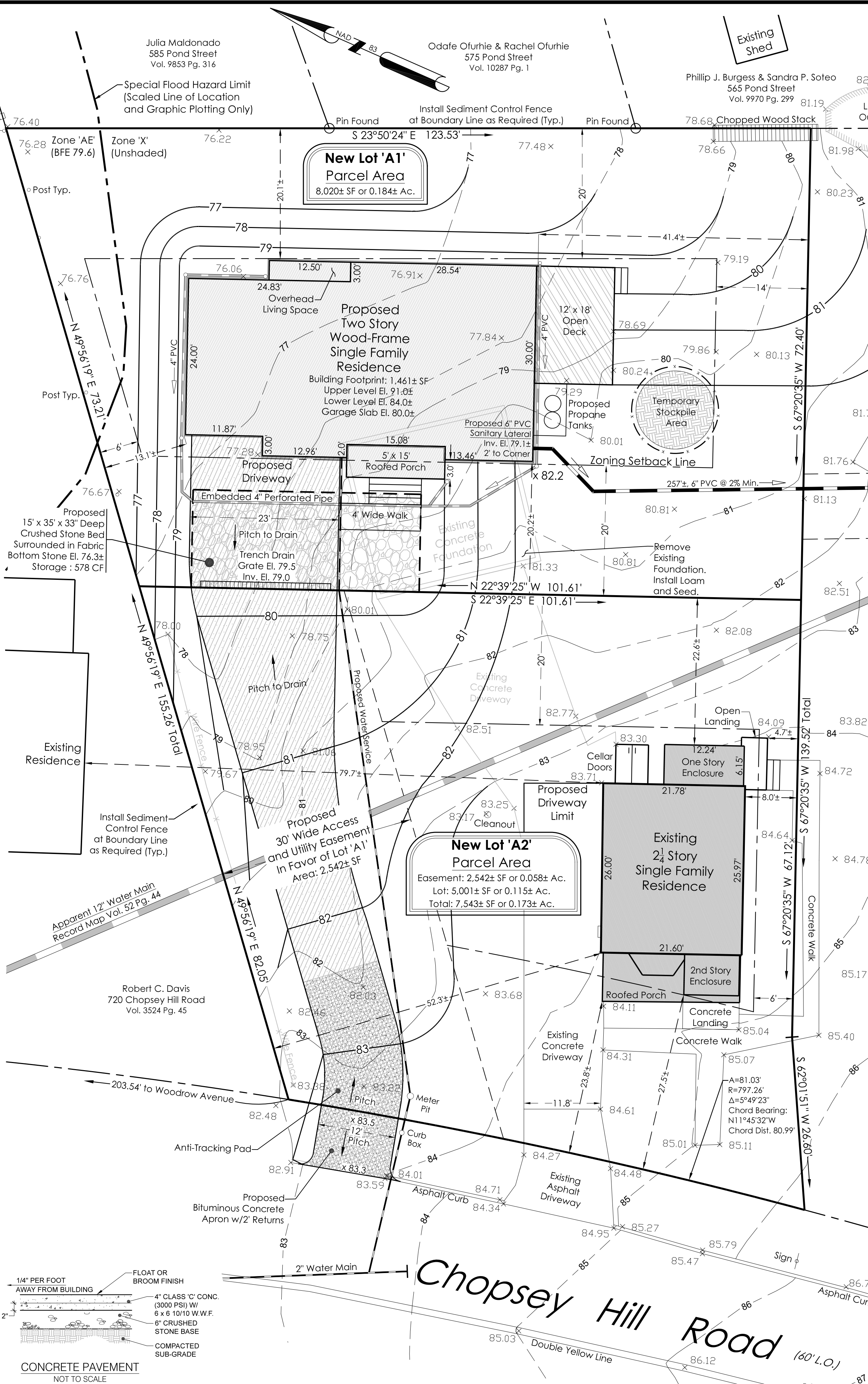
1	2	3	4	5	6
REVISIONS					

SINGLE FAMILY HOME - NEW CONSTRUCTION
 PREPARED FOR PROPERTY LOCATED AT
 694 CHOPSEY HILL RD. (NEW REAR LOT), BRIDGEPORT, CT

ELEVATIONS	
date: 08-24-2023	scale: AS NOTED
drawn: M. REINHHEIMER 203-449-6137	project #: MCR-2023-107
E-mail: marcosprimrose@yahoo.com	

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

A-2

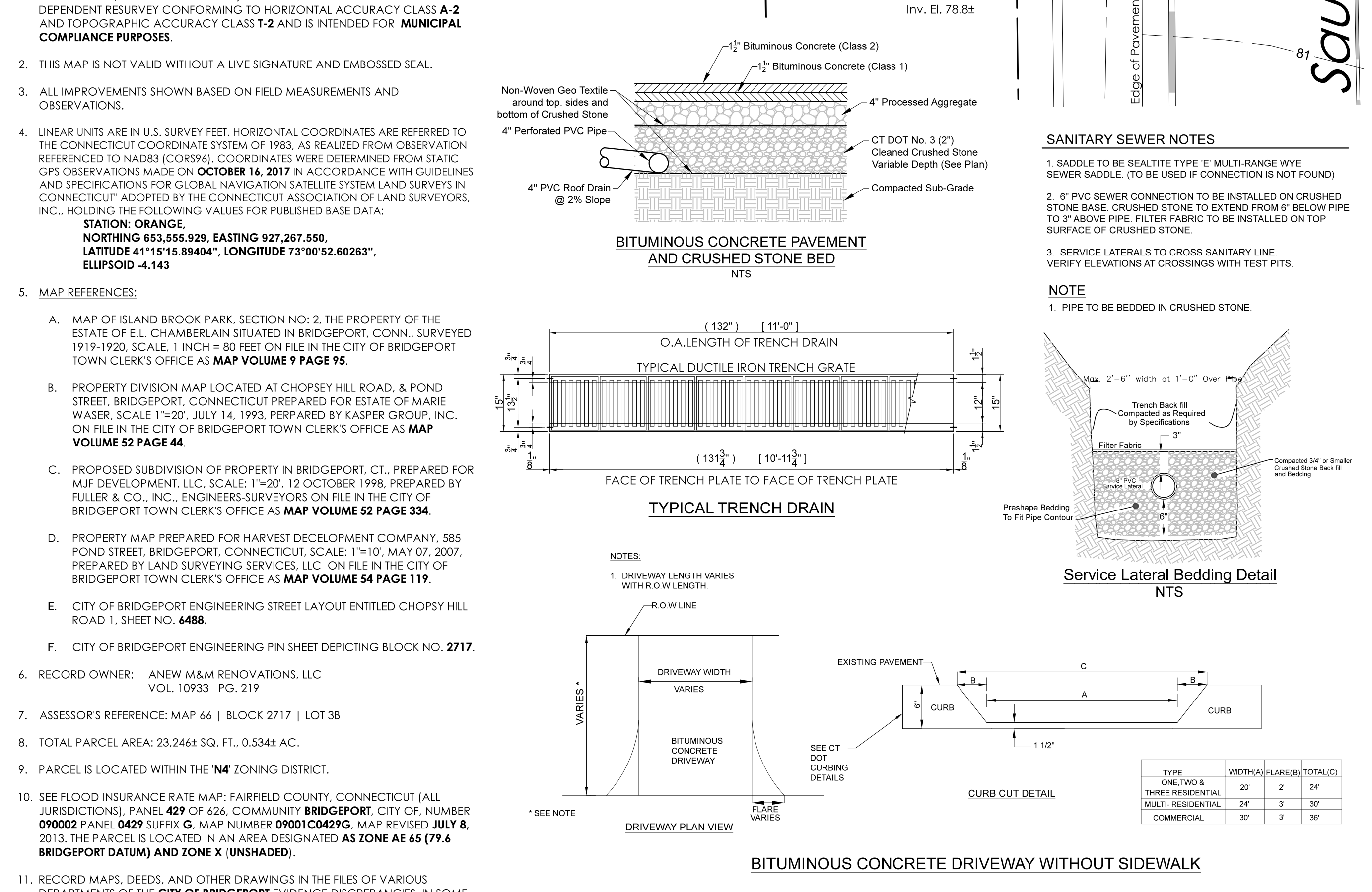
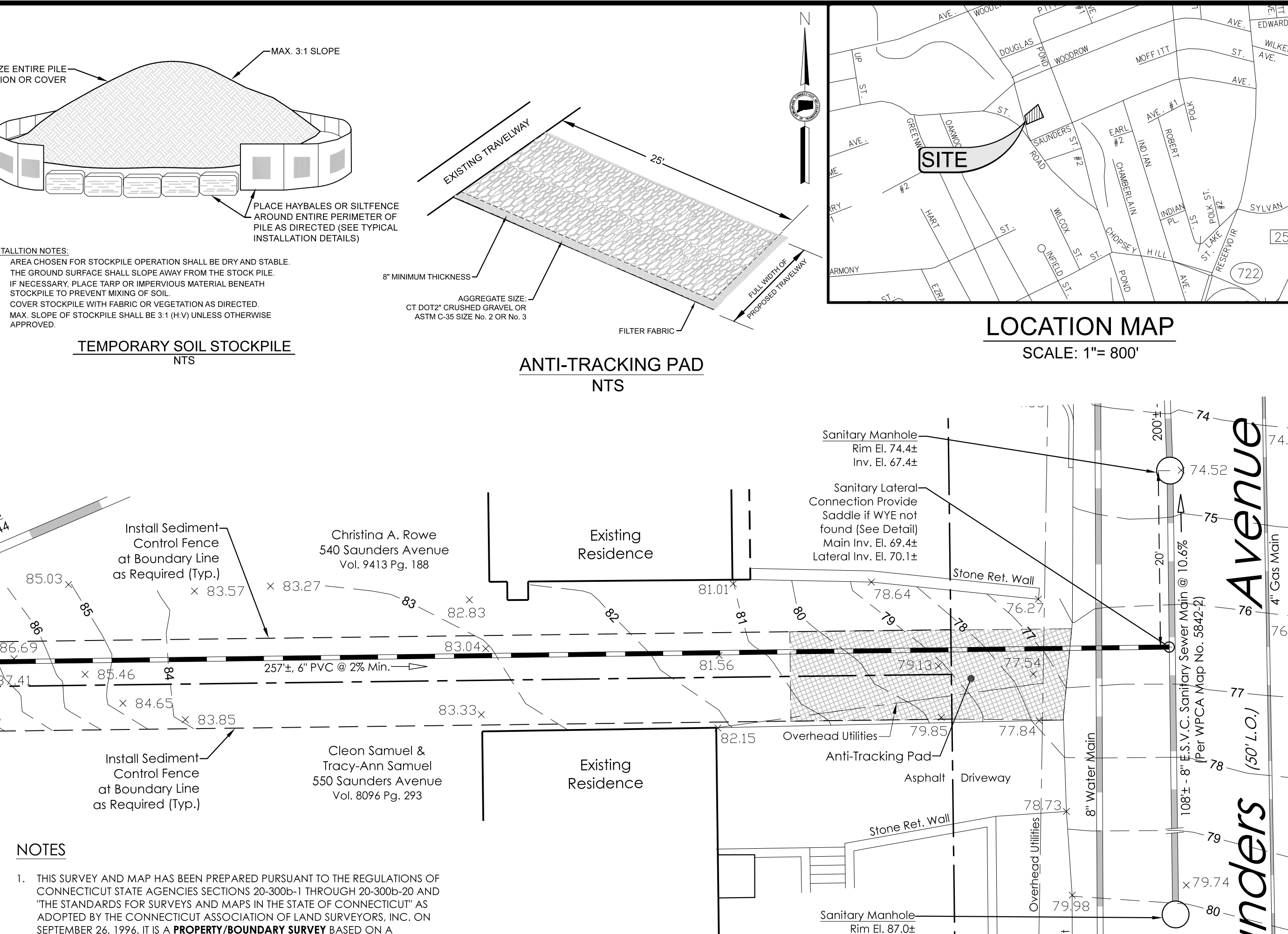


N4 Zone Development Standards
House 'D' Building Type

REQUIREMENTS	NEW LOT 'A1'	NEW LOT 'A2'
3.120.4. BUILDING LOCATION SEE FIGURE 3.100-B		
1) LOT WIDTH	60 FT MINIMUM	101.6± FT
2) LOT SIZE	7,500 SQ. FT. MINIMUM	8,020± SQ. FT.
3) PRIMARY STREET SETBACK	20 FT MINIMUM (PREVAILING SETBACKS APPLY. SEE 14.20.6 FOR MEASURING. SEE 3.120.10 FOR ALLOWED ENCROACHMENTS)	5,001± SQ. FT. (NET AREA)
4) PORCH, STEPS, BAY ENCROACHMENT	8 FT MAXIMUM	3.0± FT
5) NON-PRIMARY STREET SETBACK	10 FT MINIMUM	N/A
6) SIDE SETBACK	6 FT MIN; MIN. 20 FT TOTAL BOTH SIDES;	13.1± FT; 54.5± FT; 8.0± FT; 60.3± FT
7) REAR SETBACK	20 FT MINIMUM	20.1± FT
8) SITE COVERAGE	65%	31%
3.120.5. PARKING AND ACCESSORY STRUCTURES SEE FIGURE 3.120-C		
1) PARKING ACCESS	12 FT. MAX. WIDTH AT PRIMARY LOT LINE; MAX ONE DRIVEWAY PER BUILDING	12 FT. MAX
2) ATTACHED GARAGE SETBACK	NO CLOSER TO LOT LINE THAN PRIMARY FACADE	COMPLIES
3) ACCESSORY STRUCTURE LOCATION (SEE 3.170 FOR ACCESSORY STRUCTURES)	REAR YARD	N/A
STREET SIDE SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING	N/A
SIDE AND REAR SETBACK	3 FT. MIN.	N/A
3.100.6. HEIGHT SEE FIGURE 3.100-D		
1) HEIGHT	1 STORY MIN; 2 STORIES MAX. (SEE 14.20.10 FOR MEASURING HEIGHT)	2 STORIES
2) STORY HEIGHT	9 FT. MIN; 12 FT. MAX. (MEASURED FLOOR-TO-FLOOR)	9 FT.
3) HEIGHT TO EAVES	-	N/A
3.100.7. ROOFS SEE FIGURE 3.100-D		
1) ROOF TYPES	PITCHED (SEE 6.20 FOR ROOF TYPES)	PITCHED
2) TOWER	ALLOWED	N/A

Percolation Test Results

Time	Measurement to Water Surface	Drop in Water Level (0.01")	Rate (Min./Inch)
7:07 AM	2.12		
7:10 AM	2.19	0.07	3.57
7:13 AM	2.24	0.05	5.00
7:16 AM	2.28	0.04	6.25
7:19 AM	2.31	0.03	8.33
7:22 AM	2.34	0.03	8.33
7:25 AM	2.36	0.02	12.50
Overall Percolation Rate (Min/Inch)			
Minimum Percolation Rate (Min/Inch)			
Based on minimum percolation rate, a 33" tall system will drain in (Hours)			
6.25			
12.50			
6.9			



Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P: 203 330 8700 • F: 203 330 8701

SCALE: 1"=10'
FIELD FILE: 694 Chopsey rw5
PROJECT NO. CD1688
DATE: August 31, 2023
FILE: 694 Chopsey Hill Rd_ILS.dwg
SHEET 1 OF 1
REV:
REV:

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HERON.

WASHINGTON CABEZAS, JR. PEL 70210
PROFESSIONAL ENGINEER AND LAND SURVEYOR

WASHINGTON CABEZAS, JR. PEL 70210
PROFESSIONAL ENGINEER AND LAND SURVEYOR

PROPOSED PARCEL PARTITION
LOT 'A1' AND LOT 'A2'
PREPARED FOR
ANEM M&M RENOVATIONS, LLC
694 CHOPSEY HILL ROAD
BRIDGEPORT, CONNECTICUT
ASSESSOR'S REFERENCE: MAP 66, BLOCK 2717, LOT 38

AUGUST 31, 2023 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 10'

CONCRETE PAVEMENT
NOT TO SCALE

PERCOLATION TEST RESULTS

SEALITE TYPE 'E' MULTI-RANGE WYE SEWER SADDLE
VARIOUS CONTOURS TO FIT 48" THROUGH 36" OLD GRAVITY SEWER MAINS

Service Lateral Bedding Detail
NTS

Curb Cut Detail
NTS

BITUMINOUS CONCRETE DRIVEWAY WITHOUT SIDEWALK



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for: (Check all that Apply)

- Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval

837 Seaview Avenue Zone PDD (I Proposed)

On the West side of the street about 140 feet North from

Jefferson Street Block : 30/600 Lot: 16/C

Dimension of Lot in Question 308' x 308' x 315' x. 387'

1. NAME OF APPLICANT / BUSINESS Seaview Bridgeport, LLC 2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS A PREVIOUS APPLICATION BEEN FILED? N/A IF SO, GIVE DATE OF HEARING N/A

4. DESCRIBE PROPOSED DEVELOPMENT Construction of a retail gas station with accessory convenience store, fuel pump canopy, diesel fuel pump canopy and two retail take-out restaurants, one of which will have an accessory Drive-Through Facility

5. THIS APPLICATION RELATES TO: Check all that Apply Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: Roof, Drive-Through Facility and Signage

6. USE TO BE MADE OF PROPERTY Light Vehicle Sales and Service - fuel pumps with accessory retail convenience store and retail take-out restaurants with an accessory Drive-Through Facility

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached.

APPLICANT [Signature] DATE 09/07/2023

If signed by agent, state capacity (lawyer, builder, etc) / Mailing Address Russo & Rizio, 10 Sasco Hill Rd, Fairfield, CT 06824 203-528-0590

PROPERTY OWNERS ENDORSEMENT Print (If other than owner) (Signature)

Subscribe & Sworn to before me this day of 20 Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary). The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application. NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED. PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: DATE: 20 Clerk

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* Also Admitted in NY
* Also Admitted in VT
+ Of Counsel

September 7, 2023

Paul Boucher
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for Variances – 837 Seaview Avenue

Dear Mr. Boucher:

Please accept the following narrative and enclosed application materials as part of an application for variances of the Bridgeport Zoning Regulations (the “Regulations”) for the property located at 837 Seaview Avenue (the “Site”) to construct a retail gas station with an accessory convenience store, fuel pump canopy and diesel fuel pump canopy as well as two (2) accessory retail take-out restaurants, one of which will contain an accessory drive-through facility and associated Site improvements in the proposed I Zone.

Variances Requested

1. Variance of Sec. 3.130.9 of the Regulations to permit Retail & Entertainment uses within the I Zones for the proposed gas station convenience store and two (2) additional take-out restaurant units;
2. Variance of Section 3.130.7 of the Regulations to permit a Tower roof for the proposed building;
3. Variance of Sections 3.130.5 and 3.170.7.D(1) of the Regulations to increase the height of the proposed diesel fuel pump canopy from 18’ to 20’;
4. Variance of Sections 3.130.5 and 3.170.5 of the Regulations to permit a drive-through facility and its stacking lane along the side and front of the proposed building;

5. Variance of Sec. 9.50 of the Regulation to permit two (2) free standing signs on a Site with less than 300' of frontage and to permit one of said freestanding signs to be 36' in height within 15' of the street lot line; and
6. A variance of Sec. 7.100 of the Regulations to not install a fence on the Site and within the frontage buffer.

Narrative

The Petitioner requests the above-stated variances from the Regulations. The Site is located adjacent to an exit ramp for I-95 to its north as it intersects Seaview Avenue. The Site abuts a large industrial building and property to its south where North Sails is located and a number of industrial properties are located in the vicinity. To the west and north of the Site lies vacant land that is a part of the future development of Steelpointe East. Bridgeport Harbor lies further west of the Site and is abuts the overall Steelpointe East development.

The Site was approved under the former Regulations for a Planned Development District. In association with said approval, a General Development Plan was filed that included a number of developments within the larger development known as Steelpointe East. The Site is only a portion of said development. However, before this area was developed, the Regulations were adopted and replaced the former zoning regulations under which the PDD was created. Steelpointe East was not even located in a new zone, but simply considered a Legacy Zone under the Regulations. Unfortunately, no zone or building type under the Regulations would permit the proposed development without variances. The Applicant is proposing to locate the Site in the I Zone as that is the nearest zone to the Site and the principal proposed use of the Site – a gas station with accessory fuel pumps – is permitted in the I Zone via a Certificate of Location approval.

The Site currently borders an existing private driveway to its south, which intersects at the intersection of Beardsley Street and Seaview Avenue. This is a full access intersection. The Applicant proposes to install a private drive along the northern side of the Site from Seaview Avenue and along the rear of the Site. These private drives will be a part of a larger roadway network to access the remainder of Steelpointe East. The northern driveway will be a right turn only entrance from Seaview Avenue and will have a right turn exit only onto Seaview Avenue heading southbound on Seaview Avenue. The Site itself will be accessed from two (2) full access driveways off the northern private drive and a full access drive from the existing private driveway to the South.

Currently, the Site is vacant. The Applicant proposes to construct a 4,200 SF retail gas station with convenience store. Next door to the convenience store will be two (2) separate units, which will be occupied by a retail take-out restaurant, including a Dunkin' Donuts with an accessory drive-through facility. The gas station use will include a gas canopy and fuel pumps for Twelve (12) personal vehicles. In addition, the Applicant is proposing diesel fuel pumps and a canopy to accommodate commercial vehicles. The Petitioner proposes multiple parking areas along the northern and western sides of the proposed building as well as along the southern end of the Site for a total of Thirty-one (31) parking spaces. The drive-through facility will contain a stacking lane for Eleven (11) vehicles, which will wrap around the side and front of the proposed building. However, it's important to note that while the frontage of the Site is located along Seaview Avenue, the Site is surrounded by public and private driveways and is most visible from Interstate 95. The building is oriented towards Interstate 95 and the drive-through facility will be located mainly along the opposite façade from Interstate 95. A bypass lane will be located along the side of the stacking lane.

The Applicant proposes extensive landscaping along the perimeter and interior of the Site to significantly enhance the currently vacant Site and to screen the proposed stacking lane. A pedestrian access crosswalk will lead from the sidewalk on Seaview Avenue to the proposed building. The Applicant proposes two (2) freestanding signs. One compliant monument sign will be located at the Site's intersection with Beardsley Street and will feature the tenant names. The second sign will be a 36' pylon sign to display information regarding the gas prices for fuel at the gas station as seen at any typical gas station. The Site is uniquely situated as its in the viewscape of vehicles located at ground level traveling along Seaview Avenue, but also those vehicles traveling on Interstate 95, which is at a considerably higher elevation than the Site. The proposed sign will ensure motorists traveling along both roadways will be able to view the sign. In total, the Application represents a tremendous redevelopment of the vacant Site. The East End neighborhood suffers from a significant lack of gas stations. Some residents travel to Stratford to be able to find a gas station. This Application will provide a use that is desperately needed in an economy and area that requires many people to use their personal vehicles. Most neighborhoods do not have to deal with this difficulty and the Application will go a long way to ensure the East End no longer has this difficulty.

Hardship

Granting the Petitioner the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Petitioner as the Site is located in a Legacy Zone that no longer exists under the current Regulations. Unlike almost all properties within the City, the Site was not rezoned under the current Regulations. The Site was part of a Planned Development District because of the extreme uniqueness of its location at a central hub for a working industrial harbor that also had significant appeal as a retail and residential location. This area aims to balance industrial, retail and residential uses. Unfortunately, no zone under the Regulations permits said balance without a variance.

The Applicant proposes a gas station use as the principal use of the Site, which is permitted in the proposed I Zone. However, retail uses are not permitted within this zone despite the fact that retail uses, including Dunkin' Donuts, are frequently paired with gas stations. In addition, the Regulations contradicts itself by permitting drive-through facilities in the I Zone. So, the Regulations permit a drive-through facility for a retail use, but not the retail use it would support. It is counterintuitive. The proposed use is completely in conformity with the area, where a number of retail uses are located in the Steelpointe development. However, the Application maintains the industrial aspects of the abutting areas. Many of the variances are driven by this balance between a retail and industrial area. The Regulations permit Towers for retail buildings within its retail zones. So, the Application is meeting the intent of the Regulations, as a Tower is proposed for a retail building. However, the Site is still located in an industrial area where Towers are not permitted.

As the Site is for both retail customers but also industrial users, the Applicant has provided fuel pumps for both personal vehicles and commercial trucks, which will be certainly traveling in proximity to the Site. A traditional fuel pump canopy for personal vehicles does not have the required height for a commercial truck. The fuel pump canopy for personal vehicles that the Applicant proposes conforms to the height requirements of the Regulations. However, the diesel fuel pump canopy needs to be raised to be able to fit a commercial truck. So, the Applicant merely

requests a variance to safely accommodate these vehicles. Safety codes require such height for these proposed commercial canopies.

Regarding the location of the drive-through facility, as detailed above, while the Site fronts Seaview Avenue, the Site is really oriented towards I-95. The proposed drive-through facility begins to the rear of the proposed building as viewed from I-95. In addition, the Site is a part of an overall large development with exposure on almost every side. It fronts Seaview Avenue and private driveways on every other side. It is not a Site with a true rear neighbor. There is nowhere to “hide” the drive-through facility and its stacking lane. The Applicant is proposing extensive landscaping to buffer the stacking lane and the Applicant has located the drive-through facility on what will likely be the least “viewed” side of this development.

While the Applicant requests a variance to permit two (2) free standing signs along a frontage of less than 300’, the Application meets the intent of the Regulations as the Site is accessed by a driveway of an additional 42’ from the 266’ of street frontage that the Site contains. So, that frontage is beyond 300’ and would permit two (2) freestanding signs. The unique characteristic of this Application is that the proposed private drive will be utilized for the remainder of the development as well and is, therefore, located outside the Site and not counted towards the street frontage. However, both the private drive and the Site are owned by the Applicant. So, it would be compliant if the development of the Site and the private drive network were not intertwined with the redevelopment of all of Steelpointe East. The Application still meets the intent of the Regulations as two (2) signs are permitted along a length that extends greater than 300’. Regarding the height of the proposed freestanding sign, said sign is constructed to advertise to customers travelling at radically different elevations. While the sign will be visible to vehicles traveling along Seaview Avenue, the sign also needs to be visible to Interstate 95, which abuts Steelpointe East, where vehicles will be traveling at a much higher elevation. The proposed sign and its height simply ensures the effectiveness of the visibility of the sign in a very unique Site location where it abuts roadways at vastly different elevations.

Regarding the variance to waive the requirement to install a fence within the frontage buffer, the Application does not propose any type of heavy industrial use, but rather uses likely found in retail area. It is not an intensive use that requires fence screening. For those reasons, the Application requires variances from all the requirements of Sec. 7.100 of the Regulations regarding fences. It would be self-defeating to beautify the Site with the proposed landscaping and create a welcoming atmosphere only to block it off with fencing. The Application does not create a situation where an industrial use is being performed at the Site that requires protection from the general public for safety reasons. The intent of the use proposed is to invite customers and residents onto the Site, including with a crosswalk from Seaview Avenue to the proposed building, and, therefore, a fence is not appropriate for the proposal.

For the reasons stated above, the Petitioner respectfully requests approval of the Petition for the above-stated variances.

Sincerely,



Christopher Russo

PROPERTIES LOCATED WITHIN 100' OF 837 SEAVIEW AVENUE

PROPERTY ADDRESS	OWNERS NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
601 SEAVIEW AV	BRIDGEPORT CITY OF PUBLIC WORKS	45 LYON TERRACE	BRIDGEPORT	CT	06604
730 SEAVIEW AV	BRIDGEPORT PORT AUTHORITY	330 WATER ST	BRIDGEPORT	CT	06604
738 SEAVIEW AV	CRIANDE PROPERTIES LLC	179 WILLIAM STREET	BRIDGEPORT	CT	06608
731 SEAVIEW AV	SEAVIEW BRIDGEPORT II LLC	10 EAST MAIN STREET	BRIDGEPORT	CT	06608
866 SEAVIEW AV	DOUBLE A STONE LLC	866 SEAVIEW AVENUE	BRIDGEPORT	CT	06607
868 SEAVIEW AV	DOUBLE A STONE LLC	868 SEAVIEW AVENUE	BRIDGEPORT	CT	06607
872 SEAVIEW AV #874	DOUBLE A STONE LLC	872 SEAVIEW AVE	BRIDGEPORT	CT	06607
886 SEAVIEW AV	DOUBLE A STONE LLC	886 SEAVIEW AVENUE	BRIDGEPORT	CT	06607
902 SEAVIEW AV #904	ROBINSON WESLEY	817 NAUGATUCK AVE	MILFORD	CT	06460
912 SEAVIEW AV #914	MACK CHAPMAN APT LLC	817 NAUGUTUCK AVENUE	MILFORD	CT	06460
	SEAVIEW GARDENS INC C/O CHANACA				
	REAL ESTATE				
890 SEAVIEW AV	PAD LLC C/O HOFFMAN INVESTMENT	919 STRATFORD AVE #6	STRATFORD	CT	06615
842 STRATFORD AV	SEAVIEW BRIDGEPORT LLC	PO BOX 3580	STAMFORD	CT	06905
837 SEAVIEW AV	SEAVIEW BRIDGEPORT LLC	10 EAST MAIN STREET	BRIDGEPORT	CT	06608
740 STRATFORD AV	SEAVIEW BRIDGEPORT LLC	10 EAST MAIN STREET	BRIDGEPORT	CT	06608

SEAVIEW BRIDGEPORT, LLC ACTIVE

10 EAST MAIN ST SUITE 201, BRIDGEPORT, CT, 06608, United States

BUSINESS DETAILS

Business Details

General Information

Business Name

SEAVIEW BRIDGEPORT, LLC

Business status

ACTIVE

Citizenship/place of formation

Foreign/DE

Business address

10 EAST MAIN ST SUITE 201, BRIDGEPORT, CT, 06608, United States

Annual report due

3/31/2024

NAICS code

Other Activities Related to Real Estate (531390)

Business ALEI

1133204

Date formed

2/26/2014

Business type

LLC

Mailing address

10 EAST MAIN ST SUITE 201, BRIDGEPORT, CT, 06608, United States

Last report filed

2023

NAICS sub code

531390

Principal Details

Principal Name

ROBERT W. CHRISTOPH

Principal Title

MANAGER

Principal Business address

10 EAST MAIN ST SUITE 201, BRIDGEPORT, CT, 06608, United States

Principal Residence address

10 EAST MAIN ST SUITE 201, BRIDGEPORT, CT, 06608, United States

Principal Name

ROBERT W. CHRISTOPH JR.

Principal Title

MANAGER

Principal Business address

10 EAST MAIN ST SUITE 201, BRIDGEPORT, CT, 06608, United States

Principal Residence address

10 EAST MAIN ST SUITE 201, BRIDGEPORT, CT, 06608, United States

Agent details

Agent name

C T CORPORATION SYSTEM

Agent Business address

67 BURNSIDE AVE, EAST HARTFORD, CT, 06108, United States

Agent Mailing address

67 BURNSIDE AVE, EAST HARTFORD, CT, 06108, United States

Filing History

Business Registration - Certificate of Registration

0005049951

Filing date: 2/26/2014

Filing time:

Volume Type

B

Volume

1907

Start page

849

Pages

2

Date generated

2/26/2014

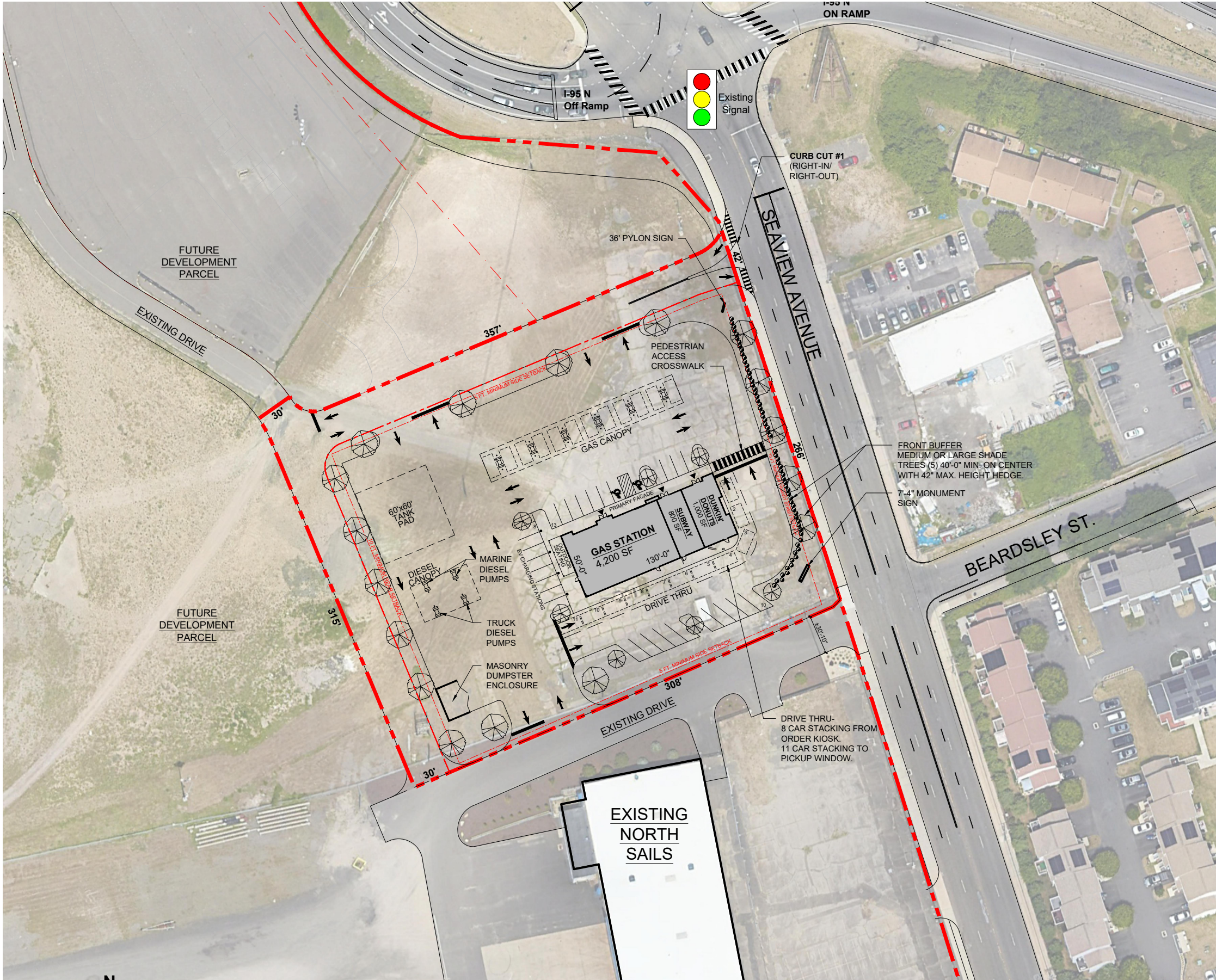


Bridgeport Landing Development LLC
BRIDGEPORT, CT

WORKSHOP BUILDING TYPE		
	REQUIRED (I ZONE)	PARCEL A FIRST CUT
BUILDING LOCATION		
MULTIPLE PRINCIPAL BUILDINGS	ALLOWED	-
LOT WIDTH	25 FT. MIN.	260 FT.
PRIMARY STREET WALL SETBACK	NONE	NONE
PRIMARY STREET BUILD-TO-ZONE SETBACK	15 ft. min.	61 FT.
NON-PRIMARY STREET BUILD-TO-ZONE SETBACK	10 ft. min.	N/A
SIDE SETBACK	5 ft. min.	85 FT. & 135 FT.
REAR SETBACK	10 ft. min.	152 FT.
SITE COVERAGE	85% max.	77%
PARKING & ACCESSORY STRUCTURES		
PARKING & DRIVEWAY ENTRANCE	1 PER 300' OF STREET FRONTAGE	1
ALLOWED GARAGE DOOR LOCATION	ANY FACADE	N/A
SURFACE PARKING LOCATION	ANY YARD	ANY YARD
SURFACE PARKING STREET SETBACK	SAME AS BUILDING	75 FT.
SURFACE PARKING SIDE & REAR SETBACK	SAME AS BUILDING	SIDE: 19 FT. SIDE: 120 FT. REAR: 108 FT.
ACCESSORY STRUCTURE LOCATION	REAR, SIDE YARD	REAR & SIDE YARD
ACCESSORY STRUCTURE STREET SETBACK	SAME AS BUILDING	71 FT.
ACCESSORY STRUCTURE SIDE & REAR SETBACK	SAME AS BUILDING	SIDE: 50 FT. REAR: 27 FT.
HEIGHT		
HEIGHT	3 STORIES MAX.	1 STORY
GROUND STORY HEIGHT	10 FT. MIN. 24 FT. MAX.	24'
ALL OTHER STORIES HEIGHT	10 FT. MIN. 14 FT. MAX.	N/A
ROOFS		
ROOF TYPES	FLAT, PARAPET, PITCHED	FLAT, PARAPET & PITCHED
TOWER	NOT ALLOWED	INCLUDED
PRIMARY & NON-PRIMARY FACADES		
TRANSPARENCY-PRIMARY FACADES	12% MIN.	60%
TRANSPARENCY-NON-PRIMARY FACADES	-	-
BUILDING ENTRANCES LOCATION	ONE ON PRIMARY FACADE	3
ENTRANCE TRANSITION TYPE	-	-
GROUND STORY ELEVATION	-	-
HORIZONTAL DIVISIONS WITH SHADOW LINES	-	-
VERTICAL DIVISIONS WITH SHADOW LINES	-	-
FUEL PUMPS		
FUEL PUMP USE	ALLOWED	INCLUDED
CANOPY HEIGHT	18 FT. MAX	GAS: 18 FT. DIESEL: 20 FT.
MATERIALS	MATCH BUILDING	-
DRIVE THRU FACILITY		
DRIVE THRU USE	ALLOWED	INCLUDED
LOCATION	REAR YARD OR REAR OF BUILDING	FRONT OF BUILDING
STACKING	REAR OR INTERIOR SIDE YARD	INTERIOR SIDE YARD
ACCESSORY STRUCTURES/SIGNS	REAR OR INTERIOR SIDE YARD	INTERIOR SIDE YARD
STRUCTURE	CANOPIES AND ROOFS WILL MATCH BUILDING	-
STACKING REQUIRED	CANOPIES & WINDOWS MAY NOT BE BETWEEN BUILDING AND FRONT STREET.	8
LOCATION & DESIGN	REQUIRED. 10 FT. MIN.	INCLUDED. 20 FT.
EV CHARGING		
PRIVATE EV CHARGING	ALLOWED	-
PUBLIC EV CHARGING	ALLOWED	INCLUDED
EQUIPMENT	DOES NOT IMPED PEDESTRIAN, BICYCLE OR WHEELCHAIR MOVEMENT OR CREATE SAFETY HAZARDS ON SIDEWALK	INCLUDED
TRASH & RECYCLING		
LOCATION	REAR YARD	REAR YARD
OPAQUE SCREEN	MASONRY OR WOOD FENCE REQUIRED	INCLUDED
SCREEN HEIGHT	4 FT. MIN. OR COMPLETE SCREENING	INCLUDED

SIGNAGE		
	REQUIRED (I ZONE)	PARCEL A FIRST CUT
GENERAL SIGNAGE		
ALLOWED SIGNAGE	WALL SIGNS, PROJECTING SIGNS, FREESTANDING SIGNS	WALL SIGNS, FREESTANDING SIGNS
ILLUMINATION	INDIRECTLY OR INTERNALLY ILLUMINATED	-
ELECTRONIC DISPLAY SIGNS	APPROVED BY SPECIAL PERMIT	-
FREESTANDING SIGNS		
FREESTANDING SIGNS	1 PER 300' OF STREET FRONTAGE	266 FT FRONTAGE 2 SIGNS
FREESTANDING MAX SIGN AREA	AGGREGATE OF ALL FREESTANDING SIGNS NO MORE THAN 32 SF OR 1 SF /LINEAR FT. WHICHEVER IS GREATER	266 SF ALLOWED PYLON 156 SF/SIDE MONUMENT 56 SF
FREESTANDING SIGN HEIGHT	8 FT. WHEN <25 FT FROM STREET LOT LINE. 25 FT. WHEN >25 FT FROM STREET LOT LINE.	PLYON HEIGHT: 36 FT., 15 FT FROM LOT LINE. MONUMENT HEIGHT: 7'-4" 15 FT FROM LOT LINE.
WALL & PROJECTING SIGNS		
WALL & PROJECTING MAX SIGN AREA	2 SF /LINEAR FT. OF BUILDING FRONTAGE	130 FT. OF FRONTAGE 222 SF OF SIGNAGE
WALL & PROJECTING MOUNTING HEIGHT	BUILDING HEIGHT OR 25 FT. WHICHEVER IS LESS	24'

LANDSCAPING		
	REQUIRED (I ZONE)	PARCEL A FIRST CUT
FRONTAGE BUFFER		
VEHICULAR AREAS ALONG STREET FRONTSAPES	REQUIRED ALONG PERIMETER OF ANY OFF-STREET SURFACE PARKING, DRIVEWAY OR LOADING AREAS	INCLUDED
BUFFER DEPTH	7 FT. DEPTH FROM STREET FACING LOT LINE	20 FT.
BUFFER LOCATION	EXTEND THE FULL WIDTH OF VEHICULAR AREA FRONTAGE	INCLUDED
FENCE	REQUIRED IN FRONTAGE BUFFER	-
FENCE LOCATION	2 FT. FROM BACK OF CURB OR EDGE OF VEHICULAR AREA.	-
FENCE HEIGHT	3 FT. MIN. 4 FT. MAX.	-
FENCE MATERIAL	SEE BRIDGEPORT ZONING REGULATIONS 7.100.3 C (2)	-
BUFFER LANDSCAPE	REQUIRED	INCLUDED
SHADE TREES	MED. & LARGE 40 FT. ON CENTER MIN.	INCLUDED
HEDGE	SINGLE ROW REQUIRED ON STREET SIDE OF FENCE	INCLUDED
HEDGE SPACING	24 IN. MIN. 36 IN. MAX.	INCLUDED
HEDGE HEIGHT	42 IN. MAX.	INCLUDED
SIDE & REAR BUFFER		
BUFFER LOCATIONS	NOT REQUIRED WHEN ADJACENT TO SIMILAR ZONING.	ADJACENT TO I-ZONE
INTERIOR PARKING LOT LANDSCAPE		
APPLICABILITY	ALL PARKING WITH MORE THAN 10 SPACES	30 SPACES
TERMINAL END ISLANDS	LANDSCAPE ISLANDS REQUIRED AT END OF PARKING	INCLUDED
ROW ISLANDS	LANDSCAPE ISLAND REQUIRED EVERY 9TH PARKING SPACE.	INCLUDED
ISLAND SIZE	5 FT. WIDE MIN. X LENGTH OF SPACE	INCLUDED
ISLAND TREES	1 MEDIUM OR LARGE SHADE TREE PER ISLAND	INCLUDED
TREE CANOPY COVER	50 FT. RULE. EACH PARKING SPOT HAS TO BE WITHIN 50 FT. OF A TREE PLANTED OR WITHIN 5 FT. OF PARKING LOT EDGE.	INCLUDED
SHADING REQUIREMENT	TREE CANOPIES MUST COVER 30% OF INTERIOR PARKING LOT AT MATURITY. CANOPY OF ANY TREES ON THE LOT OR ADJACENT COUNT TOWARDS %.	34%



STEELPOINTE EAST - GAS STATION - CONCEPTUAL SITE PLAN

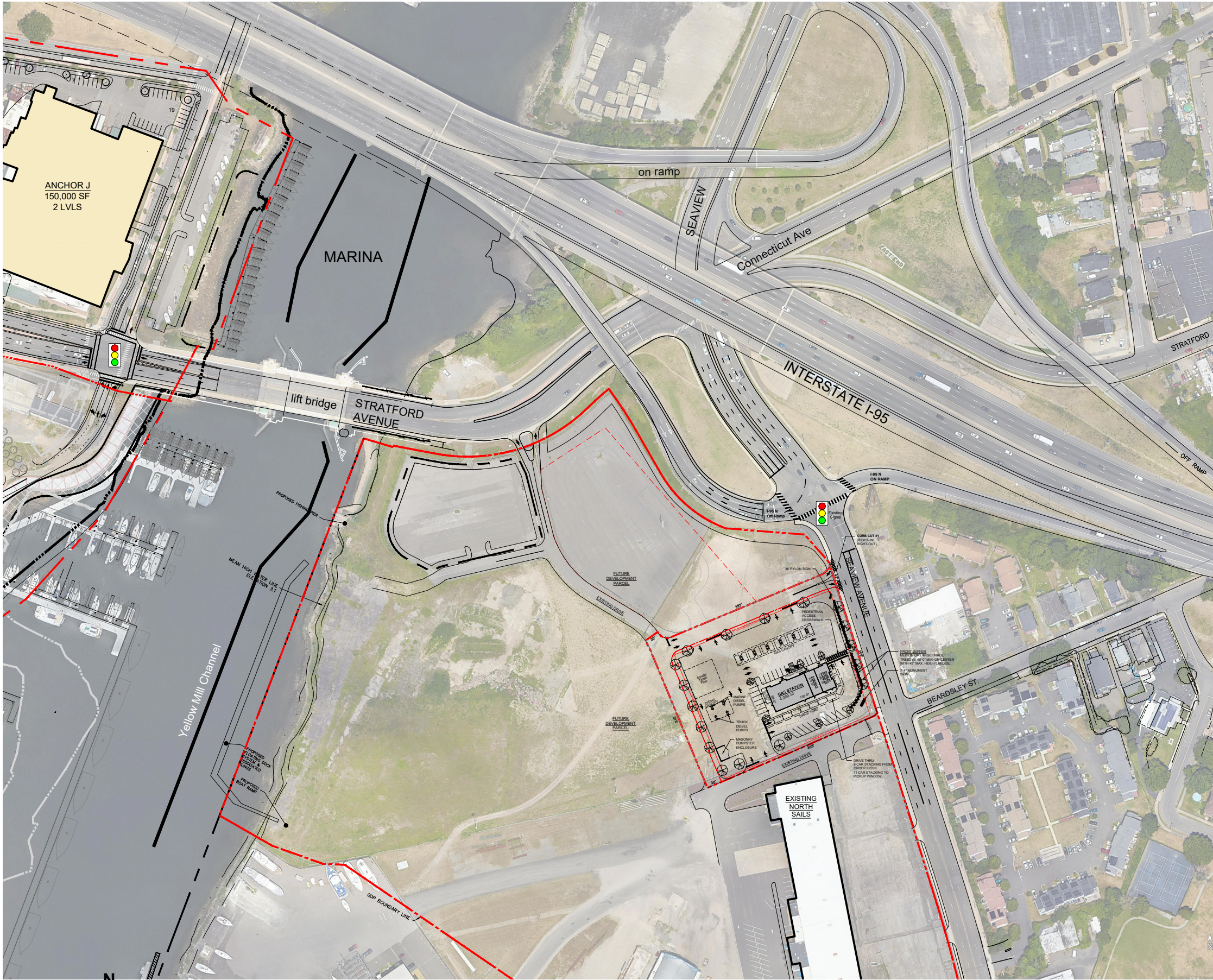
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Bridgeport Landing Development LLC
BRIDGEPORT, CT



WORKSHOP BUILDING TYPE		
	REQUIRED (I ZONE)	PARCEL A FIRST CUT
BUILDING LOCATION		
MULTIPLE PRINCIPAL BUILDINGS	ALLOWED	-
LOT WIDTH	25 FT. MIN.	260 FT.
PRIMARY STREET WALL	NONE	NONE
PRIMARY STREET BUILD-TO-ZONE SETBACK	15 ft. min.	61 FT.
NON-PRIMARY STREET BUILD-TO-ZONE SETBACK	10 ft. min.	N/A
SIDE SETBACK	5 ft. min.	85 FT. & 135 FT.
REAR SETBACK	10 ft. min.	152 FT.
SITE COVERAGE	85% max.	77%
PARKING & ACCESSORY STRUCTURES		
PARKING & DRIVEWAY ENTRANCE	1 PER 300' OF STREET FRONTAGE	1
ALLOWED GARAGE DOOR LOCATION	ANY FACADE	N/A
SURFACE PARKING LOCATION	ANY YARD	ANY YARD
SURFACE PARKING STREET SETBACK	SAME AS BUILDING	75 FT.
SURFACE PARKING SIDE & REAR SETBACK	SAME AS BUILDING	SIDE: 19 FT. SIDE: 120 FT. REAR: 108 FT.
ACCESSORY STRUCTURE LOCATION	REAR, SIDE YARD	REAR & SIDE YARD
ACCESSORY STRUCTURE STREET SETBACK	SAME AS BUILDING	71 FT.
ACCESSORY STRUCTURE SIDE & REAR SETBACK	SAME AS BUILDING	SIDE: 50 FT. REAR: 27 FT.
HEIGHT		
HEIGHT	3 STORIES MAX.	1 STORY
GROUND STORY HEIGHT	10 FT. MIN., 24 FT. MAX.	24'
ALL OTHER STORIES HEIGHT	10 FT. MIN., 14 FT. MAX.	N/A
ROOFS		
ROOF TYPES	FLAT, PARAPET, PITCHED	FLAT, PARAPET & PITCHED
TOWER	NOT ALLOWED	INCLUDED
PRIMARY & NON-PRIMARY FACADES		
TRANSPARENCY-PRIMARY FACADES	12% MIN.	60%
TRANSPARENCY-NON-PRIMARY FACADES	-	-
BUILDING ENTRANCES LOCATION	ONE ON PRIMARY FACADE	3
ENTRANCE TRANSITION TYPE	-	-
GROUND STORY ELEVATION	-	-
HORIZONTAL DIVISIONS WITH SHADOW LINES	-	-
VERTICAL DIVISIONS WITH SHADOW LINES	-	-
FUEL PUMPS		
FUEL PUMP USE	ALLOWED	INCLUDED
CANOPY HEIGHT	18 FT. MAX	GAS: 18 FT. DIESEL: 20 FT.
MATERIALS	MATCH BUILDING	-
DRIVE THRU FACILITY		
DRIVE THRU USE	ALLOWED	INCLUDED
LOCATION	REAR YARD OR REAR OF BUILDING	FRONT OF BUILDING
STACKING	REAR OR INTERIOR SIDE YARD	INTERIOR SIDE YARD
ACCESSORY STRUCTURES/SIGNS	REAR OR INTERIOR SIDE YARD	INTERIOR SIDE YARD
STRUCTURE	CANOPIES AND ROOFS WILL MATCH BUILDING	-
STACKING REQUIRED	COFFEE SHOP: 8 (FROM ORDER BOARD)	8
LOCATION & DESIGN	STACKING & WINDOWS MAY NOT BE BETWEEN BUILDING AND FRONT STREET.	BETWEEN BUILDING & FRONT STREET.
BYPASS LANE	REQUIRED, 10 FT. MIN.	INCLUDED, 20 FT.
EV CHARGING		
PRIVATE EV CHARGING	ALLOWED	-
PUBLIC EV CHARGING	ALLOWED	INCLUDED
EQUIPMENT	DOES NOT IMPED PEDESTRIAN, BICYCLE OR WHEELCHAIR MOVEMENT OR CREATE SAFETY HAZARDS ON SIDEWALK	INCLUDED
TRASH & RECYCLING		
LOCATION	REAR YARD	REAR YARD
OPAQUE SCREEN	MASONRY OR WOOD FENCE REQUIRED	INCLUDED
SCREEN HEIGHT	4 FT. MIN. OR COMPLETE SCREENING	INCLUDED

SIGNAGE		
	REQUIRED (I ZONE)	PARCEL A FIRST CUT
GENERAL SIGNAGE		
ALLOWED SIGNAGE	WALL SIGNS, PROJECTING SIGNS, FREESTANDING SIGNS	WALL SIGNS, FREESTANDING SIGNS
ILLUMINATION	INDIRECTLY OR INTERNALLY ILLUMINATED	-
ELECTRONIC DISPLAY SIGNS	APPROVED BY SPECIAL PERMIT	-
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WALL & PROJECTING SIGNS		
WALL & PROJECTING MAX SIGN AREA	2 SF / LINEAR FT. OF BUILDING FRONTAGE	130 FT. OF FRONTAGE 252 SF OF SIGNAGE
WALL & PROJECTING MOUNTING HEIGHT	BUILDING HEIGHT OR 25 FT. WHICHEVER IS LESS	24'

LANDSCAPING		
	REQUIRED (I ZONE)	PARCEL A FIRST CUT
FRONTAGE BUFFER		
VEHICULAR AREAS ALONG STREET FRONTSAPES	REQUIRED ALONG PERIMETER OF ANY OFF-STREET SURFACE PARKING, DRIVEWAY OR LOADING AREAS	INCLUDED
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FENCE LOCATION	2 FT. FROM BACK OF CURB OR EDGE OF VEHICULAR AREA.	-
FENCE HEIGHT	3 FT. MIN., 4 FT. MAX.	-
FENCE MATERIAL	SEE BRIDGEPORT ZONING REGULATIONS 7.100.3.C (2)	-
BUFFER LANDSCAPE	REQUIRED	INCLUDED
SHADE TREES	MED. & LARGE 40 FT. ON CENTER MIN.	INCLUDED
HEDGE	SINGLE ROW REQUIRED ON STREET SIDE OF FENCE	INCLUDED
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APPLICABILITY	ALL PARKING WITH MORE THAN 10 SPACES	30 SPACES
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SHADING REQUIREMENT	TREE CANOPIES MUST COVER 30% OF INTERIOR PARKING LOT AT MATURITY. CANOPY OF ANY TREES ON THE LOT OR ADJACENT COUNT TOWARDS %.	34%

STEELPOINTE EAST - GAS STATION - CONCEPTUAL SITE PLAN

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Bridgeport Landing Development LLC
BRIDGEPORT, CT



NORTH ELEVATION (PRIMARY FACADE)

TOTAL FACADE (BETWEEN 2' & 10')	1,031 SF
TOTAL GLAZING	603 SF
TRANSPARENCY PERCENTAGE	58%
TRANSPARENCY REQUIRED	12%

EAST ELEVATION (STREET FACADE) (FACING SEAVIEW AVE)

TOTAL FACADE (BETWEEN 2' & 10')	419 SF
TOTAL GLAZING	99 SF
TRANSPARENCY PERCENTAGE	23%
TRANSPARENCY REQUIRED	N/A



SOUTH ELEVATION (REAR FACADE)

TOTAL FACADE (BETWEEN 2' & 10')	1,031 SF
TOTAL GLAZING	0 SF
TRANSPARENCY PERCENTAGE	0%
TRANSPARENCY REQUIRED	N/A

WEST ELEVATION (SIDE FACADE)

TOTAL FACADE (BETWEEN 2' & 10')	419 SF
TOTAL GLAZING	51 SF
TRANSPARENCY PERCENTAGE	12%
TRANSPARENCY REQUIRED	N/A



STEELPOINTE EAST - EXTERIOR ELEVATIONS

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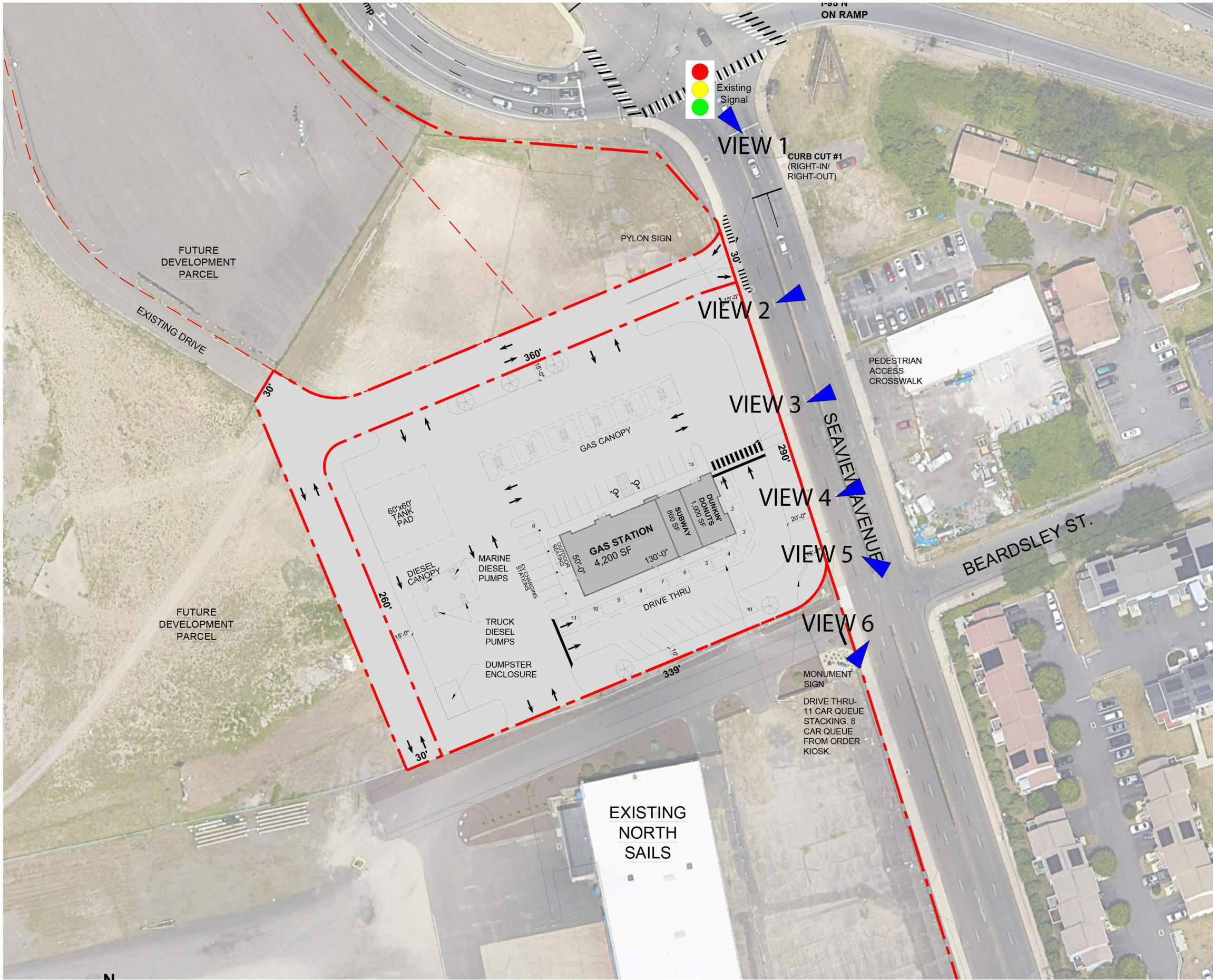








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VIEW 1



VIEW 2



VIEW 3



VIEW 4



VIEW 5



VIEW 6

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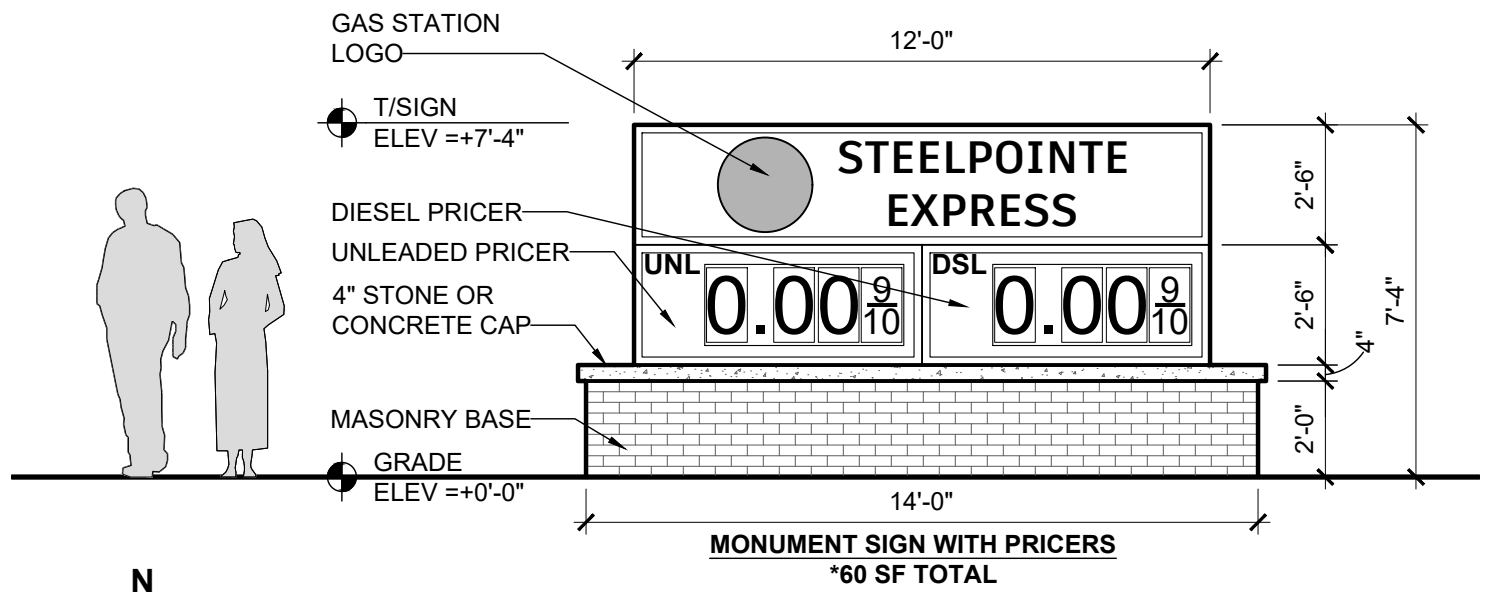
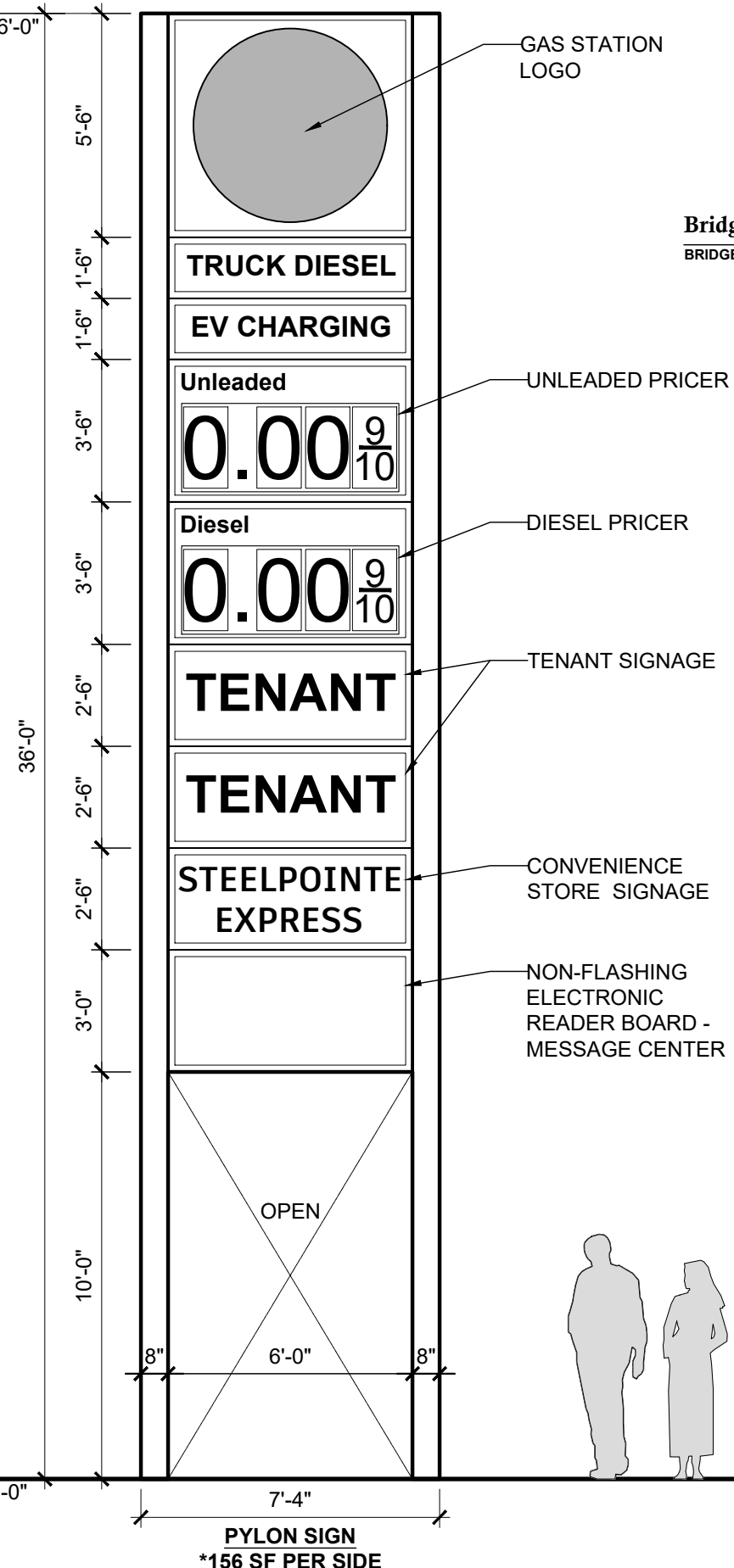


SIGNAGE		
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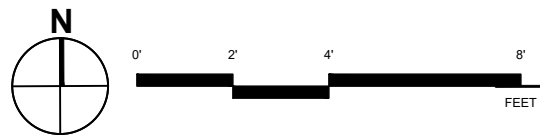
T/SIGN
ELEV =+36'-0"



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BRIDGEPORT, CT



GRADE
ELEV =+0'-0"



MONUMENT SIGN WITH PRICERS
*60 SF TOTAL

PYLON SIGN
*156 SF PER SIDE

STEELPOINTE EAST - GAS STATION- MONUMENT & PYLON SIGN

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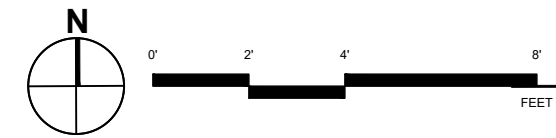
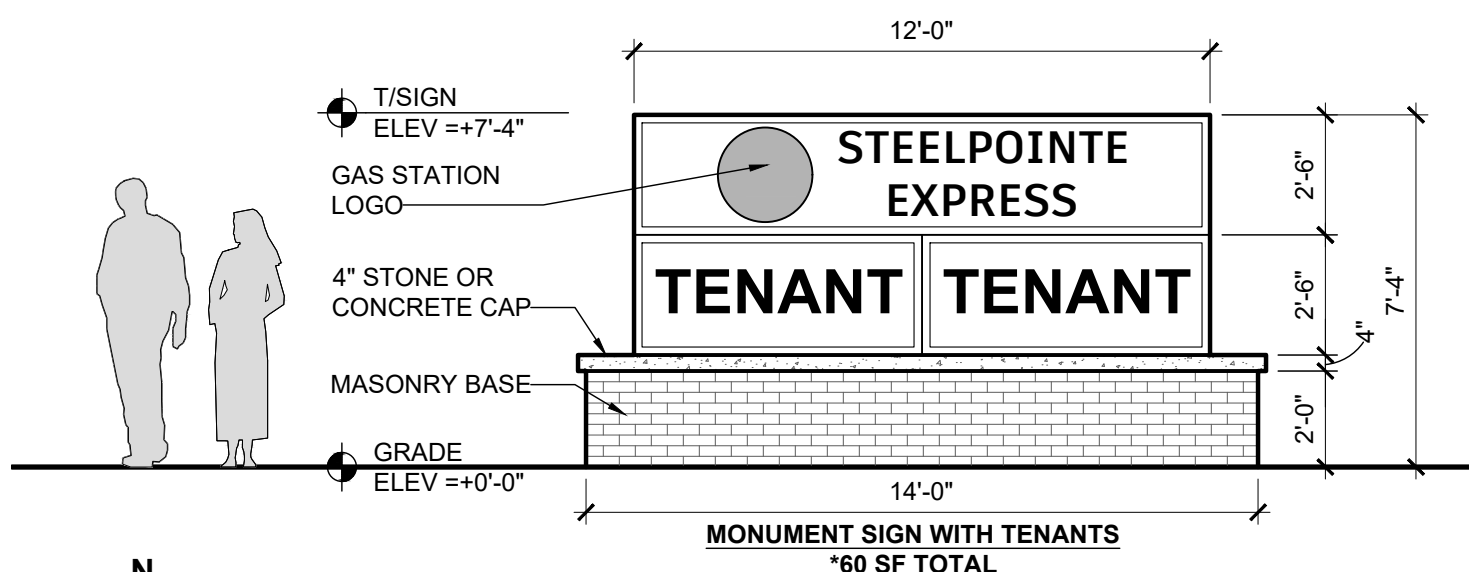
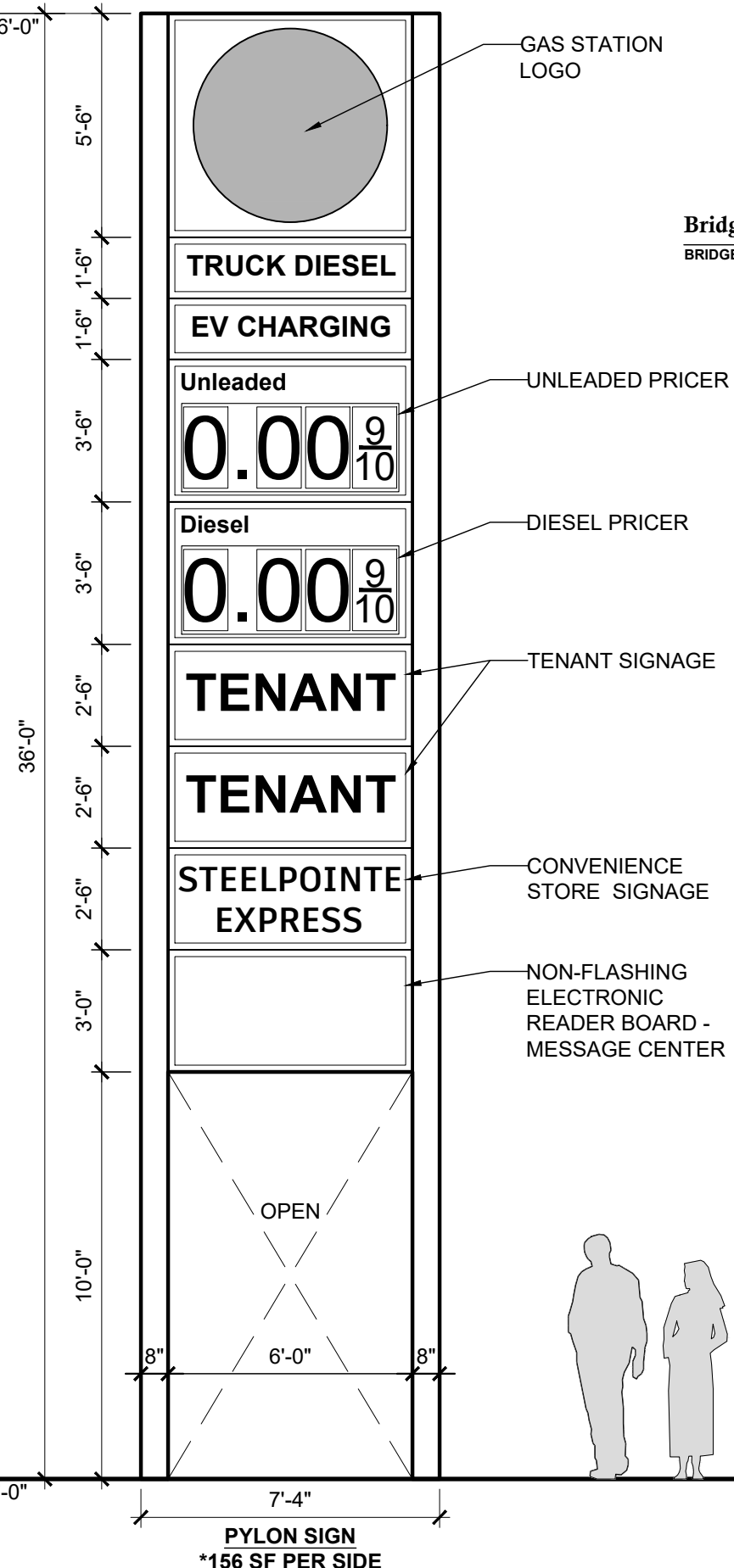


SIGNAGE		
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GENERAL SIGNAGE		
ALLOWED SIGNAGE	WALL SIGNS, PROJECTING SIGNS, FREESTANDING SIGNS	WALL SIGNS, FREESTANDING SIGNS
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T/SIGN
ELEV =+36'-0"



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BRIDGEPORT, CT

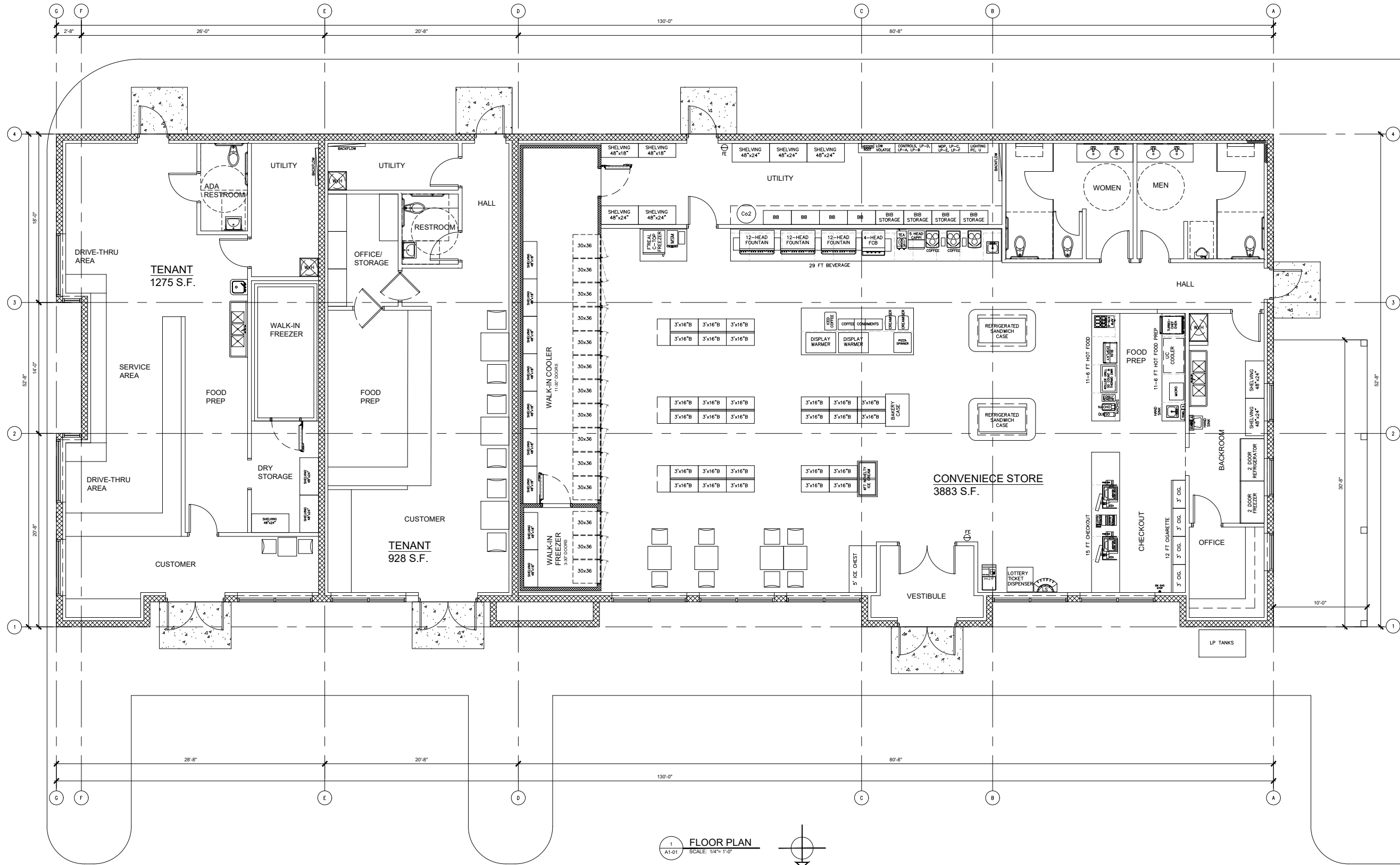


STEELPOINTE EAST - GAS STATION- MONUMENT & PYLON SIGN

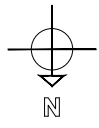
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23-017





1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROJECT
Steelpointe East Gas Station
Bridgport, CT
CLIENT
Bridgport Landing Development, LLC
Bridgport, CT

architect
CUPKOM architecture llc
6000 Riverside Woods Blvd | 216.624.8400 | phone
Glenmont, CT 06111 | 216.624.8400 | fax
www.cupkom.com | cupkom.com

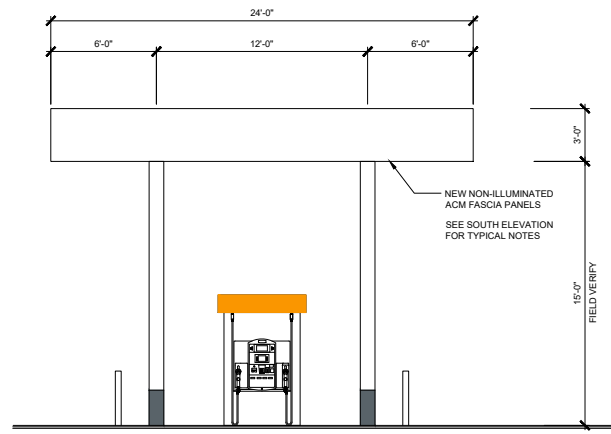
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NUMBER	DATE	DESCRIPTION

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FLOOR PLAN

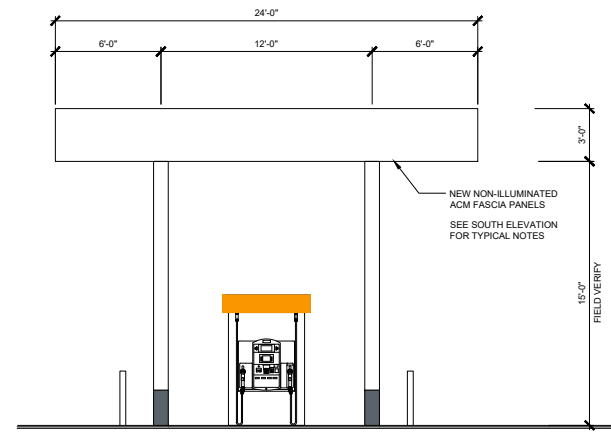
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JOB NUMBER 23-017	
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A1-01



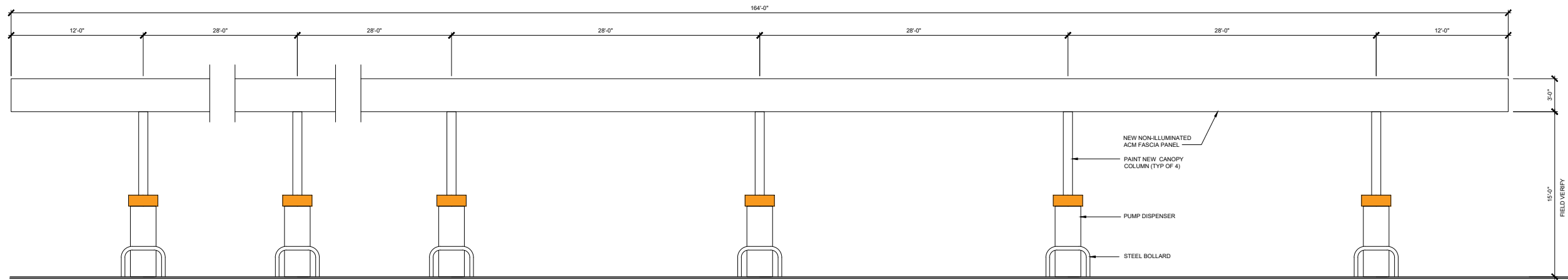
EAST ELEVATION

1/4" = 1'-0"



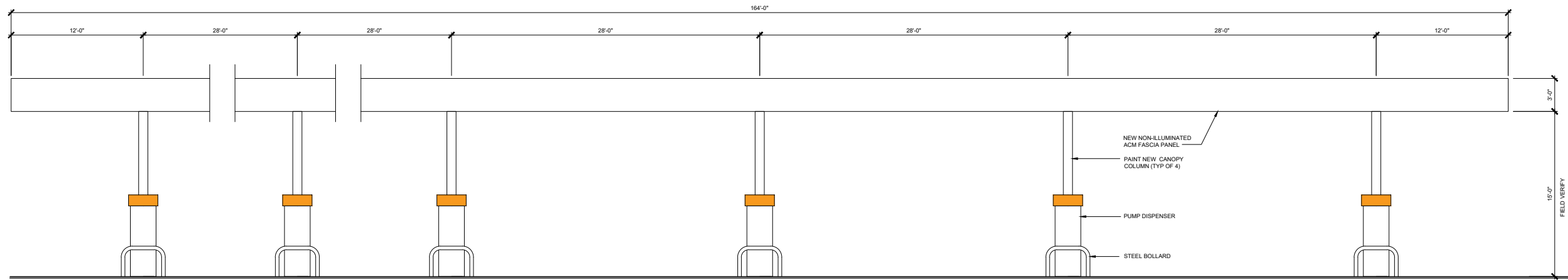
WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"

PROJECT
Steelpointe East Gas Station
 Bridgeport, CT
 CLIENT
 Bridgeport Landing Development, LLC
 Bridgeport, CT

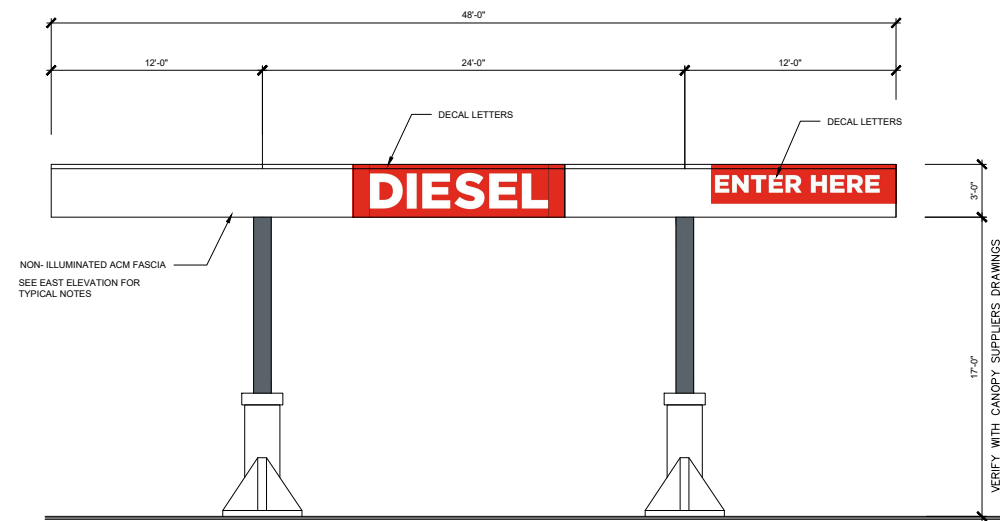
SEAL
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 Coventry, CT 06231
 203.234.8407 phone
 203.234.8401 fax
 www.gupkom.com
 #gupkomarch

NUMBER	DESCRIPTION	DATE

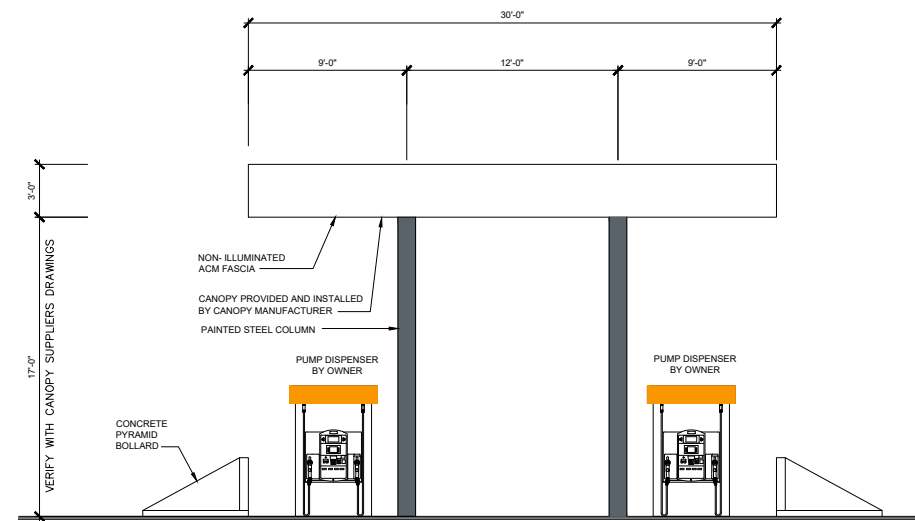
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**Steelpointe East Gas Station
 GAS CANOPY ELEVATIONS**

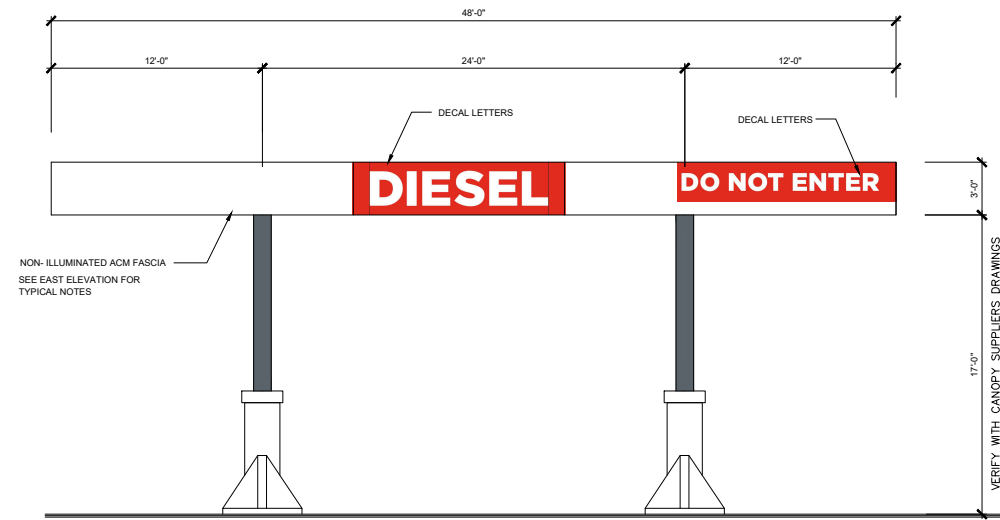
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JOB NUMBER 23-017	
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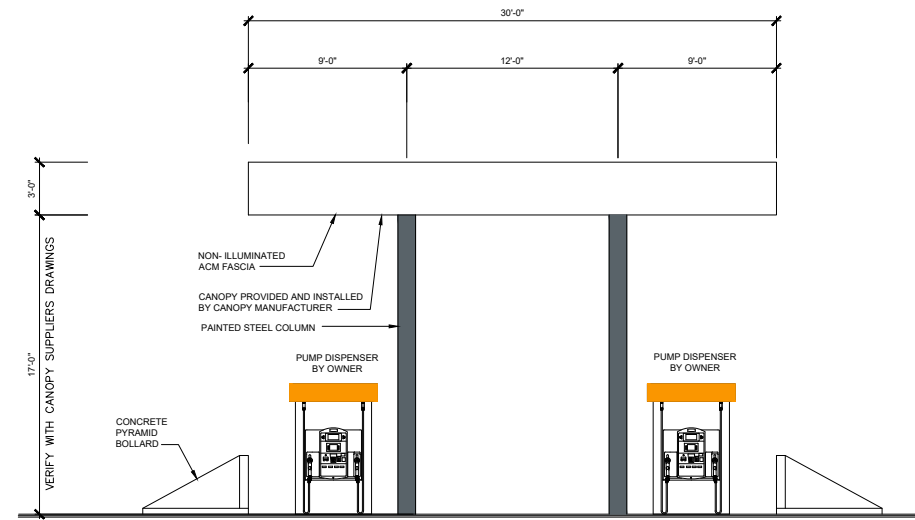
NORTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

PROJECT
Steelpointe East Gas Station
Bridgeport, CT
CLIENT
Bridgeport Landing Development, LLC
Bridgeport, CT

SEAL
CUPKOM architecture llc
www.cupkom.com
2000 Riverside Woods Blvd | 203.234.8507 phone
Greenwich, CT 06831 | 203.234.8501 fax | info@cupkom.com

NUMBER	DESCRIPTION	DATE

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
Steelpointe East Gas Station
DIESEL CANOPY ELEVATIONS

DRAWN BY
SDM

CHECKED BY
SDM

SCALE
1/4" = 1'-0"

FILE DATE
-

DESIGN NUMBER
23-017

DRAWING NUMBER
A4-02



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BRIDGEPORT, CT



STEELPOINTE EAST - GAS STATION - CONCEPT VIEW 2

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BRIDGEPORT, CT



STEELPOINTE EAST - GAS STATION - CONCEPT VIEW 1

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