



ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

- Variance, Appeal from Zoning Officer, Extension of Time Permit, Request for Re-hearing, Change of Condition(s) of Approval

132 Andover St. Zone I
On the North side of the street about 0 feet West from Peerless Place
Block: 19/307 Lot: 2
Dimension of Lot in Question 205.50' x 100.01' x 45.50' x 100.01' x 160.00' x 200.02'

1. NAME OF APPLICANT / BUSINESS Bar Bridgeport, LLC
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
3. HAS A PREVIOUS APPLICATION BEEN FILED? IF SO, GIVE DATE OF HEARING
4. DESCRIBE PROPOSED DEVELOPMENT Demolition of two-story office building and interior remodel of existing industrial building for vehicle service and storage

5. THIS APPLICATION RELATES TO: Check all that Apply
Setback, Coverage, Landscaping, Lot Area and Width, Floor Area, Height, Parking, Extension or Enlargement of Non-Conforming Use and/or Building, Coastal Area Management Approval, Liquor, Use, Other: Certificate of Location Approval for light vehicles sales and service

6. USE TO BE MADE OF PROPERTY Light vehicle sales and service for vehicle storage, detailing and vehicle service

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? Not applicable - Certificate of Location Approval

APPLICANT [Signature] / [Print] DATE 12/20/2023

If signed by agent, state capacity (lawyer, builder, etc) /
Mailing Address 10 Sasco Hill Rd, Fairfield, CT 06824 203-528-0590

PROPERTY OWNERS ENDORSEMENT (If other than owner) (Signature) Print

Subscribe & Sworn to before me this \_\_\_ day of \_\_\_ 20\_\_\_ Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary). The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this application. NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED. PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS (REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: DATE: 20\_\_\_ Clerk

# BAR BRIDGEPORT, LLC ACTIVE

122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

## BUSINESS DETAILS

### Business Details

#### General Information

Business Name  
BAR BRIDGEPORT, LLC

Business status  
ACTIVE

Citizenship/place of formation  
Foreign/MA

Business address  
122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

Office in jurisdiction  
122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

Annual report due  
3/31/2024

NAICS code  
Other Activities Related to Real Estate (531390)

Business ALEI  
1354290

Date formed  
8/10/2020

Business type  
LLC

Mailing address  
122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

Mailing address state of formation  
122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089,

Last report filed  
2023

NAICS sub code  
531390

#### Principal Details



Principal Name  
JAMES E. BALISE JR.

Principal Title  
MANAGER

Principal Business address  
122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

Principal Residence address  
122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

Principal Name  
TIMOTHY INGERSON

Principal Title  
MANAGER

Principal Business address  
122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

Principal Residence address  
122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

**Agent details**



Agent name  
Secretary of State

Agent Business address  
165 Capitol Ave., P.O. BOX 150470, P.O. BOX 150470, Hartford, CT, 06115-0470, United States

Agent Mailing address  
165 CAPITOL AVENUE, P.O. BOX 150470, HARTFORD, CT, 06115-0470, United States

**Filing History**



<https://ctds.my.salesforce.com/sfc/p/t0000000PNLu/a/t000000107GQ/6yO.ceI.0qjMgkuoYgktFhxAVkvTuHyNZ65wrnCalVU>

**Business  
Registration -  
Certificate of  
Registration  
0006959431**

Filing date: 8/10/2020  
Filing time:

**PROPERTIES WITHIN 100' OF 146 ANDOVER ST**

<b>PROPERTY ADDRESS</b>	<b>OWNER'S NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
55 ANDOVER ST	JESAJ HOLDINGS LLC	885 CONKLIN ST	FARMINGDALE	NY	11753
46 ALBION ST #0001	SOUTHWEST COMMUNITY HEALTH CENTER, INC	968 FAIRFIELD AV	BRIDGEPORT	CT	06605
46 ALBION ST #0002	BALDWIN ALBION TAX CREDIT ENTITY LLC	150 HIGHLAND AVE	BRIDGEPORT	CT	06604
46 ALBION ST #0003	SOUTHWEST COMMUNITY HEALTH CENTER, INC.	968 FAIRFIELD AVE	BRIDGEPORT	CT	06605
117 ANDOVER ST	BAR BRIDGEPORT LLC	122 DOTY CIR	WEST SPRINGFIELD	MA	01089
129 ANDOVER ST	BAR BRIDGEPORT LLC	122 DOTY CIR	WEST SPRINGFIELD	MA	01089
135 ANDOVER ST	ALPHA BLACK ROCK DE 1 LLC	2 CORPORATE DR #945	SHELTON	CT	06484
137 ANDOVER ST #143	ALPHA BLACK ROCK LLC DE 1 LLC	2 CORPORATE DR #945	SHELTON	CT	06484
165 ANDOVER ST	WALDORF PROPERTIES LLC	478 ALBANY AVENUE #1	BROOKLYN	NY	11203
163 ANDOVER ST	TROJILLO JOSE E	1452 WOOD AVE	BRIDGEPORT	CT	06604
171 ANDOVER ST	TROJILLO JOSE E	1452 WOOD AVE	BRIDGEPORT	CT	06604
2075 FAIRFIELD AV	AMBEMAA MANAGEMENT LLC	21 MANOR DR	TRUMBULL	CT	06611
623 PINE ST	RADIO COMMUNICATION CORP	623 PINE ST	BRIDGEPORT	CT	06605
2073 FAIRFIELD AV	AMBEMAA MANAGEMENT LLC	21 MANOR DR	TRUMBULL	CT	06611
146 ANDOVER ST	BAR BRIDGEPORT LLC	122 DOTY CIR	WEST SPRINGFIELD	MA	01089
431 CHERRY ST	431 CHERRY ST BRIDGE LLC	431 CHERRY ST	BRIDGEPORT	CT	06605
2045 FAIRFIELD AV	PATEL JAY V	21 MANOR DR	TRUMBULL	CT	06611
365 CHERRY ST	AREC 40 LLC	2727 N CENTRAL AVE	PHOENIX	AZ	85004
2033 FAIRFIELD AV	BAR BRIDGEPORT LLC	122 DOTY CIR	WEST SPRINGFIELD	MA	01089
94 ANDOVER ST	BRIDGEPORT CITY OF REDEVELOPMENT	45 LYON TERR	BRIDGEPORT	CT	06604
132 ANDOVER ST	BAR BRIDGEPORT LLC	122 DOTY CIR	WEST SPRINGFIELD	MA	01089

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\* Also Admitted in NY  
\* Also Admitted in VT  
+ Of Counsel

December 20, 2023

Paul Boucher  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604

**Re: ZBA Application at 132 Andover Street**

Dear Mr. Boucher:

Please accept the following responses as part of the application to the Bridgeport Zoning Board of Appeals for a Certificate of Location Approval for Light Vehicle Sales & Service use at the property located at 132 Andover Street (the "Site").

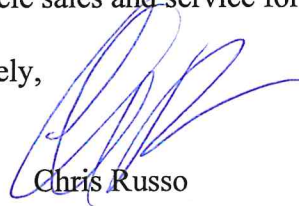
The Applicant requests to a certificate of location approval for light vehicle sales and service use at the Site. The Site is located within the Industrial "I" Zone, which permits light vehicle sales & service use under the Workshop Building Type subject to a certificate of location approval. The Site currently contains an existing industrial building with a small attached addition, which contains office space. The Applicant proposes to demolish this office area and redesign the existing industrial building for the purpose of providing automotive service and vehicle storage. This use is in character with the surrounding industrial area, particularly the adjacent car wash facility, which is also a light vehicle sales & service use.

Within the existing building the Applicant proposes to locate twenty-four (24) car lifts, which will stack four (4) vehicles high for a total of ninety-six (96) vehicles. This will be the storage of new vehicles for sale off-Site at different dealerships. Another area will be utilized for detailing cars associated with the adjoining car wash facility and the stored vehicles. These two uses on abutting properties are complementary and the pairing is seen at many new car wash facilities. The Commission approved a similar arrangement for a development on Main Street. An overhead door will lead to a "detailing lane" where vehicles can be parked and detailed. Those vehicles will then exit the building on the opposite side. A portion of the building will also contain seven (7) lifts for vehicle repairs for dealership vehicles. This particular use will be staffed by four (4) technicians. The vehicles will only be dropped off and picked up by dealership employees. The building will contain bathrooms and a break room for employees.

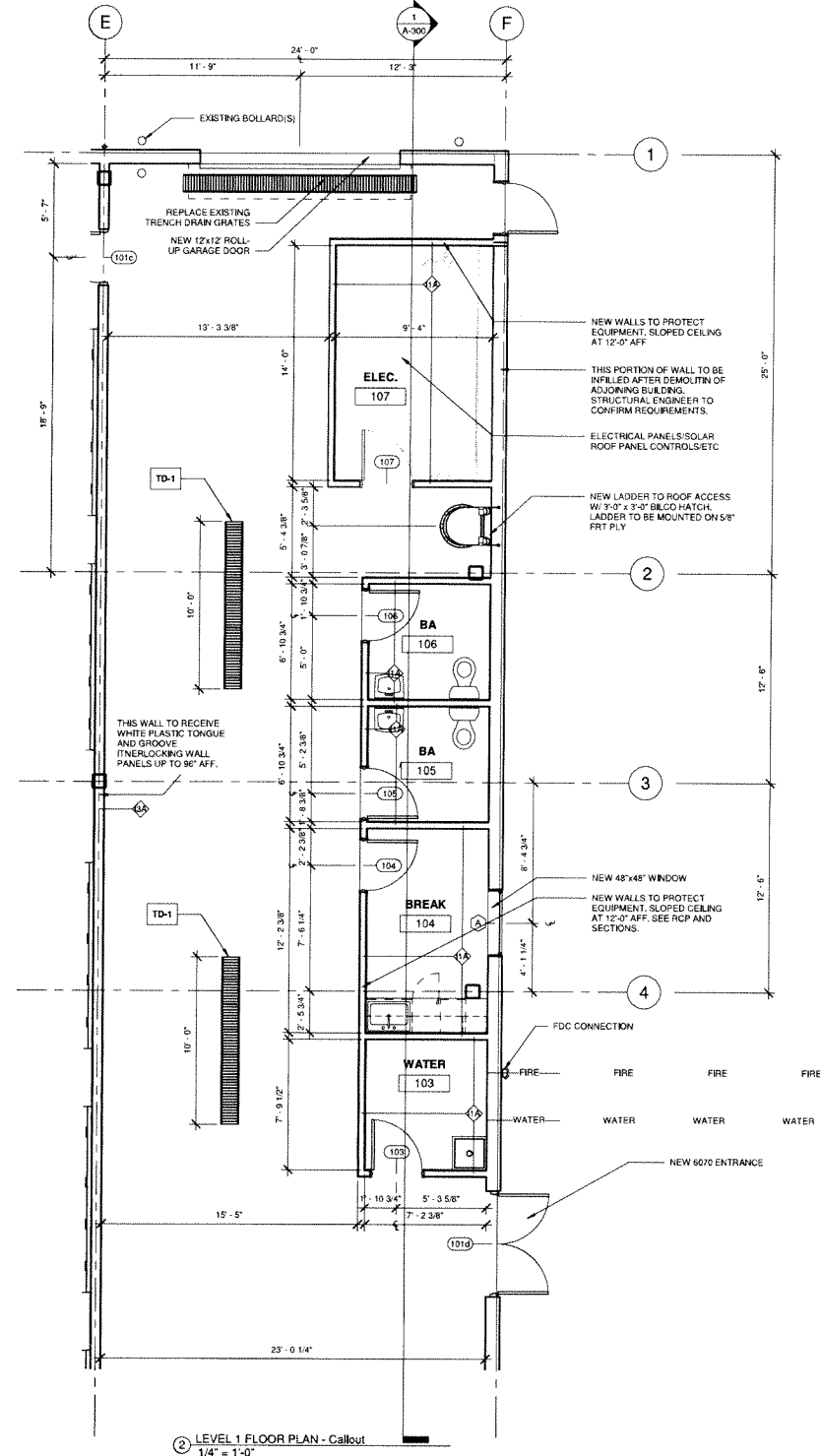
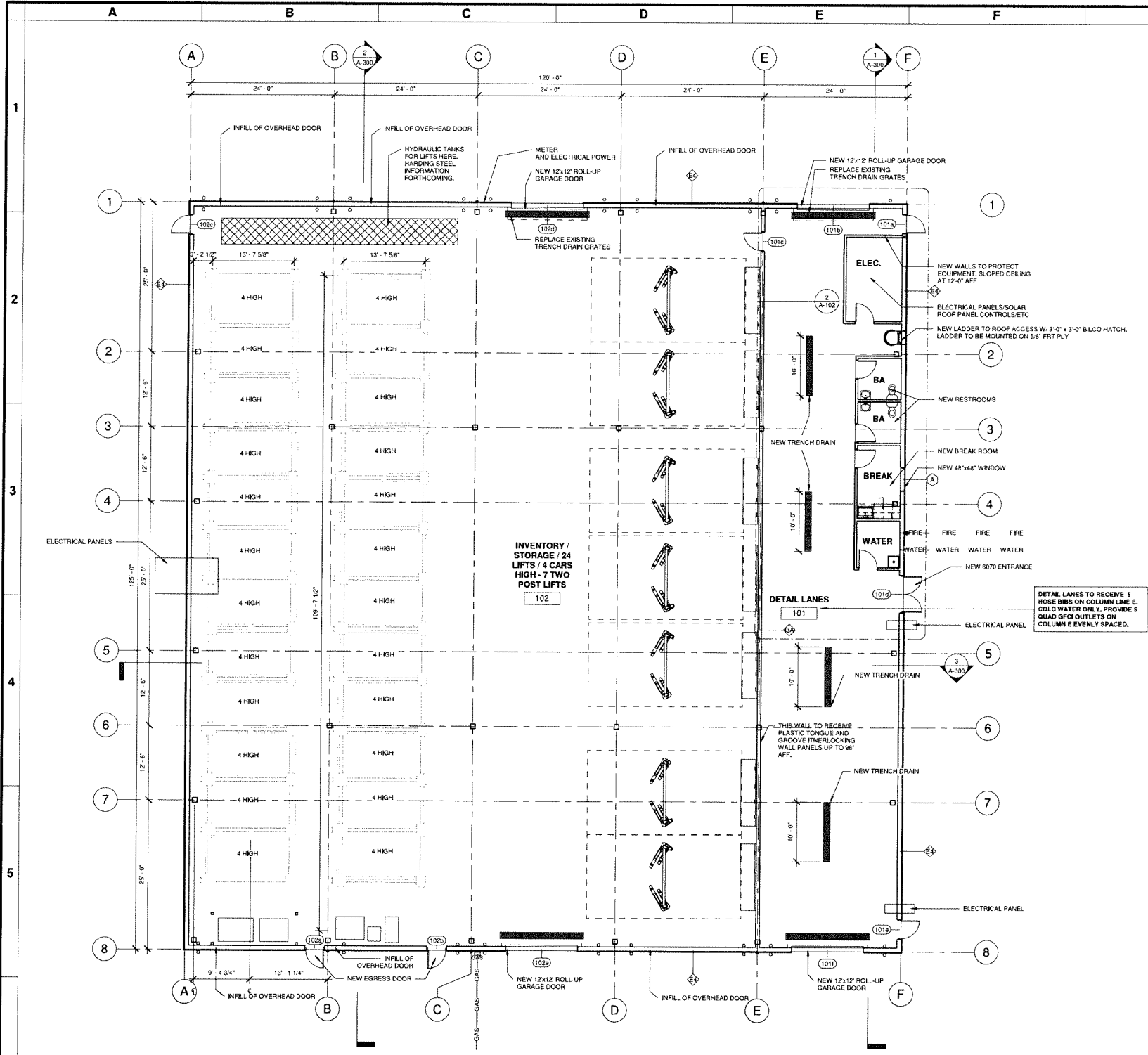
The Application and proposed use are completely consistent with the standards and approval criteria for a Certificate of Location approval under Sec. 11.120.2.B(2). The use is compatible and consistent with the Regulations. The proposed use is permitted in the I Zone under the Workshop Building Type. The use will not impair the future development of the surrounding area. In fact, it is a complement to the abutting car wash facility, which was recently approved. The proposed redevelopment is occurring within the existing building. On the exterior, a small office portion of the existing building is being demolished, which actually opens the Site considerably. The Site does not abut any N or NX zones. The redevelopment of the Site will only improve surrounding property values. Finally, the proposed use will not cause any conflicts with existing uses within the immediate vicinity. As stated above, the use will be operated within the building and it is completely complementary to the abutting car wash facility.

For the reasons stated above, the Applicant respectfully requests approval for a Certificate of Location for light vehicle sales and service for the Site.

Sincerely,

A handwritten signature in blue ink, appearing to read "Chris Russo", is written over the printed name.

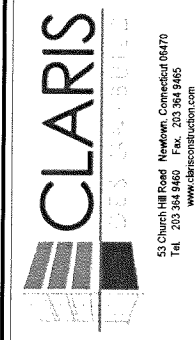
Chris Russo



Symbol	Description	Symbol	Description
[Symbol]	<b>NEW EXTERIOR WALL</b> PEMB W/ 2\"/>	[Symbol]	<b>NEW INTERIOR WALL</b> 6\"/>
[Symbol]	<b>NEW INTERIOR WALL</b> 3.5\"/>	[Symbol]	<b>NEW INTERIOR WALL</b> 1-1/2\"/>
[Symbol]	<b>NEW INTERIOR WALL</b> 3.5\"/>	[Symbol]	<b>NEW INTERIOR WALL</b> 3.5\"/>
[Symbol]	<b>NEW INTERIOR WALL</b> 6\"/>	[Symbol]	<b>NEW INTERIOR WALL</b> 3.5\"/>

**FLOOR PLAN NOTES:**

- SEE WALL SECTIONS, DETAILS AND PRODUCT SPECIFICATIONS FOR INSTALLATION OF MATERIALS.
- WALLS ARE DIMENSIONED TO FINISHED FACE. DOORS AND WINDOWS TO CENTERLINE.
- STEEL DIMENSIONS ARE TO FACE OF STEEL OR CENTERLINE OF STEEL AS DENOTED BY STEEL GRID LINES.
- PLUMBING FIXTURE DIMENSIONS ARE FROM CENTERLINE OF FIXTURE TO FINISHED FACE OF PARTITION.
- PROVIDE IN WALL 2X WOOD BLOCKING FOR ALL MILLWORK, CASEWORK, COUNTERTOPS, BATHROOM ACCESSORIES, RAILINGS AND MECHANICAL EQUIPMENT AS REQUIRED.
- TRADES TO COORDINATE LOCATION OF ALL SUBGRADE UTILITY PENETRATIONS AND SLEEVES PRIOR TO CONTRACTOR POURING FOOTINGS AND FOUNDATION WALLS.
- REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION, SLAB AND STRUCTURAL STEEL LOCATIONS AND DETAILS.
- REFER TO FIRE PROTECTION DRAWINGS FOR ALL SPRINKLER HEAD AND PIPING SIZES AND LOCATIONS.
- REFER TO PLUMBING DRAWINGS FOR ALL PIPING LAYOUT, SIZES AND FIXTURE SCHEDULE.
- REFER TO MECHANICAL DRAWINGS FOR ALL HVAC LOCATIONS AND DETAILS. NOTE THIS SYSTEM IS A PARTIAL PRENUM RETURN.
- REFER TO ELECTRICAL DRAWINGS FOR ALL EMERGENCY LIGHTING, POWER, DATA, TELEPHONE OUTLET QUANTITIES AND LOCATIONS.



THIS DRAWING IS THE PROPERTY OF CLARIS DESIGN BUILD HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF CLARIS

132 ANDOVER STREET  
BRIDGEPORT, CONNECTICUT

No.	Description	Date

**FIRST FLOOR PLAN - NEW FIT OUT**

132 ANDOVER STREET

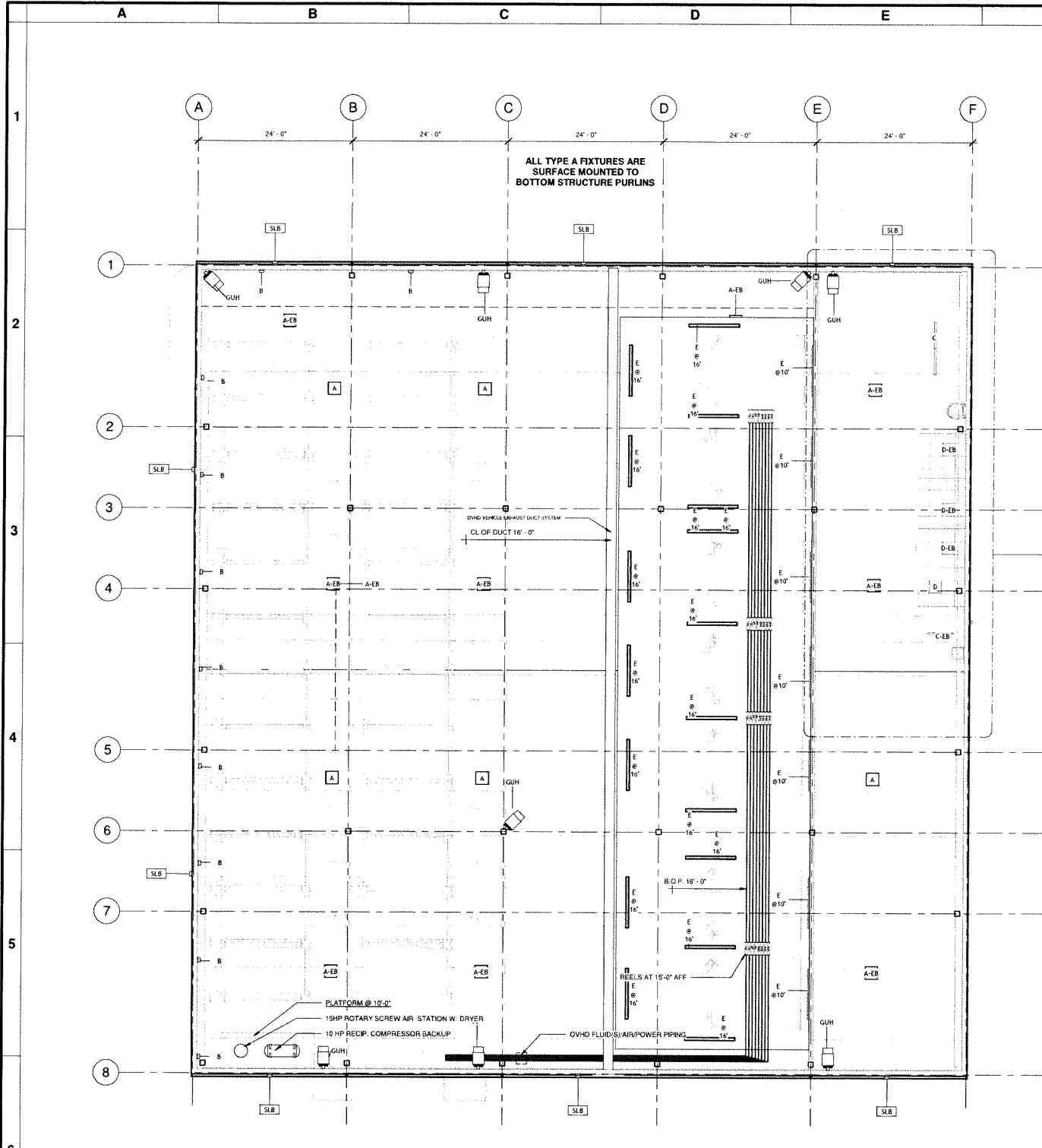
Project Number: 21-36  
Date: 11.8.23  
Drawn By: JPI/R  
Checked By: RPM  
Scale: As indicated

**A-102**

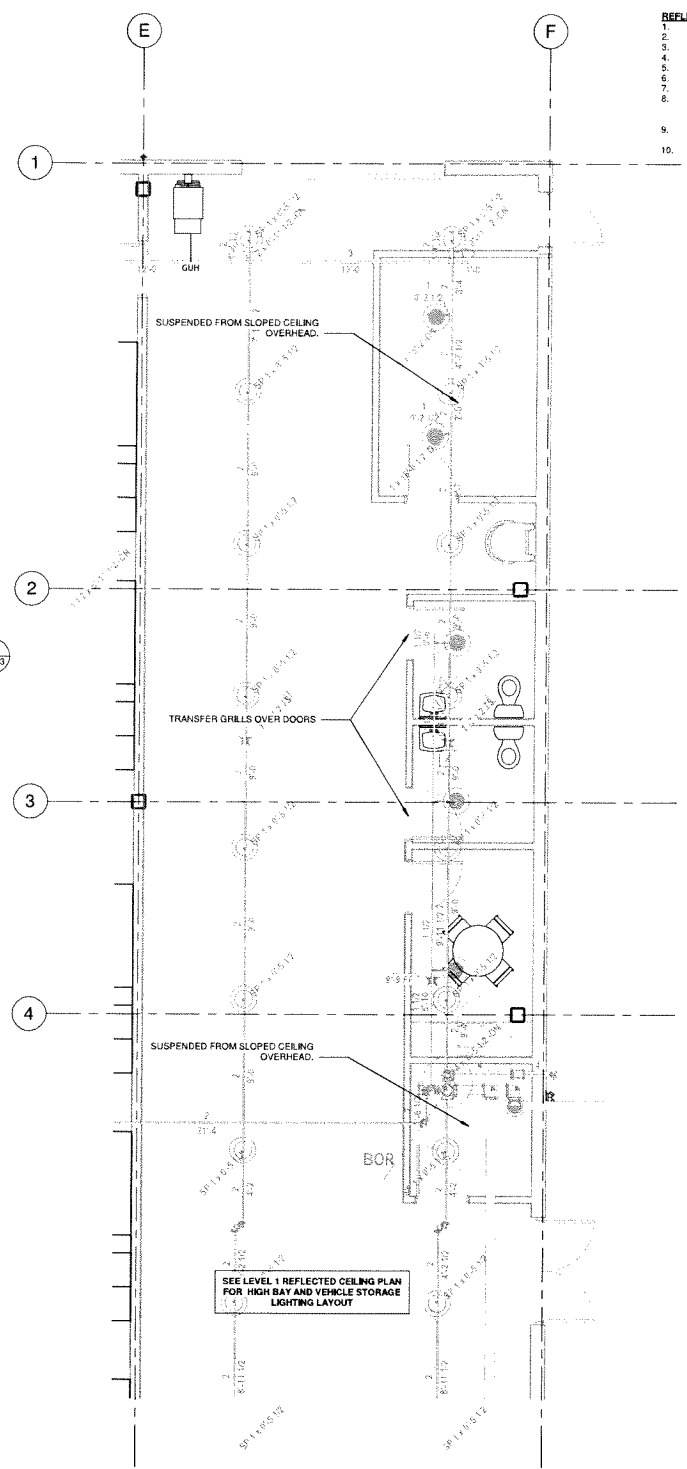
REDESIGN



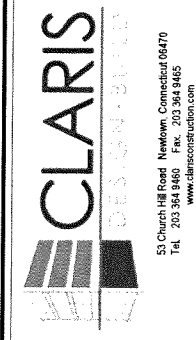
- REFLECTED CEILING NOTES:**
1. SEE ELECTRICAL PLANS FOR SWITCHING, POWER AND DATA REQUIREMENTS AND DETAILS.
  2. SEE LIGHTING PLAN FOR FIXTURE TYPES AND WIRING DETAILS.
  3. SEE MECHANICAL PLANS FOR DUCT SIZES, LOCATIONS AND DETAILS.
  4. SEE FIRE PROTECTION PLAN FOR SPRINKLER LOCATIONS AND DETAILS.
  5. LIGHTING FIXTURES AND HVAC DIFFUSERS SHOWN ARE FOR REFERENCE ONLY.
  6. CEILING TYPE ACT-1 SHALL BE A 2X2 GRID, SEE FINISH SCHEDULE.
  7. VENT RESTROOM EXHAUST FANS THROUGH ROOF.
  8. CEILING HEIGHTS NOTED ARE MINIMUMS. MEP TRADES TO INSTALL ALL PIPING AND EQUIPMENT AT MAXIMUM HEIGHT POSSIBLE TO MAXIMIZE CEILING HEIGHTS IN EACH ROOM AND AVOID CONFLICT WITH OTHER TRADES.
  9. SUPPORT LIGHT FIXTURES AND DIFFUSERS BY WIRES TO THE STRUCTURE ABOVE, PER ALL APPLICABLE CODES.
  10. SEE SUSPENDED CEILING DETAIL SHEET A-004 FOR INSTALLATION AND SEISMIC DETAILS.



1 LEVEL 1  
1/8" = 1'-0"



2 RCP ENLARGEMENT PLAN  
1/4" = 1'-0"



THIS DRAWING IS THE PROPERTY OF CLARIS DESIGN BUILD HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF CLARIS

132 ANDOVER STREET  
BRIDGEPORT, CONNECTICUT

No.	Description	Date

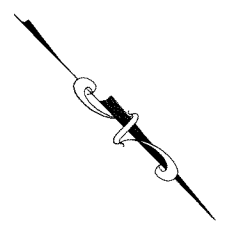
FIRST FLOOR REFLECTED CEILING PLAN

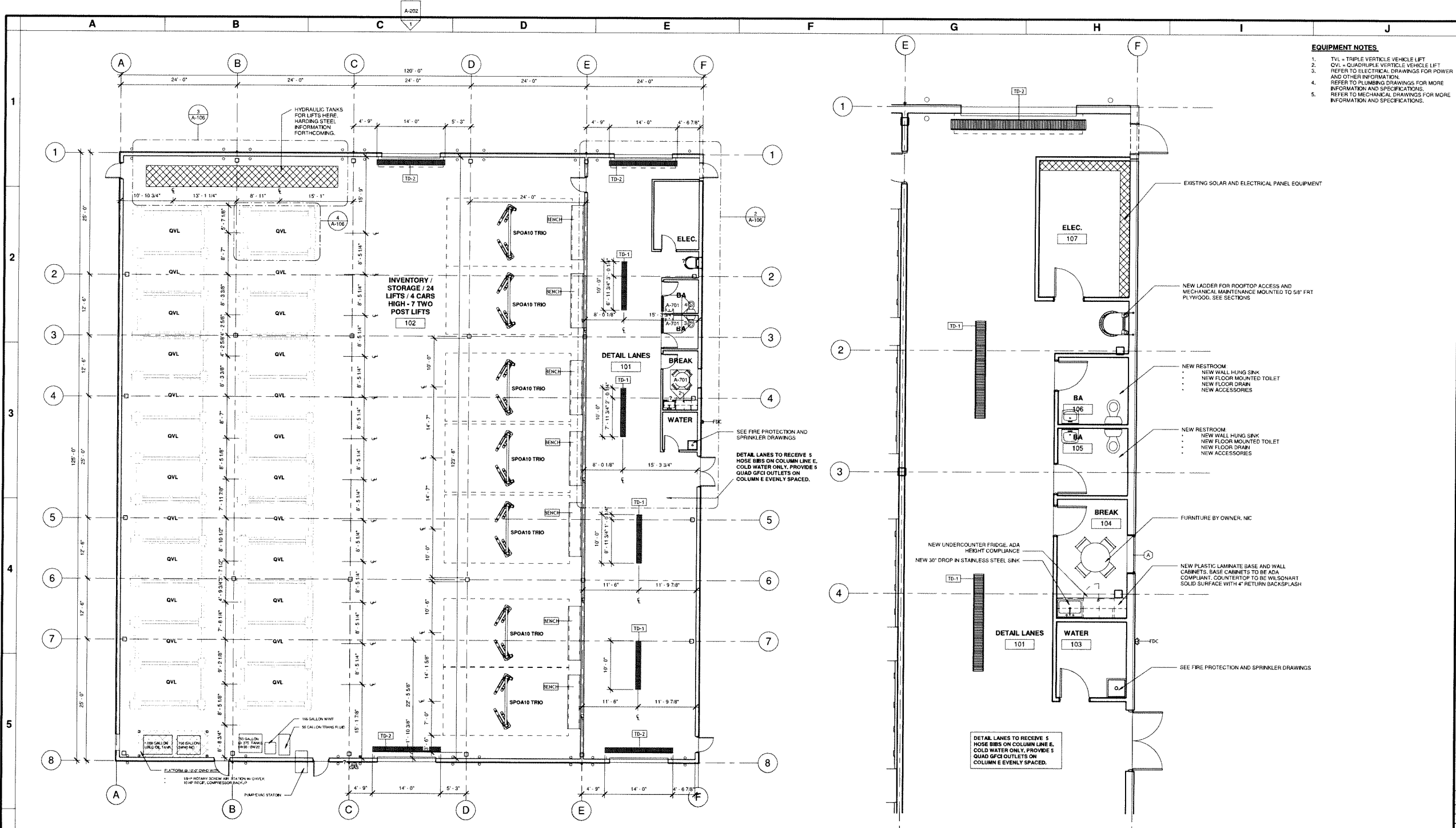
132 ANDOVER STREET

Project Number	21-36
Date	11.8.23
Drawn By	J P R
Checked By	RPM
Scale	As indicated

**A-103**

REDESIGN





**EQUIPMENT NOTES**

1. TVL = TRIPLE VERTICAL VEHICLE LIFT
2. QVL = QUADRUPE VERTICAL VEHICLE LIFT
3. REFER TO ELECTRICAL DRAWINGS FOR POWER AND OTHER INFORMATION.
4. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION AND SPECIFICATIONS.
5. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION AND SPECIFICATIONS.

**CLARIS**  
DESIGN BUILD

53 Church Hill Road, Newtown, Connecticut 06470  
Tel. 203.364.9460 Fax. 203.364.9465  
www.clarisdistribution.com

THIS DRAWING IS THE PROPERTY OF CLARIS DESIGN BUILD HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF CLARIS

132 ANDOVER STREET  
BRIDGEPORT, CONNECTICUT

No.	Description	Date

**EQUIPMENT PLAN**

132 ANDOVER STREET

Project Number 21-36  
Date 11.8.23  
Drawn By J|P|R  
Checked By RPM  
Scale As indicated

**A-106**

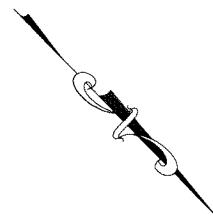
① LEVEL 1 FURNITURE PLAN  
1/8" = 1'-0"

② SERVICE WASH BAY ENLARGEMENT  
1/4" = 1'-0"

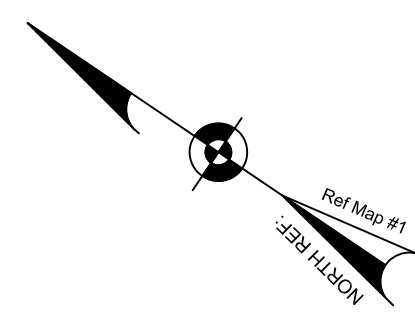
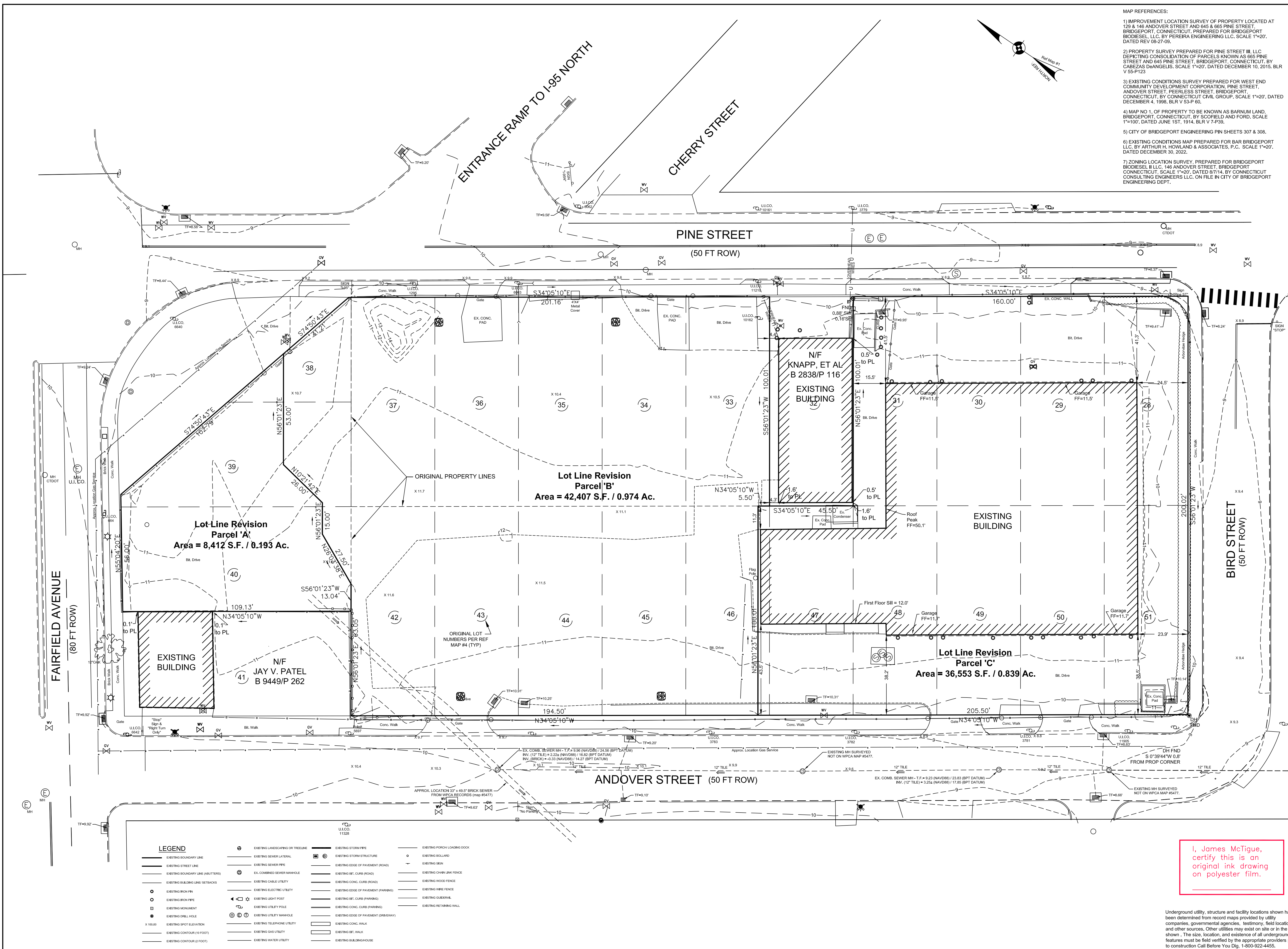
③ HYDRAULIC TANK LAYOUT  
ENLARGEMENT  
1/4" = 1'-0"

④ TYPICAL HARDING STEEL VEHICLE LIFT  
3/8" = 1'-0"

REDESIGN







- MAP REFERENCES:
- 1) IMPROVEMENT LOCATION SURVEY OF PROPERTY LOCATED AT 129 & 146 ANDOVER STREET AND 645 & 665 PINE STREET, BRIDGEPORT, CONNECTICUT, PREPARED FOR BRIDGEPORT BIODIESEL, LLC, BY PEREIRA ENGINEERING LLC, SCALE 1"=20', DATED REV 08-27-09.
  - 2) PROPERTY SURVEY PREPARED FOR PINE STREET III, LLC DEPICTING CONSOLIDATION OF PARCELS KNOWN AS 665 PINE STREET AND 645 PINE STREET, BRIDGEPORT, CONNECTICUT, BY CABEZAS DeANGELIS, SCALE 1"=20', DATED DECEMBER 10, 2015, BLR V 55-P123
  - 3) EXISTING CONDITIONS SURVEY PREPARED FOR WEST END COMMUNITY DEVELOPMENT CORPORATION, PINE STREET, ANDOVER STREET, PEERLESS STREET, BRIDGEPORT, CONNECTICUT, BY CONNECTICUT CIVIL GROUP, SCALE 1"=20', DATED DECEMBER 4, 1998, BLR V 53-P 60.
  - 4) MAP NO. 1, OF PROPERTY TO BE KNOWN AS BARNUM LAND, BRIDGEPORT, CONNECTICUT, BY SCOFIELD AND FORD, SCALE 1"=100', DATED JUNE 1ST, 1914, BLR V 7-P39.
  - 5) CITY OF BRIDGEPORT ENGINEERING PIN SHEETS 307 & 308.
  - 6) EXISTING CONDITIONS MAP PREPARED FOR BAR BRIDGEPORT LLC, BY ARTHUR H. HOWLAND & ASSOCIATES, P.C., SCALE 1"=20', DATED DECEMBER 30, 2022.
  - 7) ZONING LOCATION SURVEY, PREPARED FOR BRIDGEPORT BIODIESEL II LLC, 146 ANDOVER STREET, BRIDGEPORT, CONNECTICUT, SCALE 1"=20', DATED 8/7/14, BY CONNECTICUT CONSULTING ENGINEERS LLC, ON FILE IN CITY OF BRIDGEPORT ENGINEERING DEPT.

1) COPIES NOT BEARING THE EMBOSSED SEAL OF THE SURVEYOR OR ENGINEER SHALL BE RENDERED NULL AND VOID.

2) REVISIONS TO THESE PLANS BY ANYONE OTHER THAN ARTHUR H. HOWLAND & ASSOC., PC SHALL MAKE THESE PLANS NULL AND VOID. ARTHUR H. HOWLAND & ASSOC., PC SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISIONS:

08/29/2022	- Sheet Added to Plan Set.
08/16/2022	- Per City Comments.
09/27/2022	- Final Lot Line Revision Map (LLR.1) Submission to City of Bridgeport.

DEED REFERENCE:  
2033 FAIRFIELD AVE: B 10319 PG. 270  
645 PINE STREET: B 10309 PG. 266  
665 PINE STREET: B 10309 PG. 268  
146 ANDOVER STREET: B 10309 PG. 262

PROPERTY IS LOCATED WITHIN THE "U1" ZONE DISTRICT.

CONTOURS AND ELEVATIONS (VERTICAL ACCURACY) ARE BASED ON NAVD83 DATUM. HORIZONTAL ACCURACY IS ASSUMED AND NOT TIED INTO ANY SPECIFIC COORDINATE SYSTEM.

ENTIRE PROPERTY IS LOCATED IN FLOOD ZONE AE (EL. 12) PER FEMA FLOOD MAP 69001C0437G EFFECTIVE 7-8-2013

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATION OF CONNECTICUT STATE AGENCIES, SECTION 20-300b-1 THROUGH 20-300b-20, EFFECTIVE OCTOBER 26, 2018, AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT," AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.

TYPE OF SURVEY:  
PROPERTY AND TOPOGRAPHIC SURVEY

BOUNDARY DETERMINATION CATEGORY:  
RESURVEY

CLASSES OF ACCURACY:  
A-2 HORIZONTAL  
T-2 VERTICAL

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

JAMES MCTIGUE, PLS #70312

**ARTHUR H. HOWLAND & ASSOCIATES, P.C.**  
CIVIL ENGINEERS • LAND SURVEYORS  
SOIL SCIENTISTS • LAND PLANNERS

143 WEST STREET, SUITE E, NEW MILFORD, CONNECTICUT 06776  
PHONE: (860) 354-9446 • FAX: (860) 350-4419  
WEB: WWW.AHHOWLAND.COM

## Lot Line Revision Map

prepared for  
**BAR BRIDGEPORT LLC**  
631 Pine Street

Original Tax Lots:

2033 Fairfield Ave:  
Tax Map 19/307/30/A  
Area = 11,365 S.F. / 0.261 Ac.

645 & 665 Pine Street  
Tax Map 19/307/26/A & 38/A  
Area = 20,002 S.F. / 0.459 Ac.

146 Andover Street  
Tax Map 19/307/2  
Area = 56,005 S.F. / 1.286 Ac.

City of Bridgeport  
County of Fairfield  
State of Connecticut

DATE: **June 29, 2022**

SCALE: **1" = 20'**

SHEET: **LLR.1**

I, James McTigue, certify this is an original ink drawing on polyester film.

Underground utility, structure and facility locations shown have been determined from record maps provided by utility companies, governmental agencies, testimony, field locations, and other sources. Other utilities may exist on site or in the area shown. The size, location, and existence of all underground features must be field verified by the appropriate providers prior to construction Call Before You Dig, 1-800-922-4455.

**LEGEND**

	EXISTING BOUNDARY LINE		EXISTING SEWER LATERAL		EXISTING STORM PIPE		EXISTING PORCH LOADING DOCK
	EXISTING STREET LINE		EXISTING SEWER PIPE		EXISTING STORM STRUCTURE		EXISTING ROLLPAD
	EXISTING BOUNDARY LINE (ABUTTERS)		EX. COMBINED SEWER MANHOLE		EXISTING EDGE OF PAVEMENT (ROAD)		EXISTING IRON
	EXISTING BUILDING LINE SETBACKS		EXISTING CABLE UTILITY		EXISTING CURB (ROAD)		EXISTING CHAIN LINK FENCE
	EXISTING IRON PIPE		EXISTING ELECTRIC UTILITY		EXISTING EDGE OF PAVEMENT (PARKING)		EXISTING WOOD FENCE
	EXISTING IRON PIPE		EXISTING LIGHT POST		EXISTING CURB (PARKING)		EXISTING WIRE FENCE
	EXISTING MANHOLE		EXISTING UTILITY POLE		EXISTING CURB (PARKING)		EXISTING GALVALUME
	EXISTING SMALL HOLE		EXISTING UTILITY MANHOLE		EXISTING CURB (PARKING)		EXISTING RETAINING WALL
	EXISTING SPOT ELEVATION		EXISTING TELEPHONE UTILITY		EXISTING EDGE OF PAVEMENT (DRIVEWAY)		EXISTING CONC. WALK
	EXISTING CONTOUR (2 FOOT)		EXISTING GAS UTILITY		EXISTING CONC. WALK		EXISTING SET WALK
	EXISTING CONTOUR (4 FOOT)		EXISTING WATER UTILITY		EXISTING BUILDING HOUSE		





**ZONING BOARD OF APPEALS APPLICATION**

The undersigned presents the following application for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

146 Andover St. Zone I  
(Number) (Street) (Zone Classification)  
On the North side of the street about 0 feet West from  
(North, South, East, West) (North, South, East, West)  
Bird Street Block: 19/307 Lot: 2 & 26/A  
(Street)  
Dimension of Lot in Question 194.50' x 100.01' x 5.50' x 100.01' x 201.16' x 41.21' x 53.00' x 26.00' x 15.00' x 27.50' x 13.04' x 63.05'  
(Specify)

1. NAME OF APPLICANT / BUSINESS Bar Bridgeport, LLC  
(Print)  
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner  
(Print)  
3. HAS A PREVIOUS APPLICATION BEEN FILED? IF SO, GIVE DATE OF HEARING  
(Yes or No)  
4. DESCRIBE PROPOSED DEVELOPMENT

The Applicant requests approval of the signage plan for the existing vehicle car wash facility

5. THIS APPLICATION RELATES TO: Check all that Apply  
 Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: Signage

6. USE TO BE MADE OF PROPERTY  
Approval of signage plan for vehicle car wash facility

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)?  
See attached

APPLICANT [Signature] / DATE 12/18/2023  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) /

Mailing Address 10 Sasco Hill Rd, Fairfield, CT 06824 203-528-0590  
(Zip Code) (Email) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**

All questions must be answered in detail (use separate sheet if necessary).  
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this application.  
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.  
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_

Lisa S. Broder\*  
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Jane Ford Shaw  
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Vanessa R. Wambolt  
Vanessa@russorizio.com

\* Also Admitted in NY

▲ Also Admitted in VT

+ Of Counsel

December 18, 2023

Paul Boucher  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604

**Re: ZBA Application at 146 Andover Street**

Dear Mr. Boucher:

Please accept the following responses as part of the variance application to the Bridgeport Zoning Board of Appeals for the property located at 146 Andover Street (the "Site").

**Section of Zoning Regulation for Variance and Description of Proposal**

The Applicant requests a variance of the following section of the Bridgeport Zoning Regulations (the "Regulations") at the Site:

Variance of Section 9.50.4.C(4) of the Regulations to locate wall signs on the existing building at a height greater than twenty-five feet (25') in the I Zone.

**Narrative of Proposed Development**

The Applicant requests to legalize wall signs on the existing car wash building at the Site within the Industrial "I" Zone. The Site currently contains an existing vehicle wash facility, which was recently approved and constructed. The Application that was approved did not include approval for signage. The Applicant now seeks approval for the signage on the existing building.

The main access to the Site is from Pine Street, but there is an additional entrance from Andover Street. Both those streets also have exits. The Site is clearly visible from Interstate 95 and is located directly opposite an on-ramp. The positioning of the Site and the way I-95 wraps around the western and northern street frontage, its viewshed is dominated by I-95. The Site is located in the I Zone while it borders the commercial corridor of Fairfield Avenue. So, the Site is in a unique position where it contains an industrial use that has higher than typical ceilings to



accommodate the facility, but it also has a commercial design to try and blend with the corridor. One of the main features of the existing building is a tower that is compliant with the height regulations for the Zone. The Applicant believed the signage for the building was approved with the prior approval and subsequent permits. However, the signage requires variance due to the height, not size and number, of proposed wall signs.

The Site contains extensive building and street frontages. The signage area and number of wall signs. The Applicant located signage on each façade of the tower, which is permitted in the Zone. They are all wall signs. On every façade of the tower, the first sign “Car Wash” contains an area of 64.62 SF and the second sign “Free Vacs” contains an area of 60.34 SF. There is an additional sign on the North Elevation, which faces I-95, which states “Exit 25” and contains an area of 32.08 SF. This area is compliant with the Regulations. The signs are fully compliant except for the height of the signs.

### **Hardship**

Granting the Applicant said variance will not substantially affect the comprehensive zoning plan of the City of Bridgeport and adherence to the strict letter of the Bridgeport Zoning Regulations (the “Regulations”) will cause an unusual hardship to the Applicant as the Site abuts I-95, which essentially dominates its frontage and stands at a much higher elevation. The Site is also located in the I Zone, while being on the edge of the Fairfield Avenue commercial corridor. So, the Site has a unique balancing act as an industrial use in an industrial zone that is designed to conform in character to a commercial corridor. The design of the building and tower achieve that goal and the Applicant merely proposes to place wall signs conforming in every other aspect – number, area and design – on that tower. The height makes the signs visible from all its frontages.

For the reasons stated above, the Applicant respectfully requests approval for the stated variance for the Site.

Sincerely,

  
Chris Russo

**PROPERTIES WITHIN 100' OF 146 ANDOVER ST**

<b>PROPERTY ADDRESS</b>	<b>OWNER'S NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
55 ANDOVER ST	JESAJ HOLDINGS LLC	885 CONKLIN ST	FARMINGDALE	NY	11753
46 ALBION ST #0001	SOUTHWEST COMMUNITY HEALTH CENTER, INC	968 FAIRFIELD AV	BRIDGEPORT	CT	06605
46 ALBION ST #0002	BALDWIN ALBION TAX CREDIT ENTITY LLC	150 HIGHLAND AVE	BRIDGEPORT	CT	06604
46 ALBION ST #0003	SOUTHWEST COMMUNITY HEALTH CENTER, INC.	968 FAIRFIELD AVE	BRIDGEPORT	CT	06605
117 ANDOVER ST	BAR BRIDGEPORT LLC	117 ANDOVER ST	BRIDGEPORT	CT	06605
129 ANDOVER ST	BAR BRIDGEPORT LLC	122 DOTY CIR	WEST SPRINGFIELD	MA	01089
135 ANDOVER ST	ALPHA BLACK ROCK DE 1 LLC	2 CORPORATE DR #945	SHELTON	CT	06484
137 ANDOVER ST #143	ALPHA BLACK ROCK LLC DE 1 LLC	2 CORPORATE DR #945	SHELTON	CT	06484
165 ANDOVER ST	WALDORF PROPERTIES LLC	478 ALBANY AVENUE #1	BROOKLYN	NY	11203
163 ANDOVER ST	TROJILLO JOSE E	1452 WOOD AVE	BRIDGEPORT	CT	06604
171 ANDOVER ST	TROJILLO JOSE E	1452 WOOD AVE	BRIDGEPORT	CT	06604
2075 FAIRFIELD AV	AMBEMAA MANAGEMENT LLC	21 MANOR DR	TRUMBULL	CT	06611
623 PINE ST	RADIO COMMUNICATION CORP	623 PINE ST	BRIDGEPORT	CT	06605
2073 FAIRFIELD AV	AMBEMAA MANAGEMENT LLC	21 MANOR DR	TRUMBULL	CT	06611
146 ANDOVER ST	BAR BRIDGEPORT LLC	122 DOTY CIR	WEST SPRINGFIELD	MA	01089
431 CHERRY ST	431 CHERRY ST BRIDGE LLC	431 CHERRY ST	BRIDGEPORT	CT	06605
2045 FAIRFIELD AV	PATEL JAY V	21 MANOR DR	TRUMBULL	CT	06611
365 CHERRY ST	AREC 40 LLC	2727 N CENTRAL AVE	PHOENIX	AZ	85004
2033 FAIRFIELD AV	BAR BRIDGEPORT LLC	2033 FAIRFIELD AV	BRIDGEPORT	CT	06605-2245
94 ANDOVER ST	BRIDGEPORT CITY OF REDEVELOPMENT	45 LYON TERR	BRIDGEPORT	CT	06604
132 ANDOVER ST	BAR BRIDGEPORT LLC	122 DOTY CIR	WEST SPRINGFIELD	MA	01089

# BAR BRIDGEPORT, LLC ACTIVE

122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

## BUSINESS DETAILS

### Business Details

#### General Information

**Business Name**  
BAR BRIDGEPORT, LLC

**Business status**  
ACTIVE

**Citizenship/place of formation**  
Foreign/MA

**Business address**  
122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

**Office in jurisdiction**  
122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

**Annual report due**  
3/31/2024

**NAICS code**  
Other Activities Related to Real Estate (531390)

**Business ALEI**  
1354290

**Date formed**  
8/10/2020

**Business type**  
LLC

**Mailing address**  
122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

**Mailing address state of formation**  
122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089,

**Last report filed**  
2023

**NAICS sub code**  
531390

#### Principal Details

Principal Name

JAMES E. BALISE JR.

Principal Title

MANAGER

Principal Business address

122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

Principal Residence address

122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

Principal Name

TIMOTHY INGERSON

Principal Title

MANAGER

Principal Business address

122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

Principal Residence address

122 DOTY CIRCLE, WEST SPRINGFIELD, MA, 01089, United States

Agent details

Agent name

Secretary of State

Agent Business address

165 Capitol Ave., P.O. BOX 150470, P.O. BOX 150470, Hartford, CT, 06115-0470, United States

Agent Mailing address

165 CAPITOL AVENUE, P.O. BOX 150470, HARTFORD, CT, 06115-0470, United States

Filing History



(<https://ctds.my.salesforce.com/sfc/p/t0000000PNLu/a/t000000107GQ/6yO.cel.QqjMgkuoYgktFhxAVkvTuHyNZ65wrnCaLVU>)

**Business  
Registration -  
Certificate of  
Registration  
0006959431**  
Filing date: 8/10/2020  
Filing time:

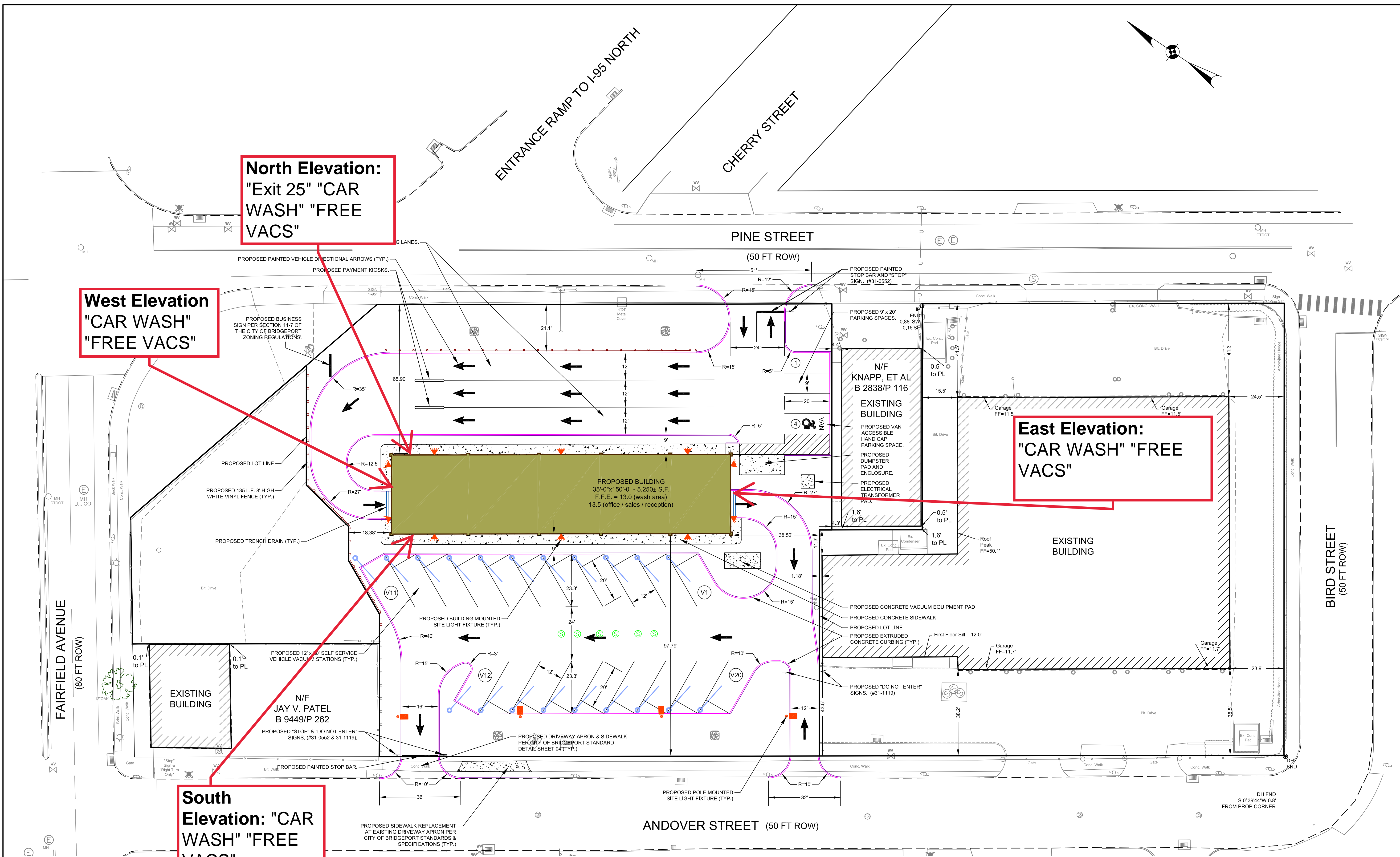


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 2) REVISIONS TO THESE PLANS BY ANYONE OTHER THAN ARTHUR H. HOWLAND & ASSOC., P.C. SHALL MAKE THESE PLANS NULL AND VOID. ARTHUR H. HOWLAND & ASSOC., P.C. SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISIONS:  
 08/29/2022 - Per Engineering Department Comments.  
 07/28/2022 - Per Traffic Department Comments.  
 08/11/2022 - Per Traffic Department Comments.

DEED REFERENCE:  
 2033 FAIRFIELD AVE: B 10319 PG. 270  
 645 PINE STREET: B 10309 PG. 266  
 665 PINE STREET: B 10309 PG. 268  
 146 ANDOVER STREET: B 10309 PG. 262

PROPERTY IS LOCATED WITHIN THE "IL" ZONE DISTRICT.  
 CONTOURS AND ELEVATIONS (VERTICAL ACCURACY) ARE BASED ON NAVD83 DATUM. HORIZONTAL ACCURACY IS ASSUMED AND NOT TIED INTO ANY SPECIFIC COORDINATE SYSTEM.  
 ENTIRE PROPERTY IS LOCATED IN FLOOD ZONE AE (EL. 12) PER FEMA FLOOD MAP 09001C0437G EFFECTIVE 7-8-2013



**ARTHUR H. HOWLAND & ASSOCIATES, P.C.**  
 CIVIL ENGINEERS • LAND SURVEYORS  
 SOIL SCIENTISTS • LAND PLANNERS  
 143 WEST STREET, SUITE E, NEW MILFORD, CONNECTICUT 06776  
 PHONE: (860) 354-9946 • FAX: (860) 350-4419  
 WEB: WWW.AHHC.COM

**Site Development Plan**

prepared for  
**BAR BRIDGEPORT LLC**

2033 Fairfield Ave:  
 Tax Map 19/307/30/A  
 Area = 11,365 S.F. / 0.261 Ac.

645 & 665 Pine Street  
 Tax Map 19/307/26/A & 38/A  
 Area = 20,002 S.F. / 0.459 Ac.

146 Andover Street  
 Tax Map 19/307/2  
 Area = 56,005 S.F. / 1.286 Ac.

City of Bridgeport  
 Fairfield  
 State of Connecticut

**ZONING TABLE**

**ZONE: IL - Industrial - Light Zone**

ITEM	Permitted / Required	Existing	Proposed
<b>HEIGHT, AREA &amp; YARD REQUIREMENTS</b>			
Property	2033 Fairfield Avenue	645 & 665 Pine Street	146 Andover Street
Property Use	Vacant Lot	Vacant Warehouse	Vacant Warehouse
Minimum Lot Area (Ac.)	0.261 (11,365 s.f.)	0.459 (20,002 s.f.)	1.286 (56,005 s.f.)
Minimum Lot Frontage (ft.)	25	200.00	760.02
Maximum Floor Area Ratio	N/A	N/A	Ex. bldg. floorplan(s) unknown
Maximum Principal Building Size (s.f.)	N/A	N/A	17,170
Minimum Front Lot Line Setback (ft.)	N/A	N/A	38.2
Minimum Street Lot Line Setback (ft.)	N/A	N/A	23.9
Minimum Side Lot Line Setback (ft.)	N/A	N/A	15.5
Minimum Rear Lot Line Setback (ft.)	N/A	N/A	65.90
Maximum Building Height (ft.)	75	N/A	40s
Maximum Building Coverage (% total lot area)	85	0.0	30.7
Maximum Site Coverage (% total lot area)	85	54.5	25.0
Minimum Landscaping (% total lot area)	15	—	15

**PROPOSED WALL SIGNS**  
**FLASH CAR WASH**  
**146 ANDOVER ST**

Underground utility, structure and facility locations shown have been determined from record maps provided by utility companies, governmental agencies, testimony, field locations, and other sources. Other utilities may exist on site or in the area shown. The size, location, and existence of all underground features must be field verified by the appropriate providers prior to construction Call Before You Dig, 1-800-922-4455.

DATE: **January 27, 2022**

SCALE: **1" = 20'**

SHEET: **SD.1**



# Flash Car Wash

---

146 Andover Street  
Bridgeport, CT • 072299 • Building Signs • Revision 3 • September 19, 2023

---

# Flash Car Wash

**Project Address:**

146 Andover St  
Bridgeport, CT

**SPI WO #:**72299

**Issue Date:** August 16, 2023

**Salesperson:** Bruce Corriveau  
bruce@signpro-usa.com  
860.426.3019

**Designer:** KRC

**DRAWINGS ARE NOT TO SCALE  
UNLESS OTHERWISE NOTED**

**SPI Revisions:**

- Rev1 KRC 08/31/2023
- Rev2 KRC 09/06/2023
- Rev3 KRC 09/19/2023

# CAR WASH

**36" H x 258.5" W**

Square Footage = **64.62 ft<sup>2</sup> (per unit)!**

Quantity: 4

1 set on each elevation

# FREE VACCS

**36" H x 241.375" W**

Square Footage = **60.34 ft<sup>2</sup> (per unit)!**

Quantity: 4

1 set on each elevation

# EXIT 25

**30" H x 154" W**

Square Footage = **32.08 ft<sup>2</sup>**

Quantity: 1 on North Elevation

**All signs this page:**  
- Fabricated and supplied by others  
- Installed by Sign Pro

Flash Car Wash (8145)

Customer Approval:  APPROVED  APPROVED AS NOTED  REVISE & RESUBMIT

 **SIGN PRO**  
signpro-usa.com

60 Westfield Drive  
Plantsville, CT 06479  
860.229.1812

SIGN TYPE  
**Channel Letters**

PRINT

SIGN

DATE

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PAGE

**2 of 4**

# Flash Car Wash

Project Address:  
146 Andover St  
Bridgeport, CT

SPI WO #: 72299  
Issue Date: August 16, 2023

Salesperson: Bruce Corriveau  
bruce@signpro-usa.com  
860.426.3019

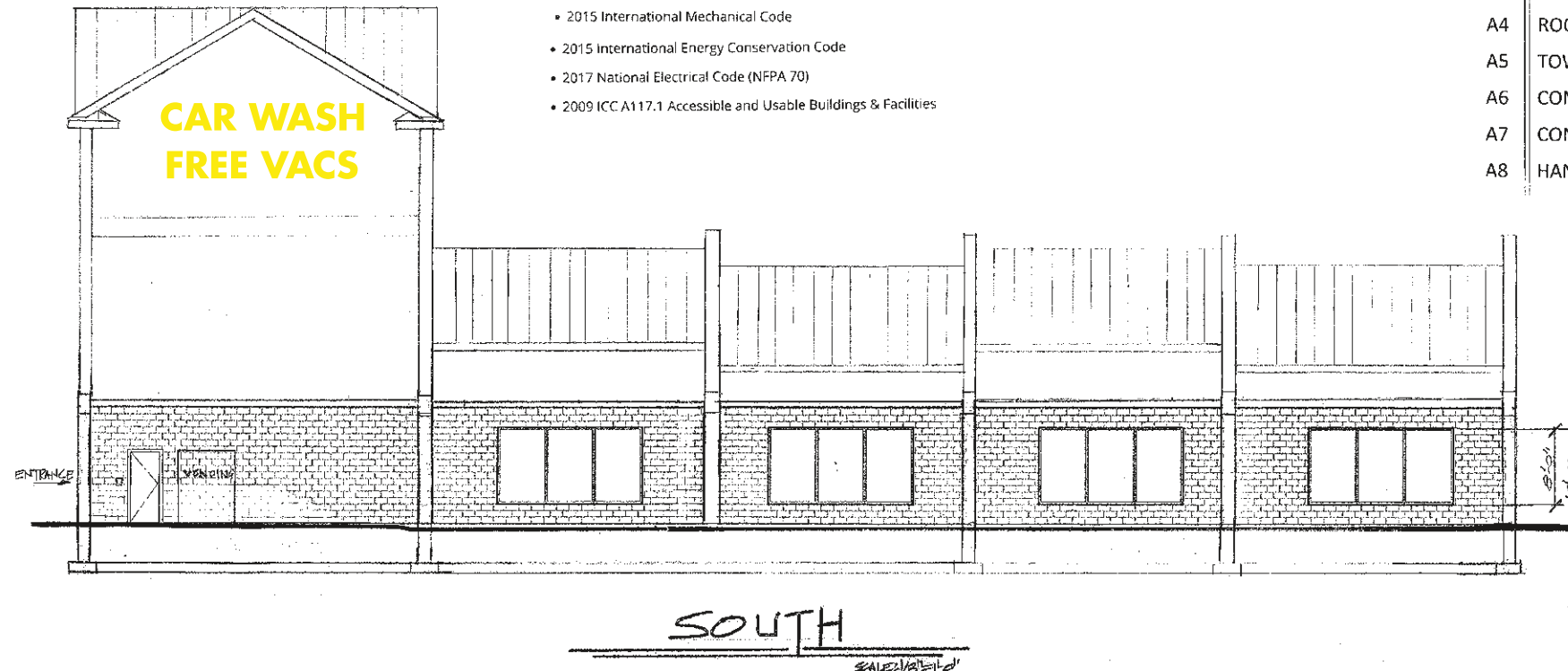
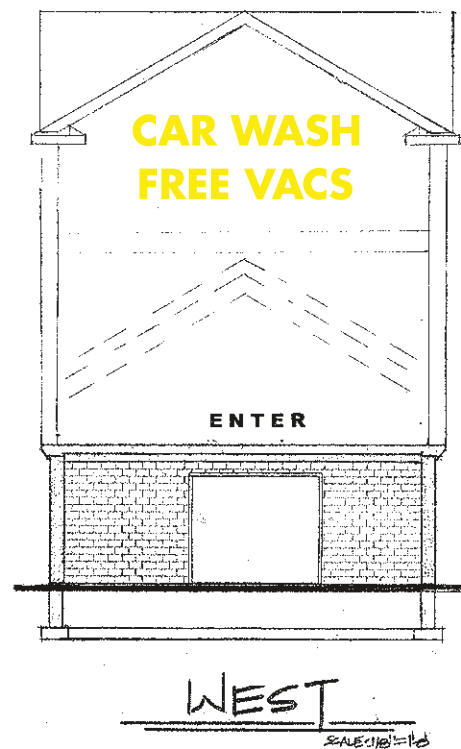
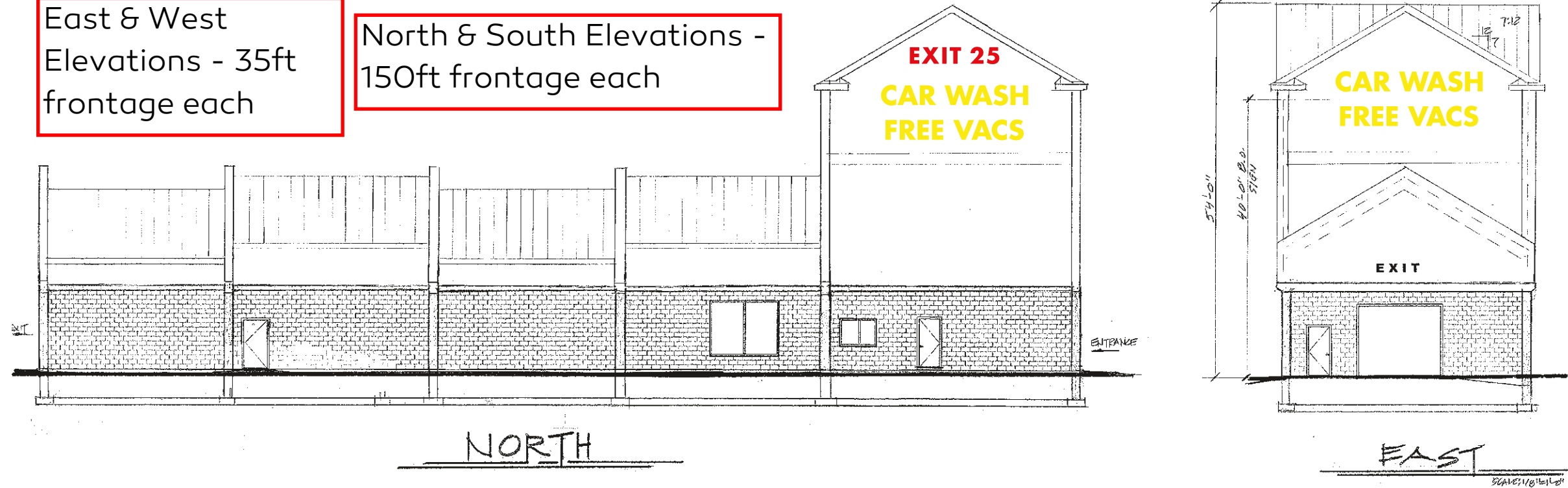
Designer: KRC

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SPI Revisions:  
Rev1 KRC 08/31/2023  
Rev2 KRC 09/06/2023  
Rev3 KRC 09/19/2023

East & West  
Elevations - 35ft  
frontage each

North & South Elevations -  
150ft frontage each



- 2015 International Plumbing Code
- 2015 International Mechanical Code
- 2015 International Energy Conservation Code
- 2017 National Electrical Code (NFPA 70)
- 2009 ICC A117.1 Accessible and Usable Buildings & Facilities

A3	FOUN
A4	ROOF
A5	TOWI
A6	CONV
A7	CONV
A8	HANC

Customer Approval:  APPROVED  APPROVED AS NOTED  REVISE & RESUBMIT

PRINT SIGN DATE  
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**SIGN PRO** 60 Westfield Drive  
Plantville, CT 06479  
860.229.1812  
signpro-usa.com

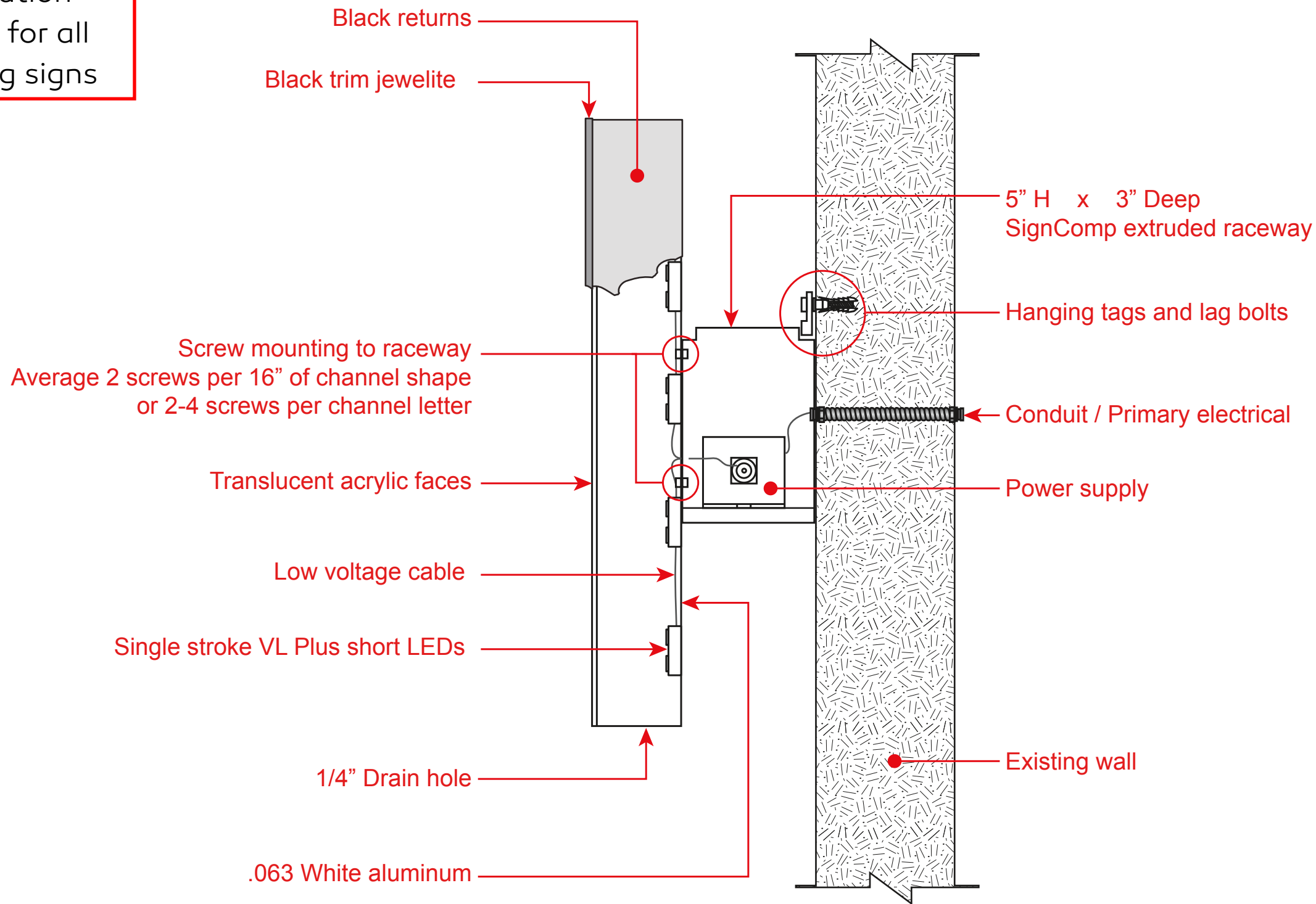


Flash Car Wash (8145)

SIGN TYPE  
**Channel Letters**

PAGE  
**3 of 4**

Attachment & Illumination details for all building signs



# Flash Car Wash

**Project Address:**

146 Andover St  
Bridgeport, CT

**SPI WO #:**72299

**Issue Date:** August 16, 2023

**Salesperson:** Bruce Corriveau  
bruce@signpro-usa.com  
860.426.3019

**Designer:** KRC

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**SPI Revisions:**

Rev1 KRC 08/31/2023  
Rev2 KRC 09/06/2023  
Rev3 KRC 09/19/2023

Flash Car Wash (8145)

Customer Approval:  APPROVED  APPROVED AS NOTED  REVISE & RESUBMIT



60 Westfield Drive  
Plantsville, CT 06479  
860.229.1812

SIGN TYPE  
**Channel Letters**

PRINT

SIGN

DATE

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PAGE

**4 of 4**



# PETITION TO THE BOARD OF APPEALS

## CITY OF BRIDGEPORT, CONNECTICUT

The undersigned presents the following petition for: (check those which apply) Variance ; Appeal from Zoning Officer ; Certificate of Approval of Location for Motor Vehicle Licensing ; Extension of Time Permit ; Request for Re-hearing ; modify Plan of Development ; Change of Condition(s) of Approval ; under the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at

270 Bunnell Street NX2

(Number) (Street) (Zone Classifications)

On the East side of the street about 0 feet South from  
(North, South, East, West) (North, South, East, West)

Deacon Street Lot No. 1 Block No. 735  
(Street)

Dimension of Lot in Question 50' x 90' x 50' x 90'  
(Specify)

1. NAME OF PETITIONER Habitat for Humanity of Coastal Fairfield County  
(Print)

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner  
(Print)

3. HAS ANY PREVIOUS PETITION BEEN FILED No IF SO, GIVE DATE OF HEARING  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Conversion of single family home into a side-by-side two-family by the addition of a 25' x 26' addition with two-bedrooms, 1.5 bathrooms and a full unfinished basement

5. THIS PETITION RELATES TO: (check those which apply); SETBACK ; YARDS ; LANDSCAPING ; LOT AREA AND WIDTH ; FLOOR AREA ; HEIGHT ; PARKING  EXTENSION OR ENLARGEMENT OF NON - CONFORMING USE AND / OR BUILDING  COASTAL SITE PLAN REVIEW ; FLOOD DAMAGE PREVENTION ; WAIVER OF MOTOR VEHICLE HEARING REQUIREMENTS ; OTHER . Second driveway entrance on Deacon St.

6. USE TO BE MADE OF PROPERTY Residential: two-family

7. IS HARDSHIP CLAIMED Yes IF SO, WHAT IS THE SPECIFIC HARDSHIP Rear setback variance required to match rear of existing home on the site, additional driveway opening needed for second unit due to site constraints  
(Yes or No)

PETITIONER Kevin Moore / Kevin Moore DATE 12-8-2023  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc.) Chief Operating Officer, Habitat for Humanity CFC

Mailing address 1542 Barnum Ave. Bridgeport, CT 06610 203-209-5596  
(Zip Code) (Telephone #)

Property Owners endorsement Kevin Moore / Kevin Moore, COO Habitat for Humanity CFC  
(Signature) (Print)

Subscribed & Sworn to before me this 8th day of December 20 23  
Robert DeLino 4/30/2023

Petitioner's Endorsement  
(If other than owner)

Subscribed & Sworn to before me this 8th day of December 20 23  
(Signature) (Print)

### Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All Questions must be answered in detail (use separate sheet if necessary).  
The Petitioner or his agent must adhere to the attached check list or it will not be possible for the Zoning Board of Appeals to process this petition.

NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.  
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
(REFER TO ZONING DEPARTMENT AS TO FEES - 576-7217)





December 8, 2023

Paul Boucher  
Zoning Administrator  
Zoning Department  
City Hall  
45 Lyon Terrace, Room 210  
Bridgeport, CT 06604

Zoning Board of Appeals:

Please find enclosed an application for a zoning variance to convert an existing single-family home to a side-by-side two-family home at 270 Bunnell Street by the addition of a 25' x 26' two-bedroom 1.5 bath addition.

We are seeking a variance for the rear setback requirement, proposed 14' rear setback vs the 15' requirement. This 1' variance is necessary to keep the rear wall of the addition in line with the existing building. Additionally, we are requesting a variance to permit a second driveway entrance on the property for use by the newly constructed unit. The second driveway entrance will be on Deacon St while the existing driveway entrance is on Bunnell St, so the additional curb cut doesn't have any negative impact on either street frontage.

We believe there is a clear hardship as we are trying to make the best use of an existing lot with an existing single-family home to help combat the city's lack of affordable homeownership opportunities by creating an additional homeownership opportunity for a low-income family in Bridgeport.

At Habitat for Humanity of Coastal Fairfield County (Habitat CFC) we've built 284 homes in partnership with hardworking low-income home buyers over our 38-year history. The vast majority of those homes are within the City of Bridgeport in close proximity to this proposed development. In fact our abutting neighbor is an existing Habitat for Humanity CFC homeowner. Habitat homeowners purchase their homes with interest-free mortgages and provide "sweat equity" helping to build their homes alongside our committed volunteers.

We hope the Zoning Board of Appeals will grant these reasonable variances so Habitat CFC can continue its important work and transform this property into two beautiful homes for deserving Bridgeport families.

Thank you.

Yours in Partnership,

*Kevin Moore*

Kevin Moore  
Chief Operating Officer

Habitat for Humanity of Coastal Fairfield County is recognized as tax-exempt under section 501(c) (3) of the Internal Revenue Code. No goods or services were provided in return for this contribution. Please consult a professional regarding the tax-deductible portion of your contribution and retain this document as your receipt.



**Property Abutters within 100' of 270 Bunnell St**

<b>Property Address</b>	<b>Owners Name</b>	<b>Owners Street Address</b>
245 BUNNELL ST #247	RODIN RUSSELL	3746 BAYVIEW AVE
242 BUNNELL ST	ARTIS DEREK D	242 BUNNELL ST
255 BUNNELL ST #257	FARQUHARSON GARRETH R & SASHALEE S	255 BUNNELL STREET
252 BUNNELL ST #254	BOYKIN MAXINE M	36 JILLIJAM RD
1045 CENTRAL AV	BRIDGEPORT CITY OF FIRE DEPARTMENT	EXEMPT PARCEL N/A
265 BUNNELL ST #267	JOHNSON ANDRE	265 BUNNELL ST # 267
<b>260 BUNNELL ST</b>	<b>PETTWAY MATTIE</b>	<b>260 BUNNELL ST</b>
271 BUNNELL ST	BUMBLEBEE LLC	442 MAIN AVE APT 2
<b>316 DEACON ST</b>	<b>FOUNDATION CAPITAL INC</b>	<b>3900 S OVERLAND AVE</b>
1065 CENTRAL AV #1081	FOUNDATION CAPITAL RESOURCES INC	3900 S OVERLAND AVE
285 BUNNELL ST #287	EBENEZER GOSPEL ASSEMBLY INC	PO BOX 1674
288 BUNNELL ST #294	ALMONTE-ABREU MELVIN	288 BUNNELL ST 2ND FL
331 DEACON ST	A INVESTMNETS LLC	122 MORGAN STREET # 423B
324 DEACON ST #326	296-308 BUNNELL STREET LLC	P O BOX 109

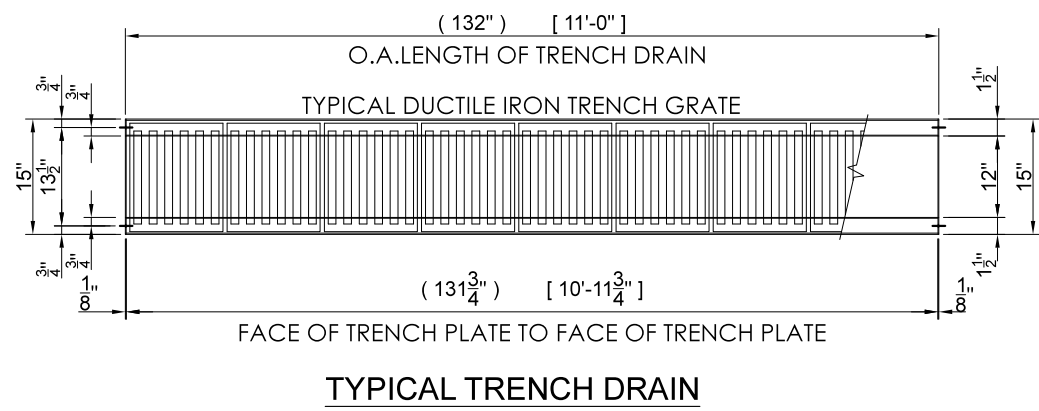
**BOLD = DIRECT ABUTTER**

<b>City</b>
BROOKLYN, NY 11224
BRIDGEPORT, CT 06607-1001
BRIDGEPORT, CT 06607
BRIDGEPORT, CT 06606
BRIDGEPORT, CT 06607
BRIDGEPORT, CT 06607-1002
<b>BRIDGEPORT, CT 06607-1001</b>
NORWALK, CT 06851-1185
<b>SPRINGFIELD, MO 65807</b>
SPRINGFIELD, MO 65807
BRIDGEPORT, CT 06601
BRIDGEPORT, CT 06607
STAMFORD, CT 06905
BRIDGEPORT, CT 06601



NOTES

- 1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1994. IT IS A LIMITED PROPERTY/BOUNDARY SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2 AND IS INTENDED FOR MUNICIPAL COMPLIANCE PURPOSES.
2. THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
3. ALL IMPROVEMENTS SHOWN BASED ON FIELD MEASUREMENTS AND OBSERVATIONS.
4. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED USING GEOID03 AND CONVERTED TO THE CITY OF BRIDGEPORT DATUM (+14.60'). LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983. AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (COR394). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON JULY 9, 2012 IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:
STATION: ORANGE
NORTHING 635,555.9292, EASTING 927,267.5499
LATITUDE 41°15'15.9340" N, LONGITUDE 73°00'52.6026" W
ELLIPSOID -4.143
5. MAP REFERENCES
A. MAP A, OF BUILDING LOTS BELONGING TO ELMORE ALVORD, PHIL H. SKIDMORE, JR., DAVED G. MILLS, ARTHUR W. BURRIT, SITUATED IN BRIDGEPORT FORMERLY IN STRATFORD, SCALE: 1" = 40' BY HULL & PALMER ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOLUME 2, PAGE 23.
B. MAP D, MAP OF BUILDING LOTS BELONGING TO AW BURRIT FOR ADOLPH SHERMAN, SCALE: 1" = 40' JULY 24, 1901 ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOLUME 4, PAGE 35.
C. FINAL AS-BUILT OF 270 BUNNELL STREET, PREPARED FOR HABITAT FOR HUMANITY OF GREATER BRIDGEPORT, BRIDGEPORT, CONNECTICUT, SCALE: 1" = 10', AUGUST 28, 2003 PREPARED BY BLACK ROCK SURVEYORS ON FILE IN THE CITY OF BRIDGEPORT PLANNING AND ZONING OFFICE.
D. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING BLOCK 735.
6. RECORD OWNER: HABITAT OF HUMANITY OF COASTAL FAIRFIELD COUNTY, INC. VOL. 10991 PG. 218
7. ASSESSOR'S REFERENCE: MAP 37 | BLOCK 735 | LOT 1
8. PARCEL AREA: 4,500± SQ. FT., OR 0.103± AC.
9. PARCEL IS LOCATED WITHIN THE 'NX2' ZONING DISTRICT.
10. SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 441 OF 626, COMMUNITY BRIDGEPORT, CITY OF NUMBER 090002 PANEL 0441 SUFFIX G, MAP NUMBER 09001C0441G, MAP REVISED JULY 8, 2013. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS ZONE X (UNSHADED).
11. BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
12. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DEANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DEANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DEANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).

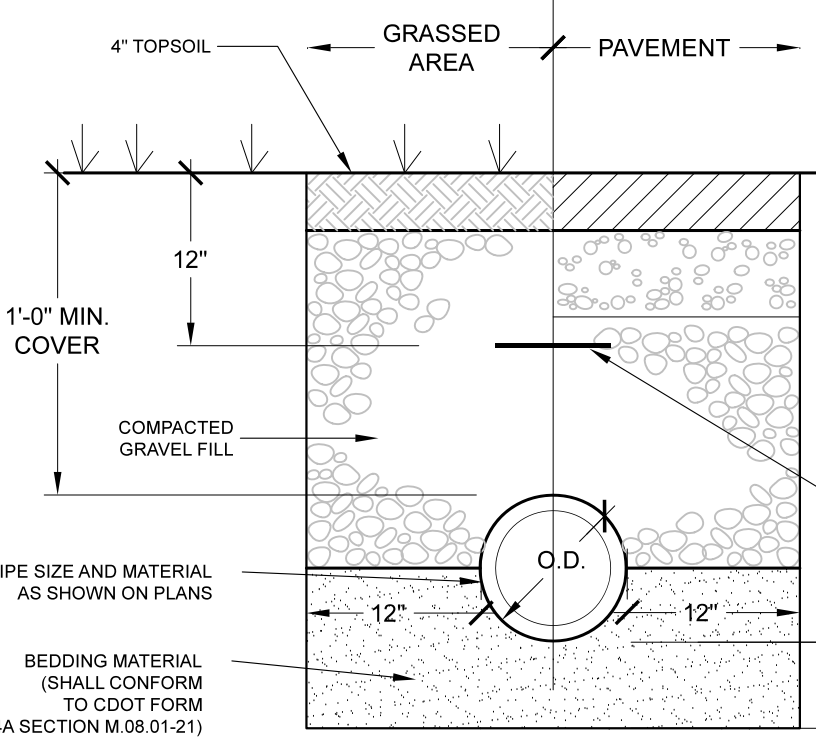
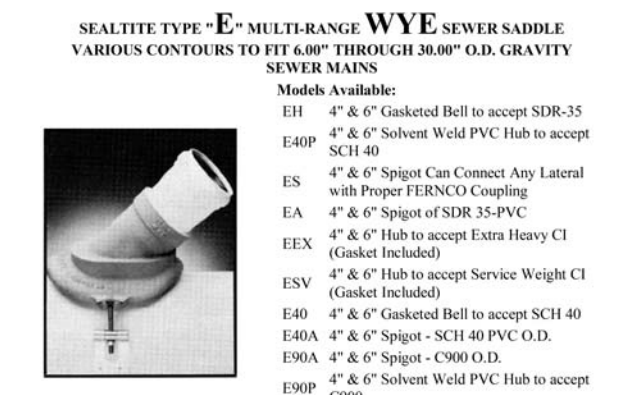


SANITARY SEWER NOTES

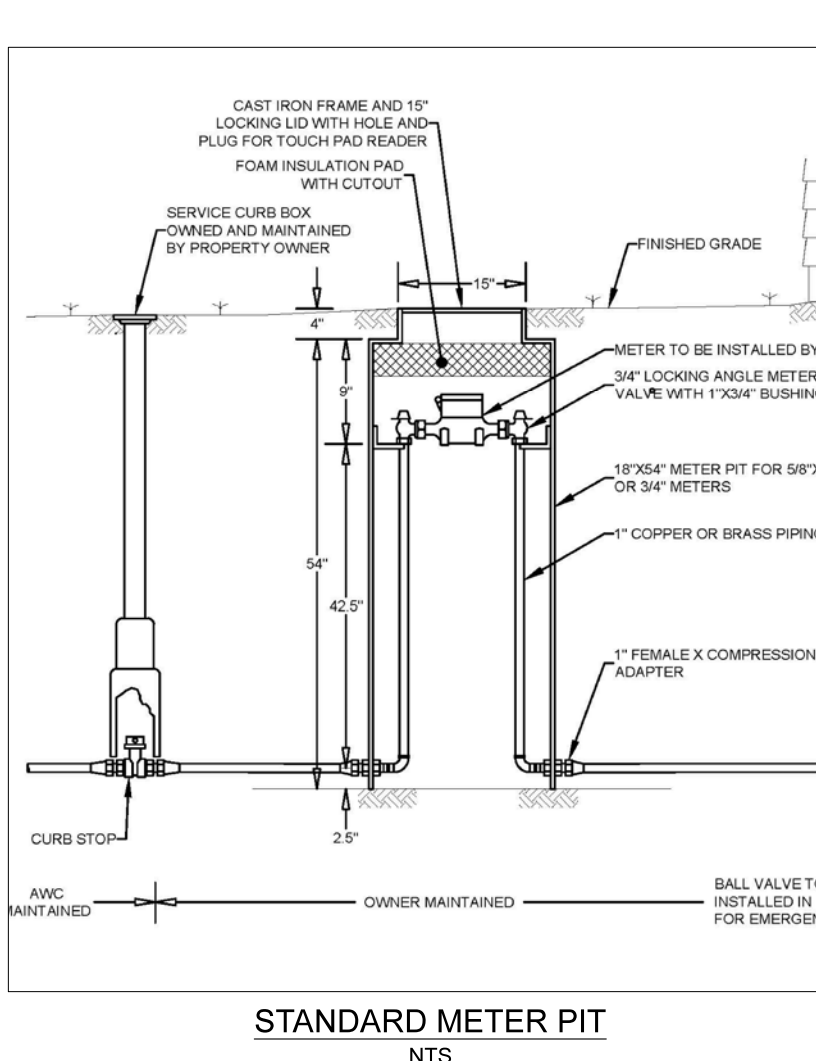
- 1. SADDLE TO BE SEALTITE TYPE 'E' MULTI-RANGE WYE SEWER SADDLE. (TO BE USED IF CONNECTION IS NOT FOUND)
2. 6" PVC SEWER CONNECTION TO BE INSTALLED ON CRUSHED STONE BASE CRUSHED STONE TO EXTEND FROM 6" BELOW PIPE TO 3" ABOVE PIPE. FILTER FABRIC TO BE INSTALLED ON TOP SURFACE OF CRUSHED STONE.
3. SERVICE LATERALS TO CROSS SANITARY LINE. VERIFY ELEVATIONS AT CROSSINGS WITH TEST PITS.

NOTE

- 1. PIPE TO BE BEDDED IN CRUSHED STONE.



- NOTES:
1. Storm drain pipe shall be P.E. Pipe Type N-12 w/ water tight couplings, by ads or equal.
2. Sewer gravity main shall be PVC SH-40, 8 inch diameter.
3. Sewer force main shall be C-900 PVC.

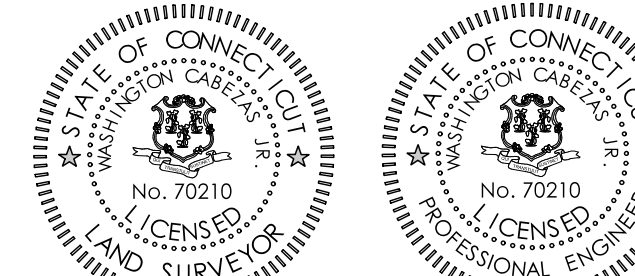


LEGEND

Table with 2 columns: Symbol and Description. Includes symbols for monuments, foundations, retaining walls, manholes, catch basins, etc.

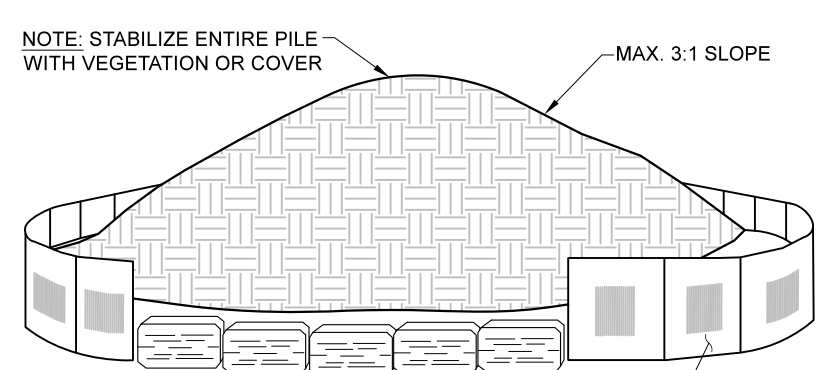
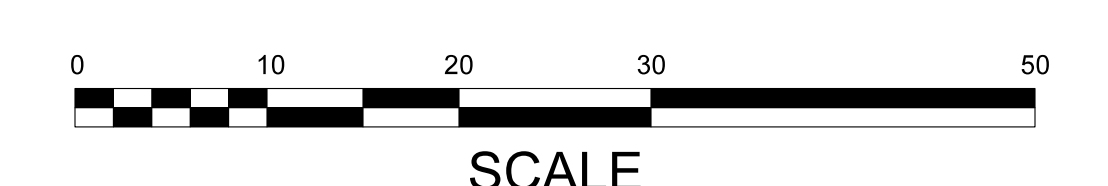
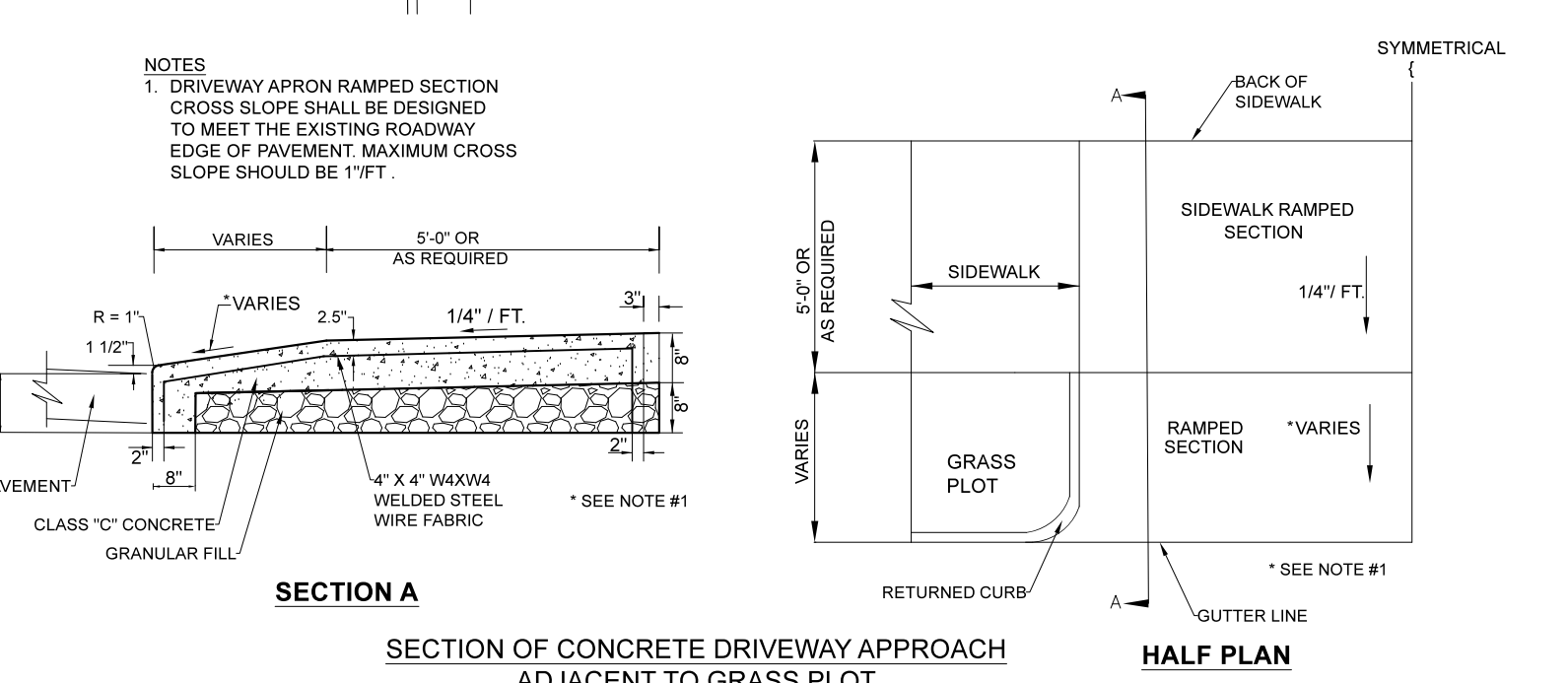
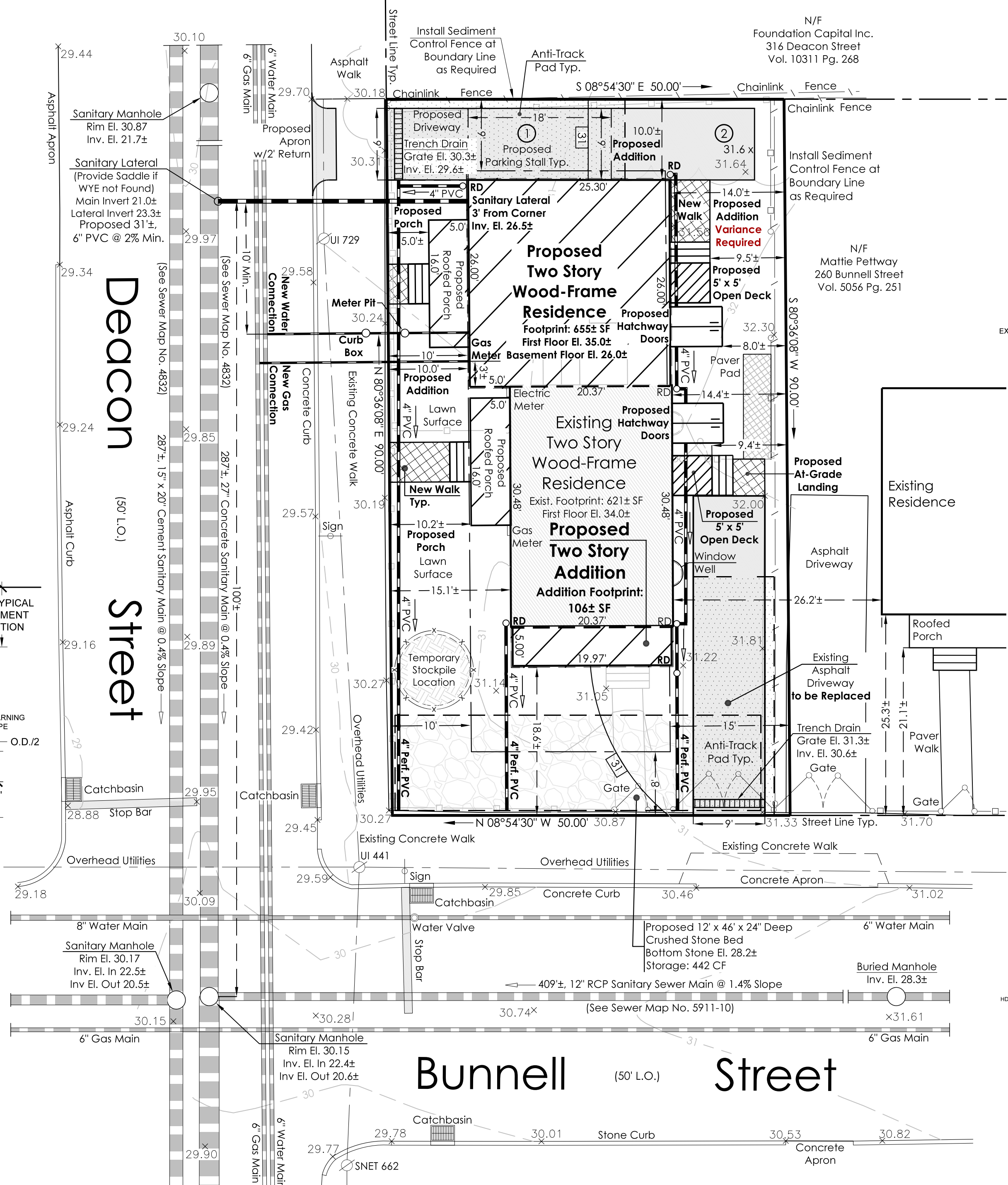
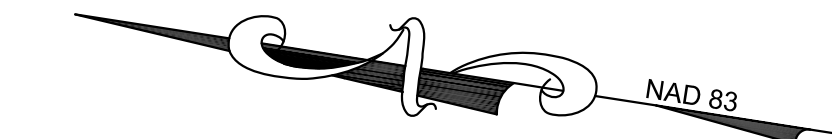
Scale: 1"=10'
FIELD FILE: bunnell st survey.nw5
PROJECT NO.: CD1711
DATE: August 16, 2023
CAD FILE: 270 Bunnell Street ILS.dwg
SHEET 1 OF 1
REV:

Cabezas DeAngelis ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P: 203 330 8700 • F: 203 330 8701



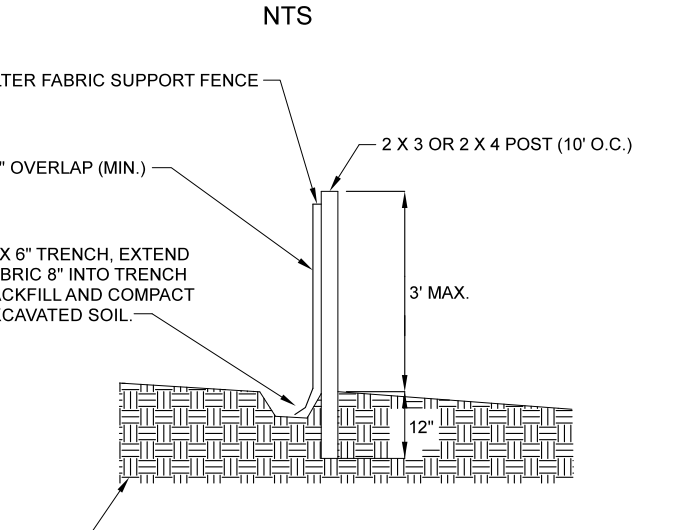
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

WASHINGTON CABEZAS, JR., PEL 70210
PROFESSIONAL ENGINEER & LAND SURVEYOR



- INSTALLATION NOTES:
1. AREA CHOSEN FOR STOCKPILE OPERATION SHALL BE DRY AND STABLE.
2. THE GROUND SURFACE SHALL BE SLOPE AWAY FROM THE STOCKPILE.
3. IF NECESSARY, PLACE TARP OR IMPERVIOUS MATERIAL BENEATH STOCKPILE TO PREVENT MIXING OF SOIL.
4. COVER STOCKPILE WITH FABRIC OR VEGETATION AS DIRECTED.
5. MAX. SLOPE OF STOCKPILE SHALL BE 3:1 (H/V) UNLESS OTHERWISE APPROVED.

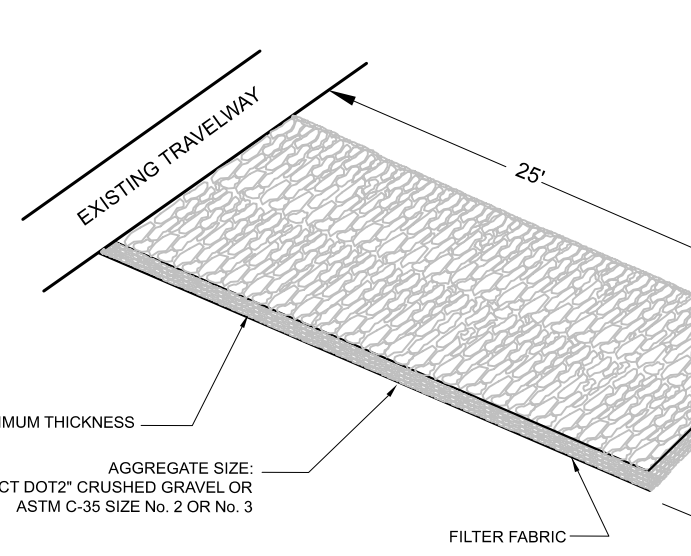
TEMPORARY SOIL STOCKPILE



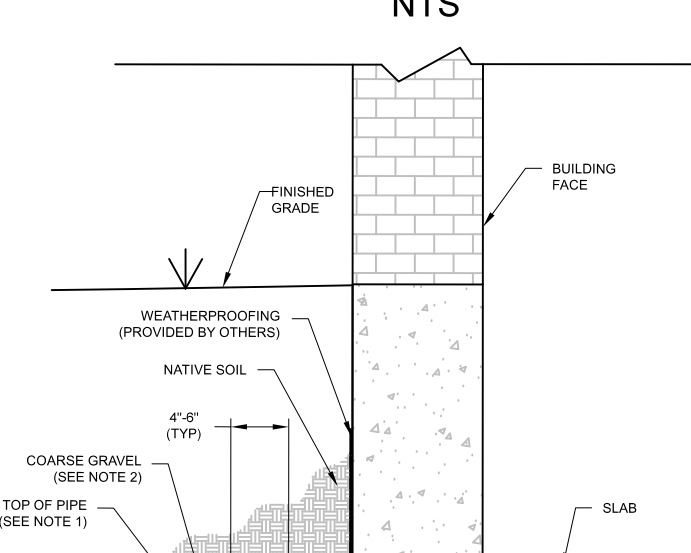
BARRIER MAINTENANCE

- 1. INSPECT FENCE AFTER EACH RAINFALL AND ONLY DURING PROLONGED RAINFALL. REPAIR WHERE REQUIRED.
2. REMOVE SEDIMENT DEPOSITS WHEN THEY REACH 1/8" OF THE BARRIER.

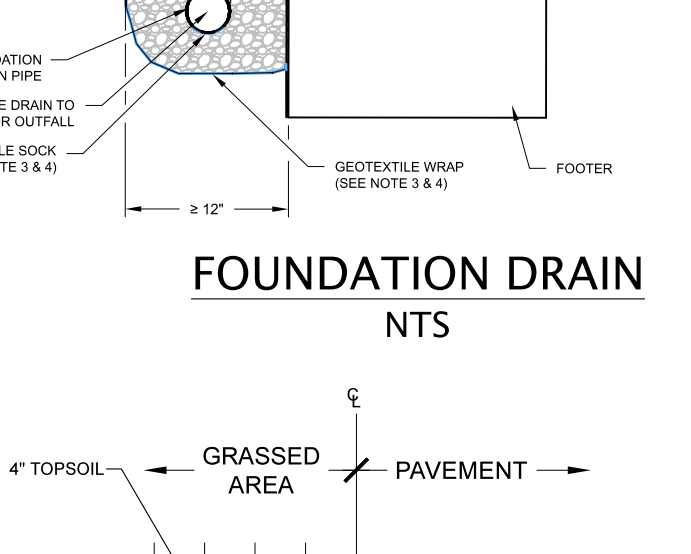
FILTER FENCE DETAIL



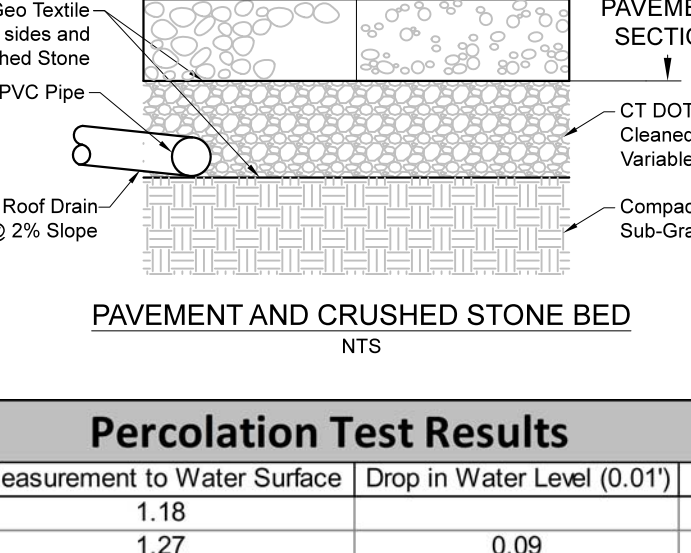
ANTI-TRACKING PAD



FOUNDATION DRAIN

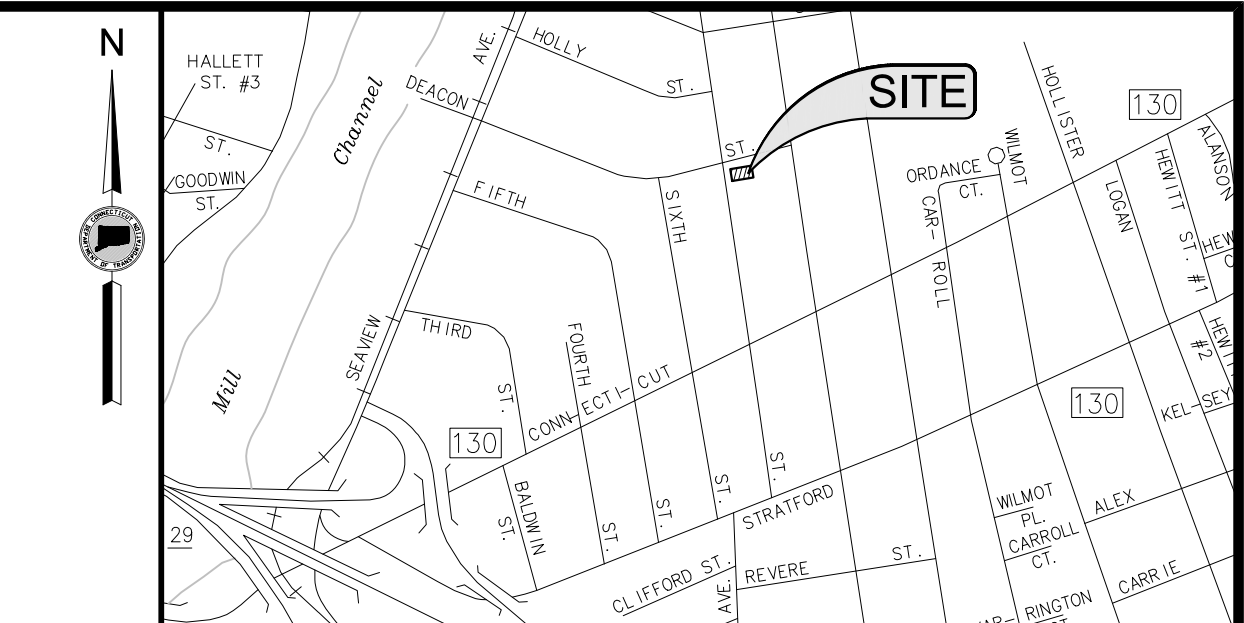


PAVEMENT AND CRUSHED STONE BED



Percolation Test Results

Table with 4 columns: Time, Measurement to Water Surface, Drop in Water Level (0.01"), Rate (Min./Inch). Includes summary rows for Overall Percolation Rate and Minimum Percolation Rate.



LOCATION MAP
SCALE: 1" = 800'

NX2 Zone Development Standards

Table with 3 columns: Building Location, Required, Proposed. Includes sections for 3.80.4 BUILDING LOCATION, 3.80.5 PARKING AND ACCESSORY STRUCTURES, 3.80.6 HEIGHT, 3.80.7 ROOFS, and 3.80.9 ALLOWED USES.

IMPROVEMENT LOCATION SURVEY AND TOPOGRAPHIC SURVEY

PREPARED FOR
HABITAT FOR HUMANITY
OF COASTAL FAIRFIELD COUNTY INC.

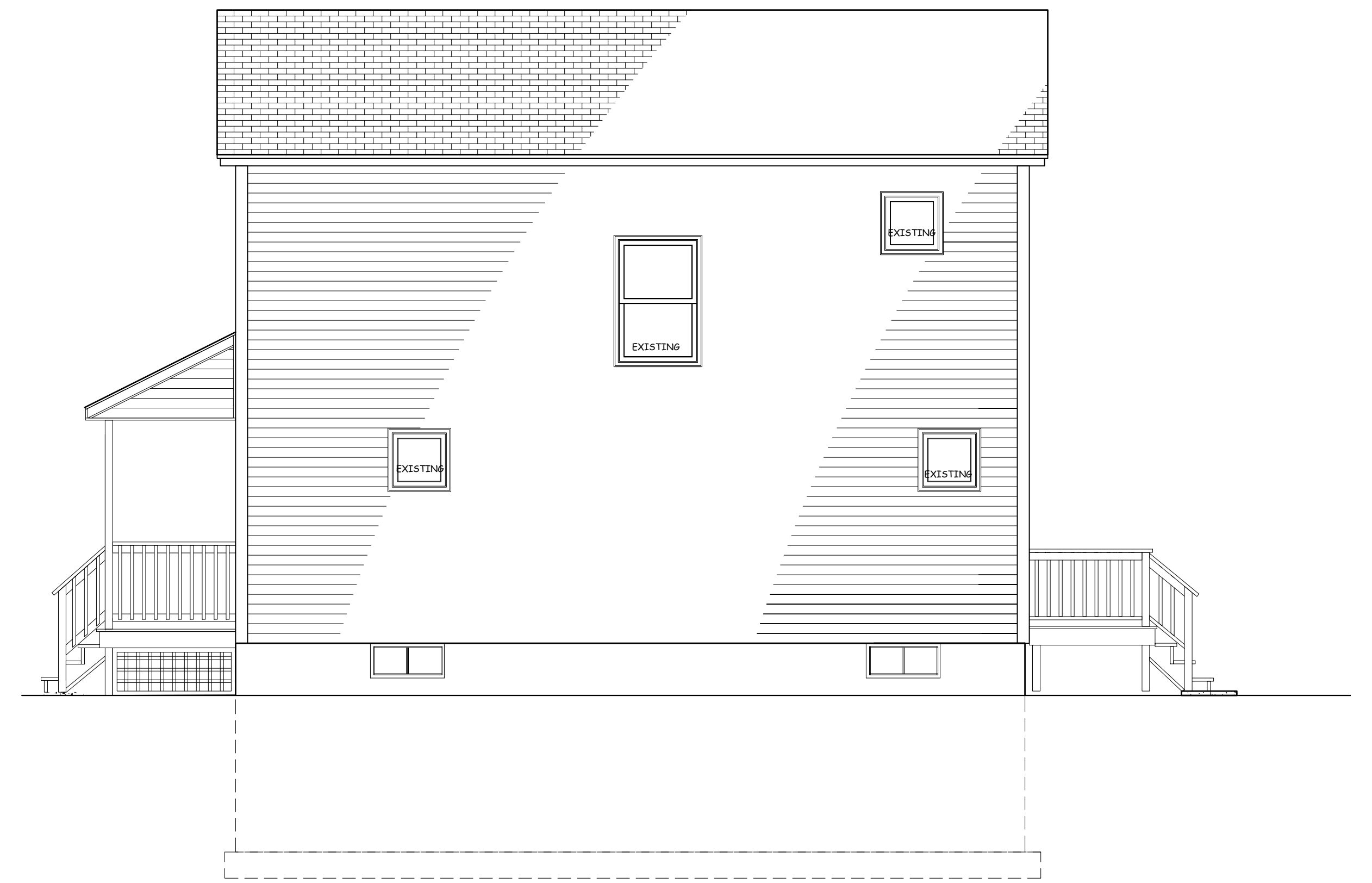
270 BUNNELL STREET
BRIDGEPORT, CONNECTICUT

ASSESSOR'S REFERENCE: MAP 37 | BLOCK 735 | LOT 1
SHEET 1 OF 1
AUGUST 16, 2023 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1"=10'





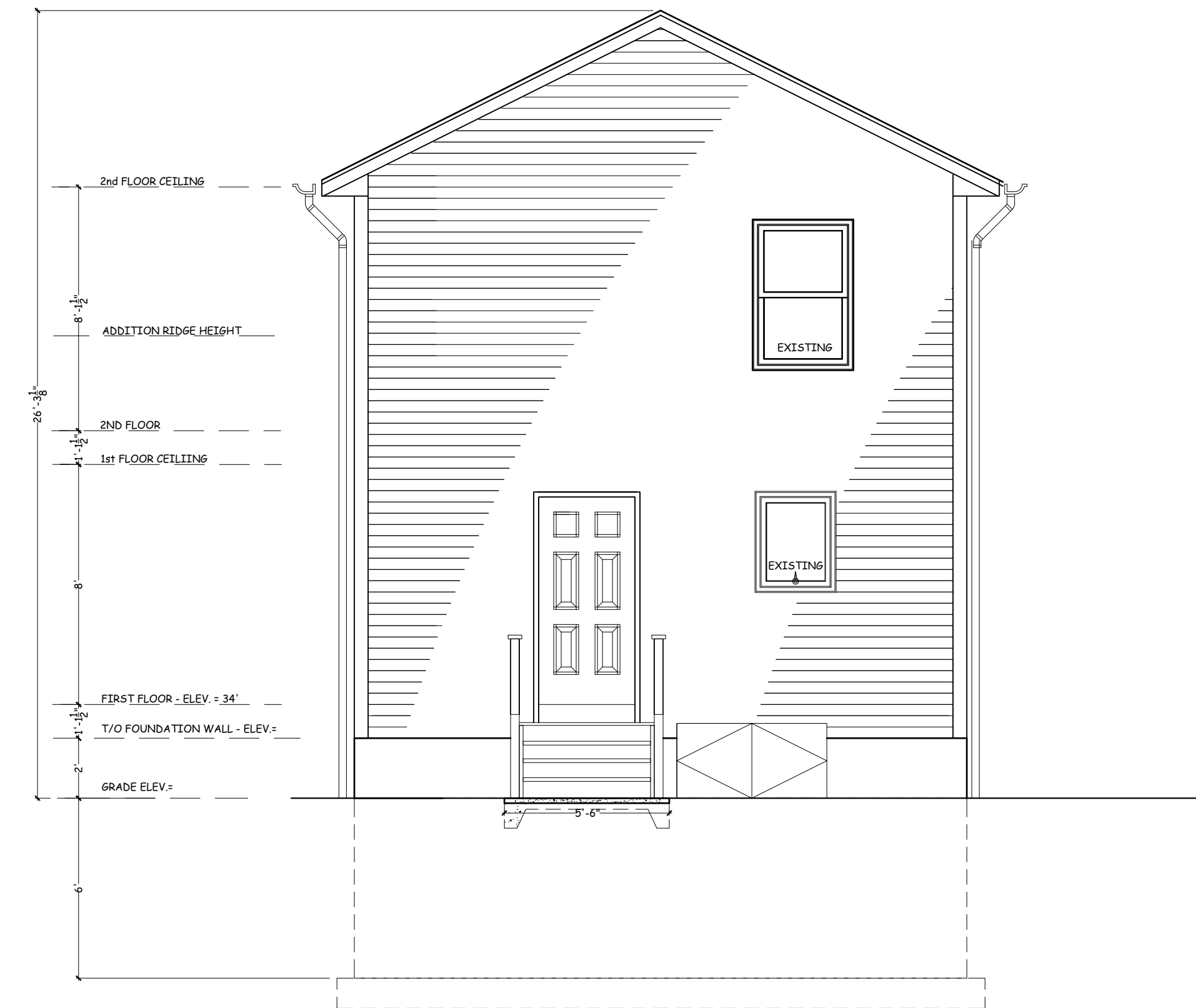
EXISTING FRONT ELEVATION



EXISTING RIGHT SIDE ELEVATION



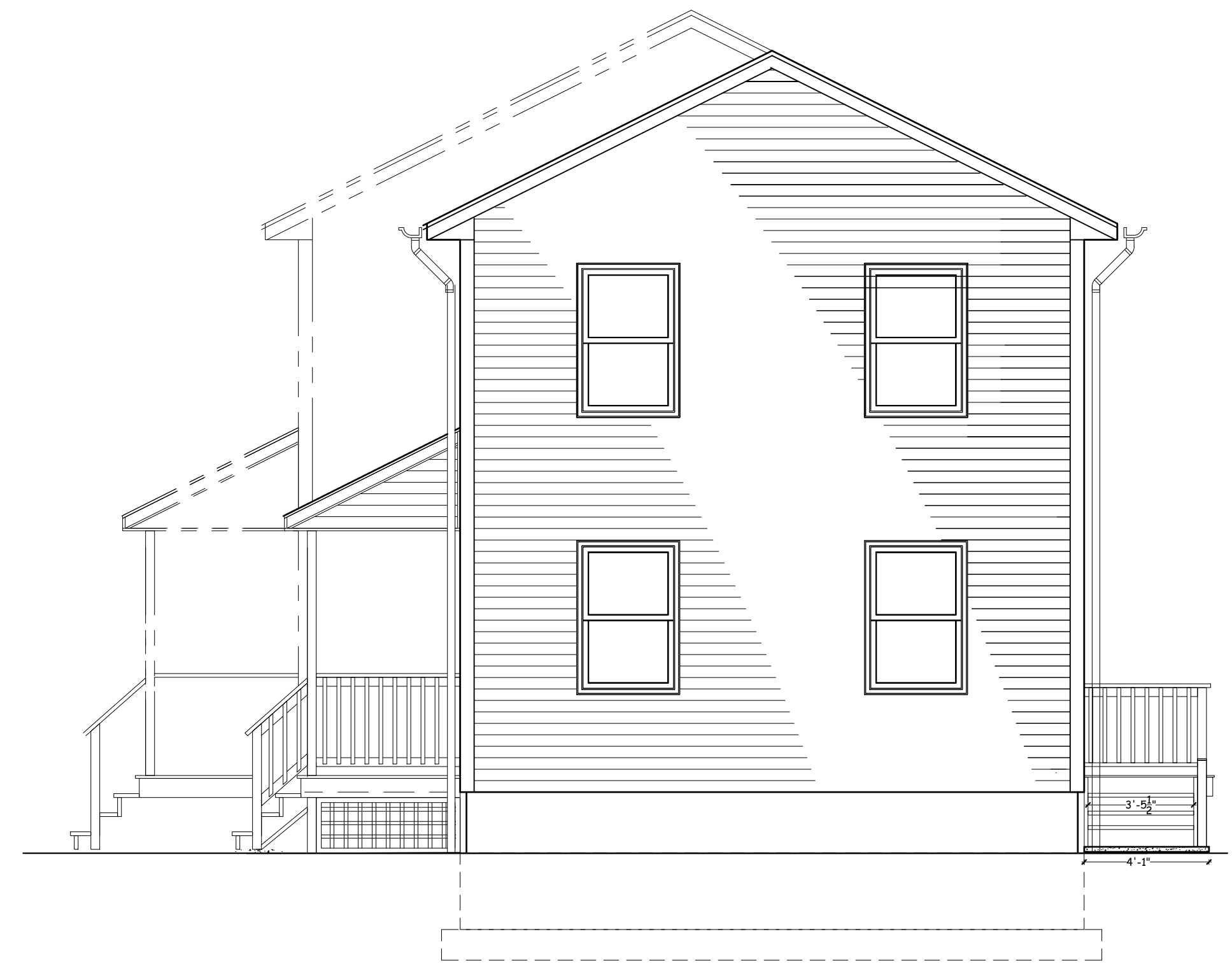
EXISTING LEFT SIDE ELEVATION



EXISTING REAR ELEVATION

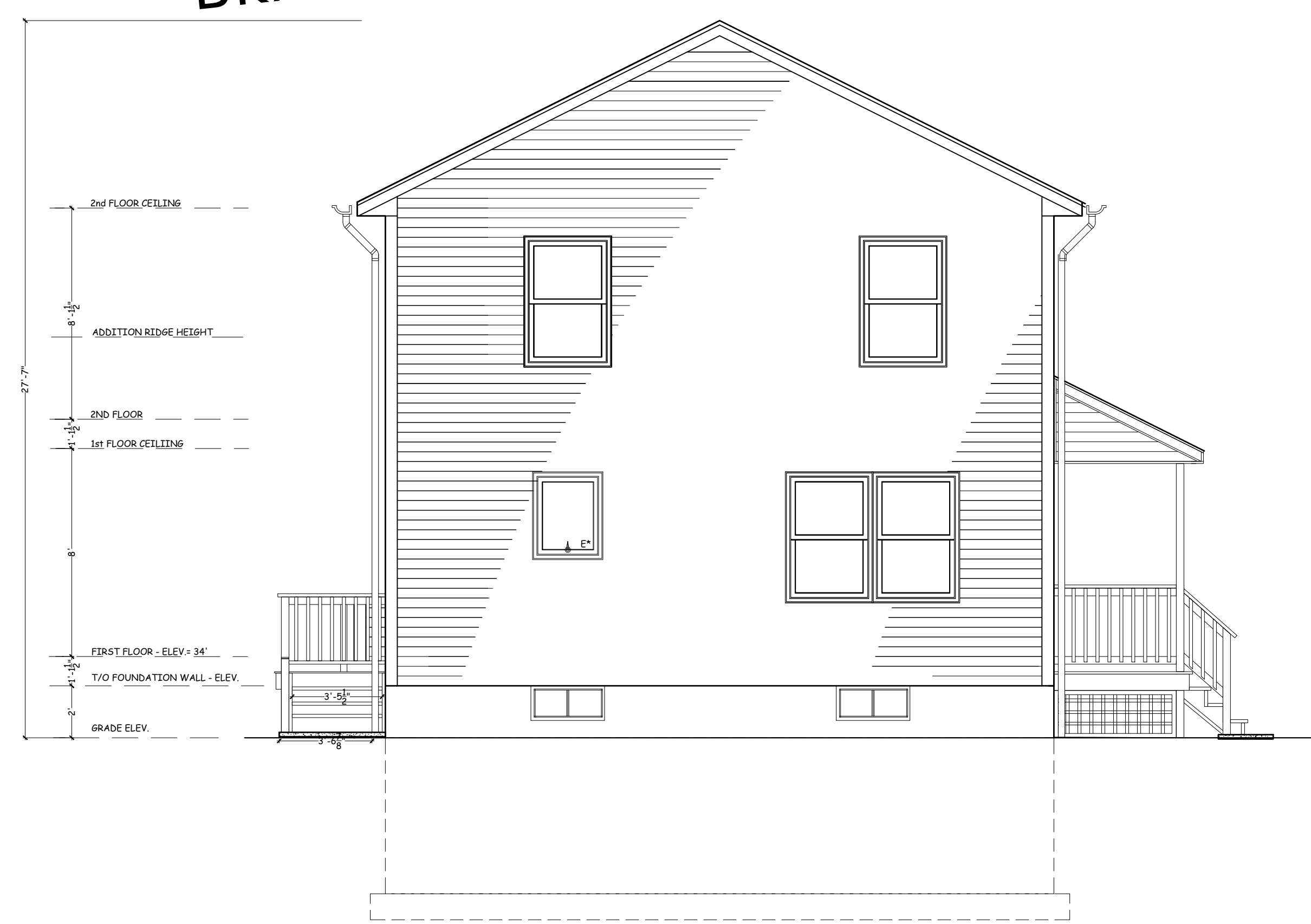


PROPOSED FRONT ELEVATION

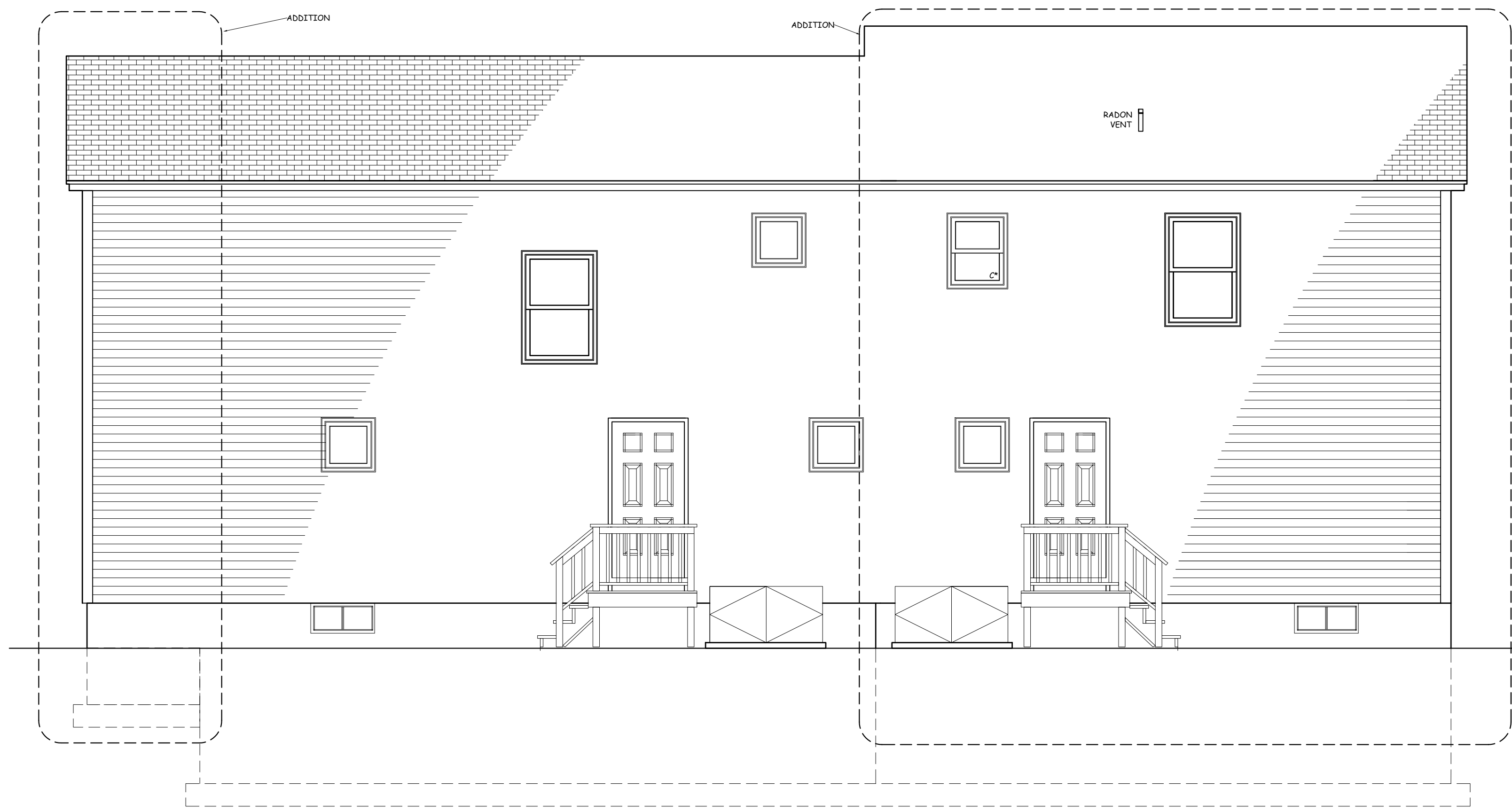


PROPOSED RIGHT SIDE ELEVATION **DRAFT**

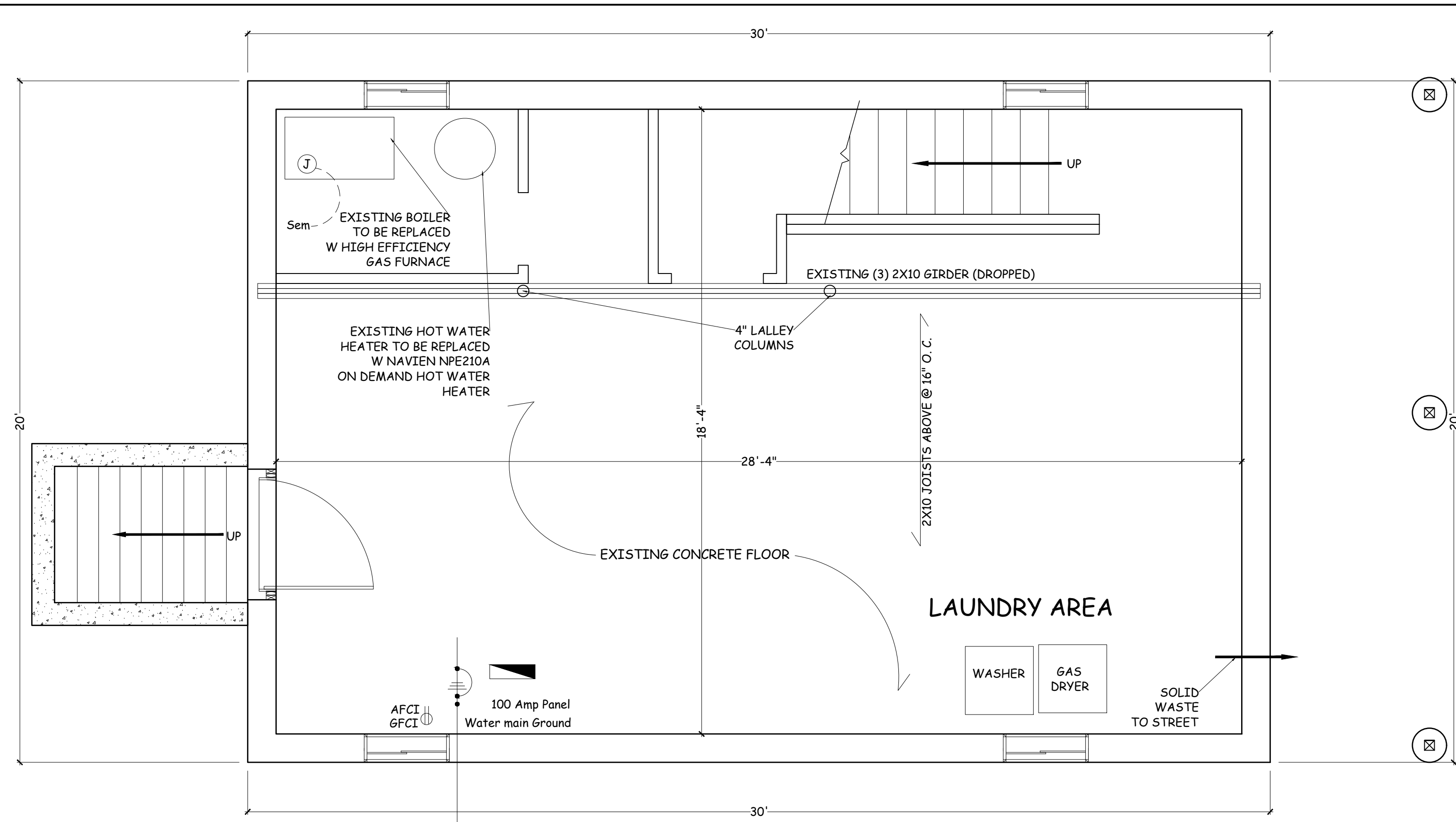
**DRAFT**



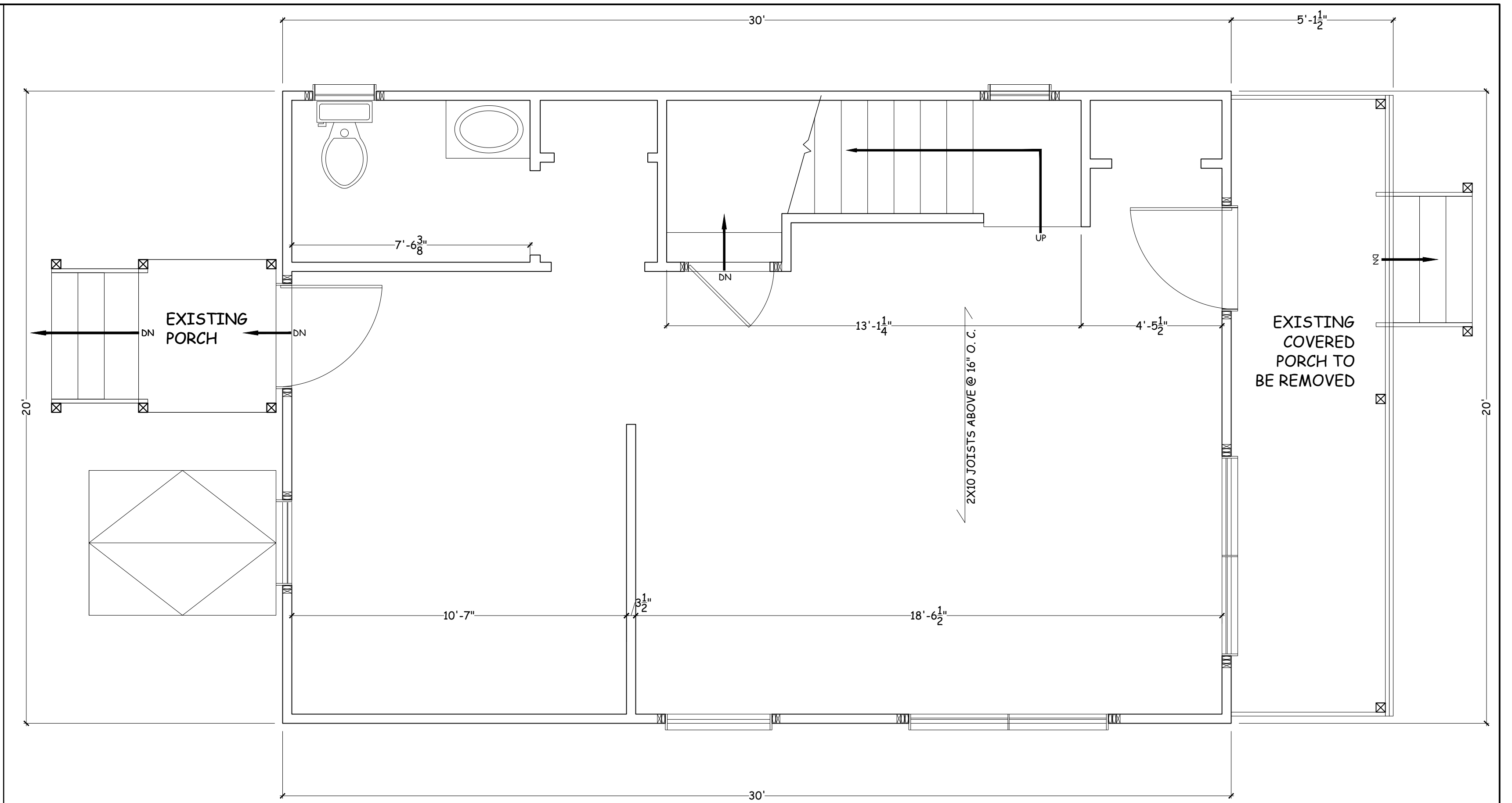
PROPOSED LEFT SIDE ELEVATION



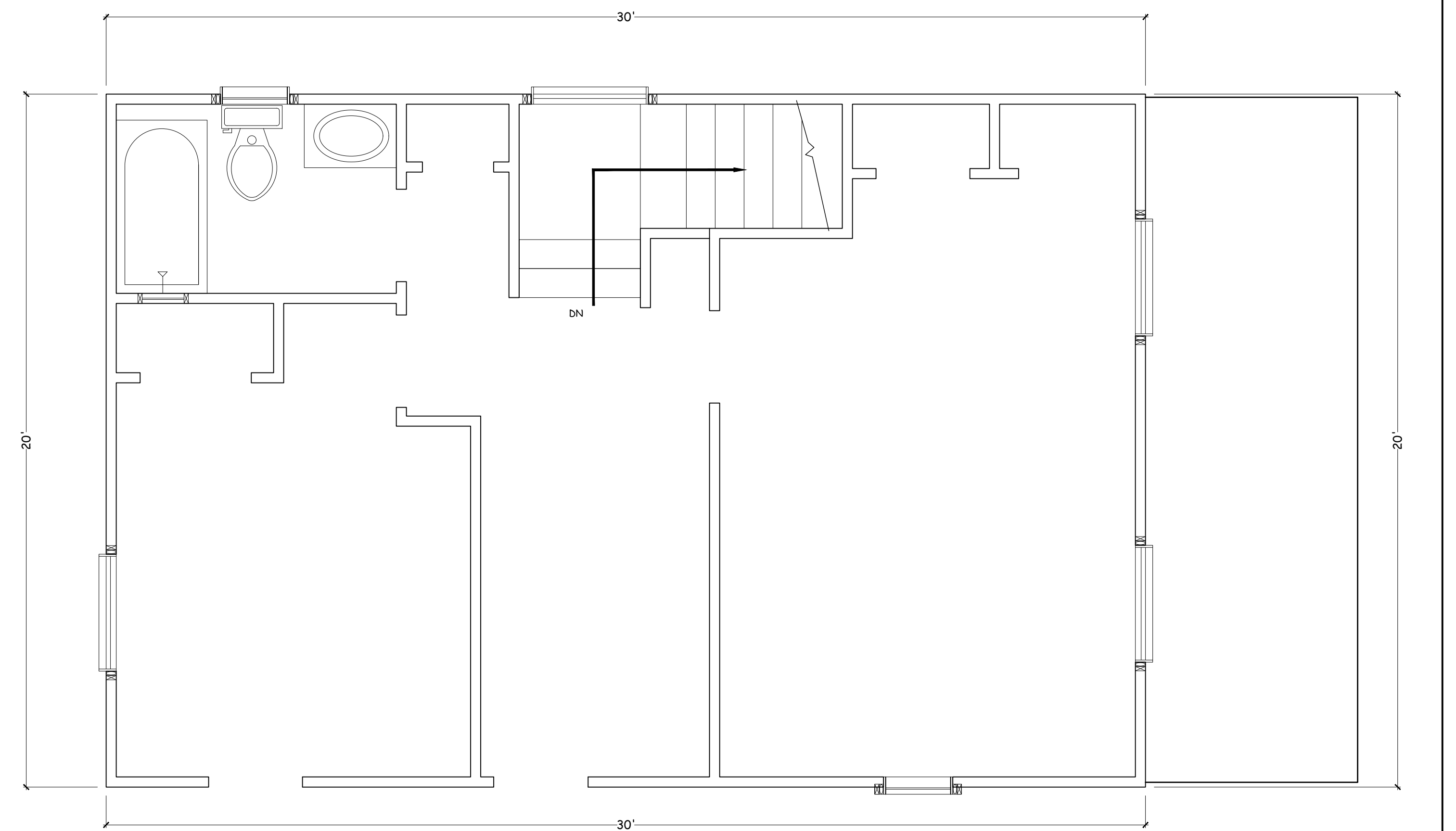
PROPOSED REAR ELEVATION



EXISTING BASEMENT FLOOR PLAN

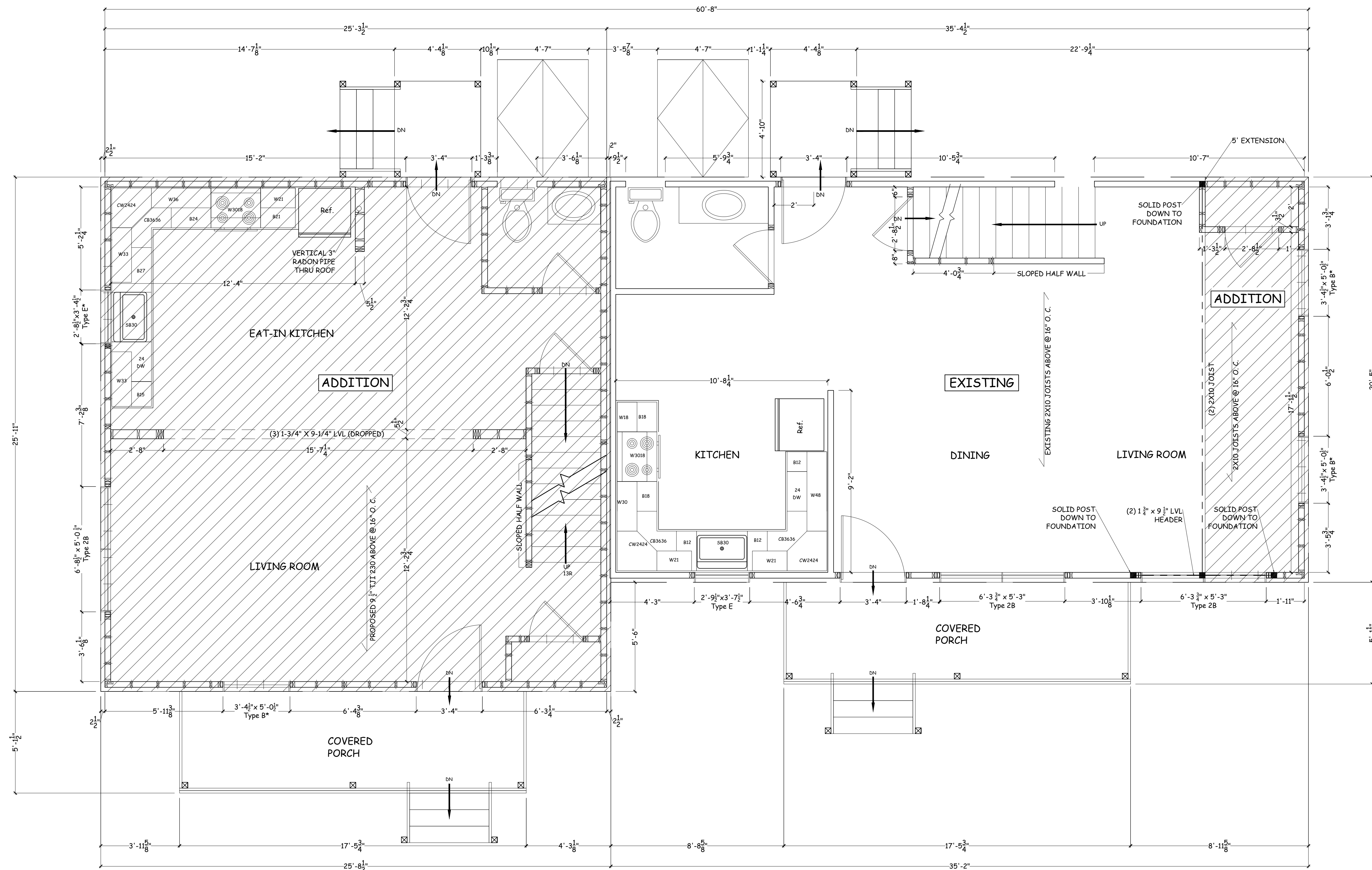


EXISTING FIRST FLOOR PLAN

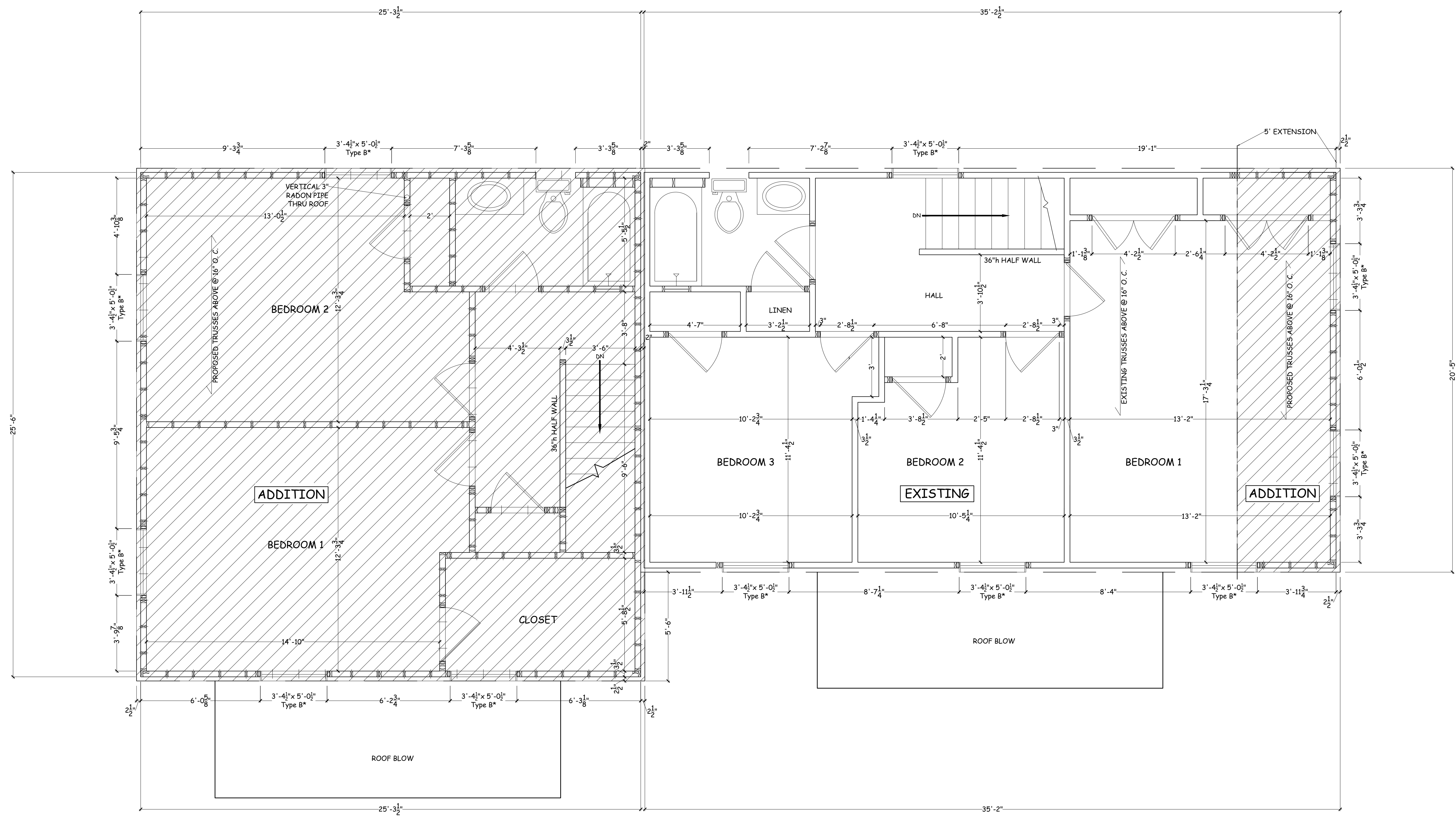


EXISTING SECOND FLOOR PLAN





PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN




ZONING BOARD OF APPEALS  
APPLICATION CHECKLIST  
CITY OF BRIDGEPORT  
203-576-7217

Required Information

- All items must be submitted in sets of (11) Eleven
- All plans & drawings must be full size (24"x36"), drawn to scale and in a PROFESSIONAL manner and must include a title block noting the name, address & telephone number of preparer.
- Site Development Plan prepared in accordance with Sec. 14-2-3b of the Bridgeport Zoning Regulations. Include the Zone Development Standards table indicating both required as well as the proposed Standards. SURVEY
- Elevation views of a proposed new structure or elevation views of an existing building where an addition or change is proposed.
- Floor plan of building(s) or section of building(s) being considered by the Board.  
(All sets FOLDED DOWN to 8" x 12")
- A Design Standard submission for new developments. \_\_\_\_\_
- A written statement citing the specific provision(s) of the Regulations from which the variance is sought.
- A list of the names & addresses of all property owners within 100 ft of all property lines of the subject property. The Tax Assessor's Office (Room 105) can assist with this information or visit the COB website: <http://gis.cdm.com/BridgeportCT/map.htm>
- All applications must include the following:
  - a) Mailing address & zip code of petitioner or authorized agent.
  - b) Daytime telephone number of petitioner or authorized agent.
  - c) Signature of owner(s) & applicant(s)
  - d) Filing fee - cash, check or money order payable to the ZONING BOARD OF APPEALS or BPT. ZBA.
- All items submitted must be saved and properly installed on a USB flash drive. The information on the USB flash drive must include the application, site plans, and all other hard copy information (landscaping, floor elevations, etc) that will be submitted. It also must be labelled with the property address and the date of hearing. All plans and paper work that is submitted to the zoning office must be FOLDED (8"x12" or smaller) and Collated into 11 separate packets.

- Notes:
1. Applications that do not provide ALL of the above required information will be considered "incomplete" and will be not be accepted. Applications will be limited to the first 10 submitted, regardless of the submission deadline.
  2. No application will be assigned for a public hearing until such time as the City Engineering Department has reviewed and submitted comments to the Zoning Office.
  3. A Use Variance approval by the Z.B.A. requires a Site Plan Review by the Planning & Zoning Commission as set forth in Section 14-2-2. This approval may be in addition to other requirements of the Zoning Regulations. All required approvals must be obtained prior to the use and/or development of any parcel granted a Variance.
  4. Proposed signs are not accepted as part of any petition. Signage is regulated under Sec. 11-7 of the Zoning Regulations.


12/4/23
\_\_\_\_\_
\_\_\_\_\_

Applicant's Signature                      Date                      Reviewers Initials                      Date



**PETITION TO THE BOARD OF APPEALS  
City of Bridgeport, Connecticut**

The undersigned presents the following petition for:  
(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

355 Lake Avenue Zone RAA  
(Number) (Street) (Zone Classification)

On the South side of the street about 35' feet south from  
(North, South, East, West) (North, South, East, West)

Lake Avenue Block: 120 Lot: 22  
(Street)

Dimension of Lot in Question 5800 sq - 61' x 100'  
(Specify)

1. NAME OF PETITIONER / BUSINESS Stephen Brady  
(Print)

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS ANY PREVIOUS PETITION BEEN FILED? No IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)


4. DESCRIBE PROPOSED DEVELOPMENT Renovation to old house. Add all new mechanicals, add 2 baths, add 2 bedrooms. Repair excessive rot and poor maintenance. House had been abandoned for 2 years.

5. THIS PETITION RELATES TO: Check all that Apply

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY Residence

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? Cannot expand and modernize house without access over garage. Need to pull garage forward for 2nd floor access

PETITIONER , Stephen Brady DATE 4/12/23  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_, bradysteve02@gmail.com  
(Email)

Mailing Address 812 S. 3rd Avenue, Bozeman, MT 59715  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this 4 day of December 2023  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION**

All questions must be answered in detail (use separate sheet if necessary).  
The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this petition.  
**NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-676-7217)**

FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_

**Stephen Brady (Applicant)**

812 S. 3<sup>rd</sup> Avenue

Bozeman, MT 59715

Phone: 860-748-8613

E-mail: bradysteve02@gmail.com

December 4, 2023

Zoning Bord of Appeals  
City of Bridgeport  
45 Lyon Terrace  
Bridgeport. CT 06604

Re: 355 Lake Ave – Request for Variance

I am submitting a request to allow the garage at the above-listed property to have a setback of 2 ft. Current code in that neighborhood, Section 3.100.5(2) garages are to setback 20 ft. min. behind primary facade. This would create a hardship and does not seem viable.

The existing house has only 2 bedrooms, with 1-1/2 baths. It was built in 1937. It has a 1 car garage and a rear family room wing behind the garage. Back then, 2 bedrooms may have worked, today in a 2 story colonial home, 3 bedrooms is typical, 4 is preferred. We would like to move the garage forward to create 2<sup>nd</sup> floor access over the garage to enter the 3rd and 4th bedrooms. Without that option, we cannot expand the bedrooms in the house. My Architect and I have looked at various options. Short of demolishing and relocating the existing rear wing of the house, this seems to be the best option, with the least amount of historical disturbance. Unlike many other lots on the street and adjoining blocks, this lot is quite narrow and has little access on either of the sides.

Please consider a few other local addresses where the garages also do not conform. Those houses are in the same block.

- a. 451 Lake Ave
- b. 170 Midland St (this garage is 2' ahead of the house)
- c. 80 Midland St (detached garage flush with face of house)
- d. 255 Midland St
- e. 304 Midland St (this a corner lot, most of the house is on Seaside Ave)
- f. 286 Seaside Ave
- g. 355 Seaside Ave
- h. 225 Seaside Ave
- i. 255 Midland St

I appreciate your consideration. I am trying to make this house as accurate to the neighborhood as possible.

Thank you.

Steve Brady

355 Lake Ave

Bridgeport, CT 06605

---

List of names and address of property owners within 100 ft of all property lines.

- a. Michael Cicrelli  
345 Lake Ave  
Bridgeport CT 06605
- b. Rinaldi and Elizabeth Salvatore  
345 Lake Ave  
Bridgeport CT 06605
- c. John G Tkacic  
142 Pearsall Place  
Bridgeport CT 06605
- d. Nicolas Edward and Janice Freddino  
126 Pearsall Place  
Bridgeport CT 06605
- e. Thomas Monahan  
200 Midland St  
Bridgeport CT 06605



ZONE N2 MID-CENTURY  
 HOUSE TYPE B  
 FRONT 20'30"  
 PORCH/STEPS/BAY 8'  
 SIDE 6'15"  
 BETWEEN BUILDINGS 15'  
 REAR 20'  
 SITE COVERAGE 65%

SITE COVERAGE  
 HOUSE 1,260 S.F.  
 SCREEN PRCH 127 S.F.  
 SHED 147 S.F.  
 DRIVEWAY 348 S.F.  
 LANDING 24 S.F.  
 TOTAL = 1,906 S.F. = 32.86%

PROPOSED NEW 341 S.F.  
 2,247 S.F. / 5,800 S.F. = 38.74%

LOT AREA = 5,800 S.F.

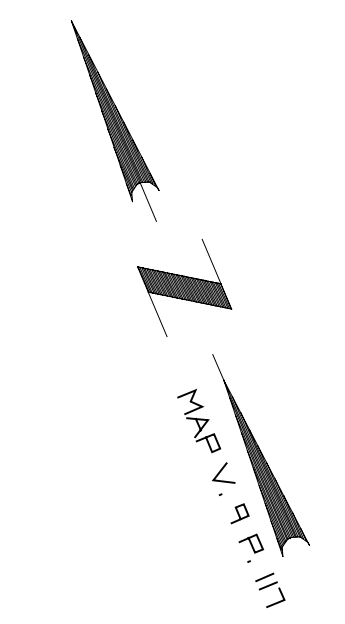
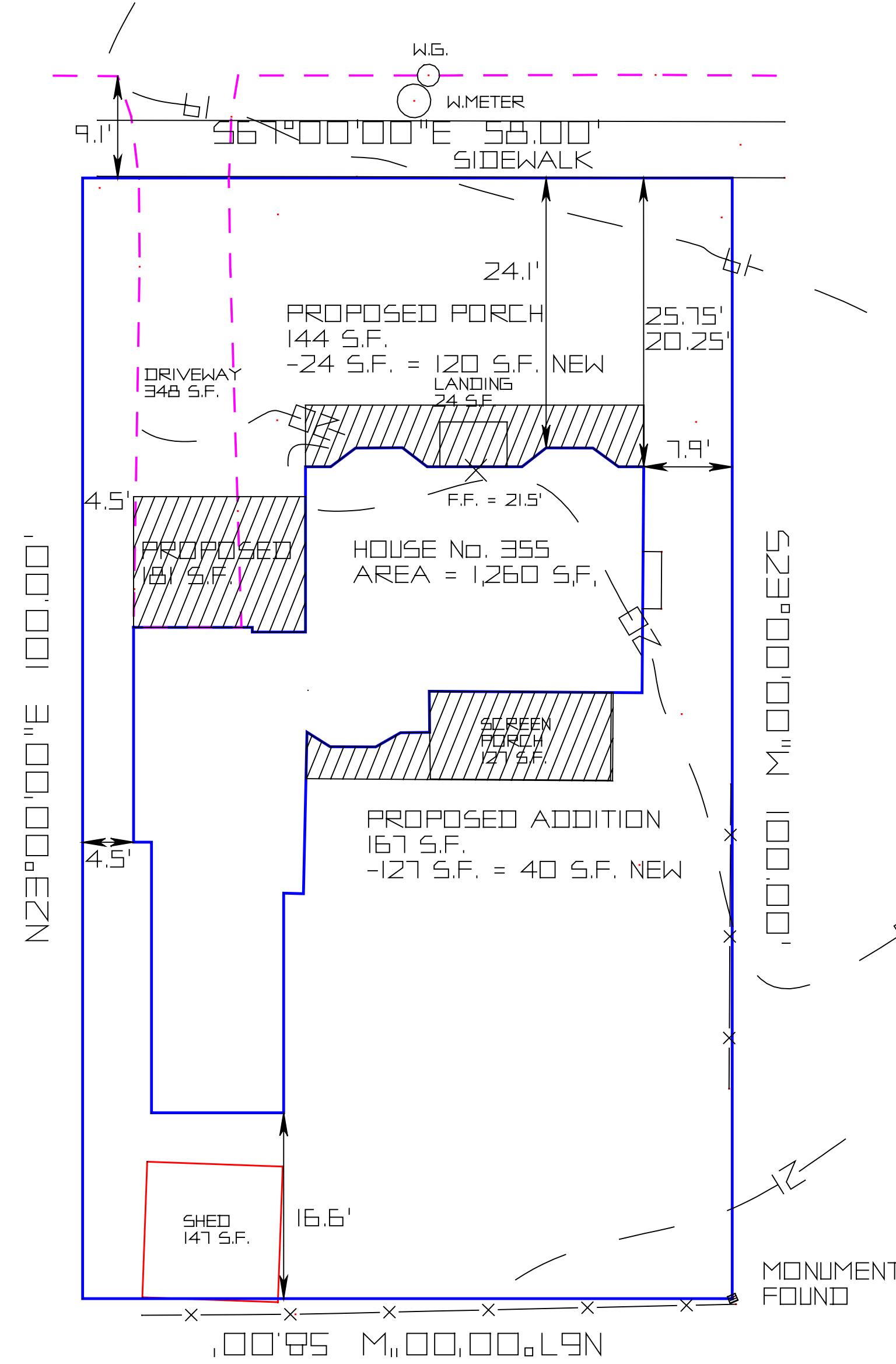
REFER TO WEST 16' OF LOT 199 ALL OF LOT 200  
 AND EAST 17' OF LOT 301 IN MAP Vol. 9 P. 117

NOW OR FORMERLY LAND OF SALVATORE & ELIZABETH RINALDI

NOW OR FORMERLY LAND OF MICHAEL R. CICIRELLI

NOW OR FORMERLY LAND OF JOHN G. TKACIC

LAKE AVENUE



DEPENDENT RESURVEY

THIS SURVEY WAS PREPARED FOR A SPECIFIC PURPOSE. ANY USE OTHER THAN THAT WHICH WAS ORIGINALLY INTENDED IS A MISUSE OF THIS INFORMATION AND RENDERS THE PREPARERS DECLARATION NULL & VOID.

UNDERGROUND IMPROVEMENTS OR UNDERGROUND ENCROACHMENTS IF ANY ARE NOT SHOWN.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY, WHICH BEARS THE SURVEYORS STAMP OR SEAL, RENDERS ANY DECLARATION SHOWN HEREON NULL AND VOID.

THE SURVEY AND DECLARATION SHOWN HEREON IS NULL AND VOID WITHOUT THE LICENSED SURVEYORS ORIGINAL STAMP OR EMBOSSED SEAL.

THIS MAP DOES NOT CONSTITUTE EITHER A SUBDIVISION OR A RESUBDIVISION UNDER THE TERMS OF SECTION 8-18 OF THE CONNECTICUT GENERAL STATUTES, AS AMENDED.

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS SURVEY AND MAP WERE PREPARED IN ACCORDANCE WITH THE STANDARDS OF ACCURACY OF A CLASS A-2 SURVEY AS DEFINED IN THE CODE OF PRACTICE FOR STANDARDS OF ACCURACY OF SURVEYS AND MAPS ADOPTED JUNE 21, 1996 AS AMENDED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INCORPORATED.

MICHAEL L. McELROY, L.L.S. No. 17250

PLOT PLAN  
 OF  
 355 LAKE AVENUE  
 PREPARED FOR  
 STEVE BRADY & SHARON SPONZA FIGI  
 NOVEMBER 27, 2023 SCALE: 1" = 10'  
 BRIDGEPORT, CONNECTICUT  
 BLACK ROCK SURVEYORS  
 1089 CHURCH HILL ROAD  
 FAIRFIELD, CONNECTICUT  
 (203) 371-0003  
 blackrocksurvey@optonline.net

REVISIONS



LEFORT ASSOCIATES  
24 WARD LANE  
STAMFORD, CT 06907  
www.lefortassociates.com

ADDITION &  
RENOVATION FOR:  
  
STEVE BRADY

355 LAKE AVE  
BRIDGEPORT, CT 06605

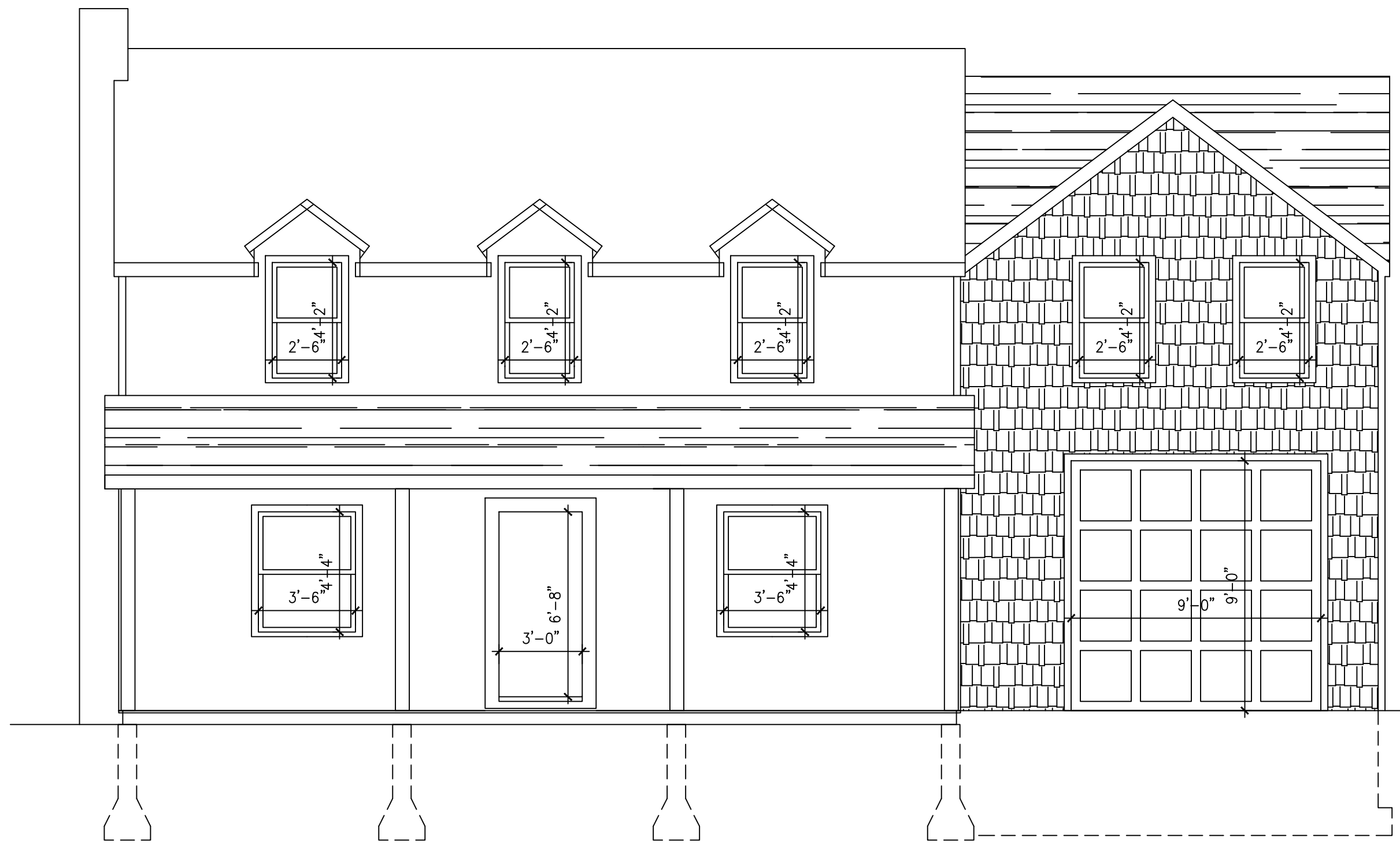
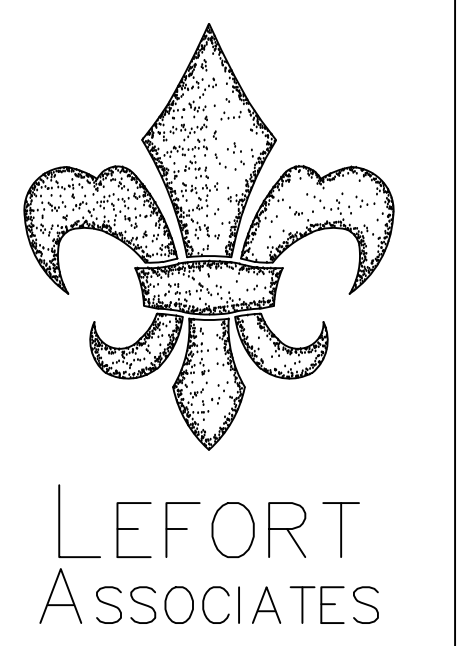
SCALE:  
AS NOTED

DRAWN BY:  
LEL

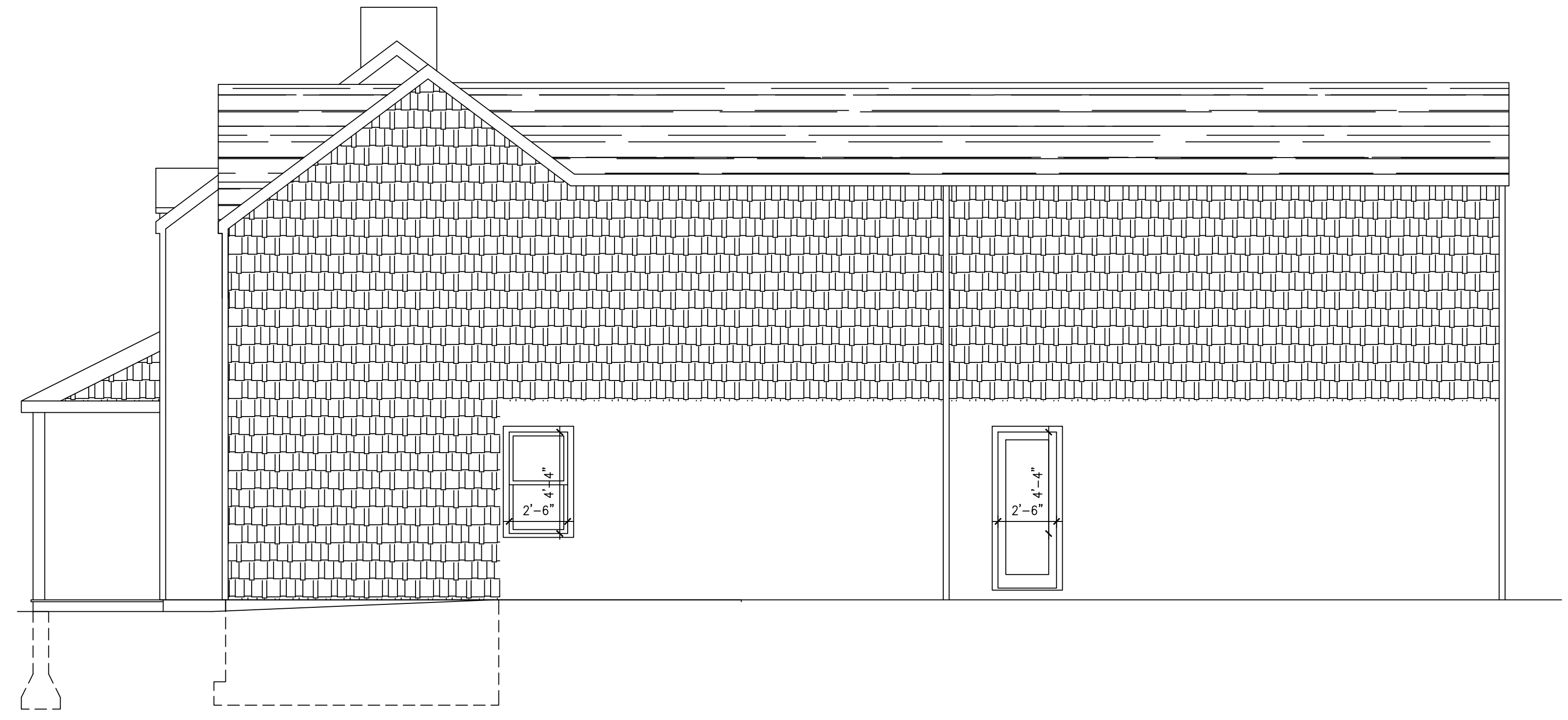
DATE:  
2023 NOVEMBER 15

PROJECT NO.  
2320

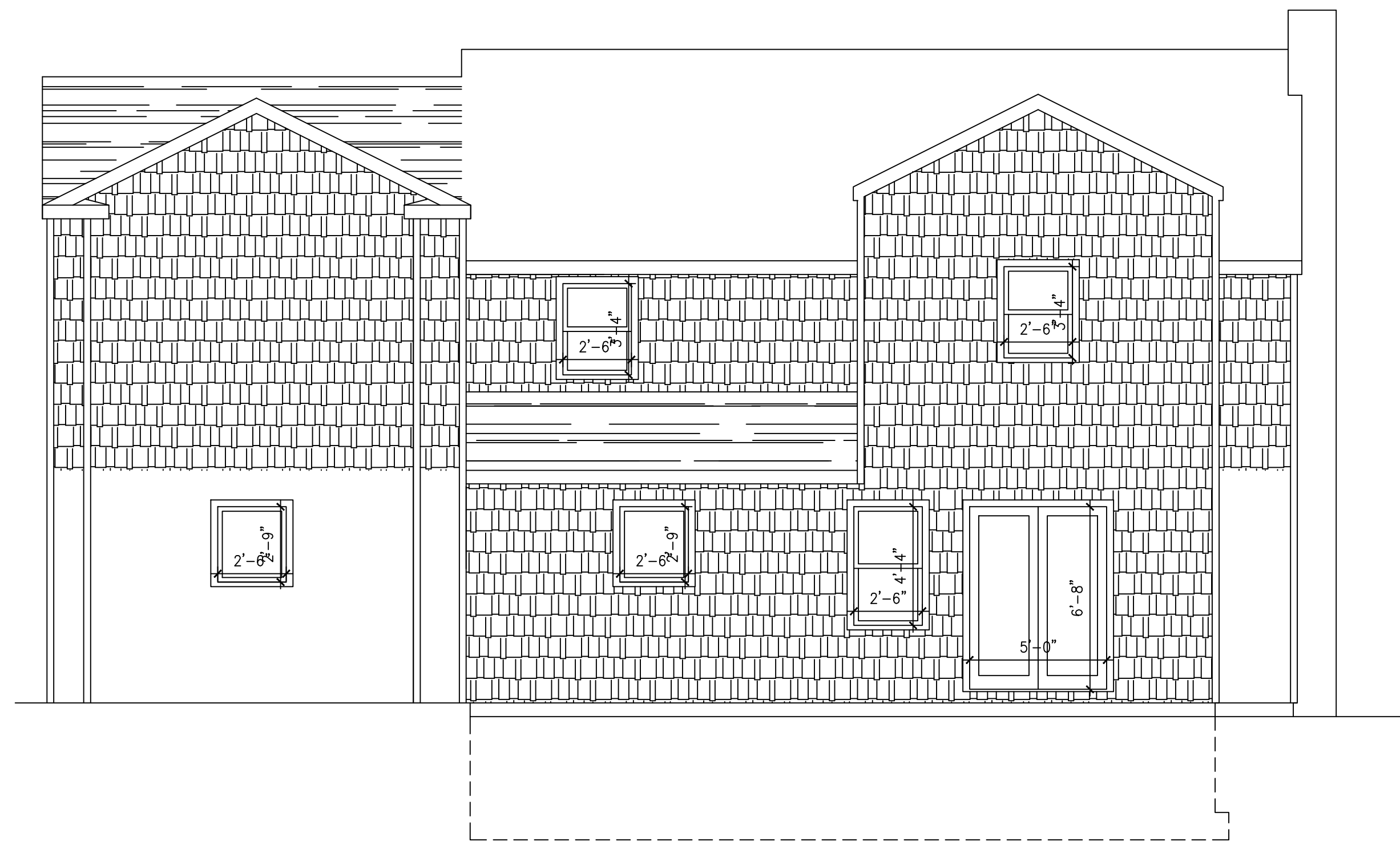
PHASE CDS  
**A-3**



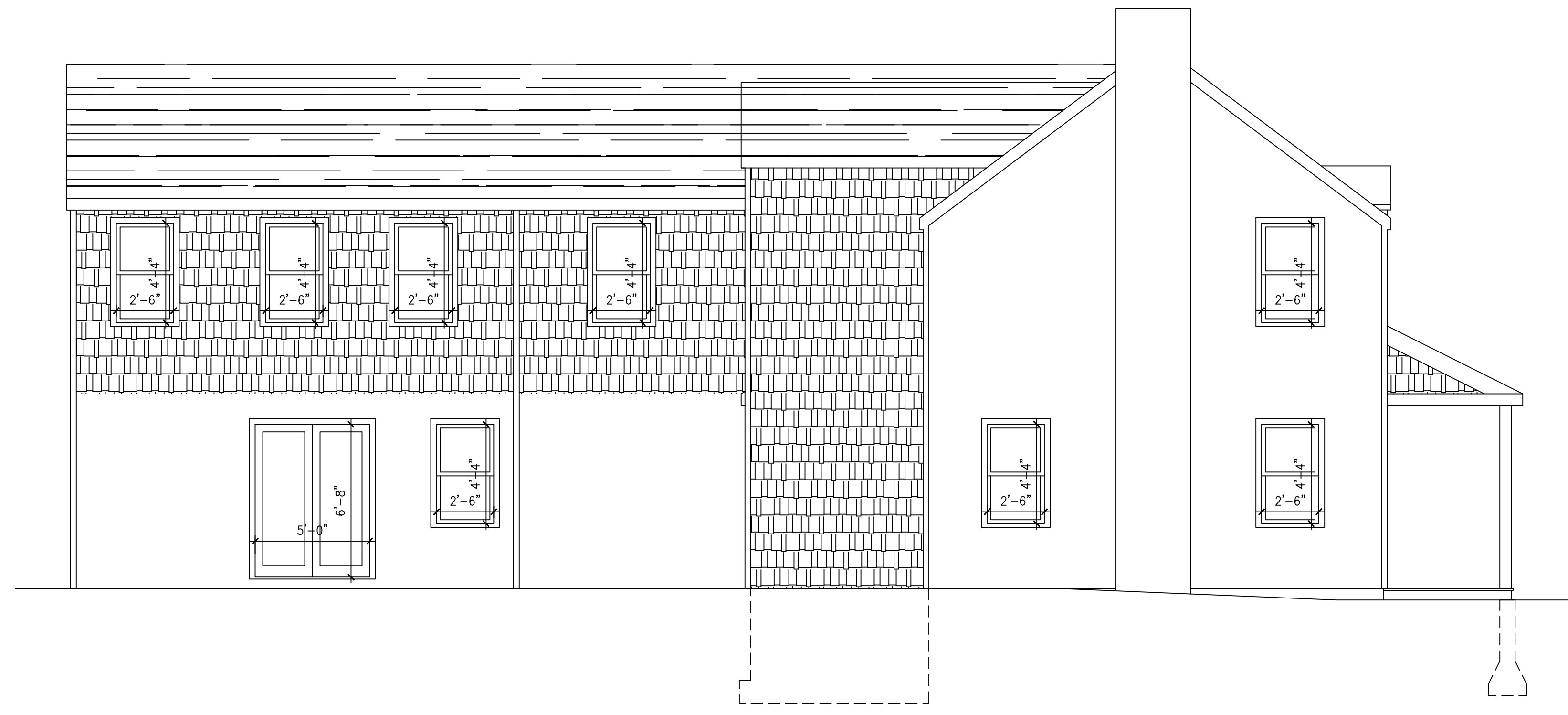
**3** FRONT ELEVATION  
1/4"=1'-0"



**4** SIDE ELEVATION  
1/4"=1'-0"



**2** REAR ELEVATION  
1/4"=1'-0"



**5** SIDE ELEVATION  
1/4"=1'-0"

REVISIONS

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 24 WARD LANE  
 STAMFORD, CT 06907  
 www.lefortassociates.com

ADDITION &  
 RENOVATION FOR:  
  
 STEVE BRADY  
  
 355 LAKE AVE  
 BRIDGEPORT, CT 06601

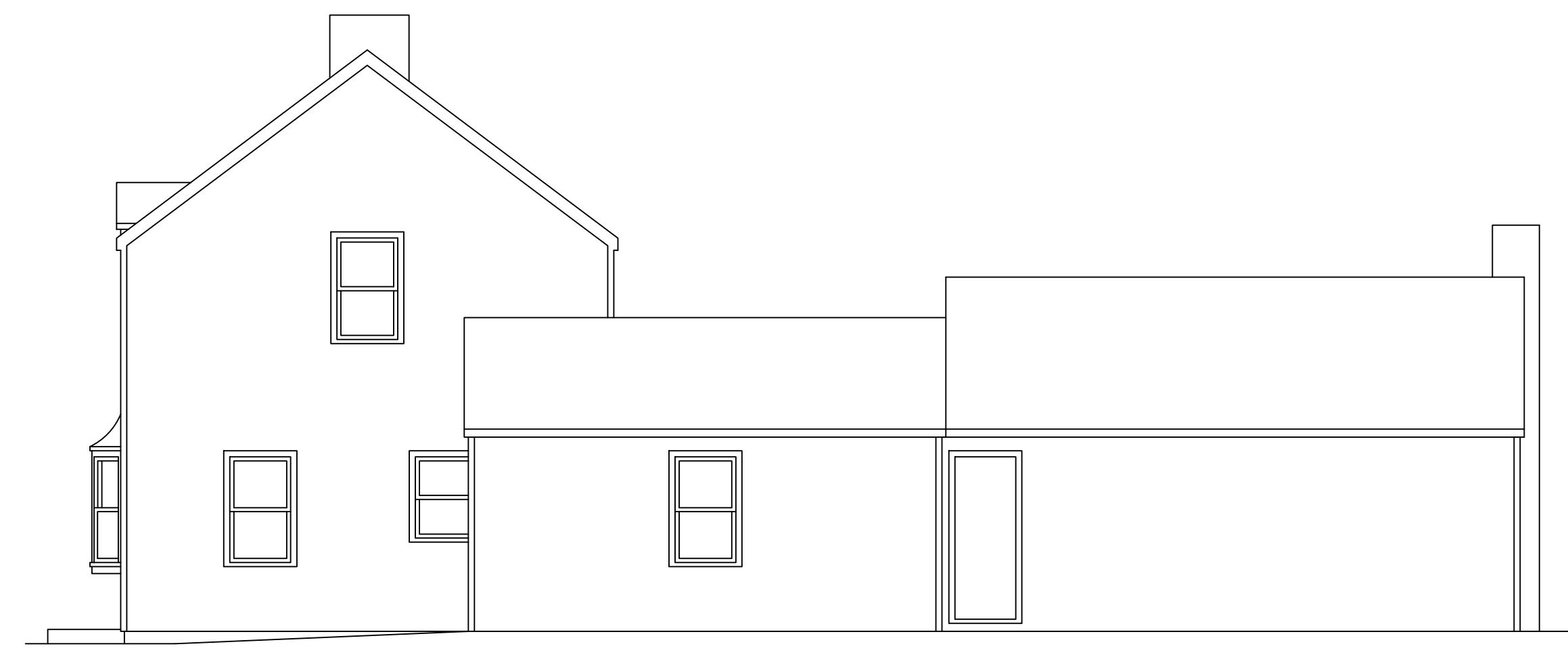
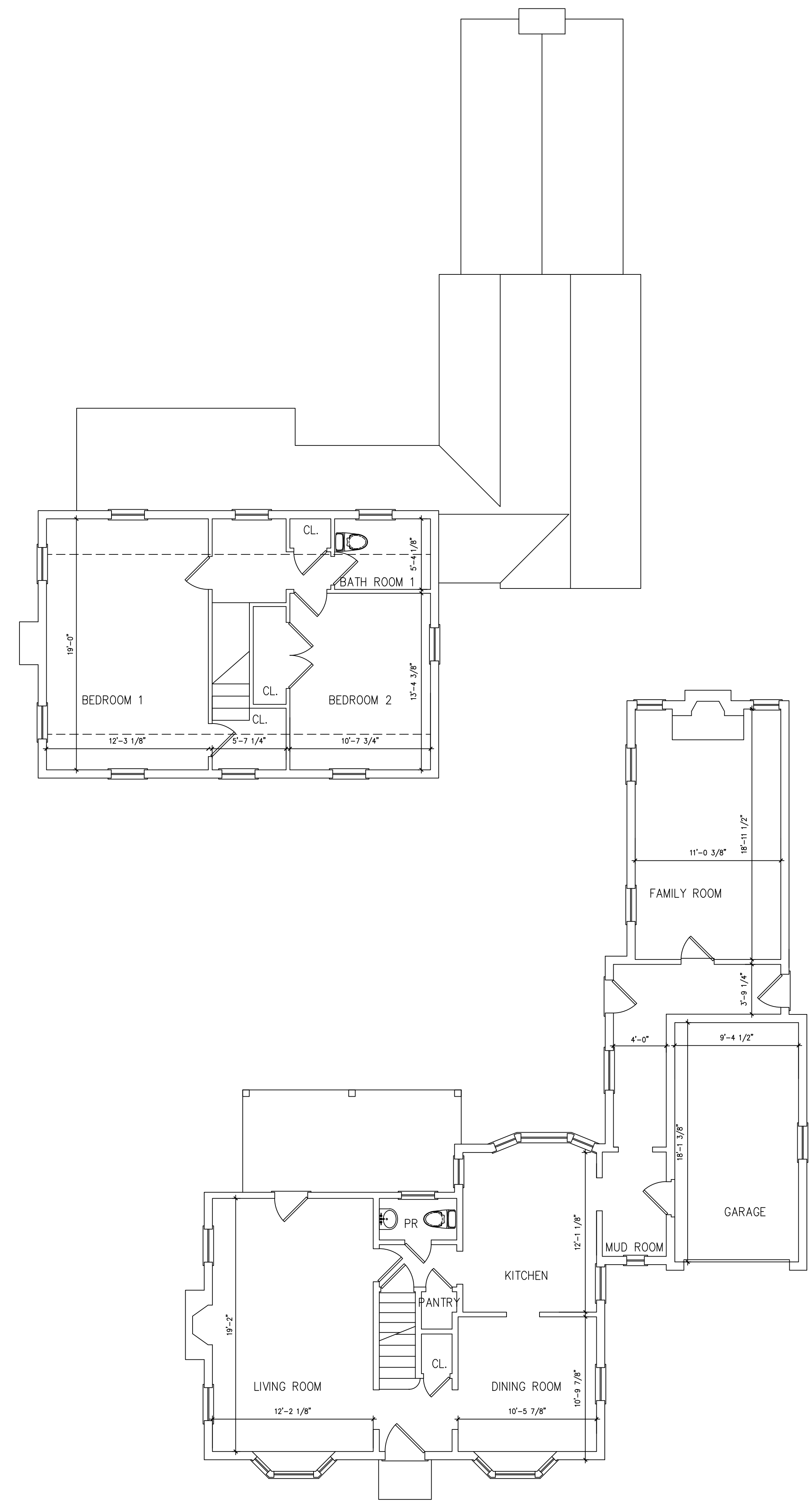
SCALE:  
 $\frac{3}{16}" = 1'-0"$

DRAWN BY:  
 LEL

DATE:  
 2023 SEPTEMBER 27

PROJECT NO.  
 2320

PHASE CDS  
**EX-1**





REVISIONS

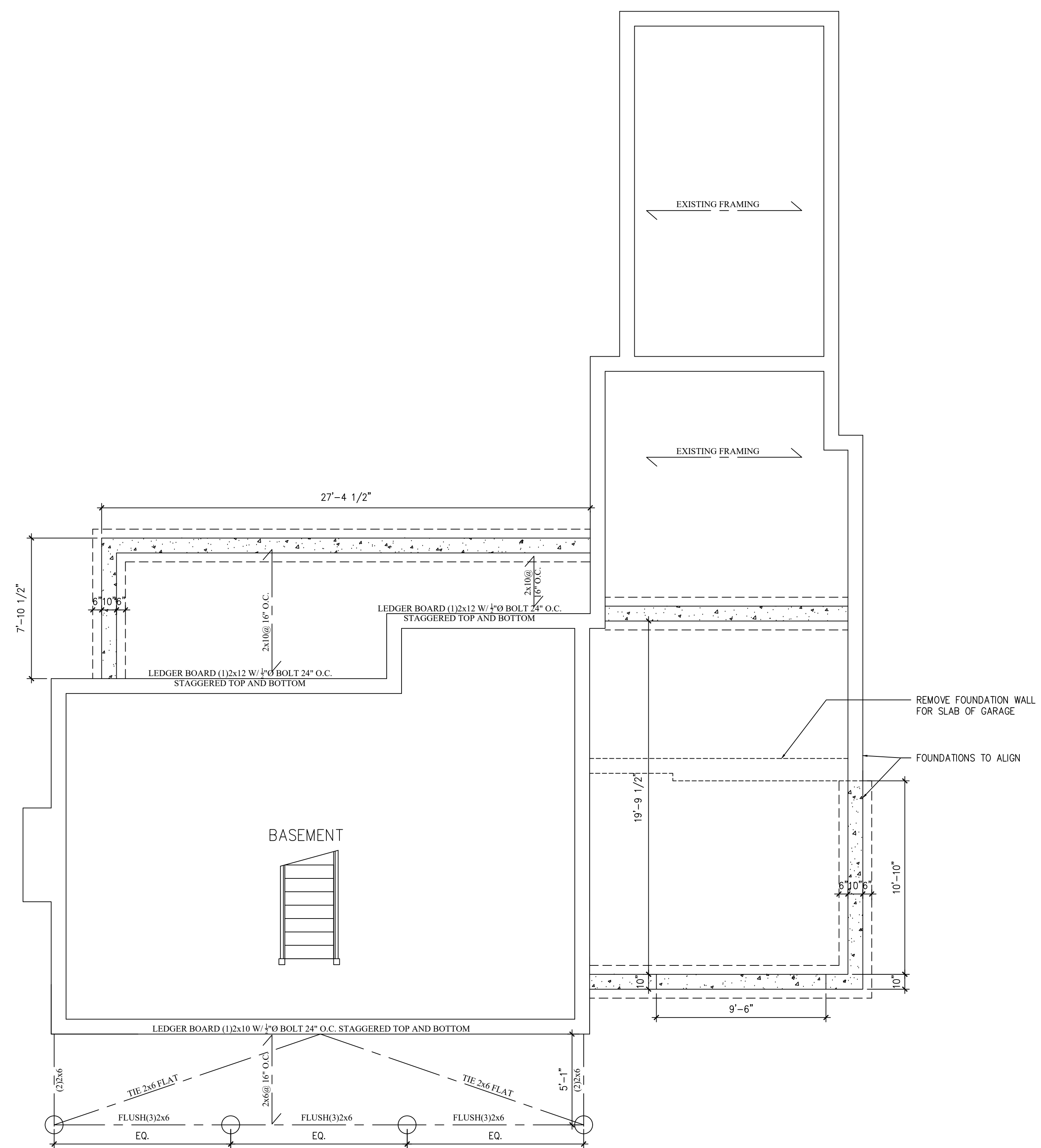
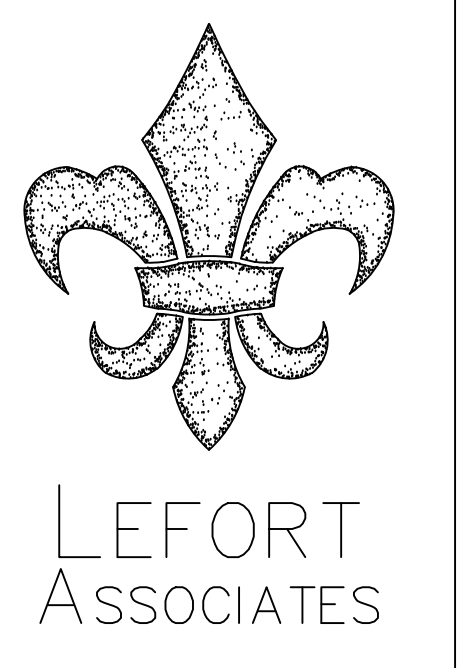


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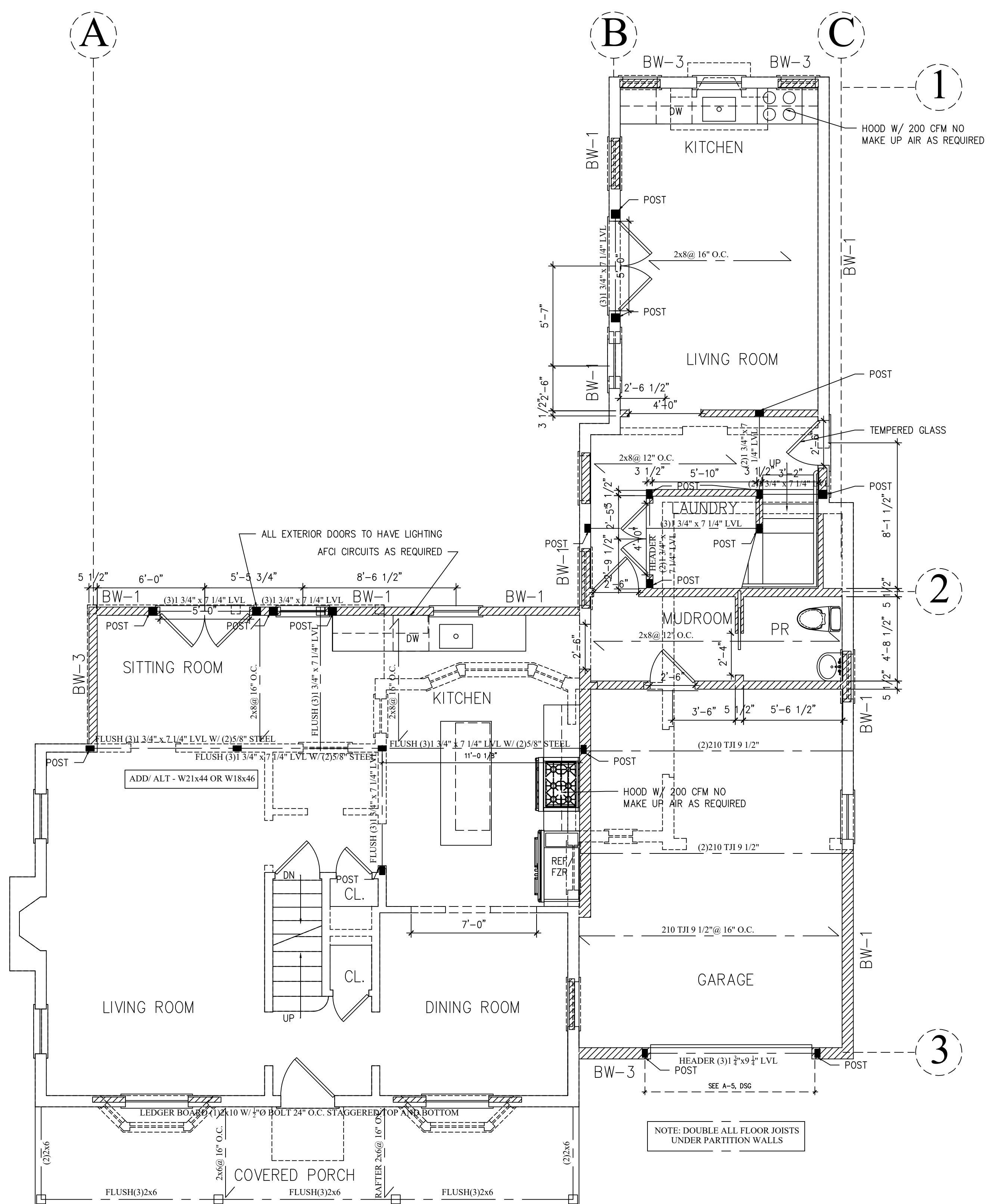
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SCALE:  
AS NOTED  
  
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LEL  
  
DATE:  
2023 NOVEMBER 15  
  
PROJECT NO.  
2320

PHASE CDS  
**A-1**



**1 FOUNDATION PLAN**  
1/4"=1'-0"



**2 FIRST FLOOR**  
1/4"=1'-0"

WINDOWS WITH INSULATED GLASS - LOW E1 - ARGON, .32 U FACTOR OR BETTER  
DOORS WITH INSULATED GLASS - LOW E1 - ARGON, .32 U FACTOR OR BETTER

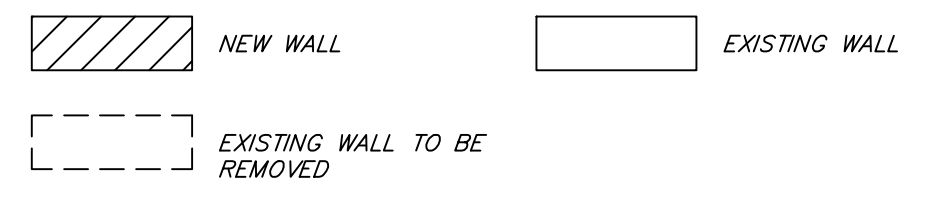
GENERAL NOTES

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DO NOT SCALE DRAWINGS.  
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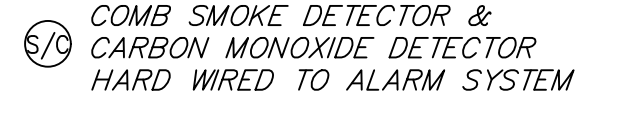
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MATERIAL DESIGNATIONS



SYMBOLS



REVISIONS

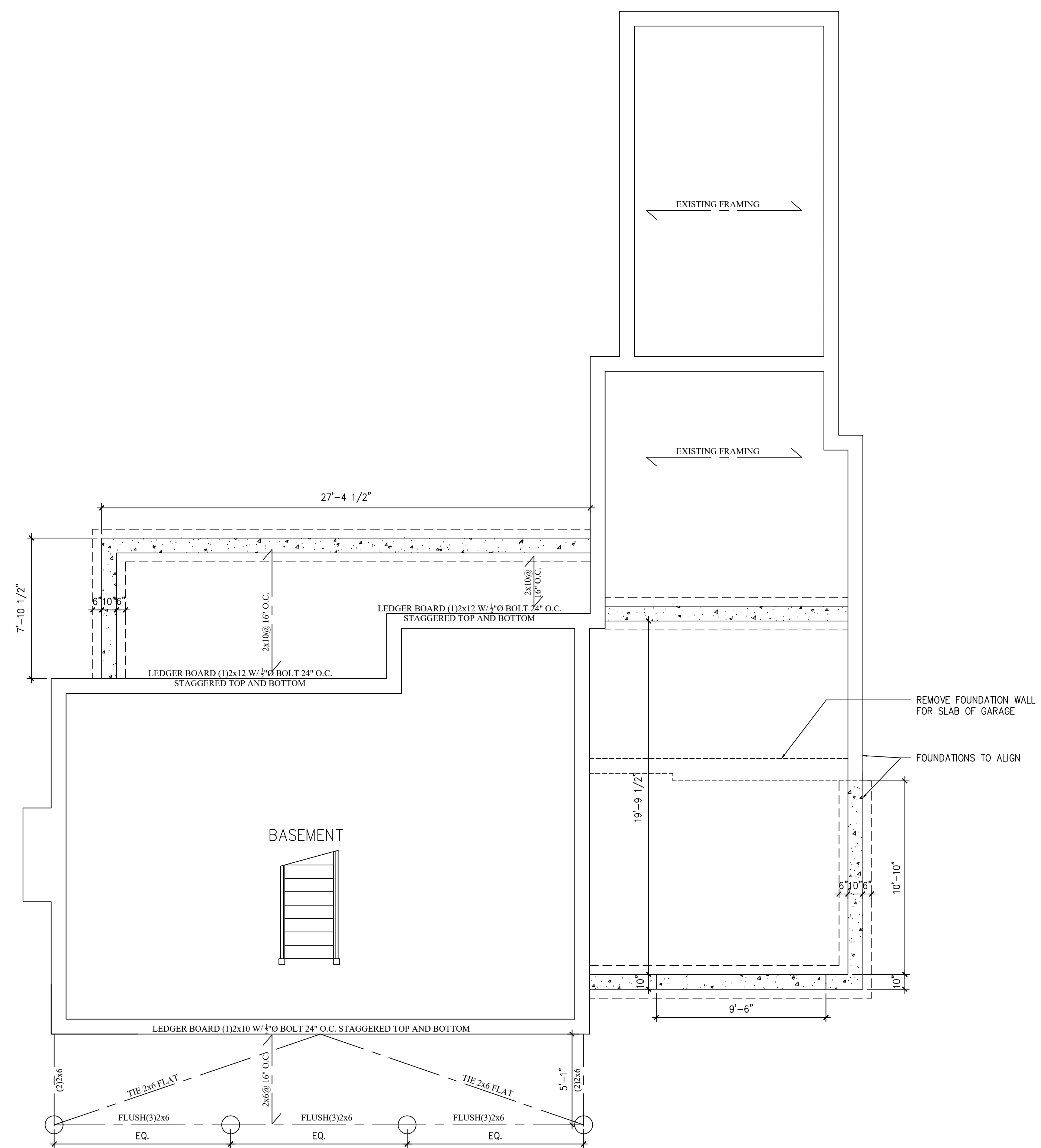
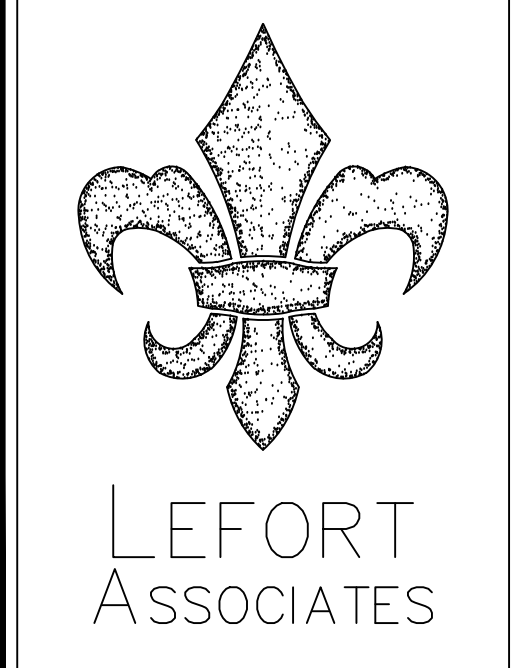


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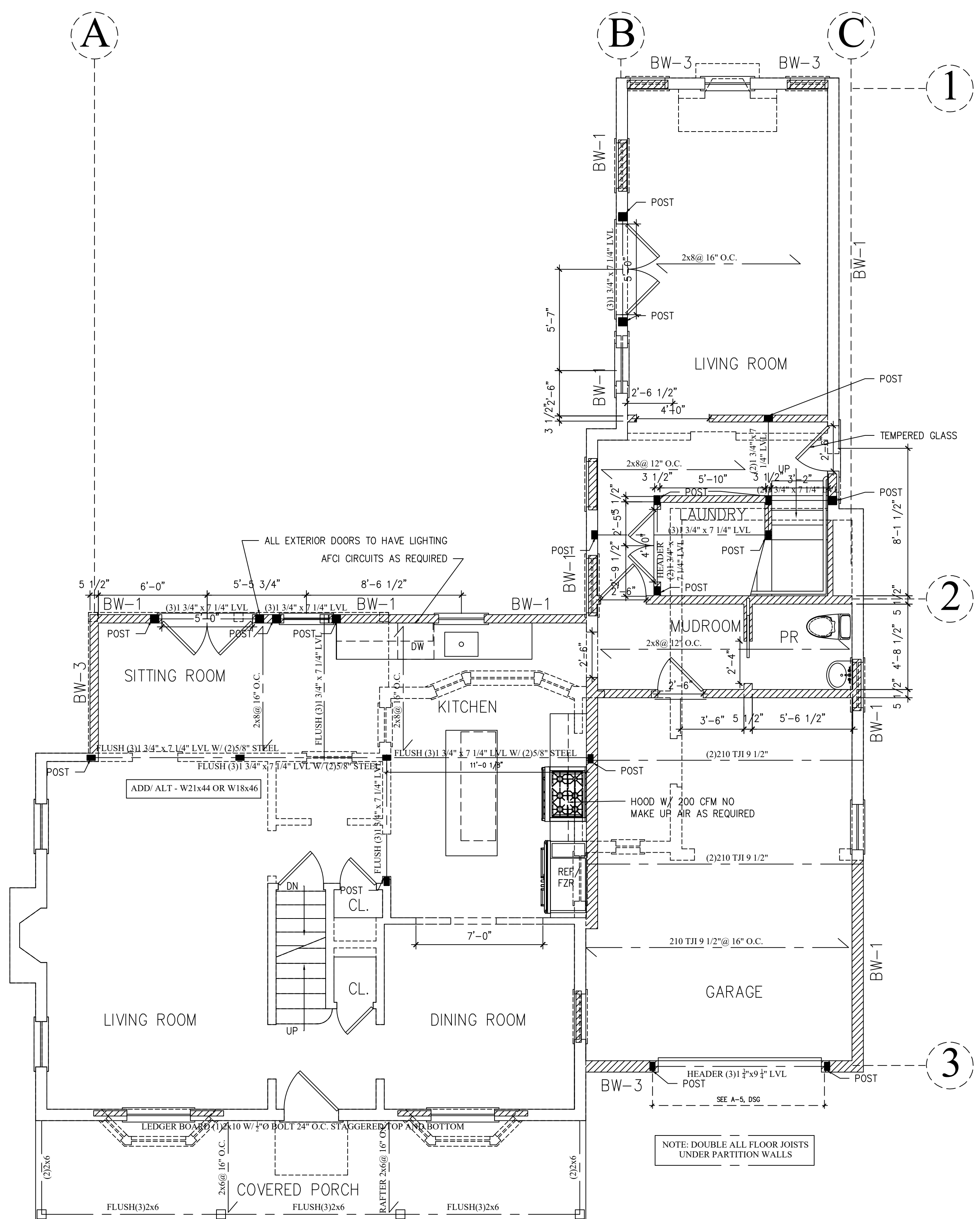
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BRIDGEPORT, CT 06605

SCALE:  
AS NOTED  
  
DRAWN BY:  
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PHASE CDS  
**A-1**



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1/4"=1'-0"



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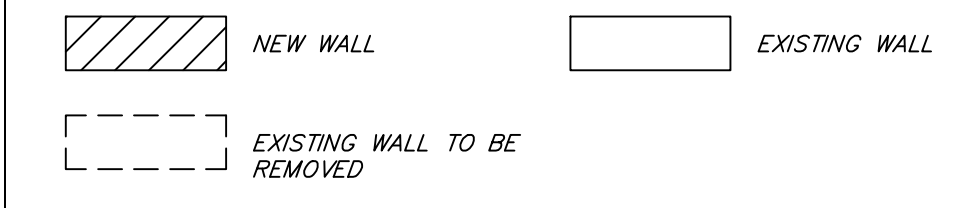
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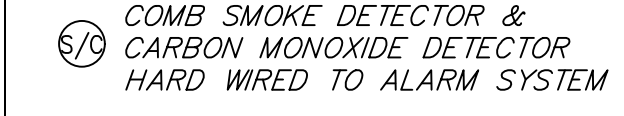
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**MATERIAL DESIGNATIONS**



**SYMBOLS**



REVISIONS

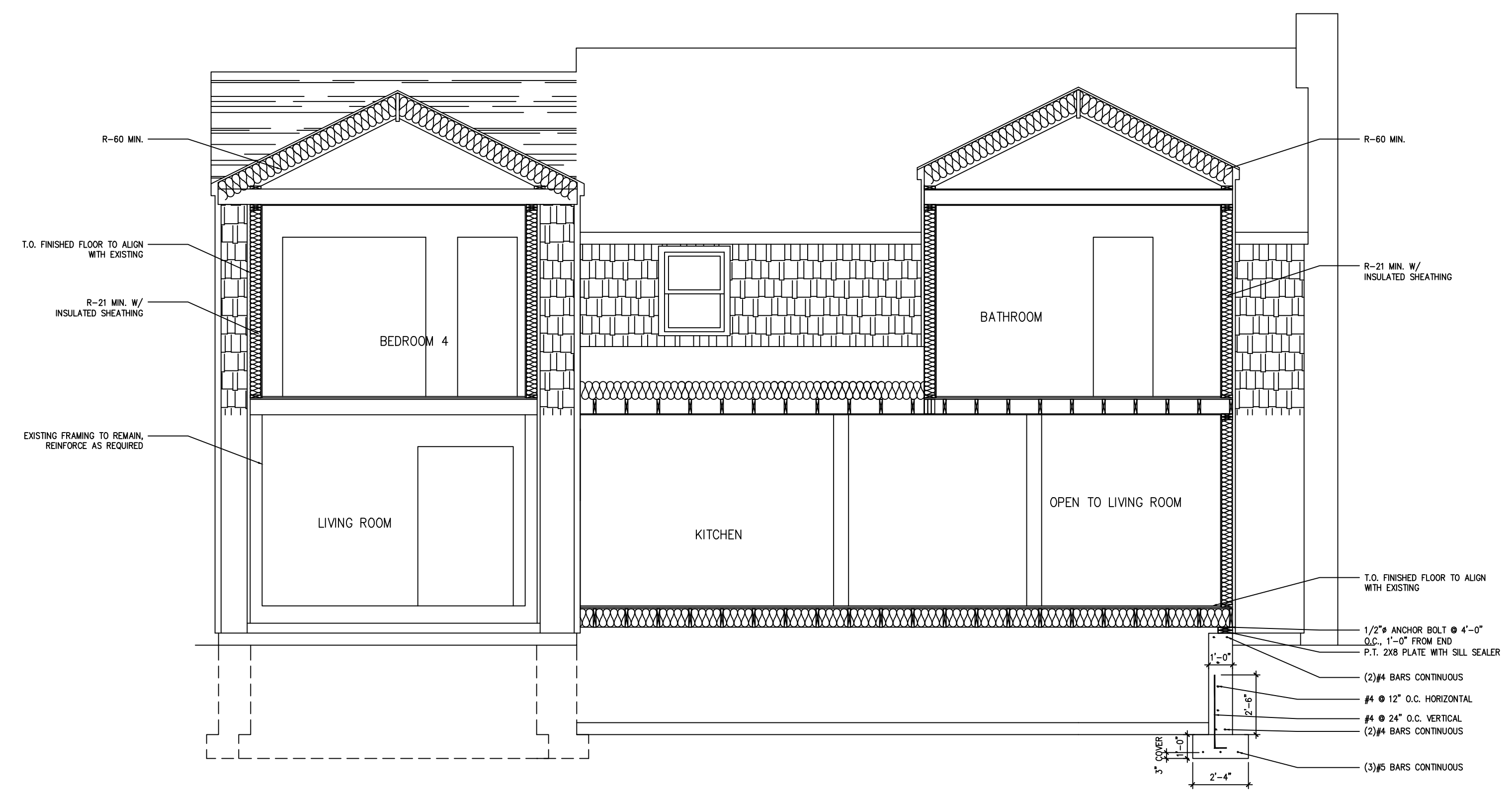
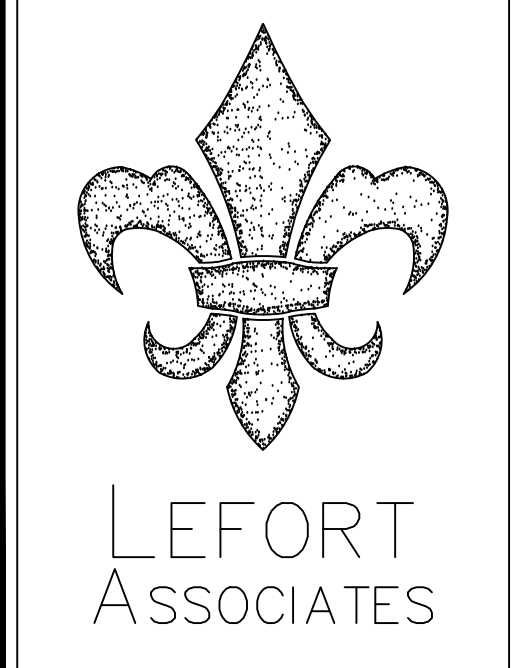


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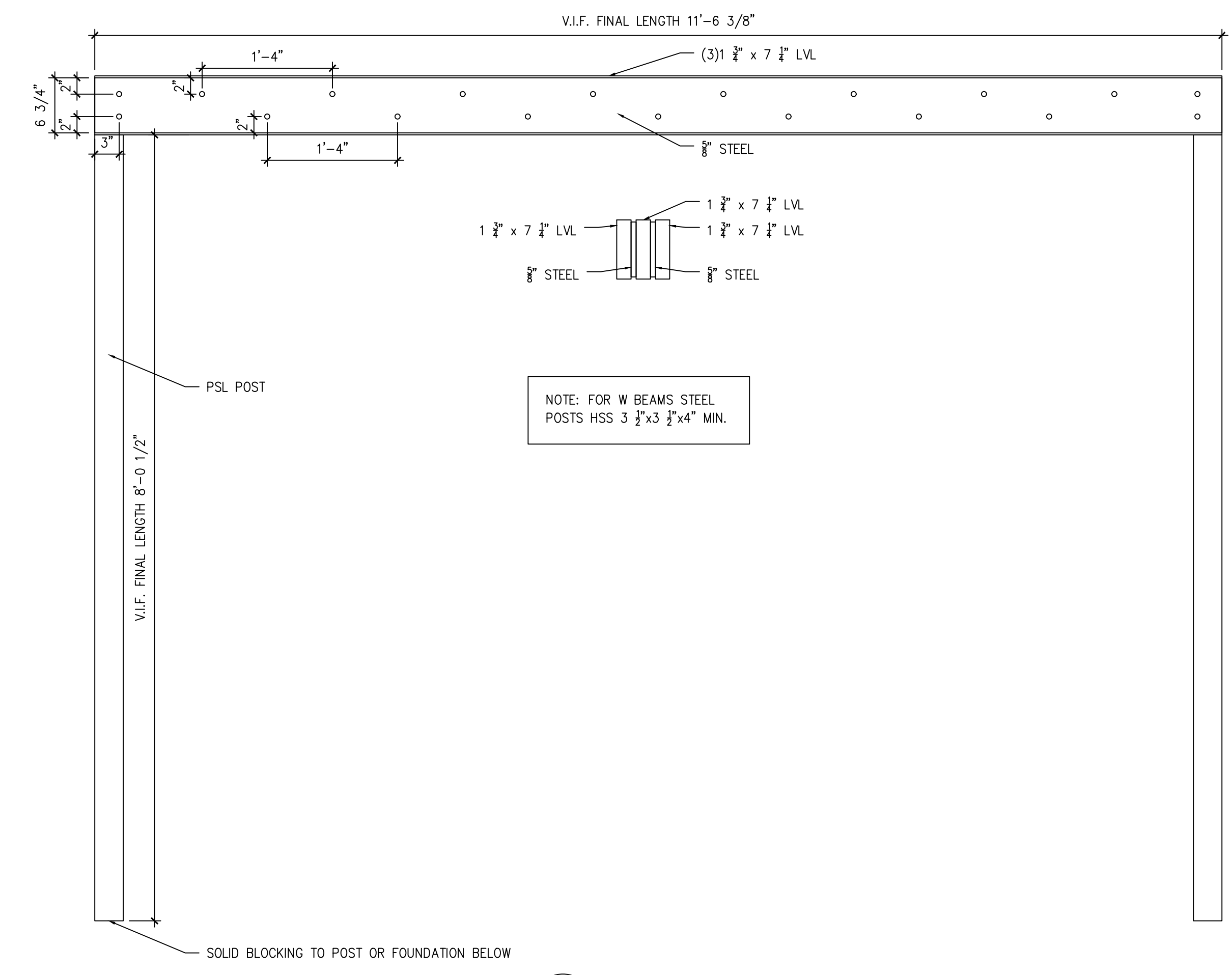
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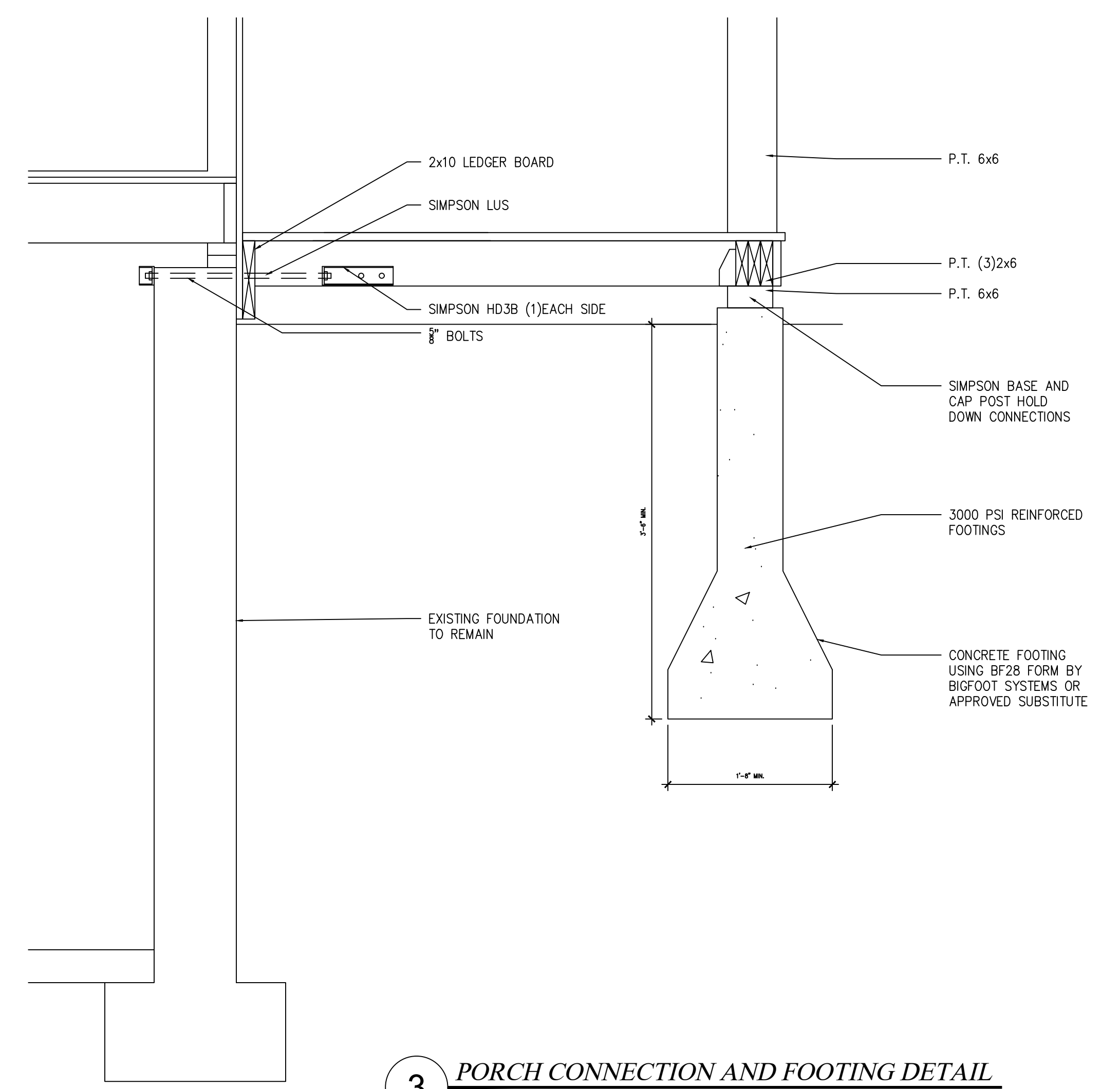
PHASE CDS  
**A-4**



**1 BUILDING SECTION**  
1/4"=1'-0"



**2 FLITCH PLATE DETAIL**  
1"=1'-0"



**3 PORCH CONNECTION AND FOOTING DETAIL**  
1"=1'-0"



# PETITION TO THE BOARD OF APPEALS

## City of Bridgeport, Connecticut

The undersigned presents the following petition for:

*(Check all that Apply)*

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

694 CHOPSEY HILL AVE, BRIDGEPORT, CT 06606 Zone N4  
(Number) (Street) (Zone Classification)

On the EAST side of the street about 200 feet SOUTH from  
(North, South, East, West) (North, South, East, West)

WOODROW Block : - 2217 Lot: 3/13  
(Street)

Dimension of Lot in Question 7543  
(Specify)

1. NAME OF PETITIONER / BUSINESS A NEW M&M RENOVATIONS LLC  
(Print)

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) MARCIA MACEDO

3. HAS ANY PREVIOUS PETITION BEEN FILED? NO IF SO, GIVE DATE OF HEARING \_\_\_\_\_  
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT SPLIT REAR LOT

5. THIS PETITION RELATES TO: *Check all that Apply*

Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY SINGLE FAMILY HOUSE

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? SHORT FRONT AREA

PETITIONER *Marcia Macedo* / MARCIA MACEDO DATE 11/28/2023  
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_ / MARCIALOPESCT@GMAIL.COM  
(Email)

Mailing Address 606 NORTH AVE, BRIDGEPORT, CT 06606 - 203 615-4766  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_ Print \_\_\_\_\_  
(If other than owner) (Signature)

Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

### Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All questions must be answered in detail (use separate sheet if necessary).  
The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this petition.  
NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.  
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS  
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

\_\_\_\_\_ FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20 \_\_\_\_\_ Clerk \_\_\_\_\_

Bridgeport November 28, 2023

To: City of Bridgeport  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604

**Re: Application for Variance – 694 Chopsey Hill Ave**

Dear Commission

Please accept this letter on behalf of my company for an application for variance to an existing residential lot with a single family.

**Variance Requested**

- 1- The zoning variance is required for the front lot where the existing house is. The proposed lot area is 5,001 sf after the easement area is subtracted out. The minimum lot area in this zone is 7,500 sf.

**Narrative**

Due to a necessary easement, the frontage of the lot would be a little short of the necessary size required by the regulation.

There's a shortage of lots in the City of Bridgeport and I'm working diligently to create more affordable housing in the city. The creation of this new lot would significantly help with the much need housing increase in Bridgeport. There would be only one single family house on the new lot.


**Hardship**

Since me and my husband is in a process of separation, we both need a home to live. Granting this variance will be the solution for both of us to have a home. The new house will exhibit the character of the other houses in the neighborhood along with all the consistent Regulations.

For the above-stated reasons, I, respectfully request approval of this application for variance.

Sincerely,

DocuSigned by:

  
Marcia Macedo

606 North Ave, Bridgeport – CT 06606

Dear Sir or Madam:

You are receiving this letter because you are a property owner within 100-feet of an address or addresses of an application that has been submitted to the **Zoning Board of Appeals seeking approval to create another lot on the existing parcel of land and construct another 1-family house** at the property address of:

**694 CHOPSEY HILL ROAD**

ADDRESS

This application will be considered at a public hearing to be held in City Hall, 45 Lyon Terrace, Bridgeport, Connecticut on:

**TUESDAY**

DAY

**JANUARY 9**

DATE

**6:00 PM**

TIME

**You are not required to do anything.** This is only to inform you that you may participate in this public hearing or email a written statement if you are in favor or in opposition to the application. Please email your comments A.S.A.P. so the Commissioners can receive them long before the hearing.

Email: [gloria.blackwell@bridgeportct.gov](mailto:gloria.blackwell@bridgeportct.gov)

The application and supporting materials are on file in the Zoning Department, Room 210, 45 Lyon Terrace and may be inspected during business hours between 9am-4pm Monday thru Friday.

If you have any questions, you may contact the Zoning Office at 203-576-7217 or the applicant (or the applicant's representative) at the name and number below:

Marcia Macedo

NAME (print)

203 615-4766

PHONE NUMBER

Respectfully,

*Marcia Macedo*

(signature)

11/28/2023

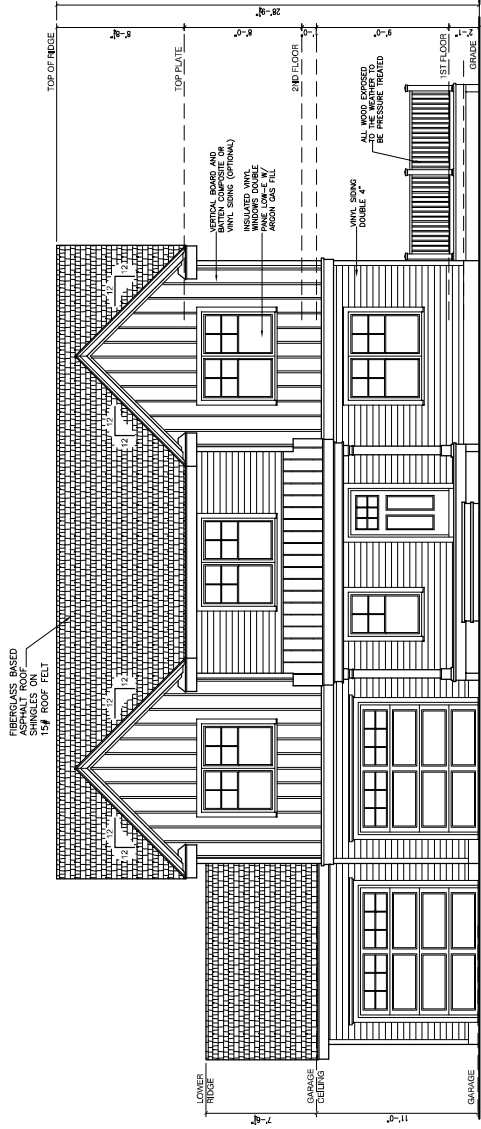
DATE

\*City of Bridgeport Zoning Regulations: Section 11-10B (1)

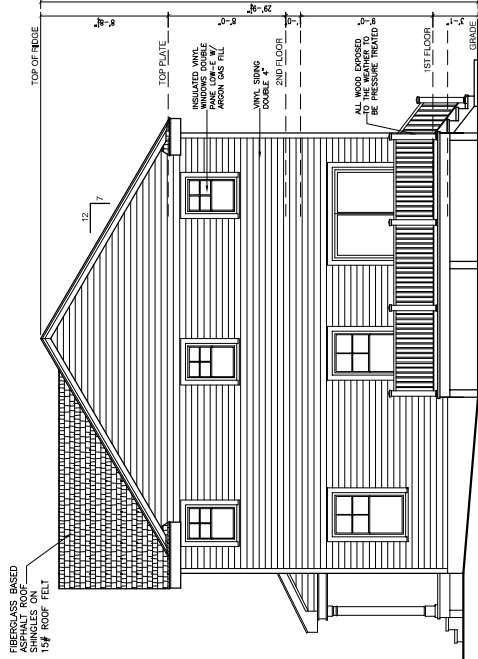


LIST AND ADDRESS OF PROPERTY OWNERS WITH 100 FEET OF 394 CHOPSEY HILL AVE

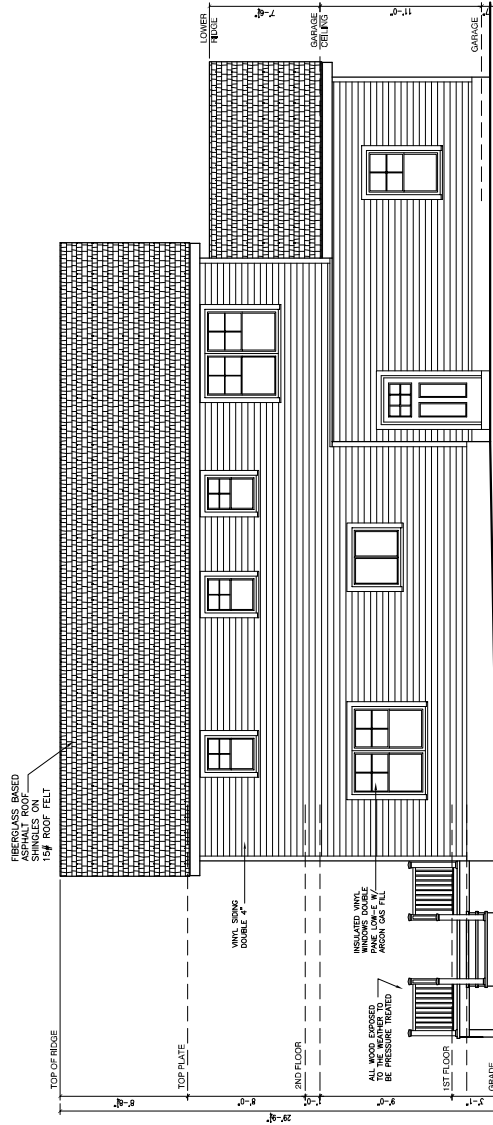
720 CHOPSEY HILL AVE	DAVIS ROBERT C
475 WOODROW AVE	TANYA LAZARO
20 EXETER ST	LUCELENIA REYS
7 EXETER ST	WILLIAM RASUK-POLANCO - LAURA
661 CHOPSEY HILL AVE	UGUNA FAUSTO
645 CHOPSEY HILL AVE	BROWN CAROLA & TYRONE
658 CHOPSEY HILL AVE	ARSCOTT LEVAR L ET AL
585 POND ST	JULIA MALDONADO
415 WOODROW AVE	JAMES LLOYD
550 SAUNDERS AVE	CLEON SAMUEL, SAMUEL TRACY
540 SAUNDERS AVE	ROWE CHRISTINA
530 SAUNDERS AVE	JAMES WESLEY
545 POND ST	JORGE CALDER



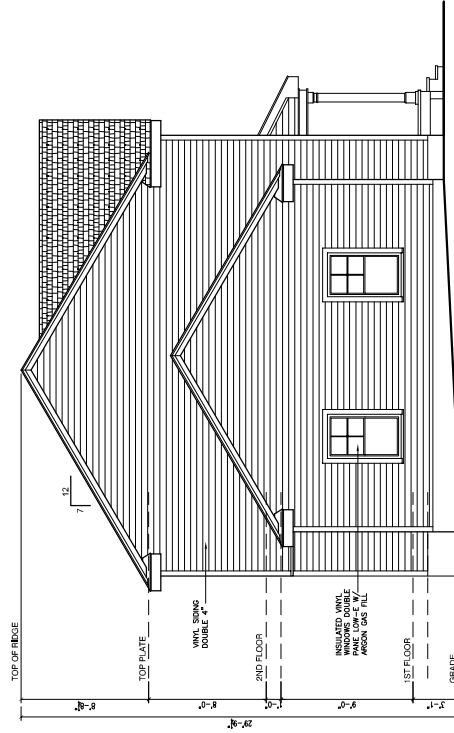
**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

**SINGLE FAMILY HOME - NEW CONSTRUCTION**  
PREPARED FOR PROPERTY LOCATED AT  
694 CHOPSEY HILL RD. (NEW REAR LOT), BRIDGEPORT, CT

DATE: 08-24-2023  
DRAWN: M. HEINEMER 203-449-6157  
PROJECT #: MCR-2023-107  
SCALE: AS NOTED

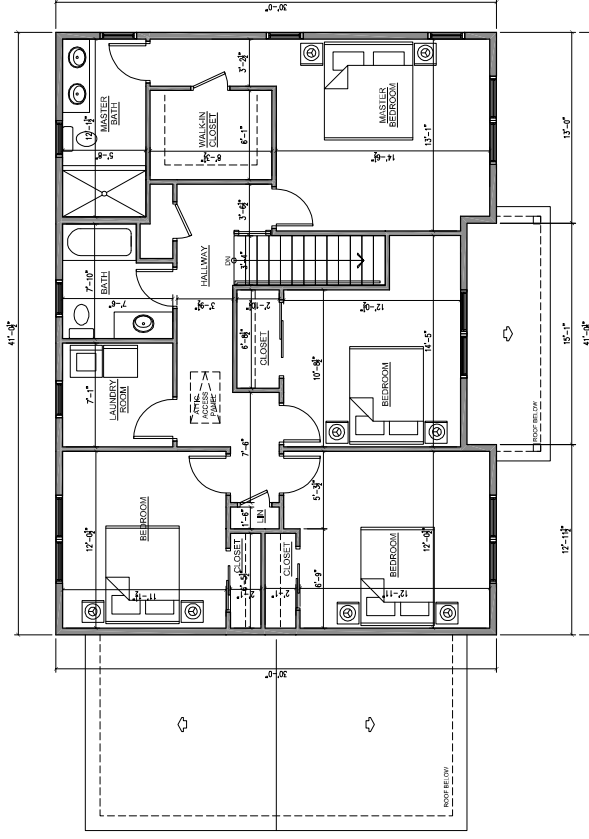
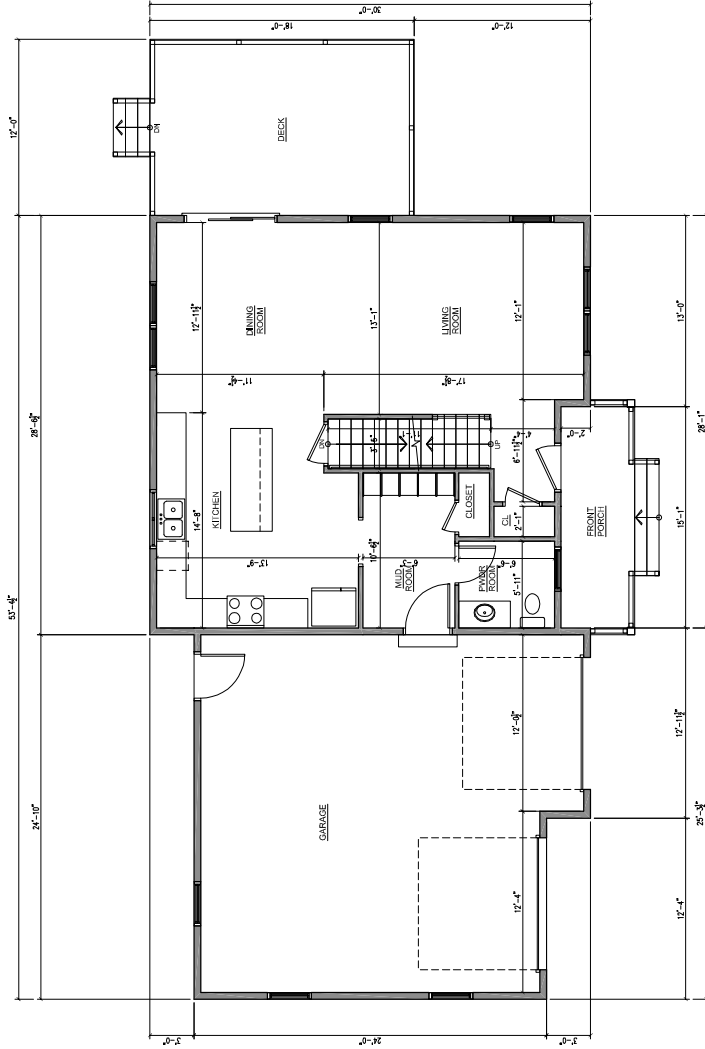
ELEVATIONS

**A-2**

THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICE OF ARCHITECTURE PROVIDED IN THIS DRAWING. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY ANY OTHER PARTY.

REVISIONS

NO.	DATE	DESCRIPTION



**2ND FLOOR PLAN**  
 SCALE 1/4" = 1'-0"  
 2ND FLOOR LIVING SPACE = 1165 SF

**1ST FLOOR PLAN**  
 SCALE 1/4" = 1'-0"  
 1ST FLOOR LIVING SPACE = 825 SF

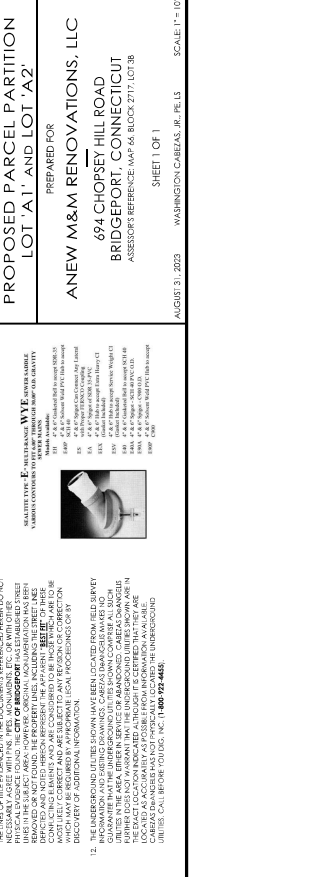
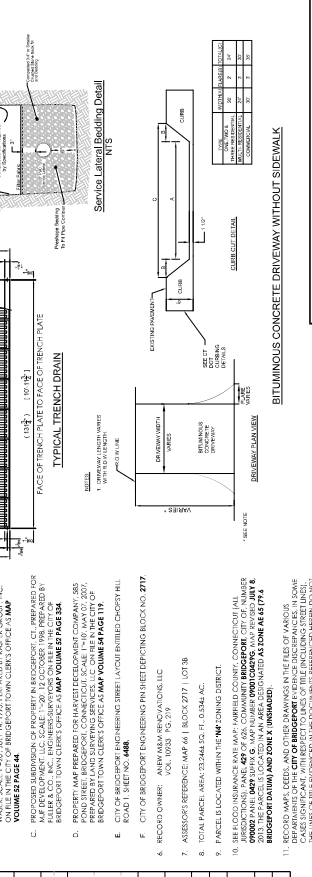
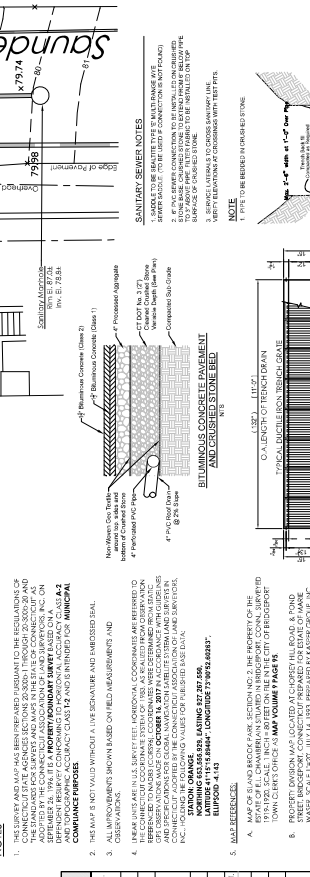
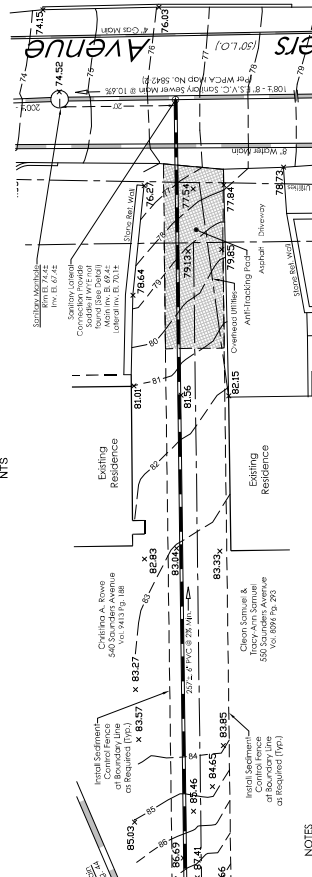
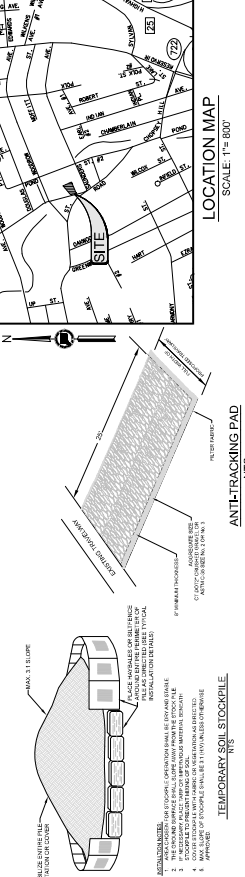
**SINGLE FAMILY HOME - NEW CONSTRUCTION**  
 PREPARED FOR PROPERTY LOCATED AT  
 694 CHOPSEY HILL RD. (NEW REAR LOT), BRIDGEPORT, CT

NO.	DATE	REVISIONS

FLOOR PLANS	
DATE:	08-24-2023
DRAWN:	M. MEINHARTEN 203-449-6137
PROJECT #:	MCR-2023-107
SCALE:	AS NOTED

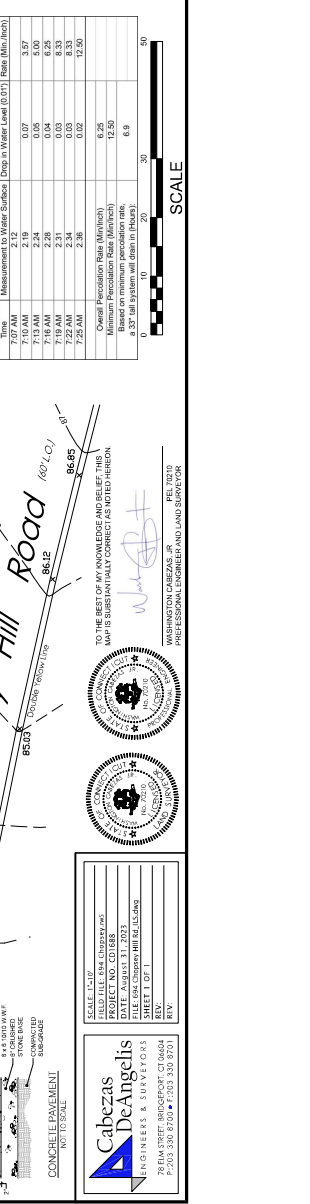
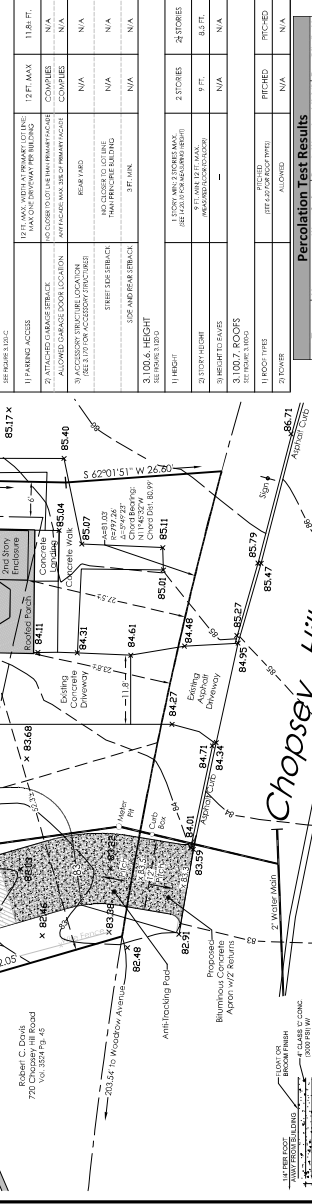
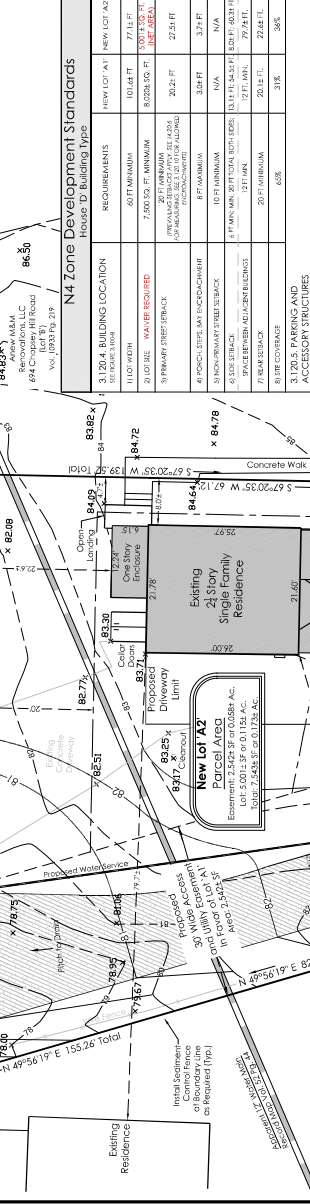
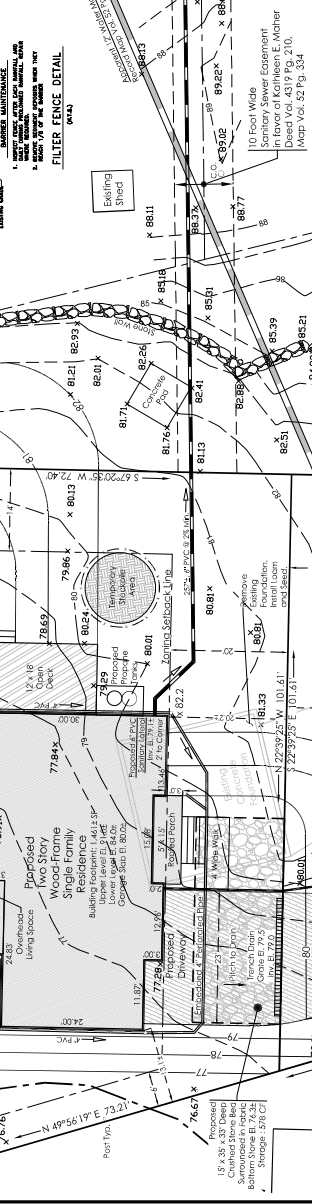
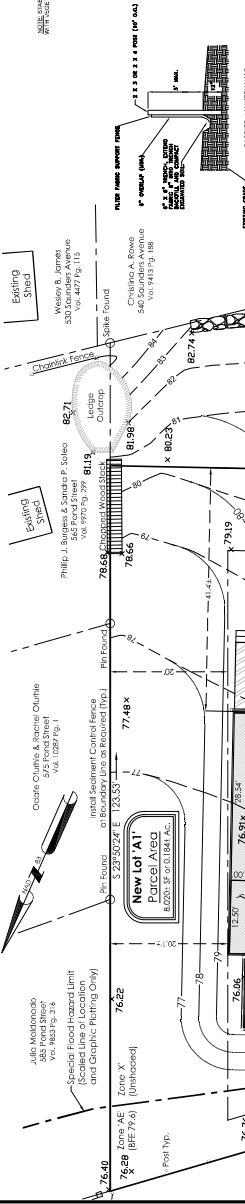
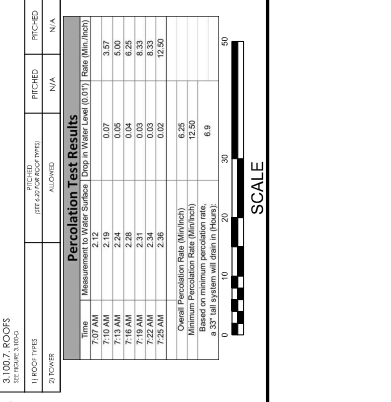
**A-1**

THIS DOCUMENT IS THE PROPERTY OF RED BOX ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RED BOX ARCHITECTURE.



NOTES: 1. THE PROPERTY AND LANDS SHOWN ARE SUBJECT TO THE RECORDS OF THE COUNTY CLERK OF CALIFORNIA...

Table with 4 columns: Building Location, Requirements, and other specifications for N4 zone development standards.



Professional Engineer and Land Surveyor seal and signature area.

Professional Engineer and Land Surveyor seal and signature area.

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Professional Engineer and Land Surveyor seal and signature area.

Professional Engineer and Land Surveyor seal and signature area.





# Secretary of the State of Connecticut Annual Report

## FILING DETAILS

Filing Number: 0011144825      Report Year 03/31/2023  
Filing Fee: \$80.00      Due Date:  
Filed On: 5/4/2023 2:58:53 PM

## PRIMARY DETAILS

Business Type: Domestic  
Legal Structure: LLC  
Business Name: Anew M&M Renovations LLC  
Business ALEI: US-CT.BER:2428690

	<i>Existing Information</i>	<i>Updated Information</i>
Business Email Address:	marcialopesct@gmail.com	No update
NAICS Information:	Finish Carpentry Contractors (238350)	New Housing For-Sale Builders (236117)

## BUSINESS LOCATION

	<i>Existing Information</i>	<i>Updated Information</i>
Principal Office Address:	606 NORTH AVE BRIDGEPORT, CT 06606 United States	No update
Mailing Address:	606 NORTH AVE BRIDGEPORT, CT 06606 United States	No update



# Secretary of the State of Connecticut Annual Report

## AGENT INFORMATION

Type: Individual  
Agent's Name: MARCIA MACEDO

	<i>Existing Addresses</i>	<i>Updated Addresses</i>
Business Address:	606 NORTH AVE BRIDGEPORT, CT 06606 United States	No update
Residence Address:	2989 Broadbridge Ave Stratford, CT 06614-2929 United States	No update
Mailing Address:	606 NORTH AVE BRIDGEPORT, CT 06606 United States	No update

## CURRENT PRINCIPAL INFORMATION

This section contains principals already on record who remained the same as part of this report; updates to address or title information is displayed as applicable.

<b>Principal Name:</b>	MARCIA MACEDO	
	<i>Existing Information</i>	<i>Updated Information</i>
Title:	Managing Member	No Update
Business Address:	606 NORTH AVE, BRIDGEPORT, CT, 06606, United States	No Update
Residence Address:	2989 Broadbridge Ave, Stratford, CT, 06614-2929, United States	No Update



# Secretary of the State of Connecticut Annual Report

## ACKNOWLEDGEMENT

I hereby certify and state under penalties of false statement that all the information set forth on this document is true.

I hereby electronically sign this document on behalf of:

Name of Authorizer: MARCIA MACEDO

Authorizer Title: Managing Member

Filer Name: Marcia Macedo

Filer Signature: Marcia Macedo

Execution Date: 05/04/2023

*This signature has been executed electronically*

**694 CHOPSEY HILL RD****Location** 694 CHOPSEY HILL RD**Mblu** 66/ 2717/ 3/B /**Acct#** RM-0022401**Owner** ANEW M & M RENOVATIONS  
LLC**Assessment** \$266,929**Appraisal** \$381,326**PID** 31182**Building Count** 1**Current Value**

Appraisal			
Valuation Year	Improvements	Land	Total
2022	\$272,070	\$109,256	\$381,326
Assessment			
Valuation Year	Improvements	Land	Total
2022	\$190,450	\$76,479	\$266,929

**Owner of Record****Owner** ANEW M & M RENOVATIONS LLC**Sale Price** \$230,000**Co-Owner****Certificate****Address** 694 CHOPSEY HILL RD  
BRIDGEPORT, CT 06606**Book & Page** 10933/219**Sale Date** 01/24/2023**Instrument** 00**Ownership History**

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
ANEW M & M RENOVATIONS LLC	\$230,000		10933/219	00	01/24/2023
MAHER KATHLEEN E	\$8,748		3291/0051		07/26/1994

**Building Information****Building 1 : Section 1**

**Year Built:** 1930  
**Living Area:** 1,787  
**Replacement Cost:** \$291,965  
**Building Percent Good:** 93



Replacement Cost

Less Depreciation: \$271,530

**Building Attributes**

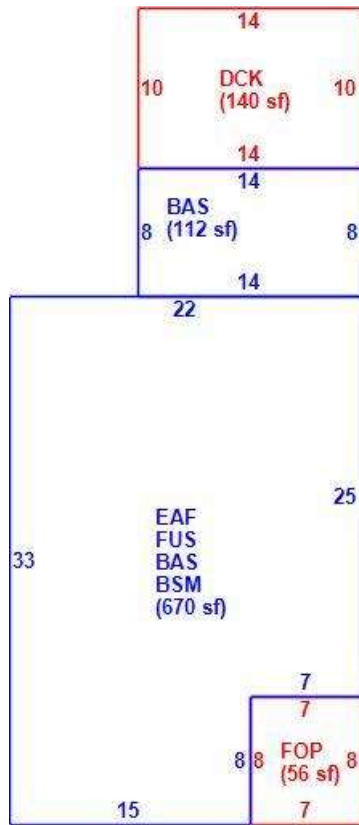
Field	Description
Style:	Conventional
Model	Residential
Grade:	A
Stories:	2,25
Occupancy:	1
Exterior Wall 1:	Vinyl Siding
Exterior Wall 2:	
Roof Structure:	Gable
Roof Cover:	Asphalt Shingl
Interior Wall 1:	Drywall
Interior Wall 2:	
Interior Flr 1:	Hardwood
Interior Flr 2	
Heat Fuel:	Oil
Heat Type:	Hot Water
AC Type:	None
Total Bedrooms	5 Bedrooms
Total Full Baths	2
Total Half Baths	1
Total Xtra Fixtrs:	0
Total Rooms	8
Bath Style:	Modern
Kitchen Style:	Modern
Num Kitchens	
Fireplaces	0
Fin Bsmt Area	
Fin Bsmt Quality	
Num Park	
Bsmt Garages	0
.	NBHD 21-SFR
Fndtn Cndtn	
Basement	

**Building Photo**



(https://images.vgsi.com/photos2/BridgeportCTPhotos/\A0134\IMG\_2592\_1

**Building Layout**



(ParcelSketch.ashx?

pid=31182&bid=31182)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	782	782
FUS	Finished Upper Story	670	670
EAF	Fin Expansion Attic	670	335
BSM	Basement	670	0
DCK	DCK	140	0
FOP	Open Porch	56	0
		2,988	1,787

**Extra Features**

Extra Features	<u>Legend</u>
No Data for Extra Features	

**Land****Land Use**

**Use Code** 101  
**Description** Single Family  
**Zone** RA  
**Neighborhood** 21  
**Alt Land Appr Category** No

**Land Line Valuation**

**Size (Acres)** 0.53  
**Frontage** 0  
**Depth** 0  
**Assessed Value** \$76,479  
**Appraised Value** \$109,256

**Outbuildings**

Outbuildings						<u>Legend</u>
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
SHD1	Shed	FR	Frame	64.00 SF	\$540	1

**Valuation History**

Appraisal			
Valuation Year	Improvements	Land	Total
2022	\$76,750	\$109,256	\$186,006
2021	\$76,750	\$109,256	\$186,006
2020	\$76,750	\$109,256	\$186,006

Assessment			
Valuation Year	Improvements	Land	Total
2022	\$53,730	\$76,479	\$130,209
2021	\$53,730	\$76,479	\$130,209
2020	\$53,730	\$76,479	\$130,209



**ZONING BOARD OF APPEALS APPLICATION**

The undersigned presents the following application for:

(Check all that Apply)

Variance  Appeal from Zoning Officer  Extension of Time Permit / Modification of Plan of Development  Request for Re-hearing  Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

706 Burnsford Avenue Zone N2  
(Number) (Street) (Zone Classification)  
On the North side of the street about 223 feet East from  
(North, South, East, West) (North, South, East, West)  
Madison Block : 58/2354 Lot: 8  
(Street)  
Dimension of Lot in Question 50' x 100' x 50' x 100'  
(Specify)

1. NAME OF APPLICANT / BUSINESS Ronald M Cascone  
(Print)  
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner  
3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING N/A  
(Yes or No)  
4. DESCRIBE PROPOSED DEVELOPMENT  
Applicant proposes finished living area above the existing second floor of the existing building

5. THIS APPLICATION RELATES TO: Check all that Apply  
 Setback  Coverage  Landscaping  Lot Area and Width  Floor Area  Height  Parking  
 Extension or Enlargement of Non-Conforming Use and/or Building  Coastal Area Management Approval  Liquor  Use  Other: \_\_\_\_\_

6. USE TO BE MADE OF PROPERTY Single-family dwelling

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT \_\_\_\_\_ DATE 12/7/2023  
(Signature) (Print)  
If signed by agent, state capacity (lawyer, builder, etc) \_\_\_\_\_  
(Email)  
Mailing Address 10 Sasco Hill Road, Fairfield, CT 06824  
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT \_\_\_\_\_  
(If other than owner) (Signature) (Print)  
Subscribe & Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_  
Notary Public in & for the County of Fairfield, State of Connecticut.

**Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION**

All questions must be answered in detail (use separate sheet if necessary).  
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for  
The Zoning Board of Appeals to process this application.  
**NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.**  
**PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS**  
**(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)**

\_\_\_\_\_ FEE RECEIVED: \_\_\_\_\_ DATE: \_\_\_\_\_, 20\_\_\_\_ Clerk \_\_\_\_\_

Lisa S. Broder\*  
LBroder@russorizio.com

Liam S. Burke  
Liam@russorizio.com

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David K. Kurata  
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Stanton H. Lesser+  
Stanton@russorizio.com

Victoria L. Miller\*  
Victoria@russorizio.com

Anthony J. Novella\*  
Anovella@russorizio.com



10 Sasco Hill Road  
Fairfield, CT 06824

Tel 203-254-7579 or 203-255-9928 Fax 203-576-6626

5 Brook St., Suite 2B  
Darien, CT 06820  
Tel 203-309-5500

299 Broadway, Suite 708  
New York, NY 10007  
Tel 646-357-3527

110 Merchants Row, Suite 3  
Rutland, VT 05702  
Tel 802-251-6556

[www.russorizio.com](http://www.russorizio.com)

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Robert D. Russo\*  
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John J. Ryan+  
John@russorizio.com

Jane Ford Shaw  
Jane@russorizio.com

Vanessa R. Wambolt  
Vanessa@russorizio.com

\* Also Admitted in NY  
\* Also Admitted in VT  
+ Of Counsel

January 5, 2023

Paul Boucher  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Petition for Variances – 706 Burnsford Avenue**

Dear Mr. Boucher:

Please accept, on behalf of my client, Ronald M. Cascone (the “Petitioner”), the following narrative and enclosed application materials as part of a Petition for a variance of the Bridgeport Zoning Regulations (the “Regulations”) for the property located at 706 Burnsford Avenue (the “Site”) to permit finished living space above the second floor of an existing single-family dwelling in the N2 Zone.

**Variance Requested**

Variance of Section 3.100.6 of the Regulations to permit finished living space above the second story in an existing building.

**Narrative**

The Petitioner requests a variance to legalize finished living space above the second story of an existing single-family dwelling. The Site is located in the N2 Zone. However, the Site was formerly located in the Residence A Zone under the prior Regulations. The former Regulations permitted 2.5 stories and dwellings up to 35’ in height. The Applicant proceeded with construction of a single-family dwelling and received a building permit. Said living space would be permitted under the former regulations. However, the current Regulations limit the height of buildings, and therefore potential living area, to two (2) stories. The existing building has two main living floors after the work was completed renovating the former dwelling on the Site. However, the existing building has a pitch roof, which creates an attic



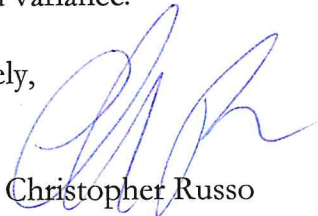
with greater than 7' in clearance. This height permits the area to be finished under building codes for a potential bedroom. The attic is currently accessed from a stair from the second floor. The Applicant proposes one half of the attic to be used for a bedroom and closet, while the other half will be an office/game room. It will not be a separate unit.

### Hardship

Granting the Petitioner the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations (the "Regulations") would cause a unique hardship to the Applicant as the Petitioner merely requests to convert an interior space of the existing building to living area that was constructed in accordance with the prior Regulations, which permitted living area in the upper half-story of a 2.5 story building. The design of the building is in conformity with the Regulations and the Zone. There will be no visible difference to anyone looking from the outside as the Application merely relates to the conversion of existing floor area. Therefore, it will not have a negative impact on the surrounding neighborhood. This living area will be utilized as an additional bedroom, it is not a separate dwelling unit. It will not have a separate stairwell from the principal dwelling unit. It can only be accessed from a stair in the principal dwelling unit.

For the reasons stated above, the Applicant respectfully requests approval of the Petition for the above-stated variance.

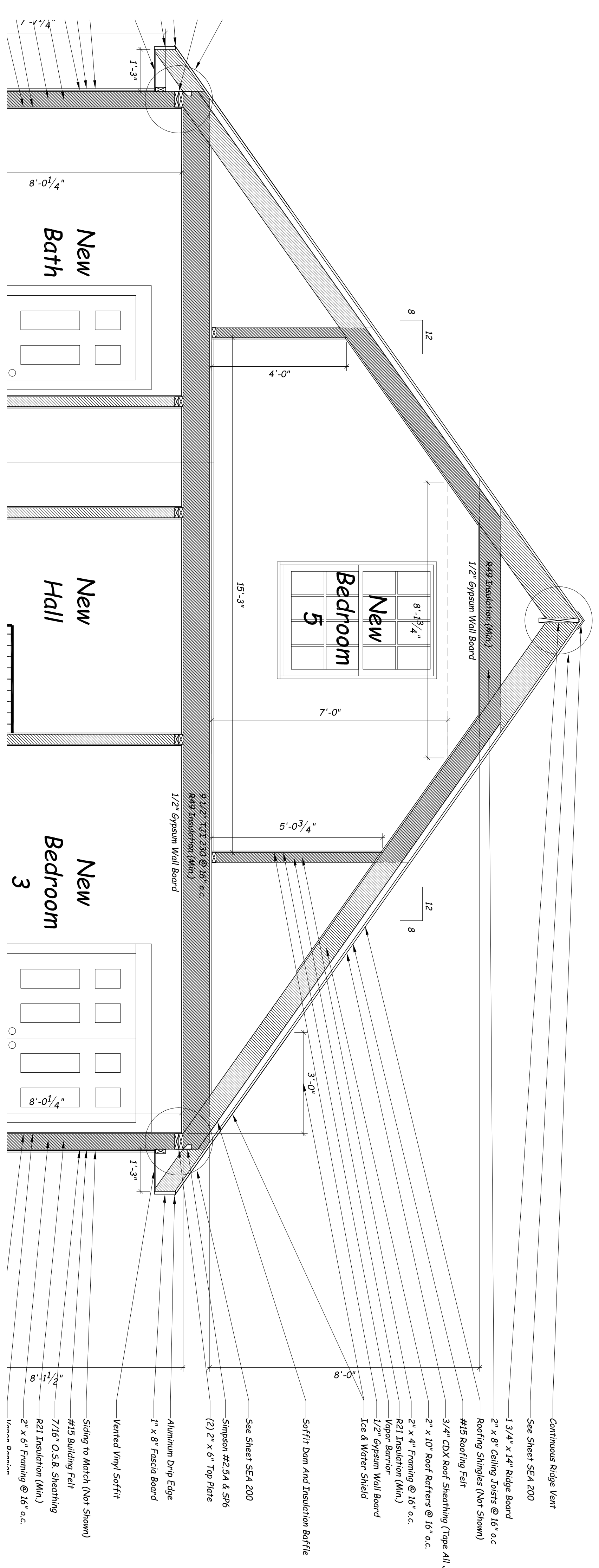
Sincerely,



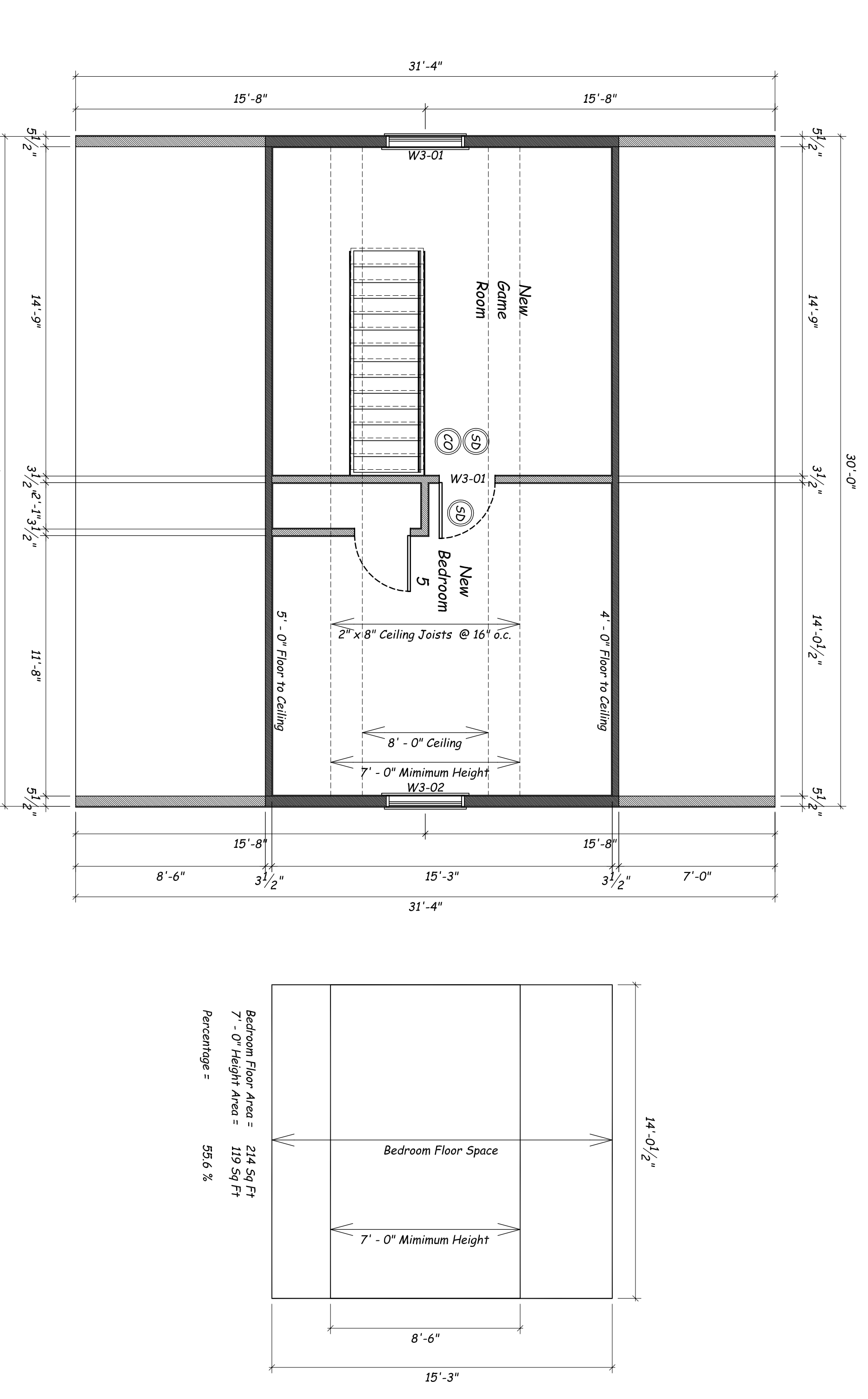
Christopher Russo

**706 BURNSFORD AVE 100' ABUTTERS**

<b>LOCATION</b>	<b>OWNER NAME</b>	<b>OWNER ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP</b>
2156 MADISON AV	2156 MADISON AVENUE LLC	2156 MADISON AV	BRIDGEPOI CT		06606-3235
715 BURNSFORD AV	LOPEZ OSTORGA JOSE R & AREVALO MARTINEZ OSCAR E	715 BURNSFORD AVE	BRIDGEPOI CT		06606
705 BURNSFORD AV	NGUYEN MIKE	705 BURNSFORD AVE	BRIDGEPOI CT		06606-3357
695 BURNSFORD AV	SYNNOTT GEORGE T & SYLVIA	695 BURNSFORD AVE	BRIDGEPOI CT		06606
685 BURNSFORD AV	ZAPATA MARIA	685 BURNSFORD AV	BRIDGEPOI CT		06606-3312
724 BURNSFORD AV	TARRANTINO RYAN	13 MOHAWK DRIVE	TRUMBULL CT		06611
716 BURNSFORD AV	ROBERTS PROPERTIES LLC	716 BURNSFORD AV	BRIDGEPOI CT		06606-3355
706 BURNSFORD AV	CASCONE RONALD M	706 BURNSFORD AV	BRIDGEPOI CT		06606-3355
696 BURNSFORD AV	WOJNA DAVID M & PAULA WOJNA	696 BURNSFORD AVE	BRIDGEPOI CT		06606
725 MERRITT ST	MOSS ROBERT W & RAMIREZ-MOSS LIZ I	725 MERRITT STREET	BRIDGEPOI CT		06606
686 BURNSFORD AV	CASTILLO ARNULFO & CLARA	686 BURNSFORD AVE	BRIDGEPOI CT		06606
715 MERRITT ST	NIEVES MIGDALIA	715 MERRITT STREET	BRIDGEPOI CT		06606
674 BURNSFORD AV	MOLINA GABRIEL F	674 BURNSFORD AV	BRIDGEPOI CT		06606
705 MERRITT ST	TERRY ALBERTO C & TERRY JUANA M	705 MERRITT STREET	BRIDGEPOI CT		06606
695 MERRITT ST	WEBB MARY E	695 MERRITT ST	BRIDGEPOI CT		06606
685 MERRITT ST	DASILVA LUCIANO & ANTONIO	685 MERRITT ST	BRIDGEPOI CT		06606
675 MERRITT ST	GARCIA ACCEL REYES	675 MERRITT ST	BRIDGEPOI CT		06606



- Legend**
- Existing Wall
  - Demolition Wall
  - Proposed Wall
  - Proposed Insulated Wall
  - W1-01 Window Tag/Floor-Number
  - D1-01 Door Tag/Floor-Number
  - (SD) Smoke Detector
  - (CO) Carbon Monoxide Detector
- General Notes:**
- Framing:**
- 10" Poured Concrete @ 3000 PSI
  - Waterproofed
  - Anchor Bolts - 5/8" Dia., Max 12" From Each Corner, Max 2'-8" O.C.
  - Sill Plate - 1" T, 2"x6" with Sealer
  - Porches - 10" Poured Concrete @ 3000 PSI
  - Basement Floors - Concrete @ 3000 PSI
  - 6 Mil Polyethylene Vapor Barrier
  - 6" Min. Base Course Of Crushed Stone
  - Filter Fabric
- Foundation:**
- 10" Poured Concrete @ 3000 PSI
  - Walls - 20"x10" Continuous Concrete @ 3000 PSI Min, 42" Below Grade
  - Columns - 2'-6"x2'-6"x12" Concrete @ 3000 PSI
  - Porches - 16"x10" Continuous Concrete @ 3000 PSI Min, 42" Below Grade
- Roofing:**
- 1 3/4" x 14" Ridge Board
  - 2" x 6" Ceiling Joists @ 16" o.c.
  - Roofing Shingles (Not Shown)
  - #15 Roofing Felt
  - 3/4" CDX Roof Sheathing (Trape All Joists)
  - 2" x 10" Framing @ 16" o.c.
  - 2" x 4" Framing @ 16" o.c.
  - R21 Insulation (Min.)
  - Vapor Barrier
  - 1/2" Gypsum Wall Board
  - Ice & Water Shield
- Other Details:**
- Continuous Ridge Vent
  - See Sheet SEA 200
  - 1 3/4" x 14" Ridge Board
  - 2" x 6" Ceiling Joists @ 16" o.c.
  - Roofing Shingles (Not Shown)
  - #15 Roofing Felt
  - 3/4" CDX Roof Sheathing (Trape All Joists)
  - 2" x 10" Framing @ 16" o.c.
  - 2" x 4" Framing @ 16" o.c.
  - R21 Insulation (Min.)
  - Vapor Barrier
  - 1/2" Gypsum Wall Board
  - Ice & Water Shield
  - Soffit Dump And Insulation Baffle
  - See Sheet SEA 200
  - Simpson #25A 4 S96
  - (2) 2" x 6" Top Plate
  - Aluminum Drip Edge
  - 1" x 8" Fascia Board
  - Vented Vinyl Soffit
  - String to Match (Not Shown)
  - #15 Building Felt
  - 7/16" OSB Sheathing
  - R21 Insulation (Min.)
  - 2" x 6" Framing @ 16" o.c.
  - Various Details



**Window Schedule**

Number	Manufacturer	Series	Size	Type	Rough Opening	Height of Window	Notes
W3-01	Anderson	400	TW3446	Tilt Wash Double Hung	3'-6 1/8" x 4'-8 7/8"	6'-8"	Egress
W3-02	Anderson	400	TW3446	Tilt Wash Double Hung	3'-6 1/8" x 4'-8 7/8"	6'-8"	Egress

**Door Schedule**

Number	Manufacturer	Series	Size	Type	Swing	Rough Opening	Height of Door	Notes
D3-01			2668	Interior	Right	2'-7 1/2" x 6'-9 1/2"	6'-8"	

**Bedroom Floor Space:**

- Bedroom Floor Area = 214 Sq Ft
- 7'-0" Height Area = 119 Sq Ft
- Percentage = 55.6 %

**Proposed Attic Plan**

Scale: 1/4"=1'-0"

**MRJTB Home Designs**  
Planning Your Future Home

157 Sanford Road, Eastford, CT 06048  
 Phone: 860-327-2528  
 Email: mrjb-home-designs@53ocbl.com

176 Burnside Avenue, Bridgeport, Connecticut  
**CASCADE Residence**

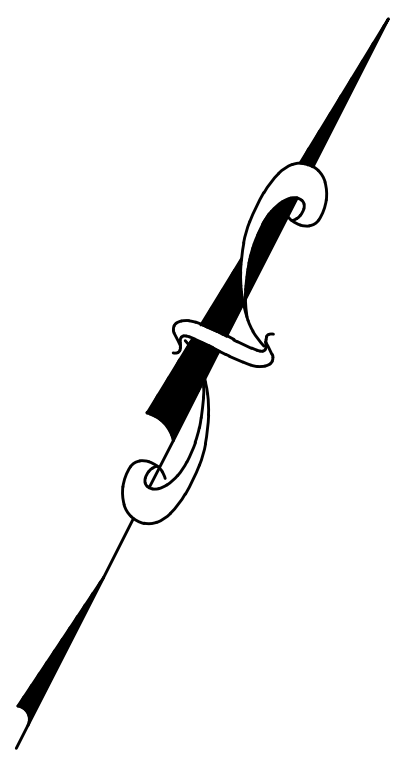
PROJECT NUMBER: 2022-08-21A DRAWING NUMBER:  
 DATE: August 25, 2022  
 DRAWN BY: M.R.J.B.  
 CHECKED BY: M.R.J.B.

0 1 2 3 4 5 6 7 8'  
 GRAPHIC SCALE: 1/4"=1'-0"





**LOCATION MAP**  
NOT TO SCALE



ZONING DATA TABLE			
HOUSE B BUILDING TYPE - N2 ZONE			
STANDARDS	REQUIRED	EXISTING	PROPOSED
<b>3.100.4. BUILDING LOCATION.</b>			
Multiple Principle Buildings	Allowed per 3.100.10A	-	-
Lot Width per Principal Building	45 ft. min.	50 ft.	50 ft.
Lot Size	No min.	-	-
Primary Streetwall	No max. for 1-unit; 50 ft. for 2-unit	-	-
Primary Street Setback	20 ft. min.; 30 ft. max.	25± ft.	29± ft.
Porch, Steps, Bay Encroachment	8 ft. max.; porch or bay width of 16 ft. max.	-	-
Non-Primary Street Build-to Zone	12 ft. min.	-	-
Side Setback	6 ft. min.;	9± ft.	9± ft.
	min.15 ft. total both sides	19± ft.	19± ft.
Space between Adjacent Buildings	15 ft. min.	-	-
Rear Setback	20 ft. min.	45± ft.	31± ft.
Site Coverage	65% max.	37%±	54%
<b>3.100.5. Parking &amp; Accessory Structures.</b>			
Parking & Driveway Access	(1)	-	-
Attached Garage Setback / Allowed Garage Door Location	(2)	-	-
Surface Parking Location	Rear yard	-	-
Street Setback	(3)	-	-
Side & Rear Setback	3 ft. min.	2± ft.	2± ft.
<b>ALLOWED ACCESSORY STRUCTURES</b>			
Backyard Cottage	Allowed	-	-
Outbuildings & Garages	Allowed	-	-
Drive-Through Facilities	-	-	-
Fuel Pumps	-	-	-
Parking Structure	-	-	-
Temporary Storage Container	Allowed	-	-
Building-Mounted Utilities	Allowed	-	-
Ground-Mounted Utilities	-	-	-
<b>3.100.6. HEIGHT.</b>			
Height	1 stories min. 2 stories max.	2	2
Story Height	8 ft. min. 9 ft. max.	-	-
Height to Eaves	16 ft. max.	-	-

NOTES:  
 1. Max. 9 ft. width at primary street lot line; max. 1 driveway per building.  
 2. 20 ft. min. behind primary facade, Rear facade, street-side facade.  
 3. No closer to lot line than principal building.



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 Civil • Environmental • Land Surveying  
 One Enterprise Drive, Suite 312 Phone: (203) 944-9944  
 Shelton, CT 06484 Fax: (203) 944-9945

REVISIONS			
NO.	BY	DATE	REMARKS

DES: EFH  
 DWN: EFH  
 CKD: JCP

PREPARED FOR  
**RON CASCONO**  
 FOR PROPERTY LOCATED AT  
 706 BURNFORD AVENUE  
 BRIDGEPORT, CONNECTICUT

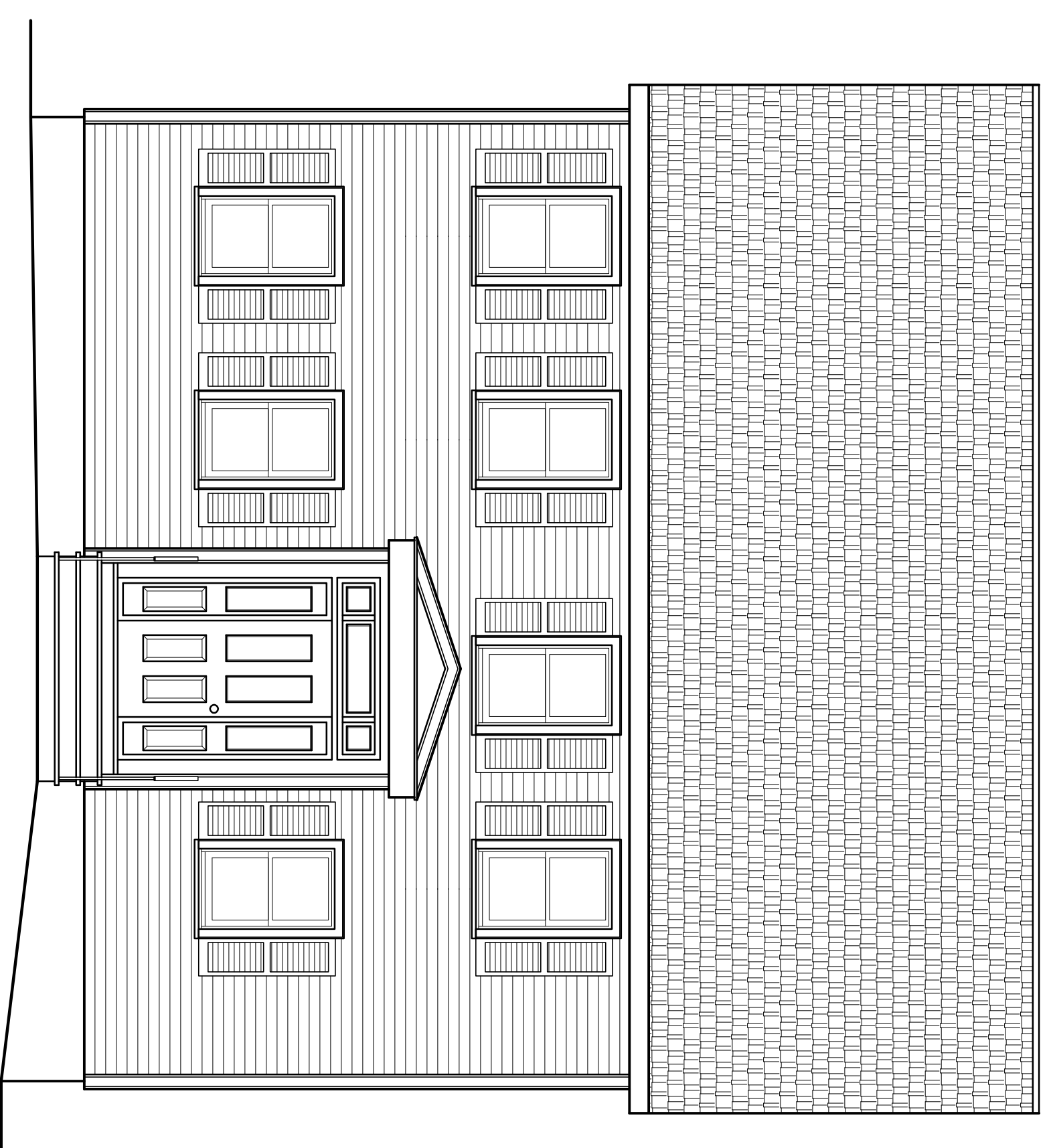
**PROPOSED SITE IMPROVEMENT PLANS**  
**SITE PLAN**

SCALE: 1"=10'

DATE: NOVEMBER 27, 2023  
 C SHEET 1 OF 1  
 CAD REF. NO. 1479BASE

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*Proposed  
Front Elevation*



*Existing  
Front Elevation*

**Area Schedule**

	Existing Finished	Unfinished	Proposed Finished	Unfinished
Basement	605 sf	160 sf	605 sf	270 sf
First Floor	750 sf	0 sf	970 sf	0 sf
Second Floor	420 sf	0 sf	940 sf	0 sf
Total	1,775 sf	160 sf	2,510 sf	270 sf
Misc. Areas	Existing	Proposed		
3 Season Porch	85 sf	0 sf	0 sf	0 sf

157 Sanford Road, Eastford, CT 06248  
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New Construction  
 Additions-Renovations-Alterations

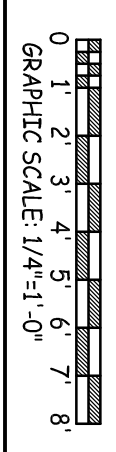


**CASCADE**  
 Residence

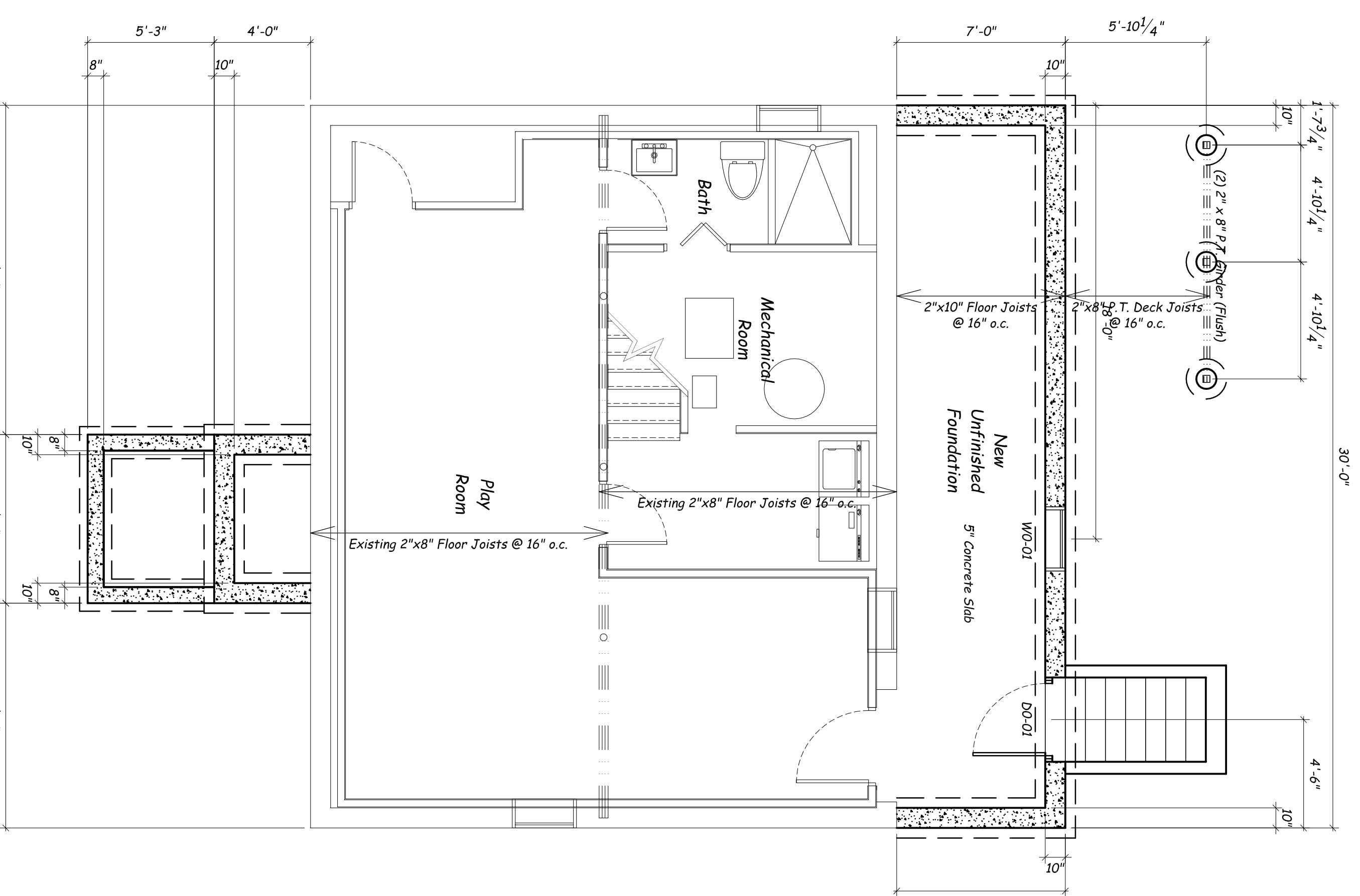
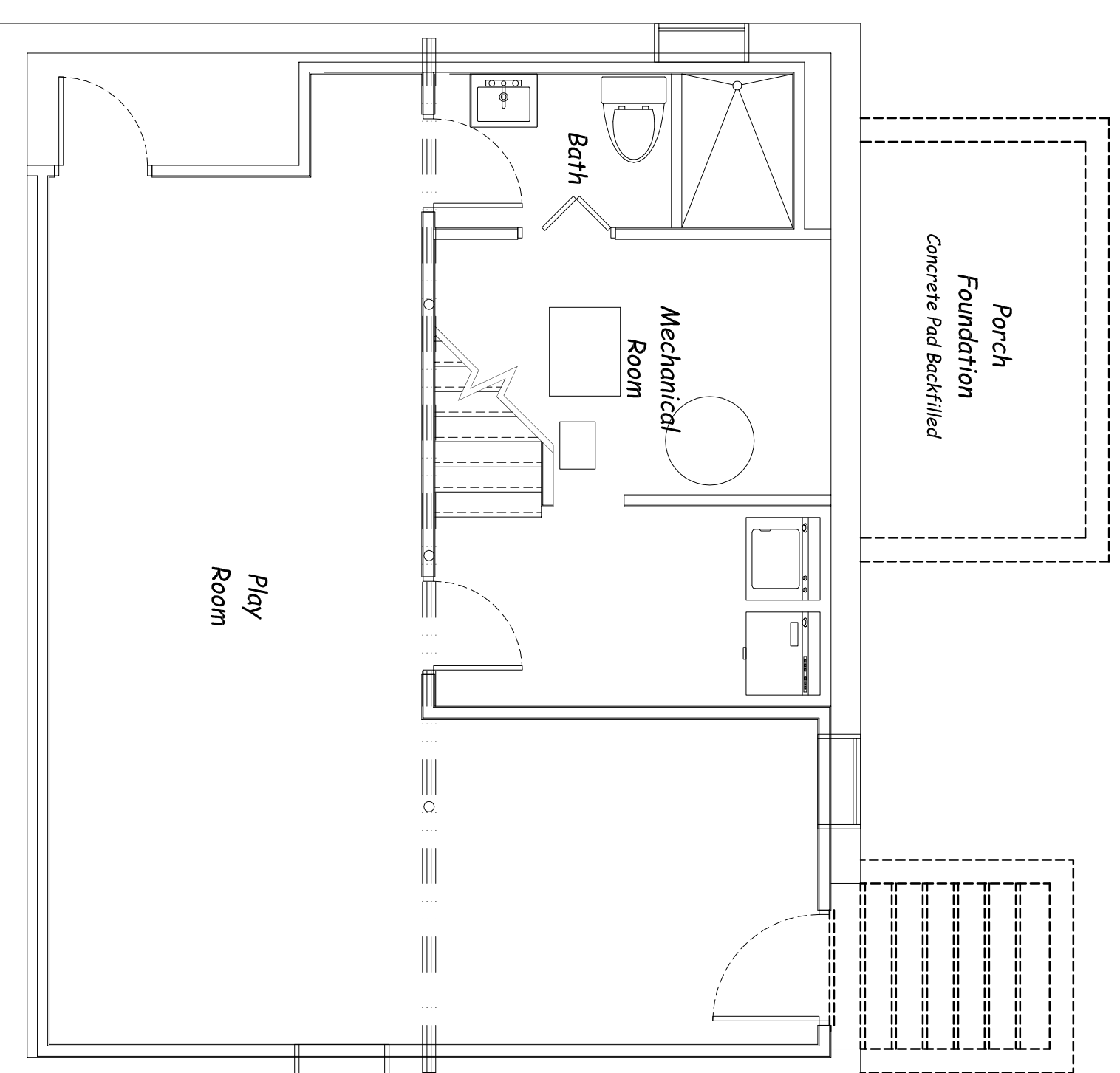
706 Burnstead Avenue • Bridgeport, Connecticut

PROJECT NUMBER: 2021-12-07E DRAWING NUMBER: A 01

DATE: June 8, 2022  
 DRAWN BY: M.R.J.B.  
 CHECKED BY: M.R.J.B.



GRAPHIC SCALE: 1/4"=1'-0"



**Legend**

- Existing Wall
- Demolition Wall
- Proposed Wall
- Proposed Insulated Wall
- W1-01 Window Top/Floor-Number
- D1-01 Door Top/Floor-Number
- (SD) Smoke Detector
- (CD) Carbon Monoxide Detector

**General Notes:**

- Framing:
  - Basement - 2x6 Douglas Fir #2 Min. (See Plan For Size And Direction)
  - Basement - 2x6 Douglas Fir #2 Min.
  - First Floor - 2x6 Douglas Fir #2 Min.
  - Second Floor - 2x6 Douglas Fir #2 Min.
  - Interior Walls
  - Basement - 2x4 Douglas Fir #2 Min.
  - First Floor - 2x4 Douglas Fir #2 Min.
  - Second Floor - 2x4 Douglas Fir #2 Min.
  - Basement - 2x4 Douglas Fir #2 Min.
  - First Floor - 2x4 Douglas Fir #2 Min.
  - Second Floor - 2x4 Douglas Fir #2 Min.
  - Collar Ties - Douglas Fir #2 Min. (See Plan For Size And Direction)
- Wall Covering:
  - Exterior - 7/16 OSB Sheathing
  - Interior - 1/2" Gypsum Wall Board
- Ceiling Covering:
  - Interior - 1/2" Gypsum Wall Board
- Insulation:
  - Ceilings - R49 Min.
  - Walls - R21 Min.
  - Floors - R30 Min.
- Emergency Egress Bedrooms:
  - Net Clear Opening 24" H x 20" W = 5.7 SF
- Stairs:
  - Tread - 9" Min.
  - Riser - 8" Max.
  - Close Riser Projection - 3/4" - 1 1/2"
  - Ceiling Height - 6'-8"
  - Width - 3'-0" Min.
- AC/DAC Interconnect Smoke Detectors:
  - All Bedrooms
  - Immediate Vicinity Of All Bedrooms
  - 1 Min. Each Level
- Fire Blocking:
  - To Be Provided Vertically At Ceilings And Floors, Horizontally At
  - Terminals Not Exceeding 10', See Plans, Drilled Ceilings, Cais, Between Stud Strings, Vents, Pipes, R/roplace and Chimneys

Existing / Demolition  
Foundation / Basement Plan

Scale: 1/4"=1'-0"

Proposed  
Foundation / Basement Plan

Scale: 1/4"=1'-0"

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New Construction  
Additions-Renovations-Alterations

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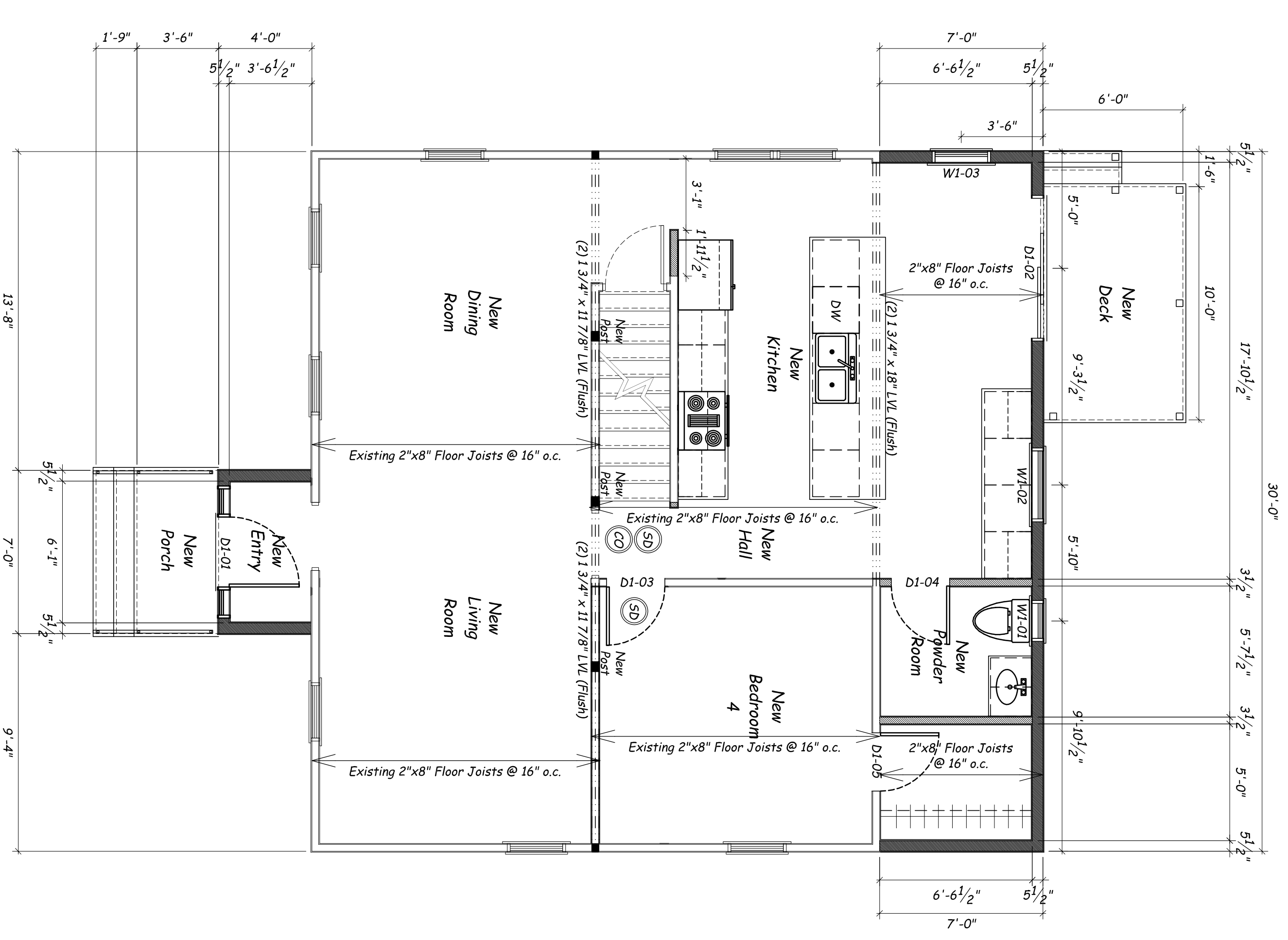
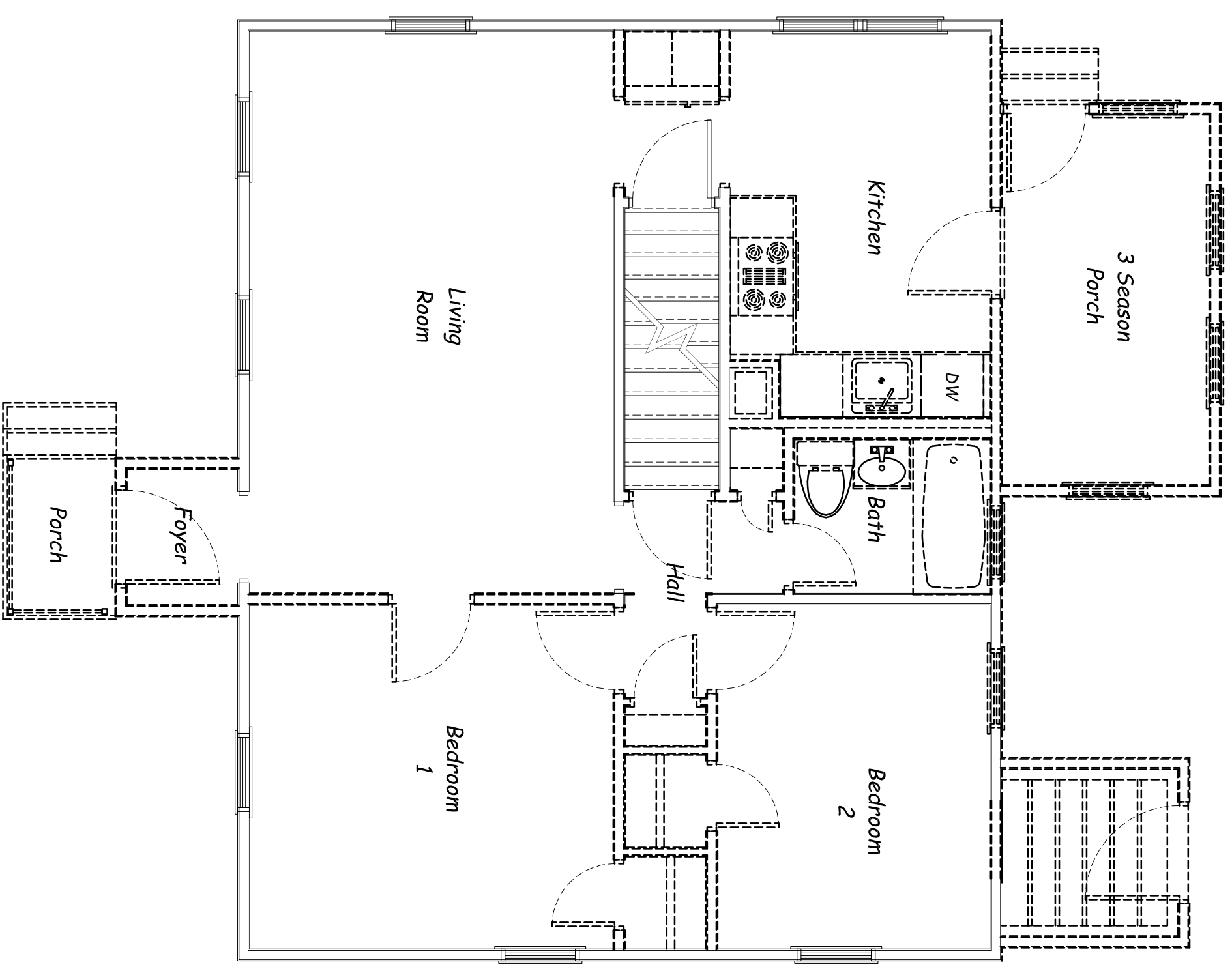
**CASCONE**  
Residence

Additions And Renovations To The  
706 Burnstead Avenue - Bridgeport, Connecticut

PROJECT NUMBER: 2021-12-07E DRAWING NUMBER:  
DATE: June 8, 2022  
DRAWN BY: M.R.J.B.  
CHECKED BY: M.R.J.B.

A 02

GRAPHIC SCALE: 1/4"=1'-0"



Window Schedule		Number	Manufacturer	Series	Size	Type	Rough Opening	Height of Window	Notes
W1-01	Anderson	400	TW20210	400	TW20210	TtH Wash Double Hung	2'-2 1/8" x 3'-0 7/8"	6'-8"	Tempered
W1-02	Anderson	400	TW2032	400	TW2032	TtH Wash Double Hung	3'-2 1/8" x 3'-4 7/8"	6'-8"	
W1-02	Anderson	400	TW24310	400	TW24310	TtH Wash Double Hung	2'-6 1/8" x 4'-0 7/8"	6'-8"	
W2-01	Anderson	400	TW24310	400	TW24310	TtH Wash Double Hung	2'-6 1/8" x 4'-0 7/8"	6'-8"	
W2-02	Anderson	400	TW24310	400	TW24310	TtH Wash Double Hung	2'-6 1/8" x 4'-0 7/8"	6'-8"	
W2-03	Anderson	400	TW24310	400	TW24310	TtH Wash Double Hung	2'-6 1/8" x 4'-0 7/8"	6'-8"	
W2-04	Anderson	400	TW24310	400	TW24310	TtH Wash Double Hung	2'-6 1/8" x 4'-0 7/8"	6'-8"	
W2-05	Anderson	400	TW3446	400	TW3446	TtH Wash Double Hung	3'-6 1/8" x 4'-8 7/8"	6'-8"	Eggs
W2-06	Anderson	400	TW3446	400	TW3446	TtH Wash Double Hung	3'-6 1/8" x 4'-8 7/8"	6'-8"	Eggs
W2-07	Anderson	400	TW20210	400	TW20210	TtH Wash Double Hung	2'-2 1/8" x 3'-0 7/8"	6'-8"	
W2-08	Anderson	400	TW20210	400	TW20210	TtH Wash Double Hung	2'-2 1/8" x 3'-0 7/8"	6'-8"	Tempered
W2-09	Anderson	400	TW20210	400	TW20210	TtH Wash Double Hung	2'-2 1/8" x 3'-0 7/8"	6'-8"	Tempered
W2-10	Anderson	400	TW20210	400	TW20210	TtH Wash Double Hung	2'-2 1/8" x 3'-0 7/8"	6'-8"	Tempered
W2-11	Anderson	400	TW20210	400	TW20210	TtH Wash Double Hung	2'-2 1/8" x 3'-0 7/8"	6'-8"	Tempered
W2-12	Anderson	400	TW24310	400	TW24310	TtH Wash Double Hung	2'-6 1/8" x 4'-0 7/8"	6'-8"	
W2-13	Anderson	400	TW3446	400	TW3446	TtH Wash Double Hung	3'-6 1/8" x 4'-8 7/8"	6'-8"	Eggs
W3-01	Anderson	400	TW18210	400	TW18210	TtH Wash Double Hung	1'-10 1/8" x 3'-0 7/8"	5'-0"	
W3-02	Anderson	400	TW18210	400	TW18210	TtH Wash Double Hung	1'-10 1/8" x 3'-0 7/8"	5'-0"	

Door Schedule		Number	Manufacturer	Series	Size	Type	Swing	Rough Opening	Height of Door	Notes
D0-01					3068	Entry Door	Left	3'-1 1/2" x 6'-9 1/2"	6'-8"	Insulated
D1-01	Anderson	400	FW6606R	3068	Entry Door	Right	6'-0" x 6'-8"	6'-8"	Insulated	
D1-03				2668	Interior	Right	2'-7 1/2" x 6'-9 1/2"	6'-8"		
D1-04				2668	Interior	Left	2'-7 1/2" x 6'-9 1/2"	6'-8"		
D1-05				2668	Interior	Left	2'-7 1/2" x 6'-9 1/2"	6'-8"		
D2-01				2668	Interior	Right	2'-7 1/2" x 6'-9 1/2"	6'-8"		
D2-02				2-2668	Interior	Right	5'-1 1/2" x 6'-9 1/2"	6'-8"		
D2-03				2668	Interior	Right	2'-7 1/2" x 6'-9 1/2"	6'-8"		
D2-04				2-2668	Interior	Left	5'-1 1/2" x 6'-9 1/2"	6'-8"		
D2-05				2668	Interior	Left	2'-7 1/2" x 6'-9 1/2"	6'-8"		
D2-06				2668	Interior	Right	2'-7 1/2" x 6'-9 1/2"	6'-8"		
D2-07				2668	Interior	Left	2'-7 1/2" x 6'-9 1/2"	6'-8"		
D2-08				2668	Interior Pocket	Left	5'-1 1/2" x 6'-9 1/2"	6'-8"		
D2-09				2-2668	Interior	Left	5'-1 1/2" x 6'-9 1/2"	6'-8"		
D2-10				2668	Interior	Left	2'-7 1/2" x 6'-9 1/2"	6'-8"		

Existing / Demolition  
First Floor Plan  
Scale: 1/4"=1'-0"

Proposed  
First Floor Plan  
Scale: 1/4"=1'-0"

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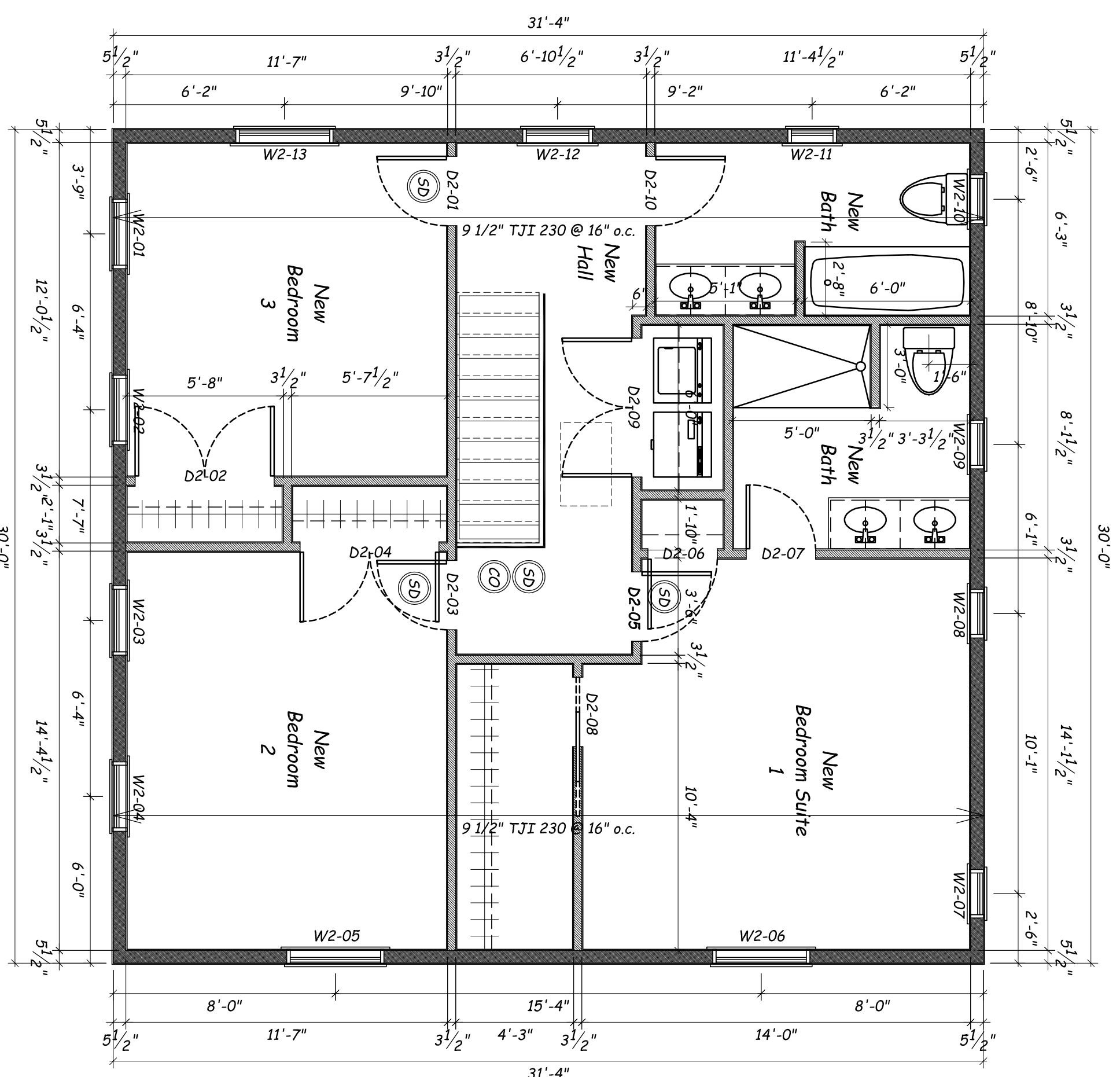
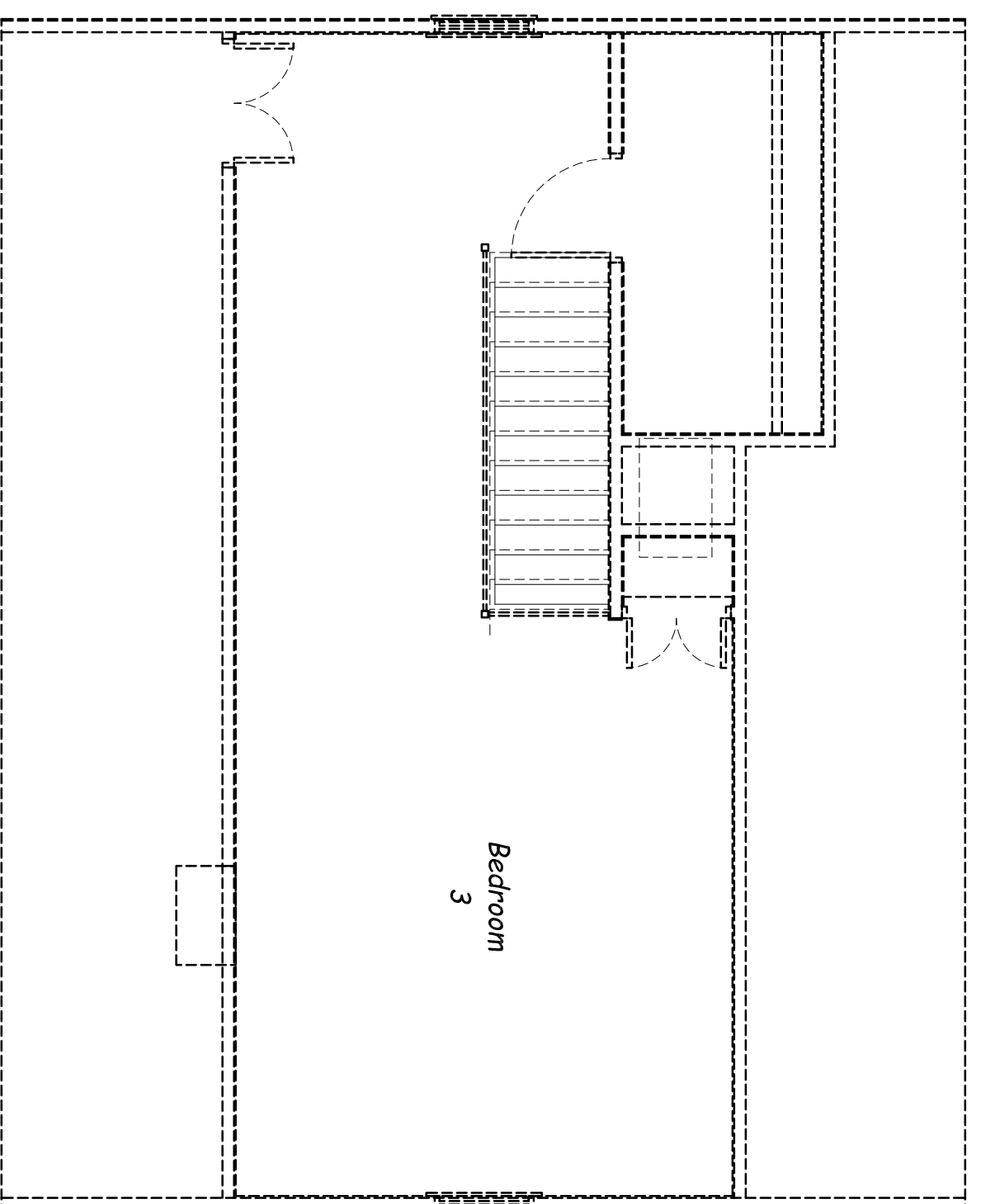
MRJB  
M.R.J.B.

706 Burnstead Avenue • Bridgeport, Connecticut  
**CASCONE**  
 Residence

PROJECT NUMBER: 2021-12-07E DRAWING NUMBER:  
 DATE: June 8, 2022  
 DRAWN BY: M.R.J.B.  
 CHECKED BY: M.R.J.B.

**A 03**

0 1 2 3 4 5 6 7 8'  
 GRAPHIC SCALE: 1/4"=1'-0"



Window Schedule	Door Schedule						
Number	Manufacturer	Series	Size	Type	Rough Opening	Height of Window	Notes
W1-01	Anderson	400	TW20210	TIH Wash Double Hung	2'-2 1/8" x 3'-0 7/8"	6'-8"	Tempered
W1-02	Anderson	400	TW20332	TIH Wash Double Hung	3'-2 1/8" x 3'-4 7/8"	6'-8"	
W1-02	Anderson	400	TW24310	TIH Wash Double Hung	2'-6 1/8" x 4'-0 7/8"	6'-8"	
W2-01	Anderson	400	TW24310	TIH Wash Double Hung	2'-6 1/8" x 4'-0 7/8"	6'-8"	
W2-02	Anderson	400	TW24310	TIH Wash Double Hung	2'-6 1/8" x 4'-0 7/8"	6'-8"	
W2-03	Anderson	400	TW24310	TIH Wash Double Hung	2'-6 1/8" x 4'-0 7/8"	6'-8"	
W2-04	Anderson	400	TW24310	TIH Wash Double Hung	2'-6 1/8" x 4'-0 7/8"	6'-8"	
W2-05	Anderson	400	TW3446	TIH Wash Double Hung	3'-6 1/8" x 4'-8 7/8"	6'-8"	Egress
W2-06	Anderson	400	TW3446	TIH Wash Double Hung	3'-6 1/8" x 4'-8 7/8"	6'-8"	Egress
W2-07	Anderson	400	TW20210	TIH Wash Double Hung	2'-2 1/8" x 3'-0 7/8"	6'-8"	
W2-08	Anderson	400	TW20210	TIH Wash Double Hung	2'-2 1/8" x 3'-0 7/8"	6'-8"	
W2-09	Anderson	400	TW20210	TIH Wash Double Hung	2'-2 1/8" x 3'-0 7/8"	6'-8"	Tempered
W2-10	Anderson	400	TW20210	TIH Wash Double Hung	2'-2 1/8" x 3'-0 7/8"	6'-8"	Tempered
W2-11	Anderson	400	TW20210	TIH Wash Double Hung	2'-2 1/8" x 3'-0 7/8"	6'-8"	Tempered
W2-12	Anderson	400	TW24310	TIH Wash Double Hung	2'-6 1/8" x 4'-0 7/8"	6'-8"	
W2-13	Anderson	400	TW3446	TIH Wash Double Hung	3'-6 1/8" x 4'-8 7/8"	6'-8"	Egress
W3-01	Anderson	400	TW18210	TIH Wash Double Hung	1'-10 1/8" x 3'-0 7/8"	5'-0"	
W3-02	Anderson	400	TW18210	TIH Wash Double Hung	1'-10 1/8" x 3'-0 7/8"	5'-0"	
D1-01	Anderson	400	3068	Entry Door	3'-1 1/2" x 6'-9 1/2"	6'-8"	Insulated
D1-02	Anderson	400	FW66068R	Entry Door	6'-0" x 6'-8"	6'-8"	Insulated
D1-03	Anderson	400	2668	Interior	2'-7 1/2" x 6'-9 1/2"	6'-8"	
D1-04	Anderson	400	2668	Interior	2'-7 1/2" x 6'-9 1/2"	6'-8"	
D1-05	Anderson	400	2668	Interior	2'-7 1/2" x 6'-9 1/2"	6'-8"	
D2-01	Anderson	400	2668	Interior	2'-7 1/2" x 6'-9 1/2"	6'-8"	
D2-02	Anderson	400	2668	Interior	5'-1 1/2" x 6'-9 1/2"	6'-8"	
D2-03	Anderson	400	2668	Interior	2'-7 1/2" x 6'-9 1/2"	6'-8"	
D2-04	Anderson	400	2668	Interior	5'-1 1/2" x 6'-9 1/2"	6'-8"	
D2-05	Anderson	400	2668	Interior	2'-7 1/2" x 6'-9 1/2"	6'-8"	
D2-06	Anderson	400	2668	Interior	2'-7 1/2" x 6'-9 1/2"	6'-8"	
D2-07	Anderson	400	2668	Interior	2'-7 1/2" x 6'-9 1/2"	6'-8"	
D2-08	Anderson	400	2668	Interior Pocket	5'-1 1/2" x 6'-9 1/2"	6'-8"	
D2-09	Anderson	400	2668	Interior	5'-1 1/2" x 6'-9 1/2"	6'-8"	
D2-10	Anderson	400	2668	Interior	2'-7 1/2" x 6'-9 1/2"	6'-8"	

Existing / Demolition  
Second Floor Plan

Proposed  
Second Floor Plan

MRJTB Home Designs  
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mjr@home-designs.com | info@mrjtb.com

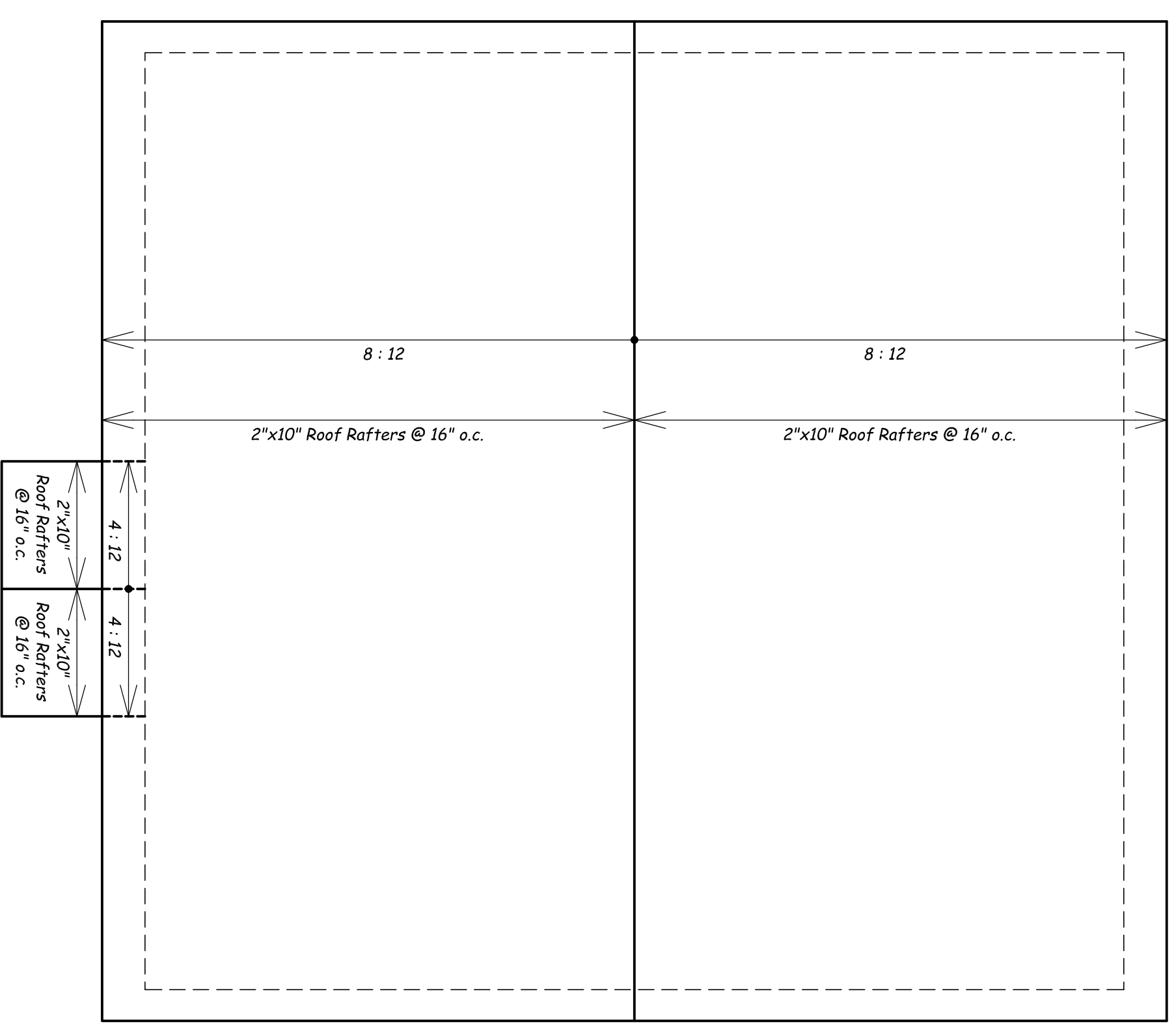
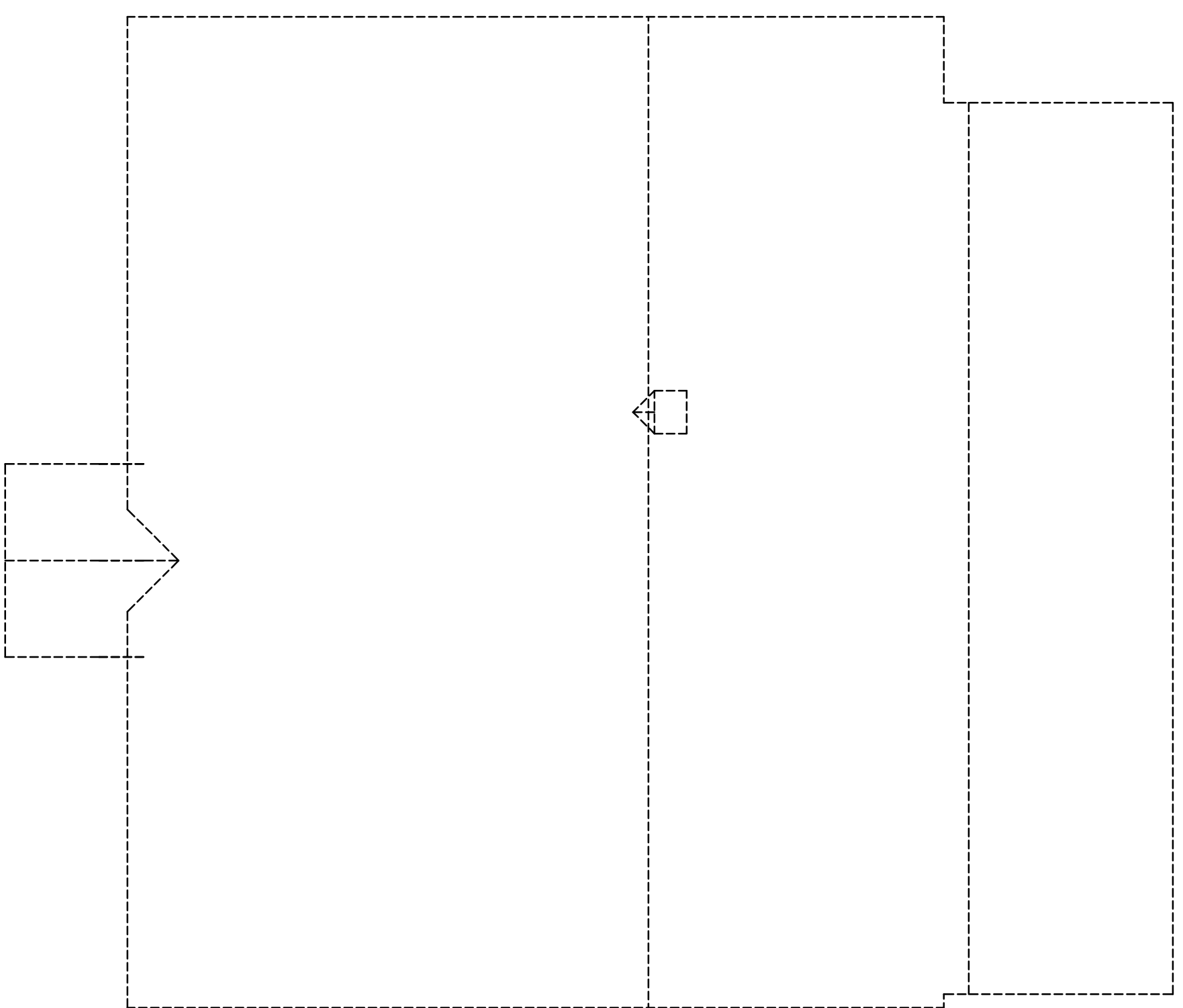
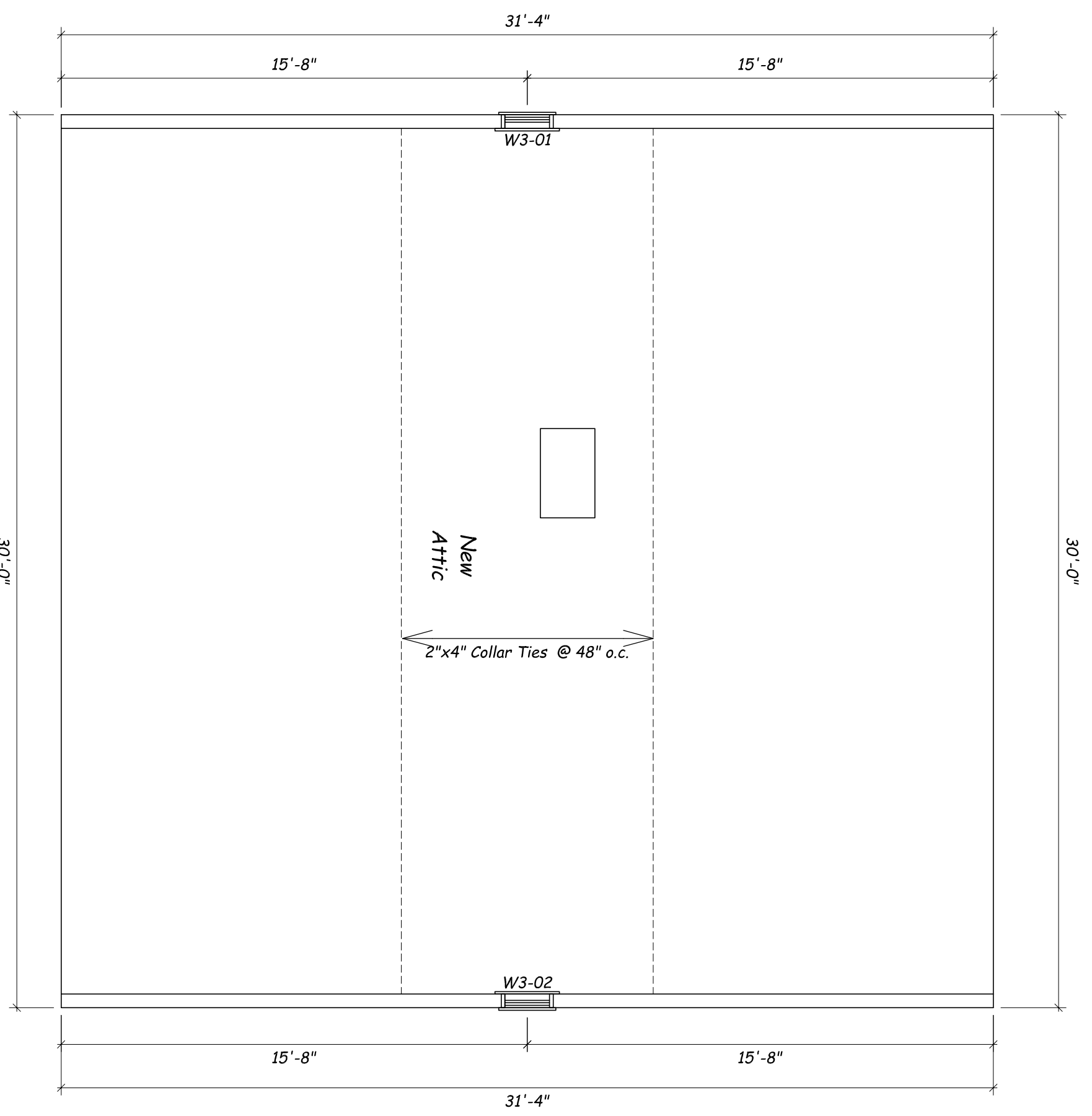
706 Burnstead Avenue • Bridgeport, Connecticut  
PROJECT NUMBER: 2021-12-07E DRAWING NUMBER:  
DATE: June 8, 2022  
DRAWN BY: M.R.J.B.  
CHECKED BY: M.R.J.B.

CASCADE  
Residence

0 1 2 3 4 5 6 7 8'  
GRAPHIC SCALE: 1/4"=1'-0"

**A 04**





**Proposed  
Attic Floor Plan**

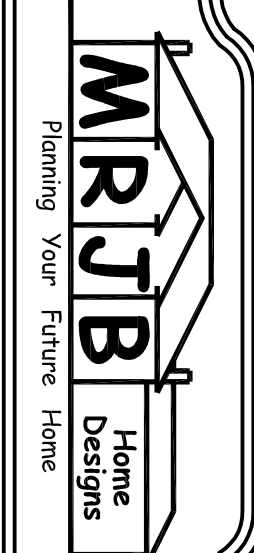
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**Existing / Demolition  
Roof Plan**

Scale: 1/4"=1'-0"

**Proposed  
Roof Plan**

Scale: 1/4"=1'-0"



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NEW CONSTRUCTION  
 ADDITIONS-RENOVATIONS-ALTERATIONS

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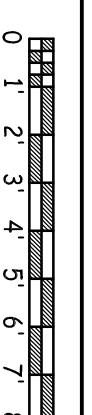
Additions And Renovations To The

## CASCONE Residence

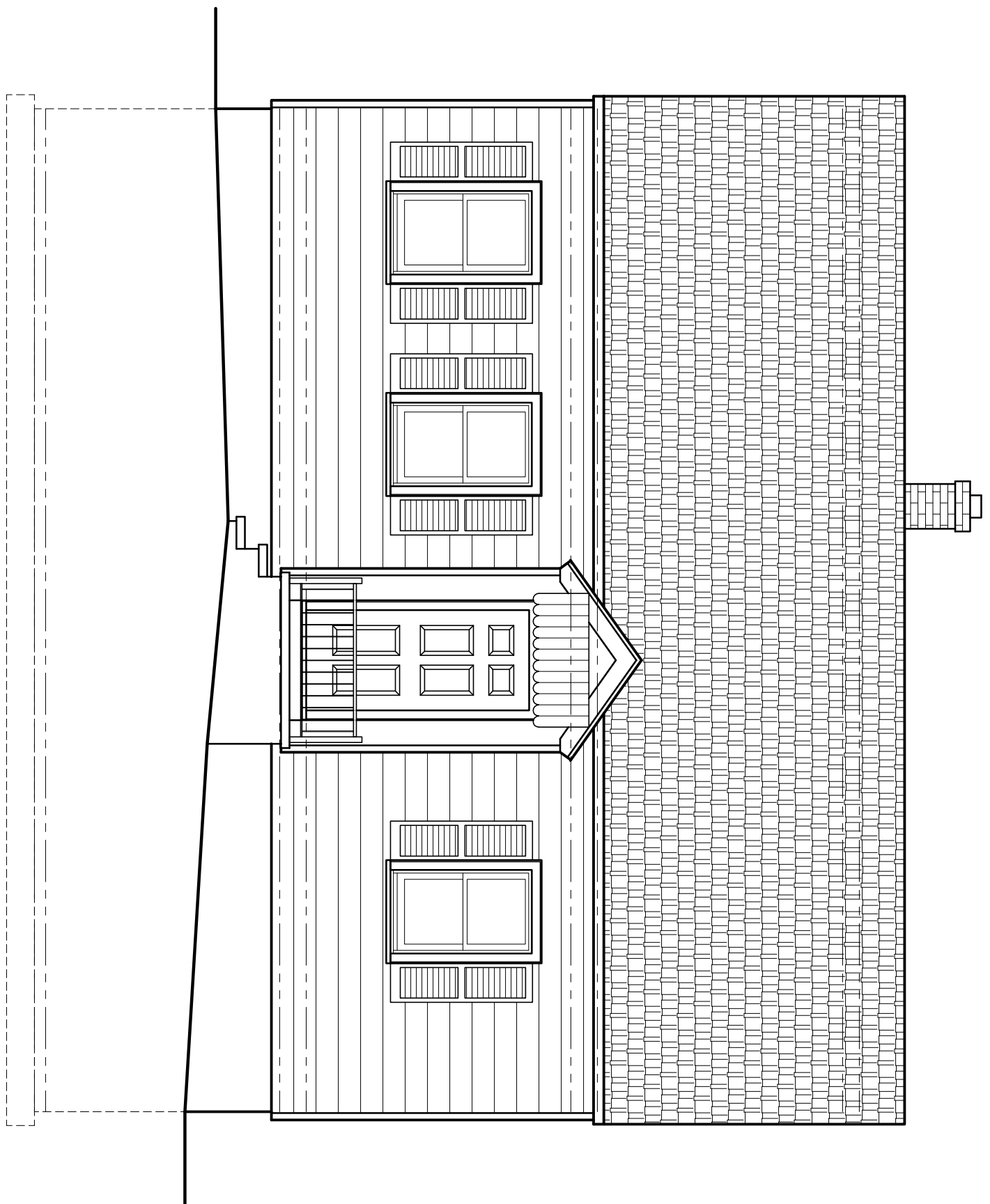
706 Burnstead Avenue • Bridgeport, Connecticut

PROJECT NUMBER: 2021-12-07E	DRAWING NUMBER:
DATE: June 8, 2022	
DRAWN BY: M.R.J.B.	
CHECKED BY: M.R.J.B.	

A 05

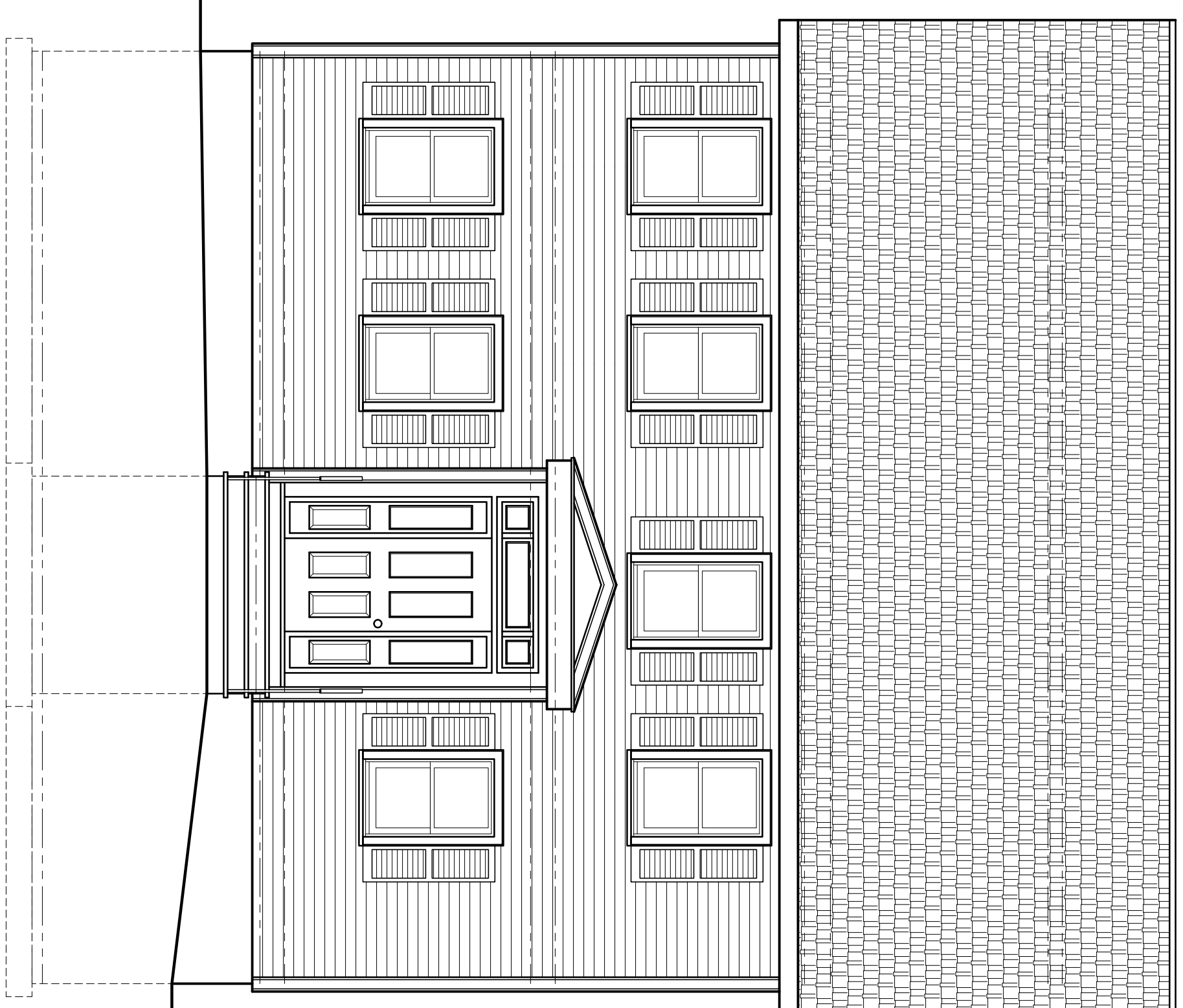


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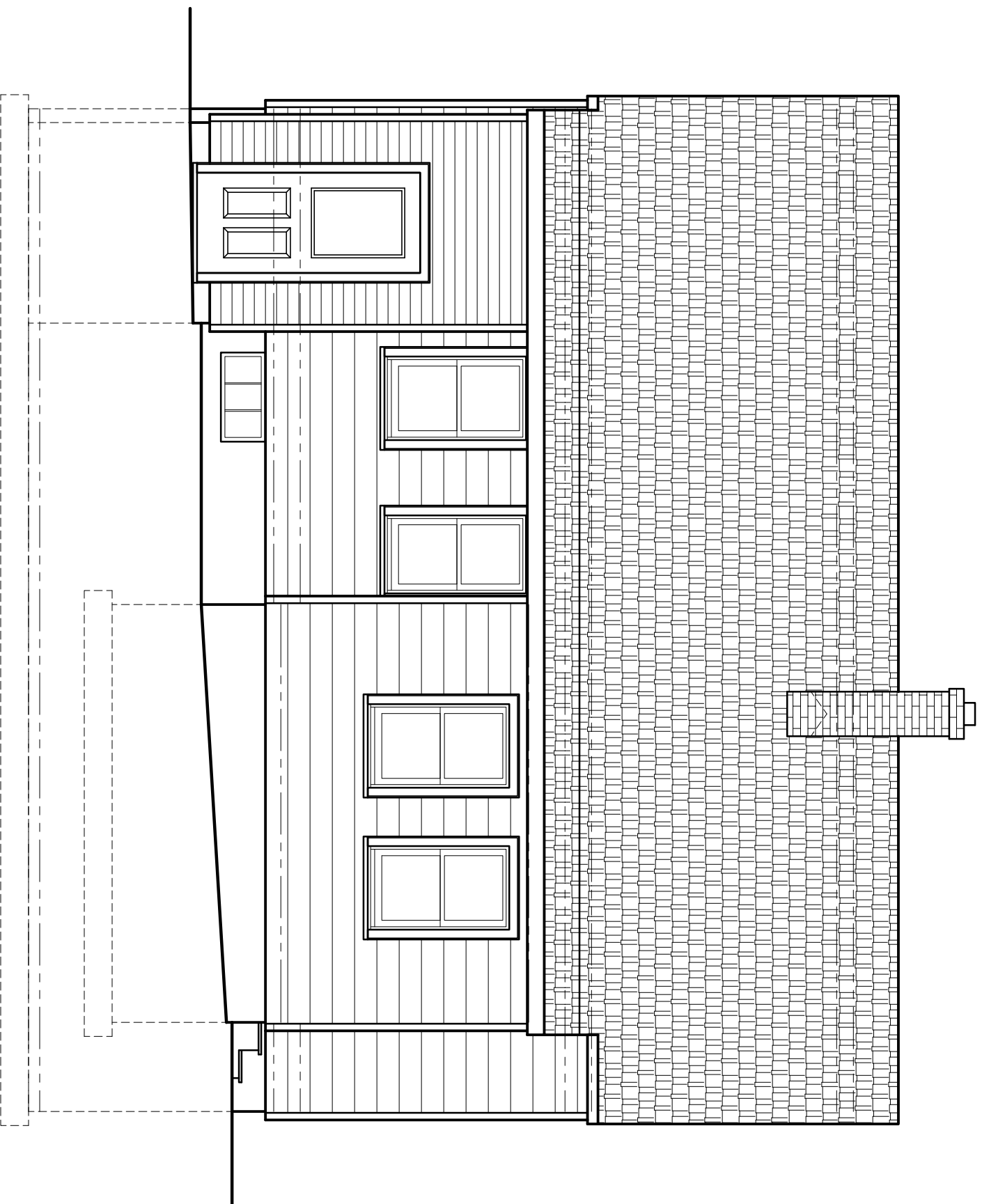
*Existing  
Front Elevation*

Scale: 1/4"=1'-0"



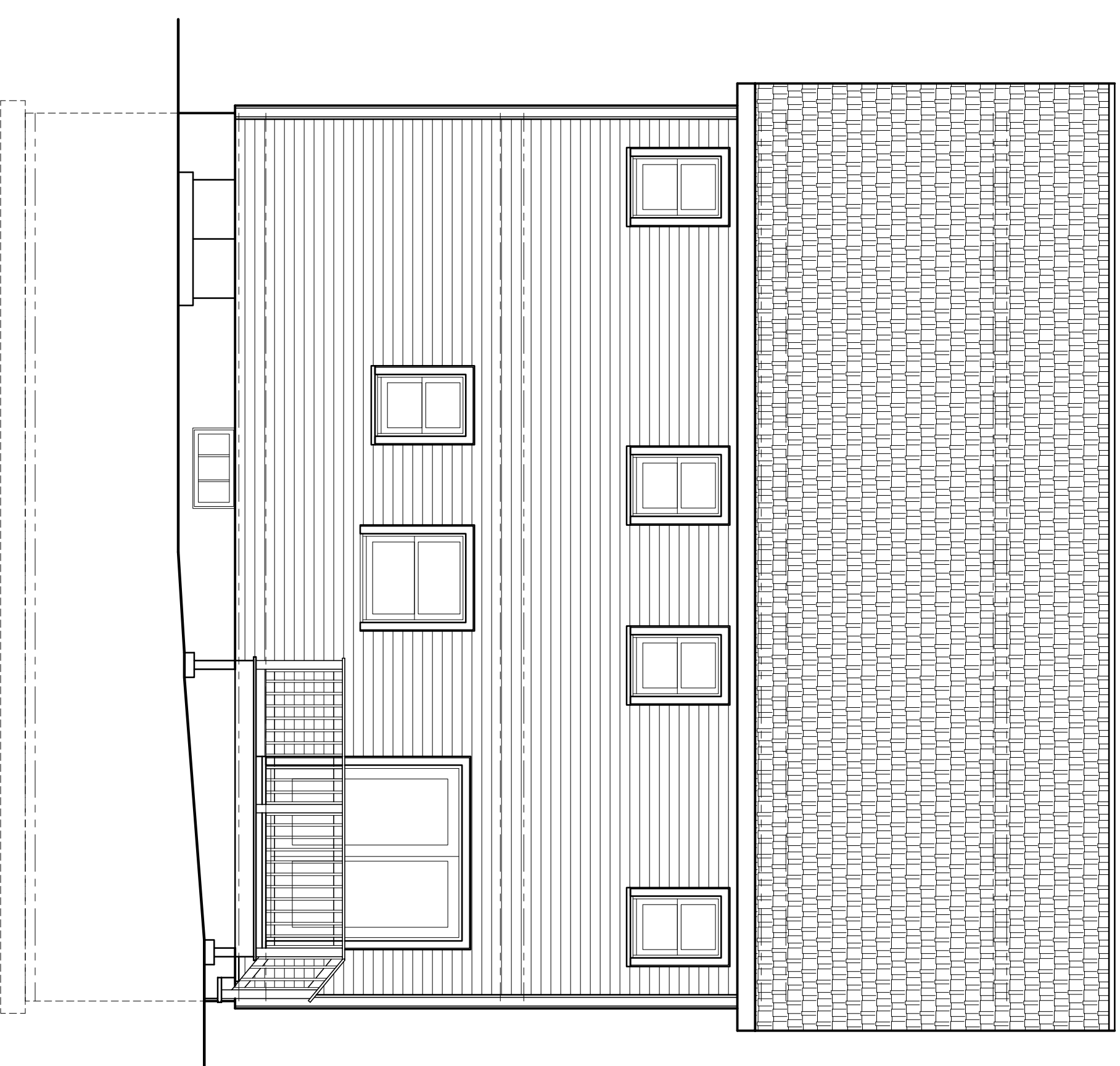
*Proposed  
Front Elevation*

Scale: 1/4"=1'-0"



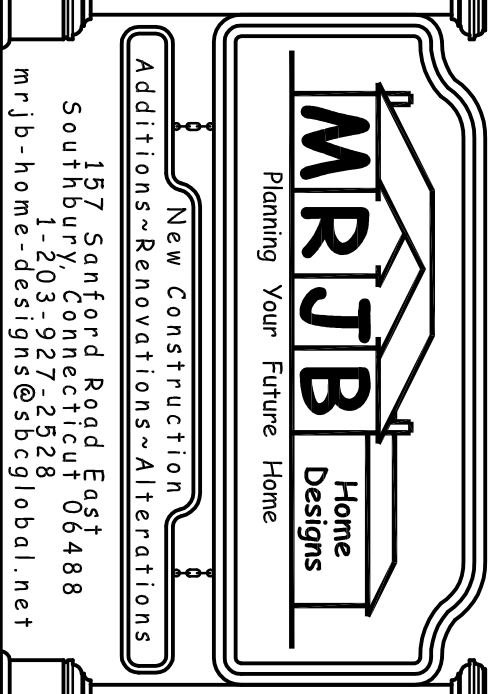
*Existing  
Rear Elevation*

Scale: 1/4"=1'-0"



*Proposed  
Rear Elevation*

Scale: 1/4"=1'-0"



↑ New Construction ↓  
Additions-Renovations-Alterations

Additions And Renovations To The  
**C A S C O N E**  
Residence

706 Burnstead Avenue - Bridgeport, Connecticut

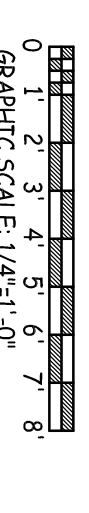
PROJECT NUMBER: 2021-12-07E DRAWING NUMBER:

DATE: June 8, 2022

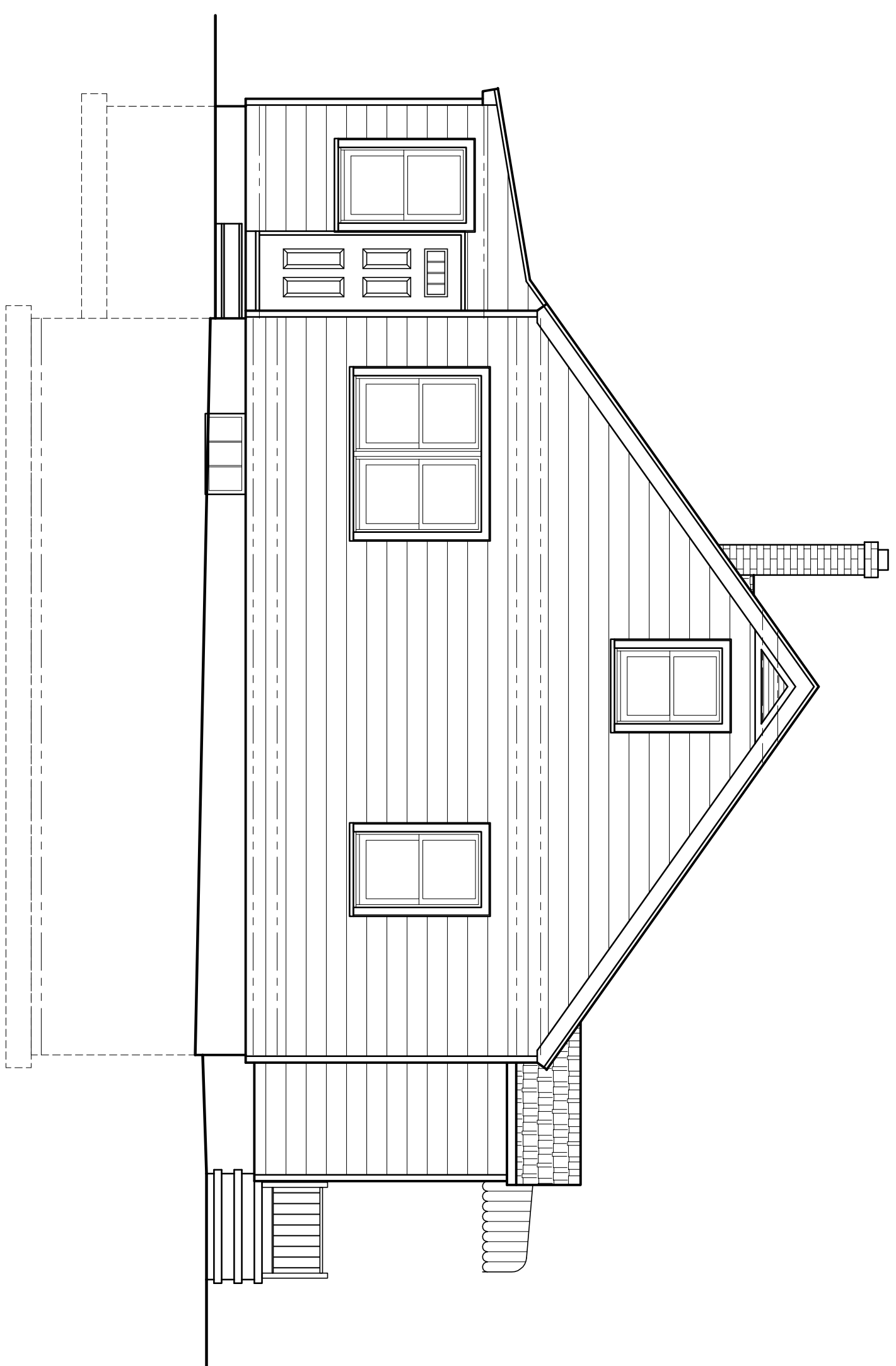
DRAWN BY: M.R.J.B.

CHECKED BY: M.R.J.B.

**A 06**

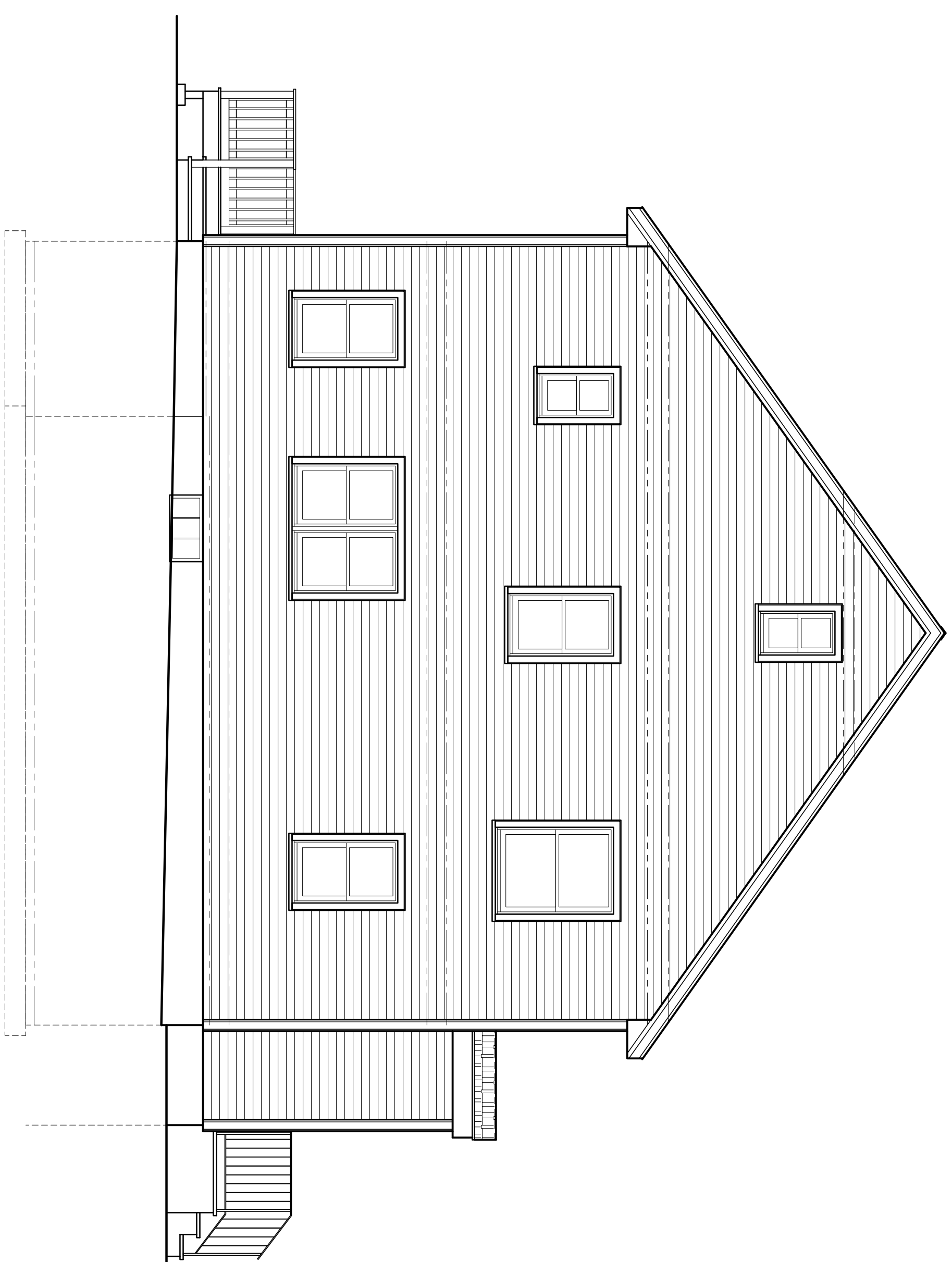


0 1 2 3 4 5 6 7 8'  
GRAPHIC SCALE: 1/4"=1'-0"



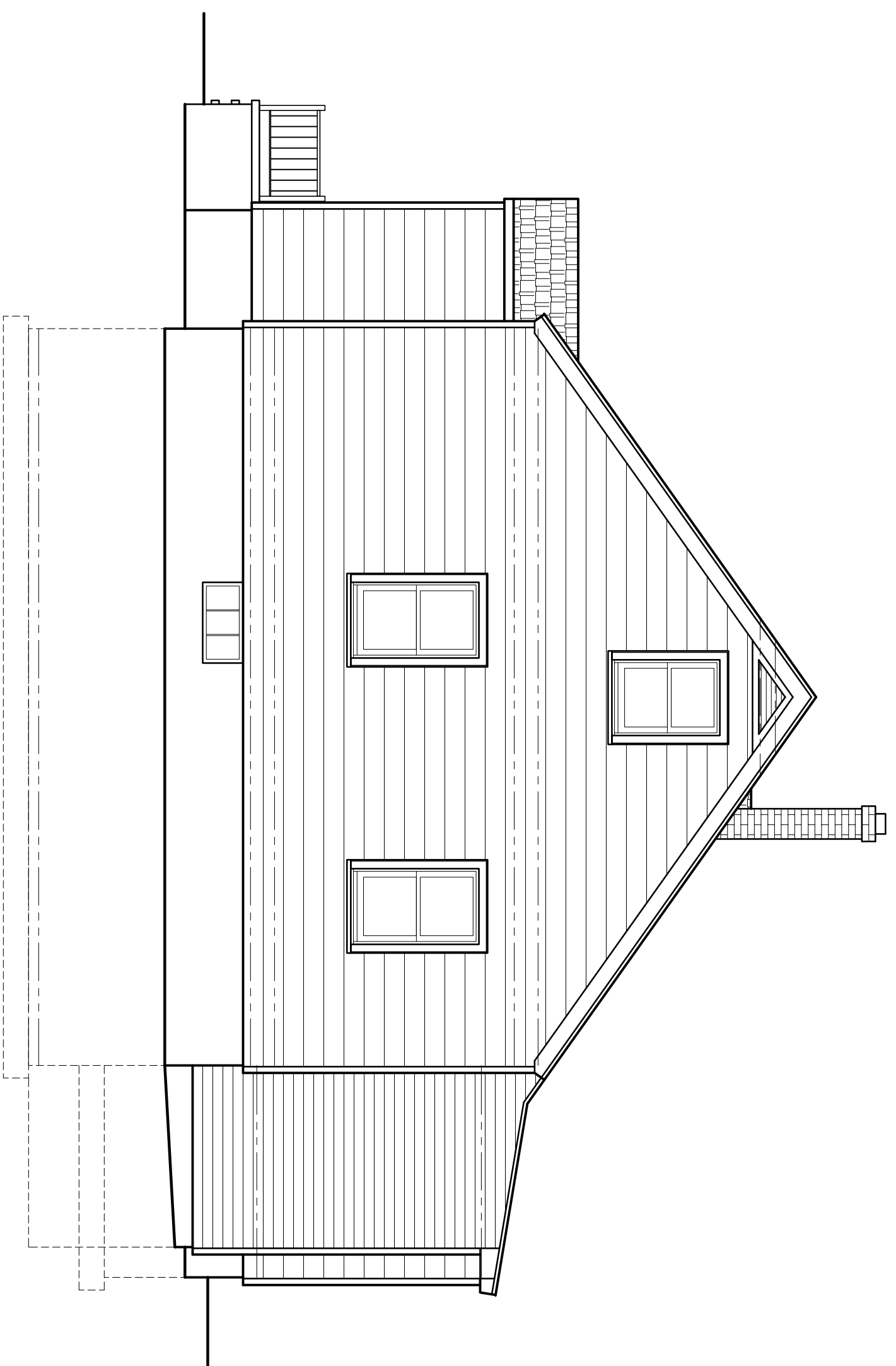
Existing  
Left Elevation

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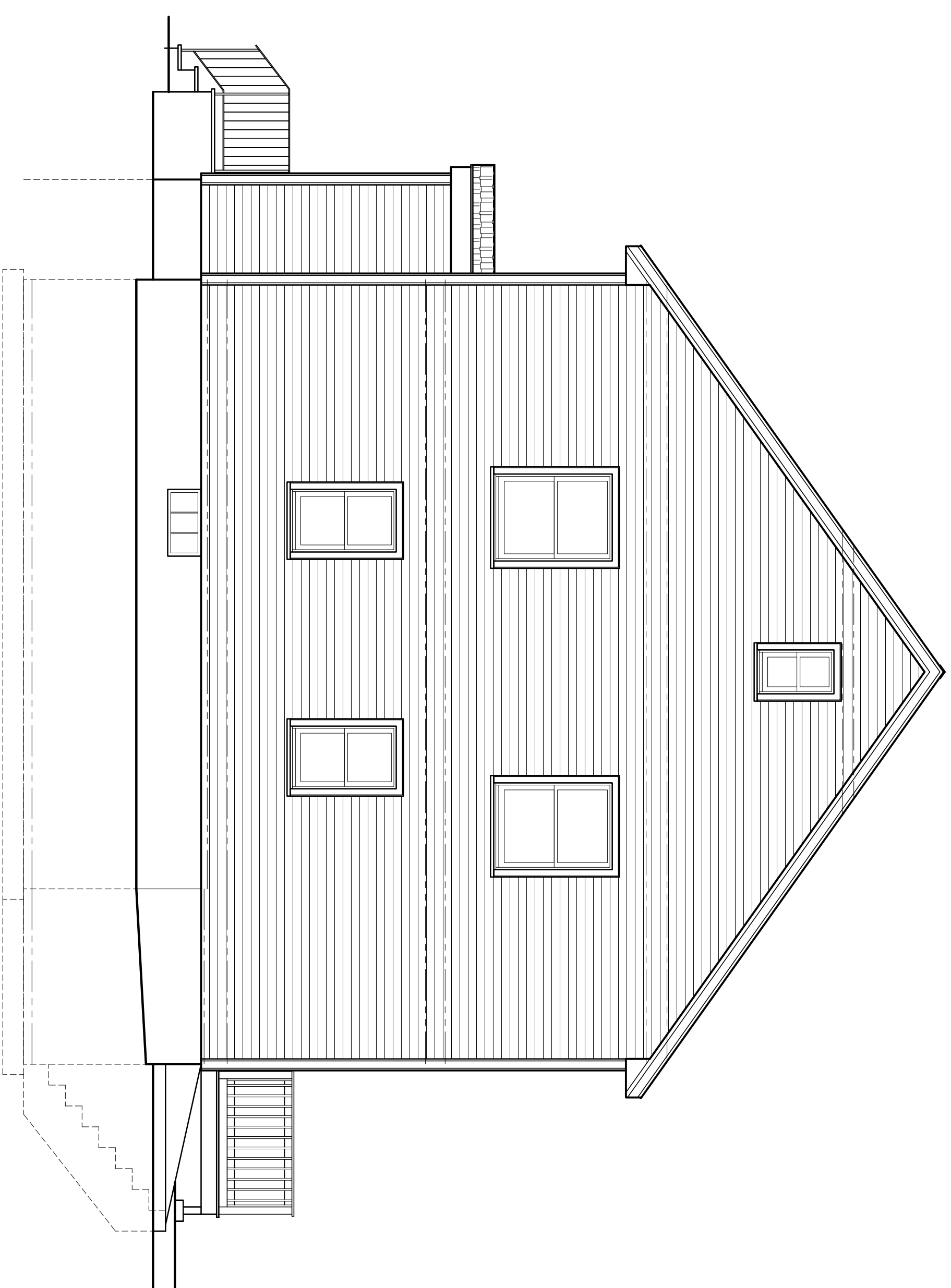
Proposed  
Left Elevation

Scale: 1/4"=1'-0"



Existing  
Right Elevation

Scale: 1/4"=1'-0"



Proposed  
Right Elevation

Scale: 1/4"=1'-0"

New Construction  
Additions-Renovations-Alterations

157 Sanford Road, Eastford, CT 06248  
 Phone: 203-927-2528  
 mrjb-home-designs@sscglobal.net

**MRJB** Home Designs  
 Planning Your Future Home

Additions And Renovations To The  
**CASCONE**  
 Residence

706 Burnstead Avenue - Bridgeport, Connecticut

PROJECT NUMBER: 2021-12-07E DRAWING NUMBER:

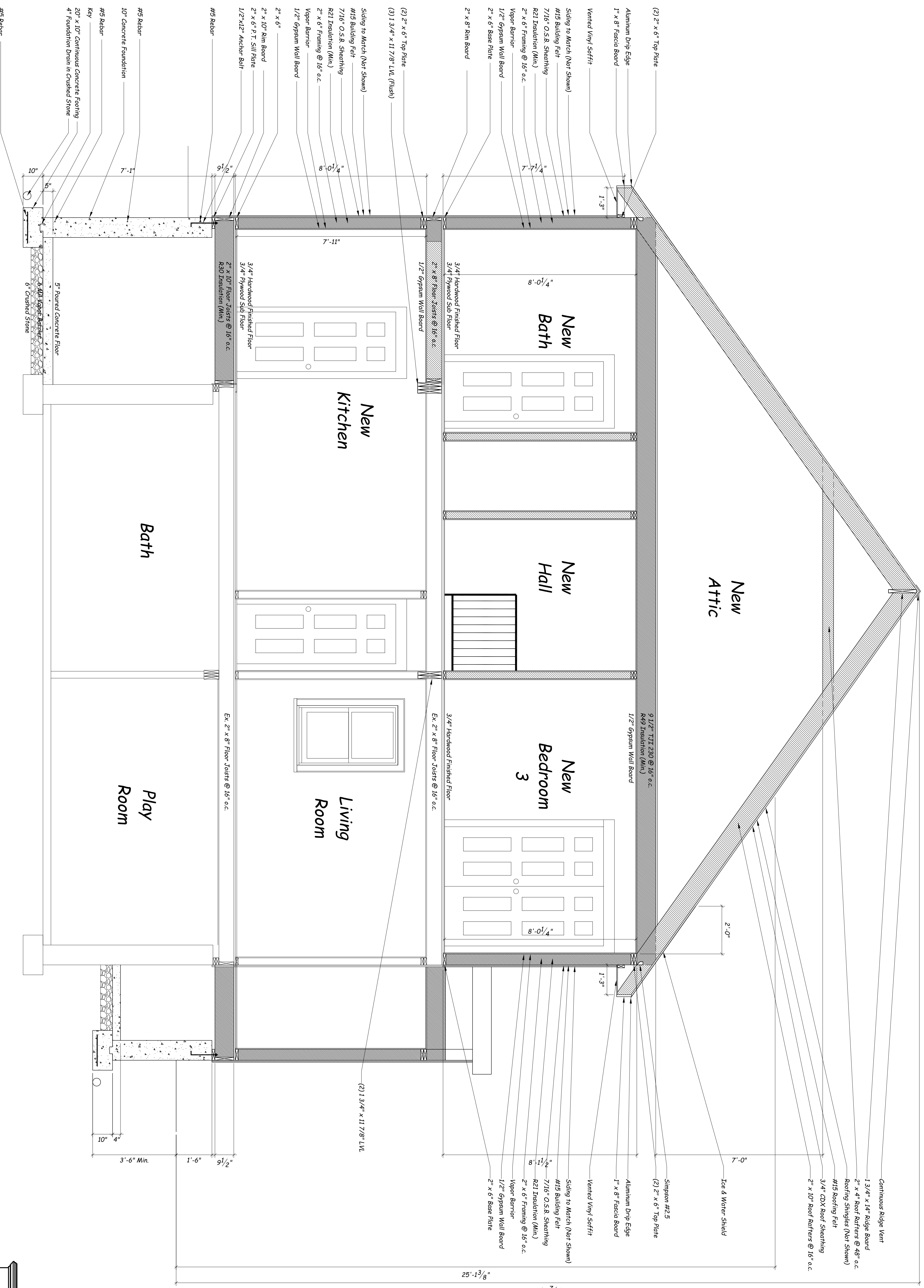
DATE: June 8, 2022

DRAWN BY: M.R.J.B.

CHECKED BY: M.R.J.B.

**A 07**

0 1 2 3 4 5 6 7 8'  
 GRAPHIC SCALE: 1/4"=1'-0"



**Proposed Section**

Scale: 1/2"=1'-0"

**MRJB Home Designs**  
Planning Your Future Home

157 Sanford Road, Eastford, CT 06027  
Phone: 860-351-4888  
Fax: 860-351-2528  
Email: mrjb\_home\_designs@53ocblab.net

New Construction  
Additions-Renovations-Alterations

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Additions And Renovations To The

## CASCONE Residence

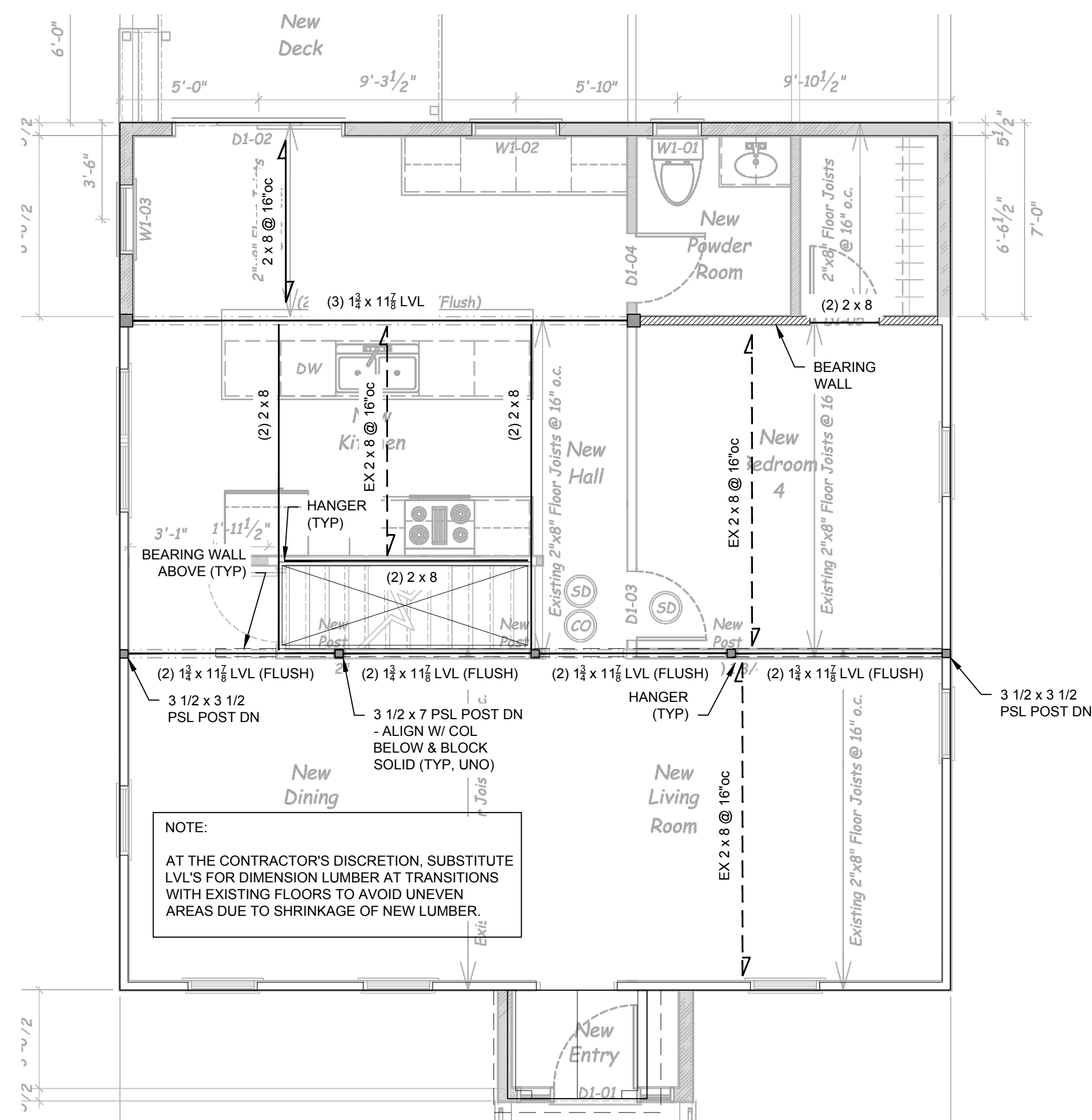
706 Burnstead Avenue - Bridgeport, Connecticut

PROJECT NUMBER: 2021-12-07E	DRAWING NUMBER:
DATE: June 8, 2022	
DRAWN BY: M.R.J.B.	
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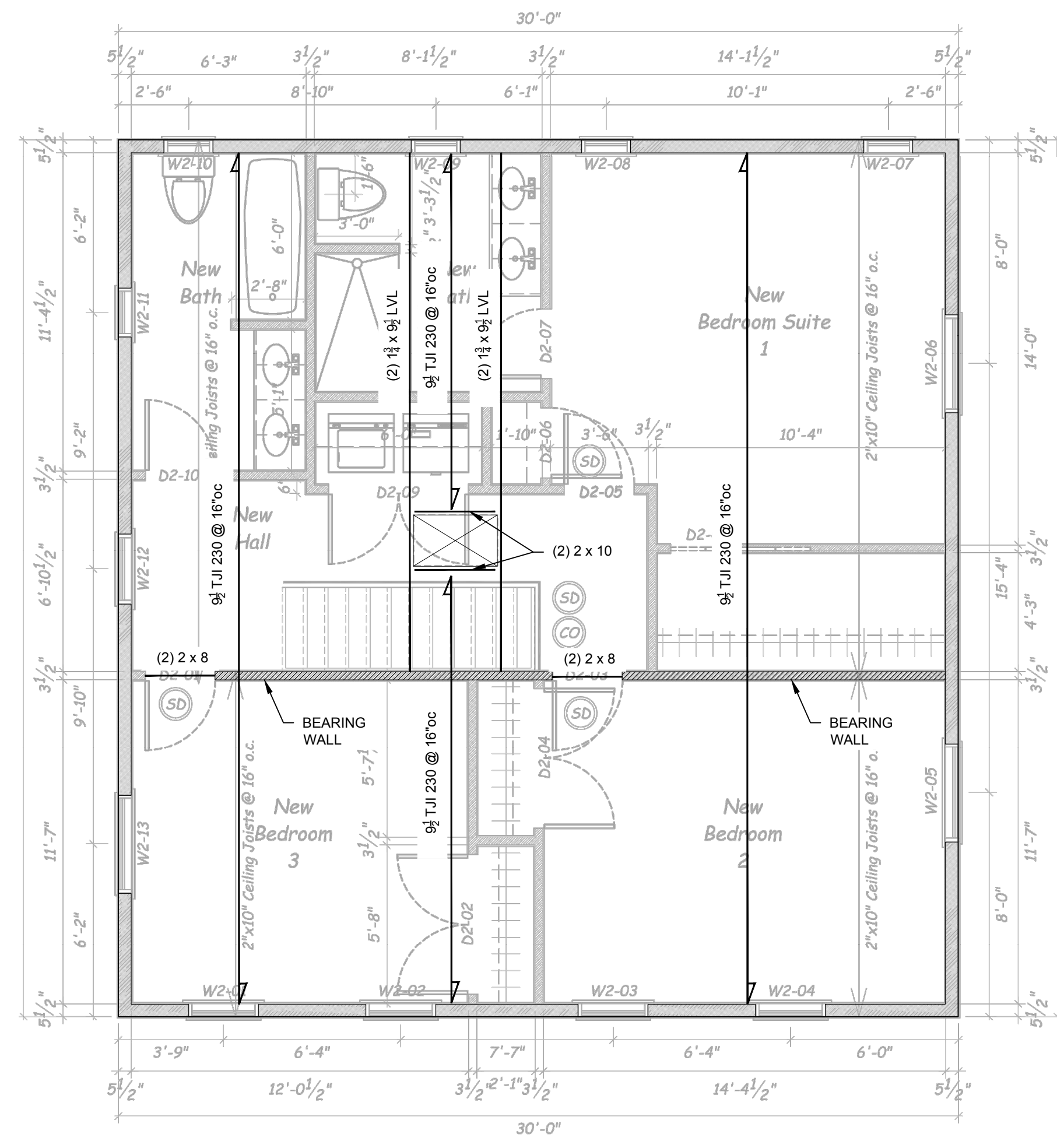
A 08

GRAPHIC SCALE: 1/4"=1'-0"

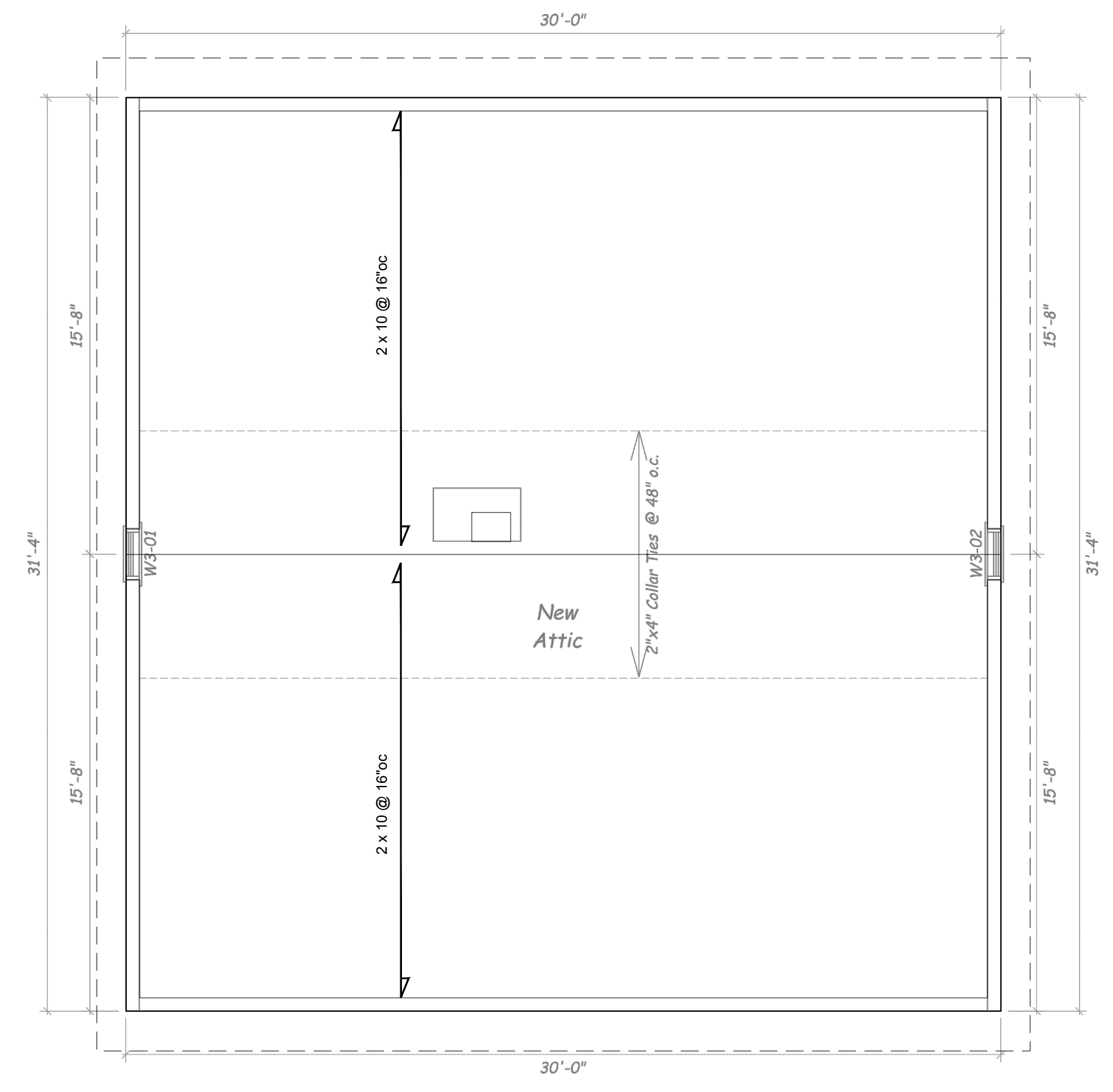




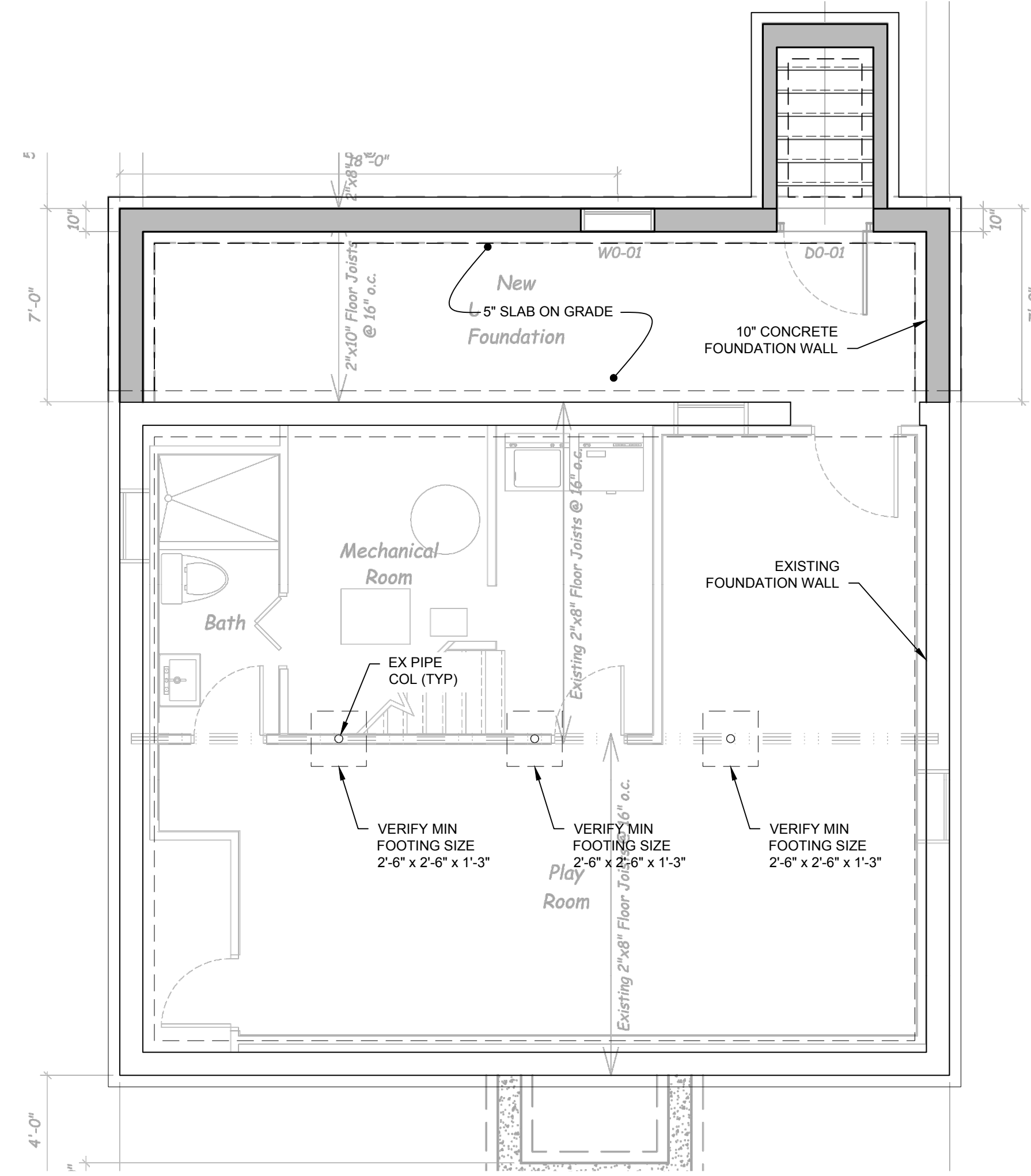
**2ND FLOOR FRAMING PLAN**  
1/4" = 1'-0"



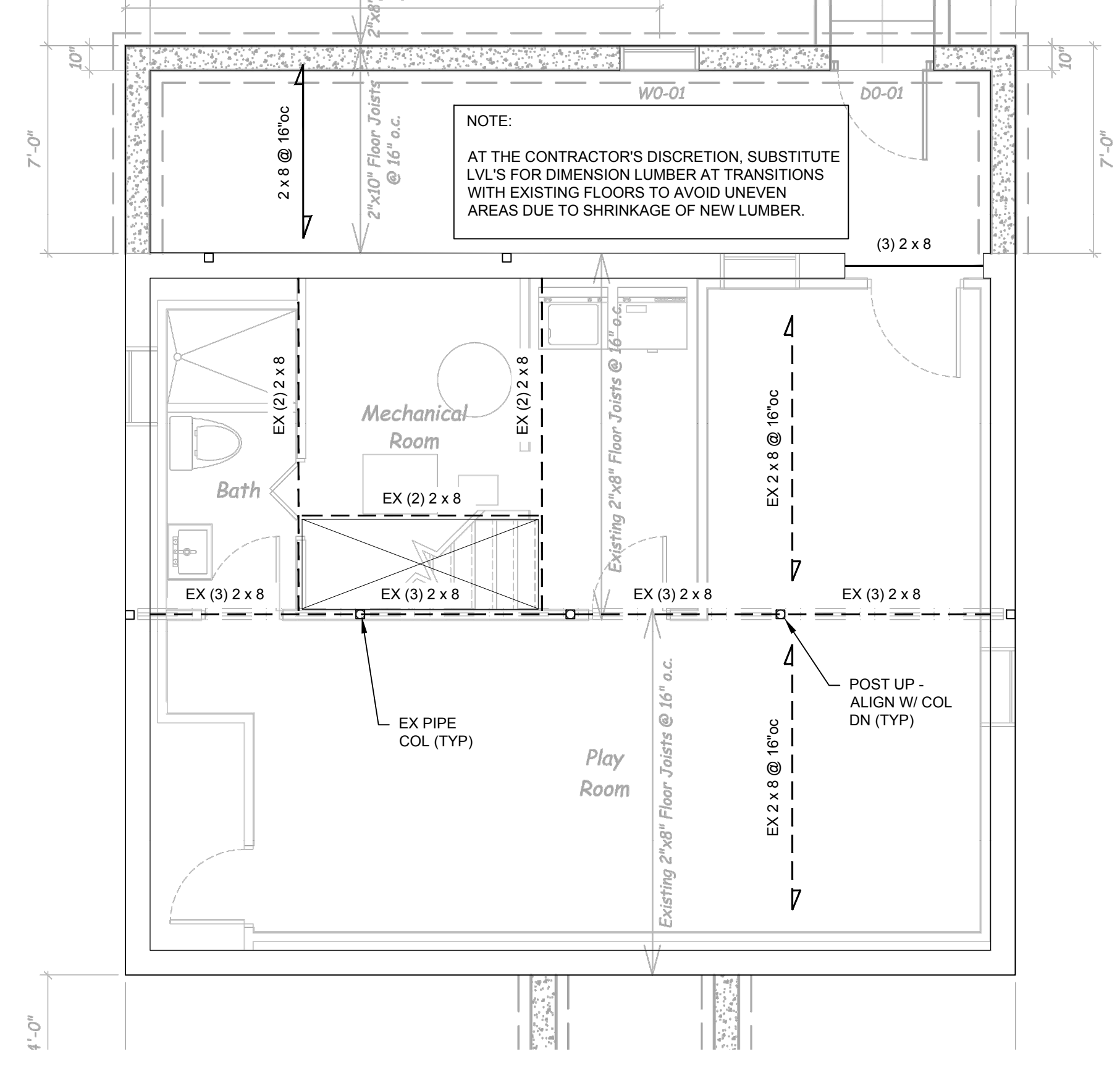
**ATTIC FLOOR FRAMING PLAN**  
1/4" = 1'-0"



**ROOF FRAMING PLAN**  
1/4" = 1'-0"



**FOUNDATION PLAN**  
1/4" = 1'-0"



**1ST FLOOR FRAMING PLAN**  
1/4" = 1'-0"

- FRAMING NOTES:**
- SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DIMENSIONS, ELEVATIONS, INFORMATION AND REQUIREMENTS. BACKGROUND ARCHITECTURAL DRAWINGS PREPARED BY ARCHITECT.
  - INDICATES POST/COLUMN DOWN
    - INDICATES POST/COLUMN UP
    - INDICATED POST/COLUMN UP AND DOWN
    - PROVIDE (2) 2x6 UNLESS OTHERWISE NOTED
    - PROVIDE SIMPSON CAPS AT ALL 6x6-PT COLUMNS

REV	DATE	DESCRIPTION
1	6/7/2022	FRAMING REVISIONS

**ISSUE FOR PERMIT  
ISSUE FOR CONSTRUCTION**

**SOUND ENGINEERING ASSOCIATES LLC**  
403 Nonopog Road, Fairfield, CT 06825 Tel.: 203-556-6136

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PREPARED FOR: **MRJB HOME DESIGNS**  
157 SANFORD ROAD EAST  
SOUTHBURY, CT 06488

PROJECT: **STRUCTURAL ALTERATIONS**  
706 BURNSFORD AVENUE  
BRIDGEPORT, CT

DRAWING: **FRAMING PLANS**

DATE	PROJECT NO.	DRAWING NO.
5/6/2022	2022043	SEA-100





# PROJECT NOTES

## GENERAL:

1. THE STRUCTURE HAS BEEN DESIGNED PER THE 2018 CONNECTICUT STATE BUILDING CODE FOR RESIDENTIAL STRUCTURES.

DESIGN LIVE LOADS:		
ROOF	- BASIC SNOW LOAD	30 PSF
FLOORS	- SECOND FLOOR SLEEPING AREAS & ATTICS	30 PSF
	- FIRST FLOOR	40 PSF

WIND BASED ON: V=130 MPH & EXPOSURE B

2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LAYOUT THE STRUCTURES IN ACCORDANCE WITH THE PROJECT DRAWINGS.

3. EXISTING CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND FABRICATION OR ORDERING OF ANY CONSTRUCTION MATERIALS.

4. SECTIONS AND DETAILS APPLY TO SAME AND SIMILAR CONDITIONS UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN.

## CAST-IN-PLACE CONCRETE:

1. CONCRETE SHALL BE NORMAL WEIGHT WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.

2. CONCRETE SHALL HAVE A MAXIMUM WATER TO CEMENT RATIO OF 0.45.

3. CONCRETE SHALL BE PROPORTIONED TO HAVE A SLUMP OF 4 INCHES, ± 1 INCH, AT THE DISCHARGE END OF THE PUMP HOSE. USE WATER REDUCING AGENT AS REQUIRED TO ACHIEVE DESIRED SLUMP RANGE. ADDITION OF WATER AT SITE WILL NOT BE PERMITTED.

4. CONCRETE SHALL CONTAIN 4% TO 6% ENTRAINING AIR READY MIX PLANT EQUIPMENT AND FACILITIES SHALL CONFORM TO THE "CHECK LIST FOR CERTIFICATION OF READY MIXED CONCRETE PRODUCTION FACILITIES" OF THE NRMCA.

5. CONCRETE SHALL CONSIST OF THE FOLLOWING MATERIALS:

A. PORTLAND CEMENT: TYPE II - LOW ALKALI CONFORMING TO ASTM C 150, "STANDARD SPECIFICATION FOR PORTLAND CEMENT."

B. COARSE AND FINE AGGREGATE SHALL BE NORMAL WEIGHT AND UNIFORMLY GRADED AND CLEAN CONFORMING TO ASTM C 33, "STANDARD SPECIFICATION FOR CONCRETE AGGREGATES." DO NOT USE AGGREGATE KNOWN TO CAUSE EXCESSIVE SHRINKAGE.

C. COARSE AGGREGATE SHALL BE CRUSHED ROCK OR WASHED GRAVEL WITH A MAXIMUM SIZE OF 3/4".

D. FINE AGGREGATE SHALL BE NATURAL WASHED SAND OF HARD AND DURABLE PARTICLES VARYING FROM FINE TO PARTICLES PASSING A 3/8" SCREEN, OF WHICH AT LEAST 12% SHALL PASS A 50-MESH SCREEN.

E. WATER SHALL BE CLEAN AND POTABLE.

F. AIR ENTRAINING ADMIXTURE SHALL CONFORM TO ASTM C 260, "STANDARD SPECIFICATION FOR AIR ENTRAINING ADMIXTURE FOR CONCRETE." THE AIR ENTRAINING AGENT SHALL BE A NON-TOXIC CONCENTRATED SOLUTION OF NEUTRALIZED VINSOL RESIN, SUCH AS "DARAVAIR" AS MANUFACTURED BY W.R. GRACE COMPANY OR EQUIVALENT ACCEPTED BY THE ENGINEER.

G. WATER REDUCING ADMIXTURE SHALL CONFORM TO ASTM C 494 "STANDARD SPECIFICATION FOR CHEMICAL ADMIXTURES FOR CONCRETE." WATER REDUCING AGENT SHALL BE OF TYPE A, B, C, D, E, F, OR G (AS NOTED IN CONCRETE MIX DESIGN) SUCH AS DARACEM-109 OR WRDA-19 AS MANUFACTURED BY W.R. GRACE COMPANY OR EQUIVALENT ACCEPTED BY THE ENGINEER.

11. REINFORCING STEEL SHALL CONFORM TO ASTM 615 GRADE 60, "SPECIFICATION FOR DEFORMED AND PLAIN BILLET STEEL BARS FOR CONCRETE REINFORCEMENT."

12. REINFORCING STEEL SHALL BE CONTINUOUS UNLESS SPECIFICALLY DETAILED OTHERWISE ON THE CONTRACT DRAWINGS. PROVIDE DOWELS OR LAP SPLICES OF THE APPROPRIATE CLASS TO MAINTAIN CONTINUITY UNLESS OTHERWISE SHOWN ON THE CONTRACT DRAWINGS. MINIMUM LAP SPLICES, UNLESS OTHERWISE NOTED, SHALL BE AS FOLLOWS:

SIZE SPLICE	MINIMUM SPLICE LENGTH
#4	2'-0"
#5	2'-4"
#6	3'-0"
#7	4'-0"
#8	5'-6"

13. MINIMUM CONCRETE PROTECTIVE COVERING FOR REINFORCEMENT, UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS:

A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, ALL BAR SIZES: 3"

B. CONCRETE EXPOSED TO EARTH, LIQUID, WEATHER, OR CAST AGAINST A CONCRETE WORK MAT:  
a. SLABS: 1"  
b. WALLS: 1 1/2"

16. CONCRETE SPACERS, CHAIRS, BOLSTERS, AND OTHER DEVICES NECESSARY FOR THE PROPER REINFORCING STEEL PLACEMENT SHALL BE UNCOATED.

17. NO CLAY OR CONCRETE OR ANY OTHER MATERIAL OTHER THAN APPROVED CHAIRS SHALL BE USED. ONE CHAIR SAMPLE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.

18. DO NOT USE CONCRETE AFTER 90 MINUTES FROM TIME OF INTRODUCTION OF WATER TO THE MIX.

19. BEGINNING IMMEDIATELY AFTER PLACEMENT, CONCRETE SHALL BE PROTECTED FROM PREMATURE DRYING, EXCESSIVELY HOT OR COLD TEMPERATURES, AND MECHANICAL DAMAGE AND SHALL BE MAINTAINED WITH MINIMAL MOISTURE LOSS AT A RELATIVE CONSTANT TEMPERATURE FOR THE PERIOD NECESSARY FOR HYDRATION OF THE CEMENT AND HARDENING OF THE CONCRETE.

## ROUGH CARPENTRY:

1. ALL FRAMING LUMBER AND PLYWOOD SHALL BE CLEARLY MARKED WITH A GRADE STAMP.

2. ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE ACQ PRESERVATIVE TREATED IN ACCORDANCE WITH AWPAs STANDARDS.

3. KEEP MATERIALS UNDER COVER AND DRY. PROTECT AGAINST EXPOSURE TO WEATHER AND CONTACT WITH DAMP OR WET SURFACES. STACK LUMBER AND PLYWOOD AND OTHER PANELS; PROVIDE AIR CIRCULATION WITHIN AND AROUND STACKS AND UNDER TEMPORARY COVERINGS INCLUDING POLYETHYLENE AND SIMILAR MATERIAL.

4. PROVIDE LUMBER WITH 19% MAXIMUM MOISTURE CONTENT AT TIME OF ENCLOSURE FOR SIZES 2" OR LESS IN NOMINAL THICKNESS, UNLESS OTHERWISE INDICATED.

5. WALL STUDS: (2X6'S, 10' AND SHORTER) PROVIDE DOUGLAS FIR-LARCH, "STUD" GRADE LUMBER OR BETTER.

6. FOR STRUCTURAL FRAMING (2" TO 4" THICK, 5" AND WIDER), PROVIDE DOUGLAS FIR-LARCH NO. 2 GRADE OR BETTER, EXCEPT PRESERVATIVE

TREATED LUMBER SHALL BE SOUTHERN PINE NO. 2 OR BETTER.

7. ALL PLYWOOD SHALL BE MANUFACTURED FROM A GROUP 1 OR GROUP 2 SPECIES.

8. COMBINATION SUBFLOOR-UNDERLAYMENT: APA RATED STURD-I-FLOOR. EXPOSURE DURABILITY CLASSIFICATION: EXPOSURE 1. SPAN RATING: AS REQUIRED TO SUIT JOIST SPACING INDICATED. EDGE DETAIL: TONGUE AND GROOVE.

9. WALL SHEATHING: APA RATED SHEATHING. EXPOSURE DURABILITY CLASSIFICATION: EXTERIOR. SPAN RATING: 12/0, 16/0, 20/0 FOR STUD SPACING OF 16" OR LESS.

10. ROOF SHEATHING: APA RATED SHEATHING. EXPOSURE DURABILITY CLASSIFICATION: EXTERIOR. SPAN RATING: 24/0.

11. FASTENERS AND ANCHORAGES: PROVIDE SIZE, TYPE, MATERIAL AND FINISH AS INDICATED AND AS RECOMMENDED BY APPLICABLE STANDARDS, COMPLYING WITH APPLICABLE FEDERAL SPECIFICATIONS FOR NAILS, STAPLES, SCREWS, BOLTS, NUTS, WASHERS AND ANCHORING DEVICES. PROVIDE METAL HANGERS AND FRAMING ANCHORS OF THE SIZE AND TYPE RECOMMENDED BY THE MANUFACTURER FOR EACH USE INCLUDING RECOMMENDED NAILS.

12. WHERE ROUGH CARPENTRY WORK IS EXPOSED TO WEATHER, IN GROUND CONTACT, OR IN AREA OF HIGH RELATIVE HUMIDITY, PROVIDE FASTENERS AND ANCHORAGES WITH A HOT-DIP ZINC COATING (ASTM A 153).

13. SILL SEALER GASKETS: GLASS FIBER RESILIENT INSULATION FABRICATED IN STRIP FORM FOR USE AS A SILL SEALER. 1" NOMINAL THICKNESS COMPRESSIBLE TO 1/32"; SELECTED FROM MANUFACTURER'S STANDARD WIDTHS TO SUIT WIDTH OF SILL MEMBERS INDICATED.

14. CAREFULLY SELECT ALL MEMBERS. SELECT INDIVIDUAL PIECES SO THAT KNOTS AND OBVIOUS DEFECTS WILL NOT INTERFERE WITH PLACING BOLTS OR PROPER NAILING OR MAKING CONNECTIONS.

15. CUT OUT AND DISCARD ALL DEFECTS WHICH WILL RENDER A PIECE UNABLE TO SERVE ITS INTENDED FUNCTION. LUMBER MAY BE REJECTED BY THE ENGINEER, WHETHER OR NOT IT HAS BEEN INSTALLED, FOR EXCESSIVE WARP, TWIST, BOW, CROOK, MILDEW, FUNGUS, OR MOLD, AS WELL AS FOR IMPROPER CUTTING AND FITTING.

16. DO NOT SHIM SILLS, JOISTS, STUDS, OR OTHER FRAMING COMPONENTS.

17. SET CARPENTRY WORK TO REQUIRED LEVELS AND LINES, WITH MEMBERS PLUMB AND TRUE AND CUT AND FITTED.

18. SECURELY ATTACH CARPENTRY WORK TO SUBSTRATE BY ANCHORING AND FASTENING AS SHOWN AND AS REQUIRED BY RECOGNIZED STANDARDS.

19. COUNTERSINK NAIL HEADS ON EXPOSED CARPENTRY WORK AND FILL HOLES.

20. USE COMMON WIRE NAILS OR SPIKES OF THE DIMENSIONS SHOWN ON THE NAILING SCHEDULE, EXCEPT AS OTHERWISE INDICATED. USE FINISHING NAILS FOR FINISH WORK. SELECT FASTENERS OF SIZE THAT WILL NOT PENETRATE MEMBERS WHERE OPPOSITE SIDE WILL BE EXPOSED TO VIEW OR WILL RECEIVE FINISH MATERIALS. MAKE TIGHT CONNECTIONS BETWEEN MEMBERS. INSTALL FASTENERS WITHOUT SPLITTING OF WOOD; PREDRILL AS REQUIRED.

21. BOLTING: DRILL HOLES 1/16 INCH LARGER IN DIAMETER THAN THE BOLTS BEING USED. DRILL STRAIGHT AND TRUE FROM ONE SIDE ONLY. USE WASHERS UNDER HEAD AND NUT

22. SCREW, DO NOT DRIVE LAG BOLTS AND SCREWS.

23. STUD FRAMING:

A. MAKE ALL STUDS SINGLE LENGTH, UNSPLICED, AND PLATFORM FRAMED, UNLESS OTHERWISE SHOWN.

B. USE 2X6 STUDS ON EXTERIOR WALLS SPACED 16" O.C. PROVIDE SINGLE BOTTOM PLATE AND DOUBLE-TOP PLATES.

C. CONSTRUCT CORNERS AND INTERSECTIONS WITH NOT LESS THAN 3 STUDS.

D. PROVIDE MISCELLANEOUS BLOCKING AND FRAMING AS SHOWN AND AS REQUIRED FOR SUPPORT OF FACING MATERIALS, FIXTURES, SPECIALTY ITEMS AND TRIM.

E. PROVIDE CONTINUOUS HORIZONTAL BLOCKING ROW AT MID-HEIGHT OF SINGLE-STORY PARTITIONS OVER 8' HIGH, AT MIDPOINT OF MULTI-STORY PARTITIONS, AND AT ALL HORIZONTAL PLYWOOD JOINTS.

24. PLYWOOD INSTALLATION:

A. PLACE ALL PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND CONTINUOUS OVER AT LEAST TWO SUPPORTS.

B. CENTER JOINTS ACCURATELY OVER SUPPORTS AND STAGGER THE END JOINTS.

C. FILL AND SAND EDGE JOINTS OF SUBFLOORING-UNDERLAYMENT RECEIVING RESILIENT FLOORING.

D. ALLOW 1/8" SPACING AT PANEL ENDS AND 1/4" AT PANEL EDGES FOR SQUARE EDGE PANELS.

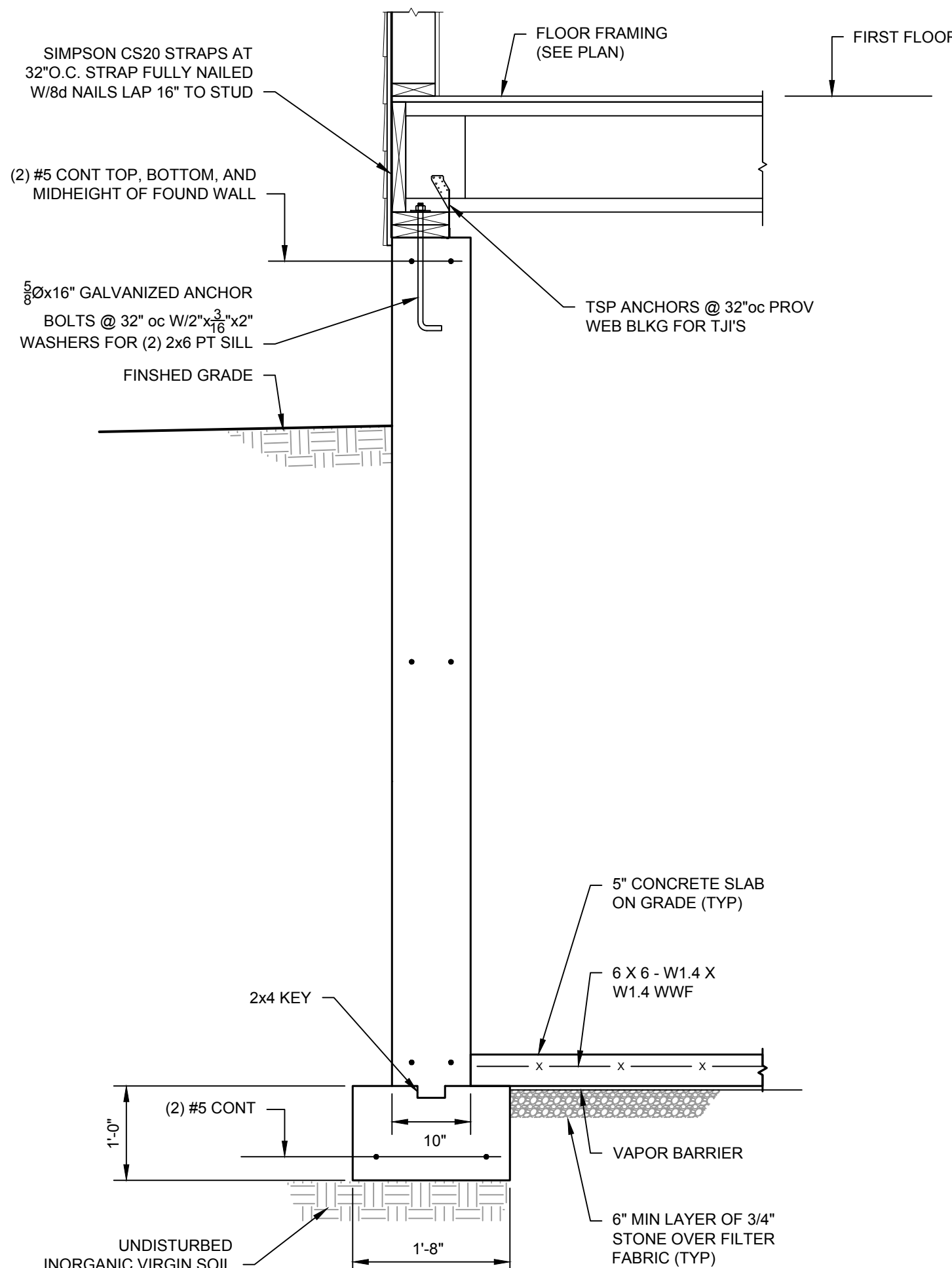
E. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES FOR TONGUE AND GROOVE EDGE PANELS.

## ENGINEERED WOOD:

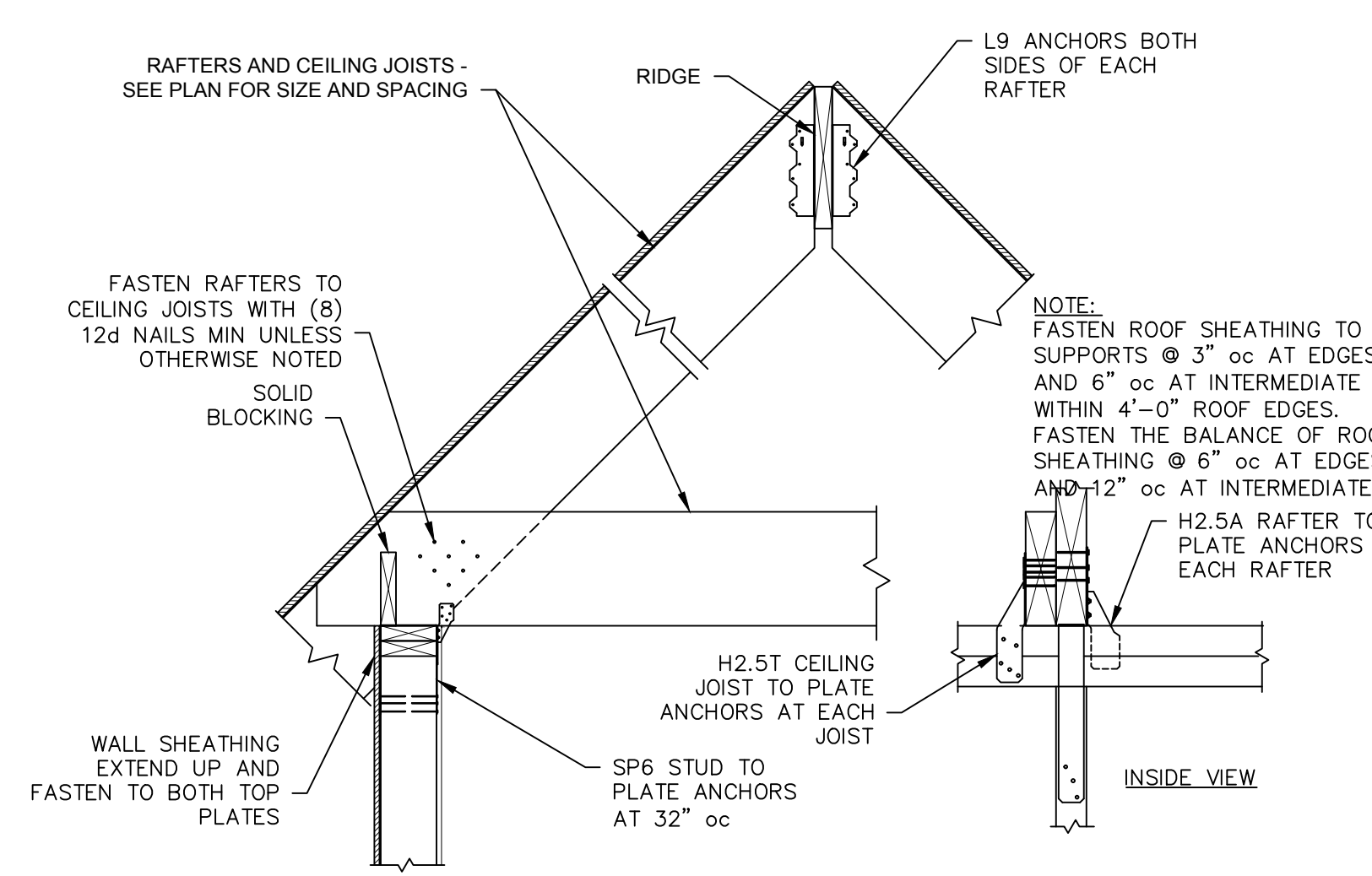
1. LVL MEMBERS SHALL BE "MICROLAM" LVL, HAVING E=2,000,000psi AND Fb=2,600psi, AS MANUFACTURED BY WEYERHAEUSER. ALTERNATES MAY BE SUBMITTED FOR THE ENGINEER'S REVIEW. ALL MULTI PLY LVL BEAMS SHALL BE FASTENED TOGETHER WITH 2- 1/2" Ø A307 THRU BOLTS OR 4-1/4" (2 FROM EACH FACE) SIMPSON SDS SCREWS AT 16" O.C. UNLESS OTHERWISE NOTED.

2. PSL BEAMS SHALL BE "PARALLAM" PSL, HAVING E=2,000,000psi AND Fb=2,900psi, AS MANUFACTURED BY WEYERHAEUSER. ALTERNATES MAY BE SUBMITTED FOR THE ENGINEER'S REVIEW.

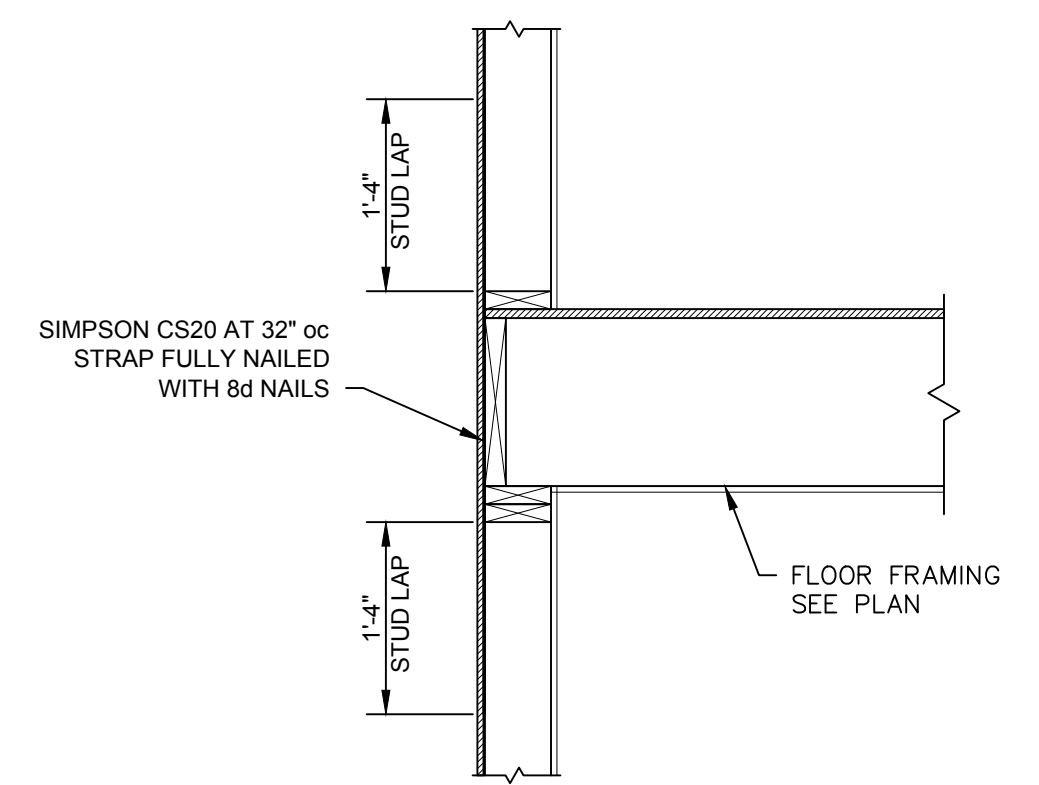
3. PSL COLUMNS AND POSTS SHALL BE "PARALLAM" PSL, HAVING E=1,800,000psi, Fb=2,400psi AND Fc=2,900psi, AS MANUFACTURED BY WEYERHAEUSER. ALTERNATES MAY BE SUBMITTED FOR THE ENGINEER'S REVIEW.



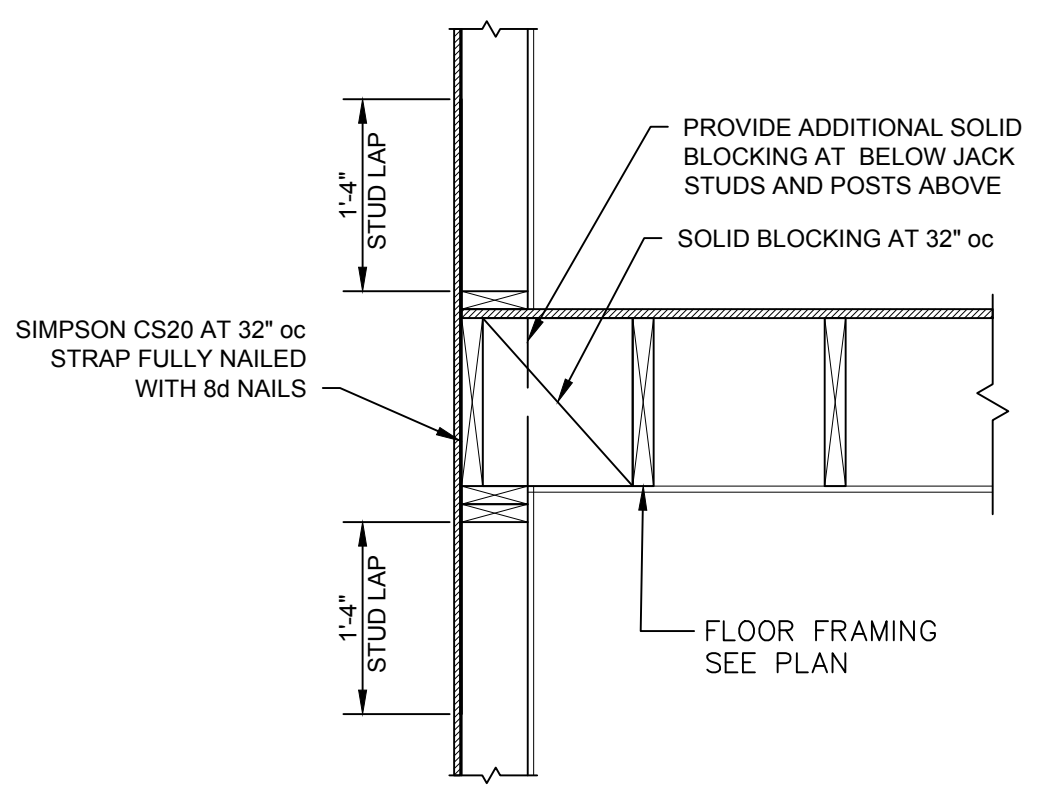
SECTION AT NEW FOUNDATION  
3/4" = 1'-0"



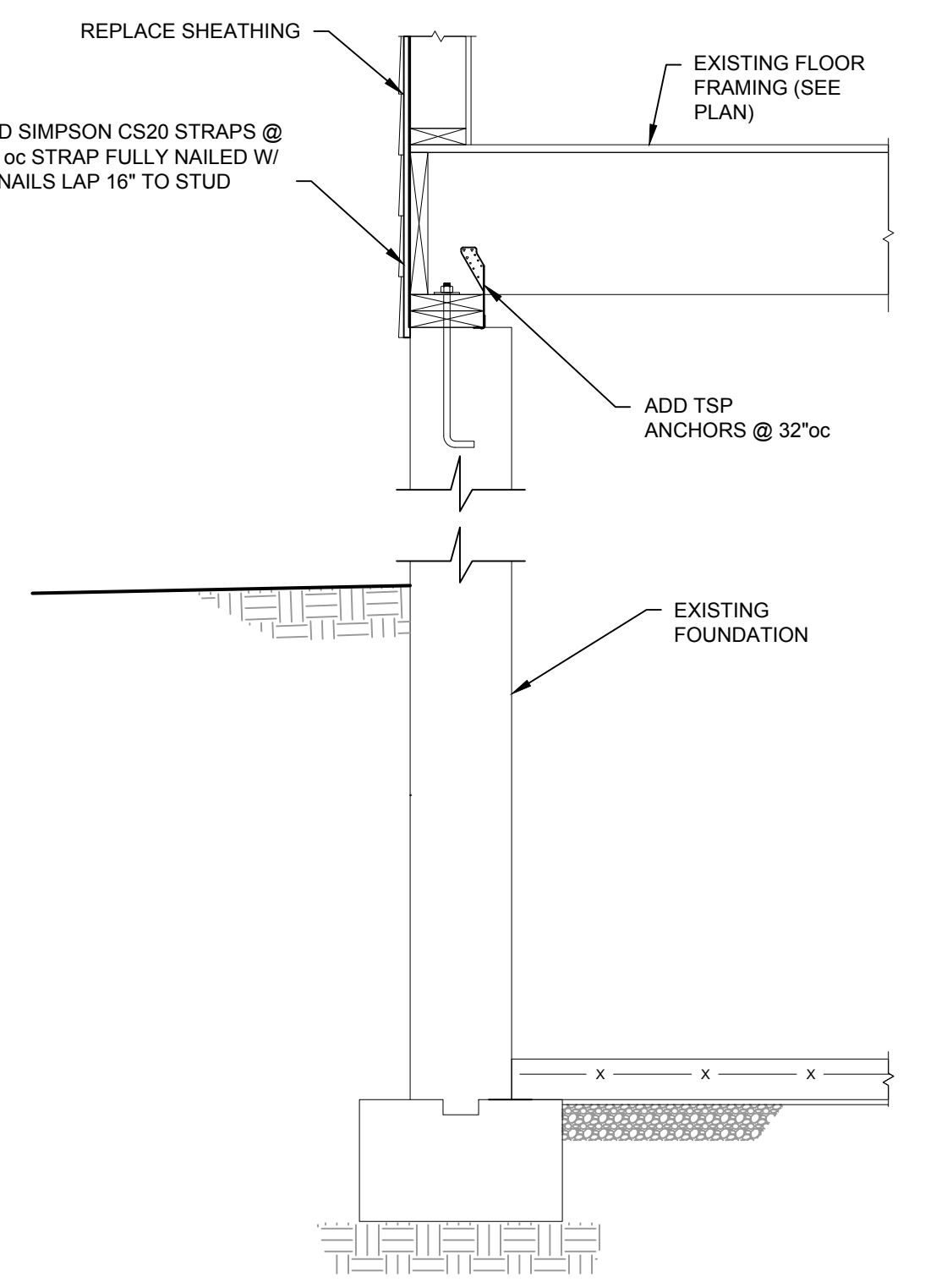
TYPICAL TIED ROOF DETAIL  
3/4" = 1'-0"



SECTION AT FLOOR  
3/4" = 1'-0"



AT ALTERNATE DIRECTION  
3/4" = 1'-0"



SECTION AT EXISTING FOUNDATION  
3/4" = 1'-0"

REV	DATE	DESCRIPTION
1	6/7/2022	ADDED FOUNDATION SECTION

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**SOUND ENGINEERING ASSOCIATES LLC**  
403 Nonopog Road, Fairfield, CT 06825 Tel.: 203-556-6136

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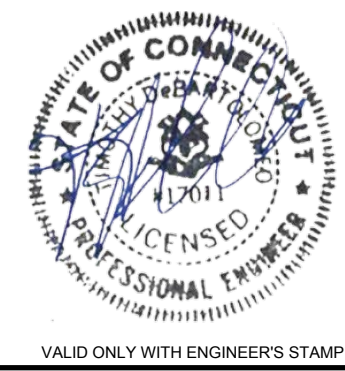
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PREPARED FOR:  
MRJB HOME DESIGNS  
157 SANFORD ROAD EAST  
SOUTHBRURY, CT 06488

PROJECT:  
STRUCTURAL ALTERATIONS  
706 BURNSFORD AVENUE  
BRIDGEPORT, CT

DRAWING:  
SECTION & DETAILS  
AND PROJECT NOTES

DATE	PROJECT NO.	DRAWING NO.
5/6/2022	2022043	SEA-200

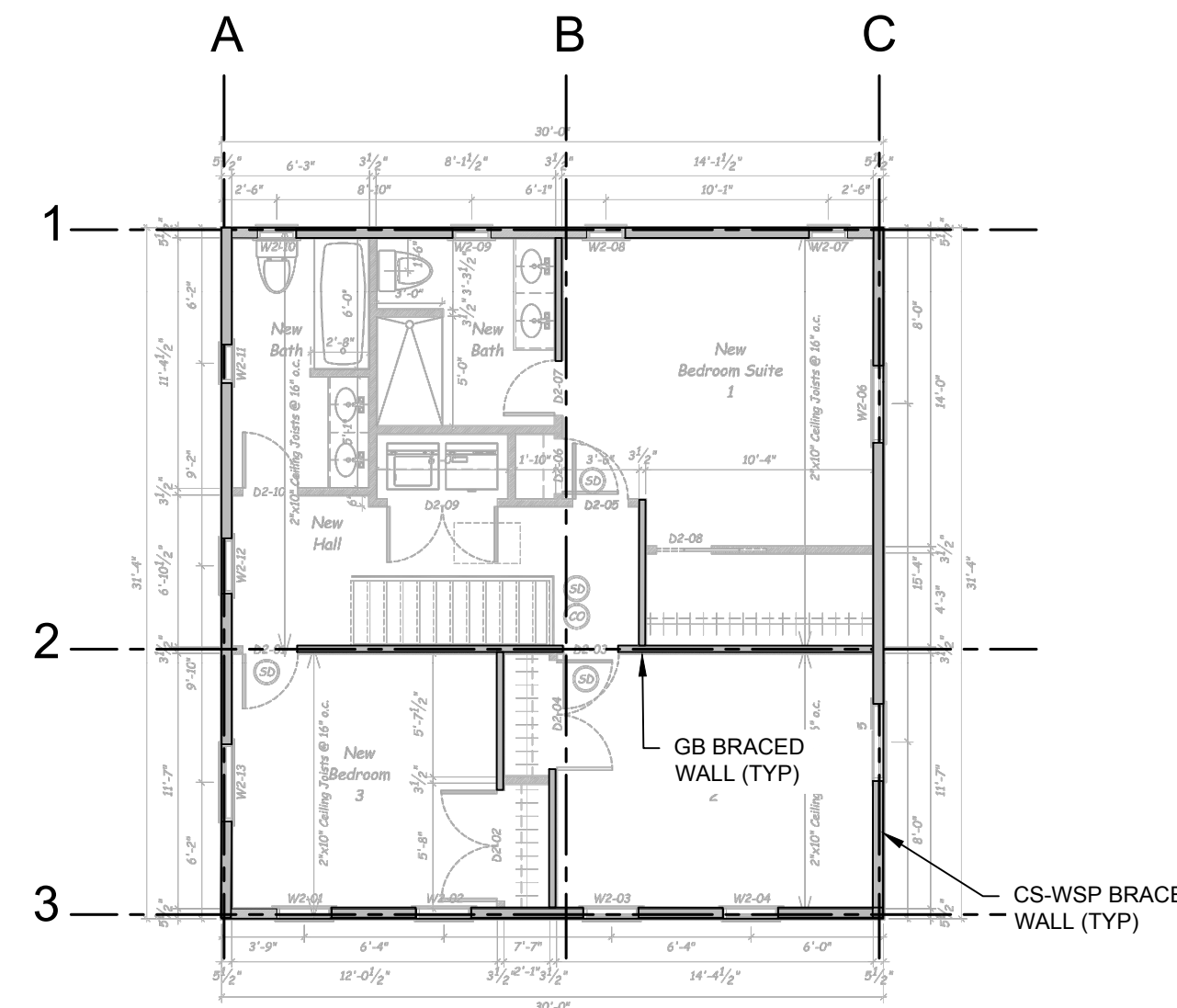


VALID ONLY WITH ENGINEER'S STAMP



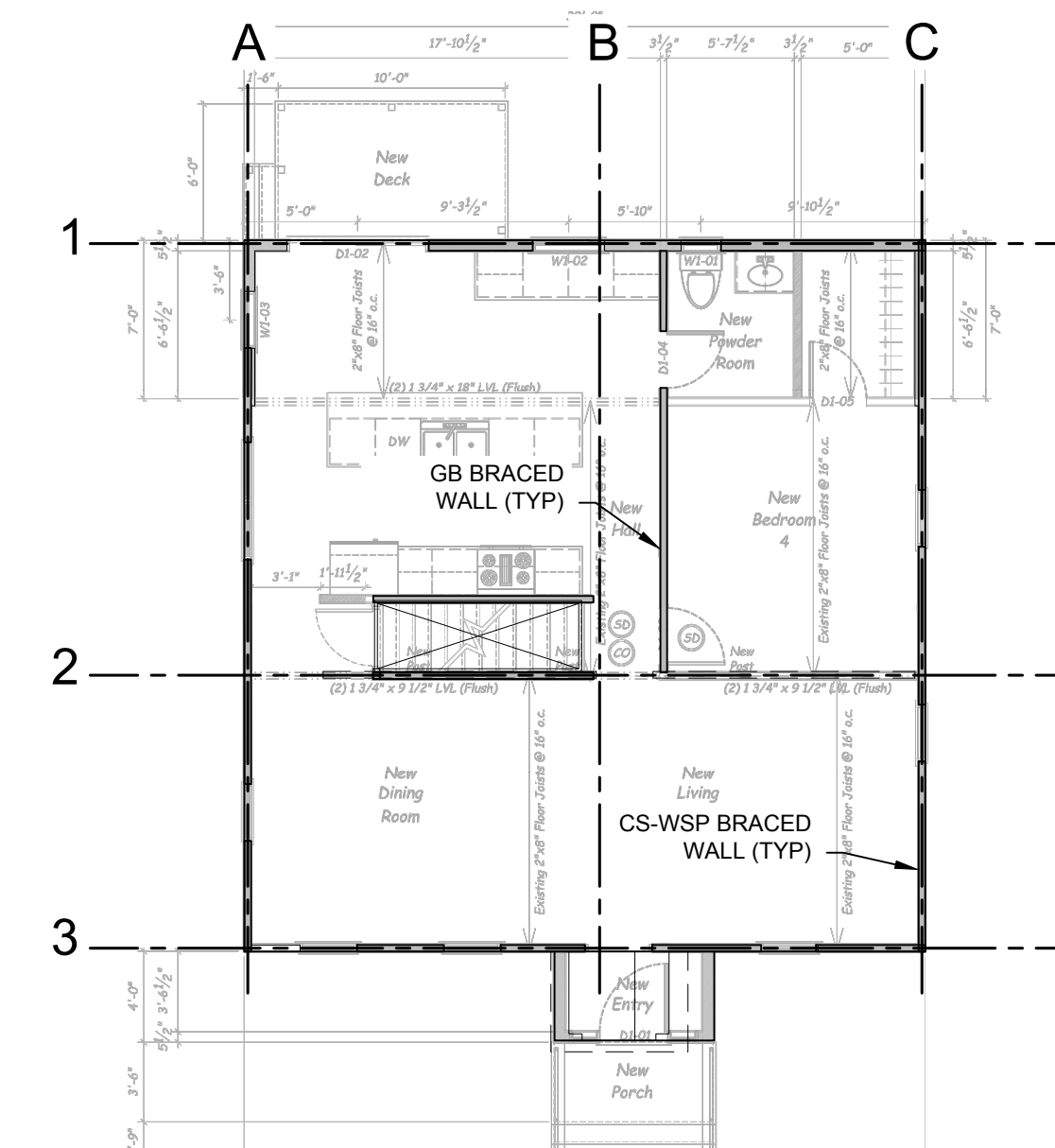
**BRACED WALL LINE NOTES:**

- BRACED WALL LINES ARE BASED ON A BASIC WIND SPEED  $V_u$  OF 130 MPH AND EXPOSURE B FOR SINGLE FAMILY DWELLINGS.
- ABBREVIATIONS:  
 CS-WSP: CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL METHOD.  
 GB: GYPSUM BOARD METHOD



**2ND FLOOR BRACED WALL PLAN**  
 1/8" = 1'-0"

WALL BRACING IRC R602.10 SECOND FLOOR WALLS											
GRID	BWL SPACING	BWL METHOD	TABLE R602.10.1.2 LENGTH	WIND EXPOSURE FACTOR	RIDGE HEIGHT FACTOR	WALL HEIGHT FACTOR	BWL NUMBER FACTOR	BLOCKING FACTOR	ANCHOR FACTOR	ADJUSTED LENGTH	PROVIDED LENGTH
A	15.5	CS-WSP	3.3	1	1	0.90	1.3	1	1	3.9	23.0
B	15.5	GB	6.7	1	1	0.90	1.3	1	1	7.8	24.5
C	14.5	CS-WSP	3.2	1	1	0.90	1.3	1	1	3.7	24.0
1	19	CS-WSP	3.9	1	1	0.90	1.3	1	1	4.6	15.4
2	19	GB	8.1	1	1	0.90	1.3	1	1	9.5	23.5
3	12	CS-WSP	2.8	1	1	0.90	1.3	1	1	3.3	15.8



**1ST FLOOR BRACED WALL PLAN**  
 1/8" = 1'-0"

WALL BRACING IRC R602.10 FIRST FLOOR WALLS											
GRID	BWL SPACING	BWL METHOD	TABLE R602.10.1.2 LENGTH	WIND EXPOSURE FACTOR	RIDGE HEIGHT FACTOR	WALL HEIGHT FACTOR	BWL NUMBER FACTOR	BLOCKING FACTOR	ANCHOR FACTOR	ADJUSTED LENGTH	PROVIDED LENGTH
A	15.5	CS-WSP	6.4	1	1	0.90	1.3	1	1	7.5	19.0
B	15.5	GB	12.6	1	1	0.90	1.3	1	1	14.7	15.5
C	14.5	CS-WSP	6.1	1	1	0.90	1.3	1	1	7.1	26.0
1	19	CS-WSP	7.7	1	1	0.90	1.3	1	1	9.0	13.5
2	19	GB	15.3	1	1	0.90	1.3	1	1	17.9	18.5
3	12	CS-WSP	5.2	1	1	0.90	1.3	1	1	6.1	15.6

1	6/7/2022	ADDED DRAWING SEA-201
REV	DATE	DESCRIPTION

**ISSUE FOR PERMIT  
 ISSUE FOR CONSTRUCTION**

**SOUND ENGINEERING ASSOCIATES LLC**  
 403 Nonopoge Road, Fairfield, CT 06825 Tel.: 203-556-6136

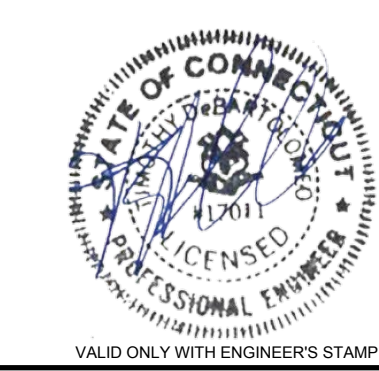
**OWNERSHIP AND CONDITIONS OF USE:**  
 Drawings & Specifications, as instruments of professional service, are and shall remain the property of Sound Engineering Associates, LLC. Documents shall not be used, in whole or in part, for other projects or purposes or by any other parties than those authorized by contract without the specific written authorization of Sound Engineering Associates, LLC. The use of this document is contingent upon payment to Sound Engineering Associates, LLC for services rendered. Non-payment shall give Sound Engineering Associates, LLC the authority to bar document use by any and all parties.

THIS DRAWING IS COPYRIGHTED  
 PREPARED FOR:  
 MRJB HOME DESIGNS  
 157 SANFORD ROAD EAST  
 SOUTHBURY, CT 06488

PROJECT:  
 STRUCTURAL ALTERATIONS  
 706 BURNSFORD AVENUE  
 BRIDGEPORT, CT

DRAWING:  
 BRACED WALL LINES  
 SECTION & DETAILS

DATE	PROJECT NO.	DRAWING NO.
5/6/2022	2022043	SEA-201



VALID ONLY WITH ENGINEER'S STAMP

## Park City Compost Initiative, Inc.

PO Box 3315  
Bridgeport, CT 06605

Timothy O'Connor  
Executive Director  
Park City Compost Initiative, Inc.  
[tvoconnor@gmail.com](mailto:tvoconnor@gmail.com) / 203 733 0506



City of Bridgeport – Zoning Board of Appeals

RE: Variance to use of a portion of the property at 774 East Main Street, East Side, Bridgeport CT

**Property** – 774 East Main Street is the vacant lot (formerly Bridgeport Brass) just south of the railroad tracks at Crescent Ave. The block also includes the Veterans' Health Center and parking lot as well as the Winter Salt Storage and distribution facility.

The property is owned by the City of Bridgeport, Facilities Dept and is a brownfield.

**Zoning** – P2

**Use** – Under permitted use "Urban Farming" to conduct an aerobic food scrap composting operation on the north central section of the property along Crescent Ave to serve Bridgeport and the region as a means of reducing burning of food scraps in the incinerator, where it is a significant weight contributor to the costs of the municipal trash stream as well as a contributor to elevated health issues like asthma in the neighborhoods around the incinerator.

This is aligned with the POCD (Plan Bridgeport), which specifically calls for the city to encourage a compost program: "Bridgeport Values Nature. Goal 11.2. Consider implementing a composting pilot program." To deny the variance would go against the intent of the master plan - even without going into other supporting master plan factors such as building a varied economy, helping second-chance residents, increase employment, act as a regional leader, etc.

**Variance Sought:** under the permitted use there is a limit for only composting materials generated on site. We are seeking a variance for food scraps and the required wood chips/leaves/straw etc. to be brought in from off site, usually by commercial haulers, but also by PCCI and other organizations.

Our hardship for this variance is that not allowing materials to be brought on site for composting from offsite defeats the entire effort to divert food scraps and compost them instead of incineration.



Timothy O'Connor  
Executive Director, Park City Compost Initiative  
A 501c3 Non-Profit Community Service Company



# Park City Compost Initiative

## 774 East Main Site Discussion



September 2023






## PCCI Mission and Objectives



- Develop and conduct a scaled aerobic composting operation to serve Bridgeport and the region as a means of reducing the costs and environmental and social impacts of the pollution from incinerating food scraps at Win-Waste Bridgeport
- Provide education by media, workshops , demonstrations and class programs on composting, both community and back yard to build awareness and participation in composting as a means of diverting compostable organic waste from the incinerator and land fills where they cause pollution, excessive carbon release and costs.
- Provide an opportunity for the City of Bridgeport, its residents and businesses to reduce costs while making a substantial and meaningful impact on the air pollution and climate burden of traditional disposal.
- Employ marginalized people (under educated, under employed, returning citizens) a means of employment and skill development
- Reinvest in restoring the health Bridgeport's soils to support food security and reduced use of chemical fertilizers, weed killers and pesticides.

Rough Long-Term Concept for 774 East Main Block  
 Enhanced Parking/View for Pembroke, Pocket Park for Walter St, Commercial for  
 752 E Main Building Site and Parking, Continued Use for Salt Distribution



-  "752" E Main – redeveloped commercial corridor
-  PCCI Phase 1 & 2 (USDA)  
PCCI Phase 3 2028 Exp.
-  COB Facilities – Salt Dist
-  Pembroke St Berm and Diagonal Parking to serve neighborhood church, residents and park
-  Walter St Pocket Park

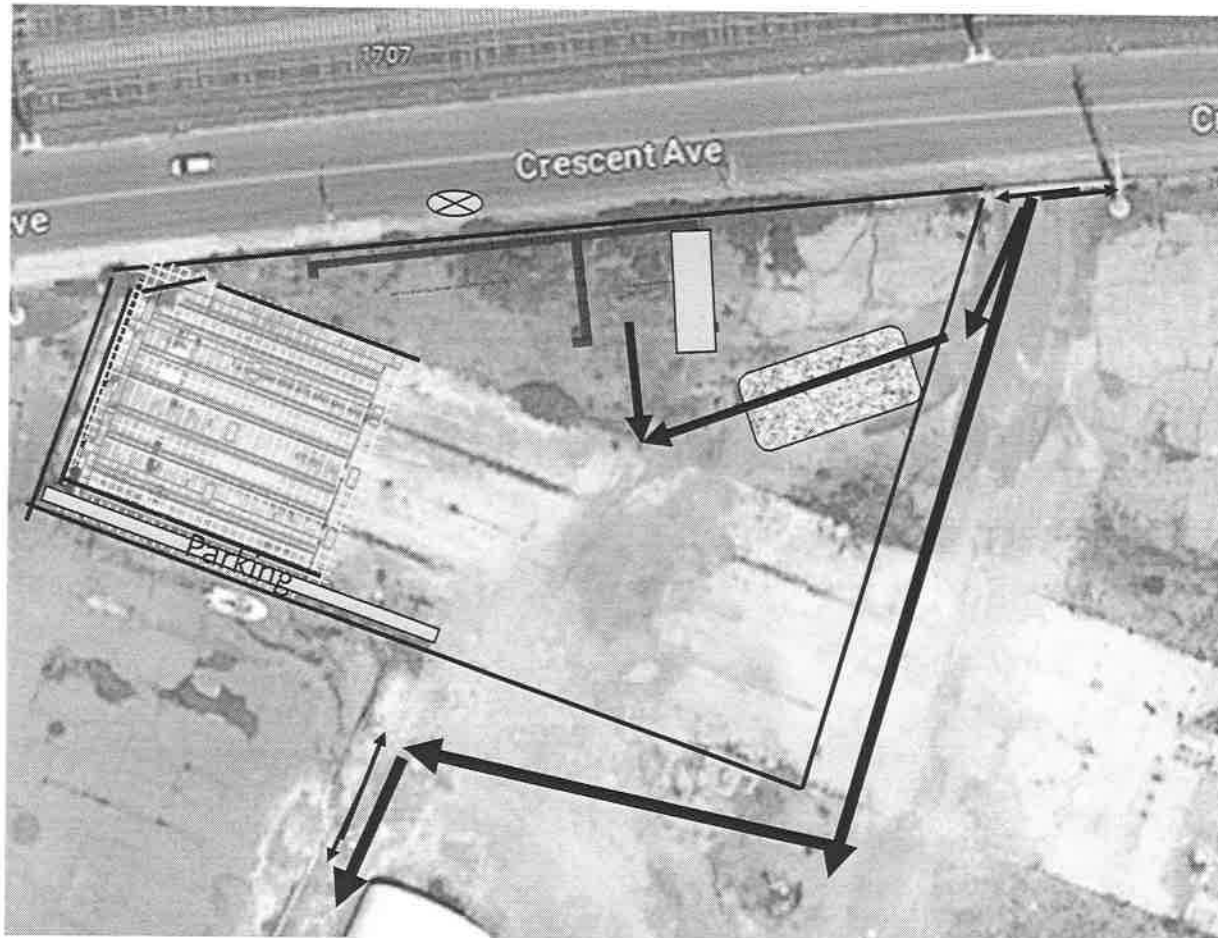
# PCCI Site Plan – 774 East Main Only Partial Use of COB Parcel Joint use with COB Facilities of eastern Crescent Ave Entrance



- | Existing Fence
- | Lg Block Walls
- | Internal Boundary
- | Entrance Gates
- ⊗ Storm Sewer Locations



# PCCI 774 East Main Site Layout



- | Existing Fence
- | Lg Block Walls
- | Internal Boundary
- | Entrance Gates
- ⊗ Storm Sewer Locations
- | Shipping Container for Storage
- ▒ Run off Pad
- ➔ Salt Distribution Path
- ➔ PCCI Traffic Flow

## Receiving & Mixing Bay and Carbon Stores



Crescent Ave  
Sidewalk

Existing Fence

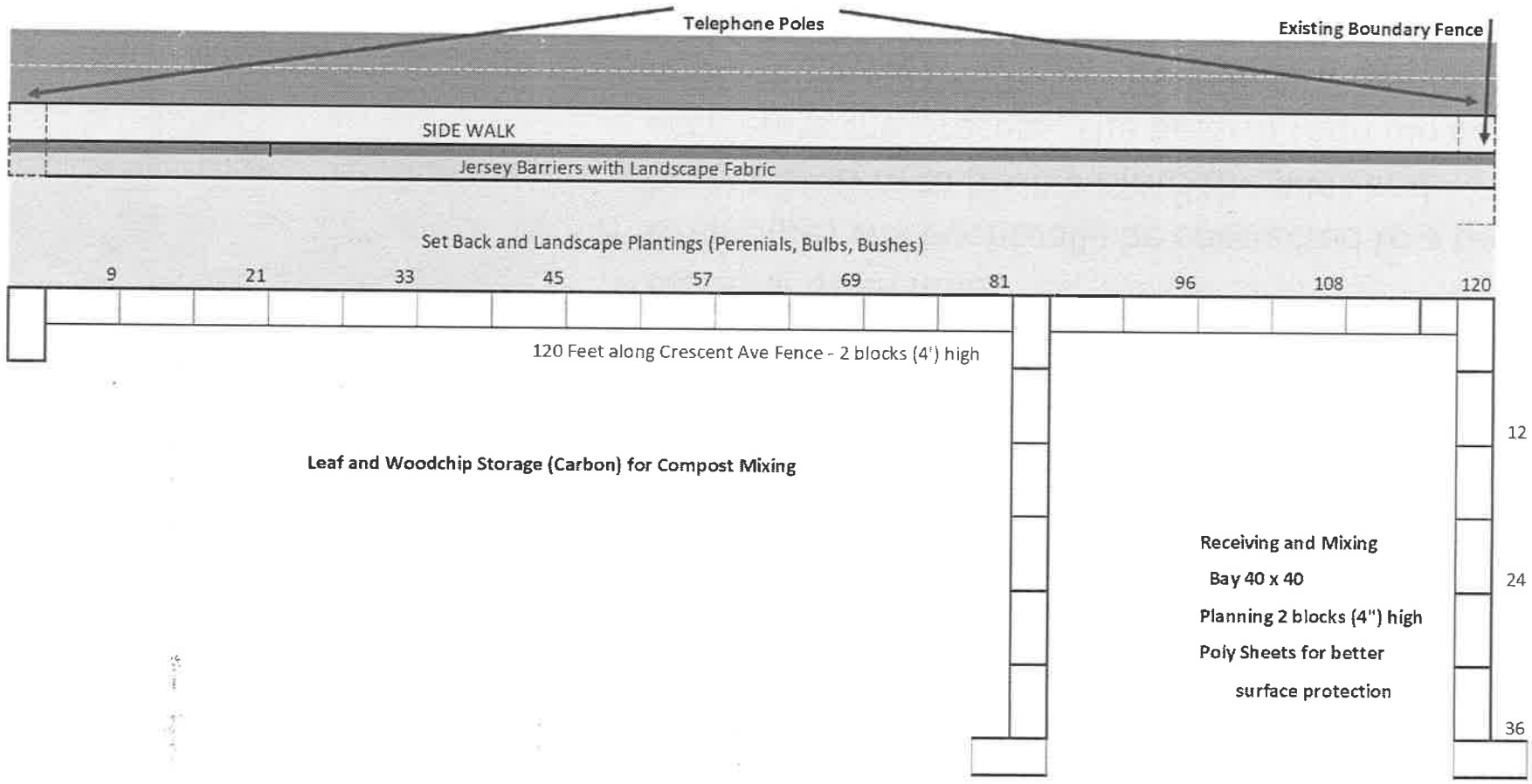
Jersey Barriers with Landscape Fabric

Setback – infill with soil and landscape plants

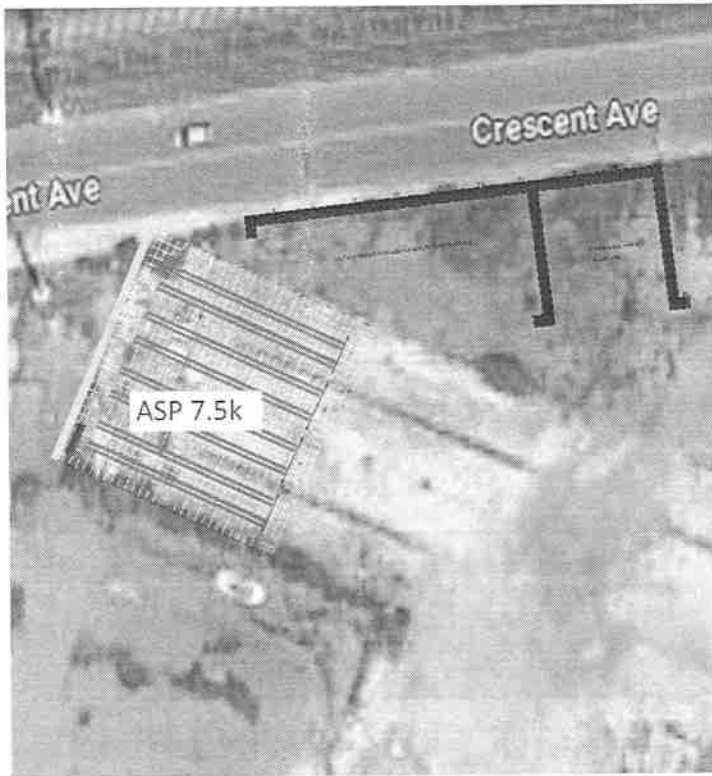
Containment and Push wall – 2 high concrete  
block (2x3x6)

Mixing and Receiving Bay – lined with HDPE  
Ground Protection Mats (seeking sources –  
used)

# Crescent Ave - Site Plan- Carbon Storage, Mixing/Receiving Bay



## Composting Area – Block Enclosures with Tarp Covers

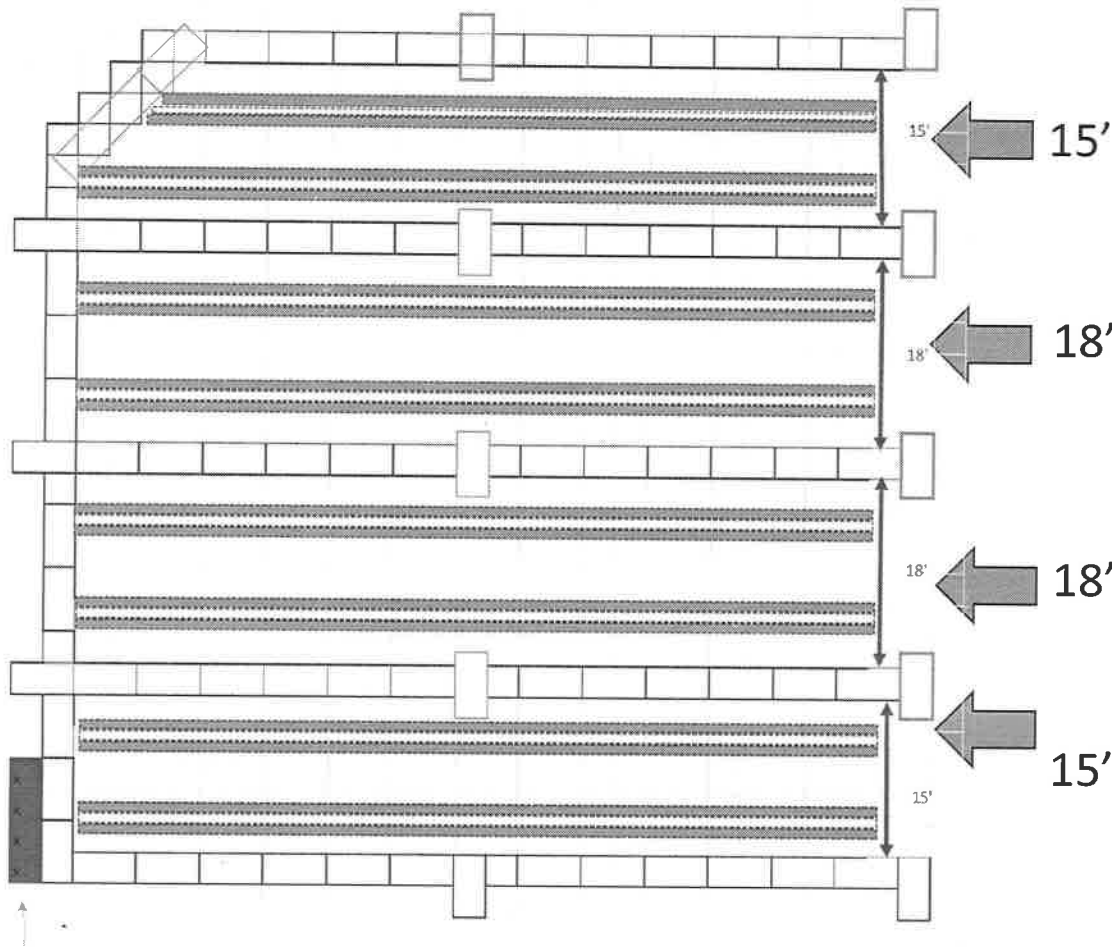


### Composting Bays

- 4 bays – two 15ft and two 18ft wide by 80 feet long
- Bays are defined by concrete block 3 high
- On the base – two perforated drainpipes for air flow protected by parallel concrete sections (like parking blocks) and wood chip fill to keep compost from blocking drain holes
- Drainpipes will eventually be connected to a timed blower system to push air into the piles and accelerate the process. The passive (non blower) approach is up to 50% as effective as blown to get started.

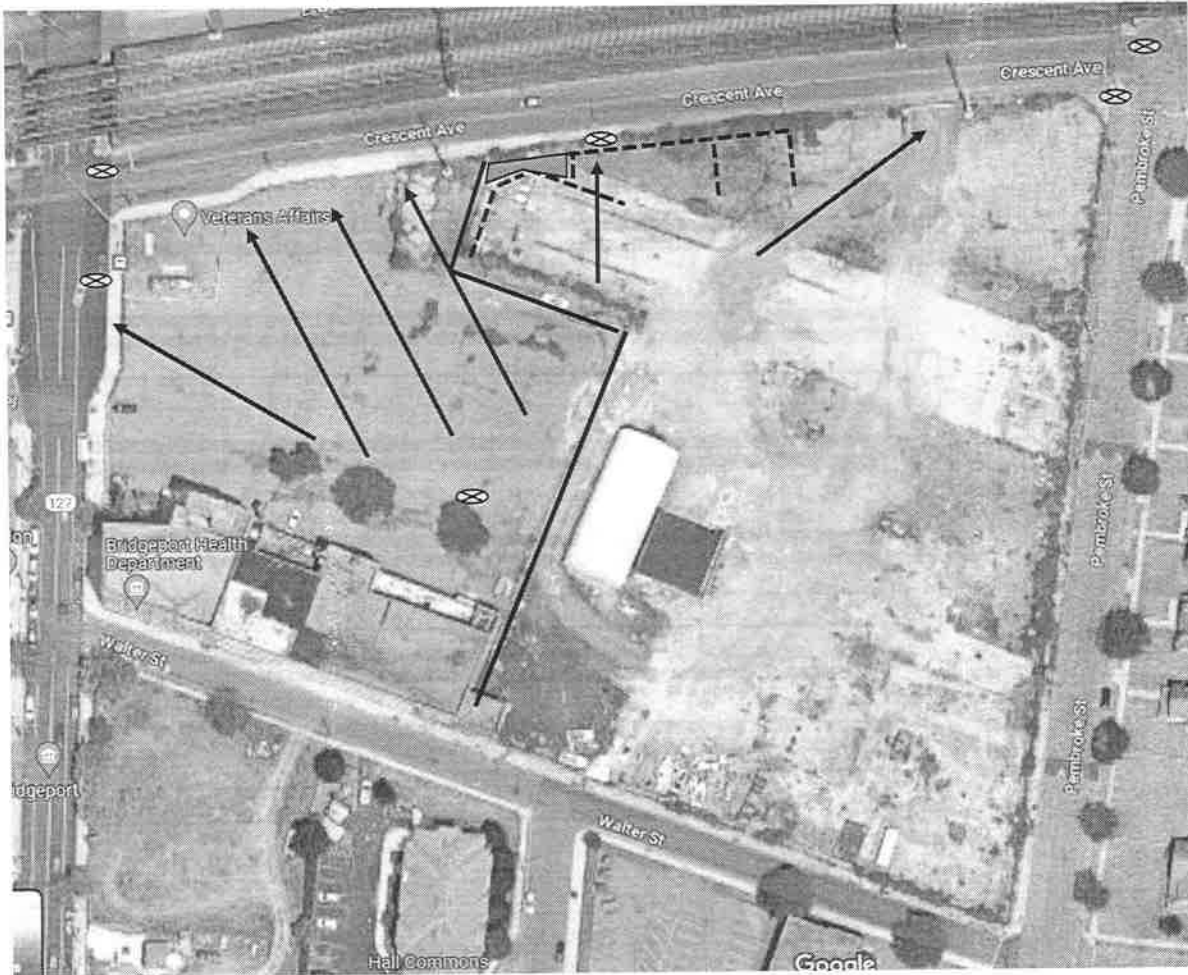


# PCCI ASP Composting Bays (15-18'W x 80' L) ~7,500 yard Capacity









- Red lines = 3w x 6L x 2 H Blocks
- Grey Lines = Concrete barriers for perforated drain pipes - 2 per bay – extended as add compost with capped end
- Red in SW Corner = old loading dock iron structure – avoiding
- This phase is budgeted from ETF funds (seeking additional \$20k)
- Existing Concrete pad will handle the weight of compost and tractor/front end loaders

# 774 East Main Drainage Flows

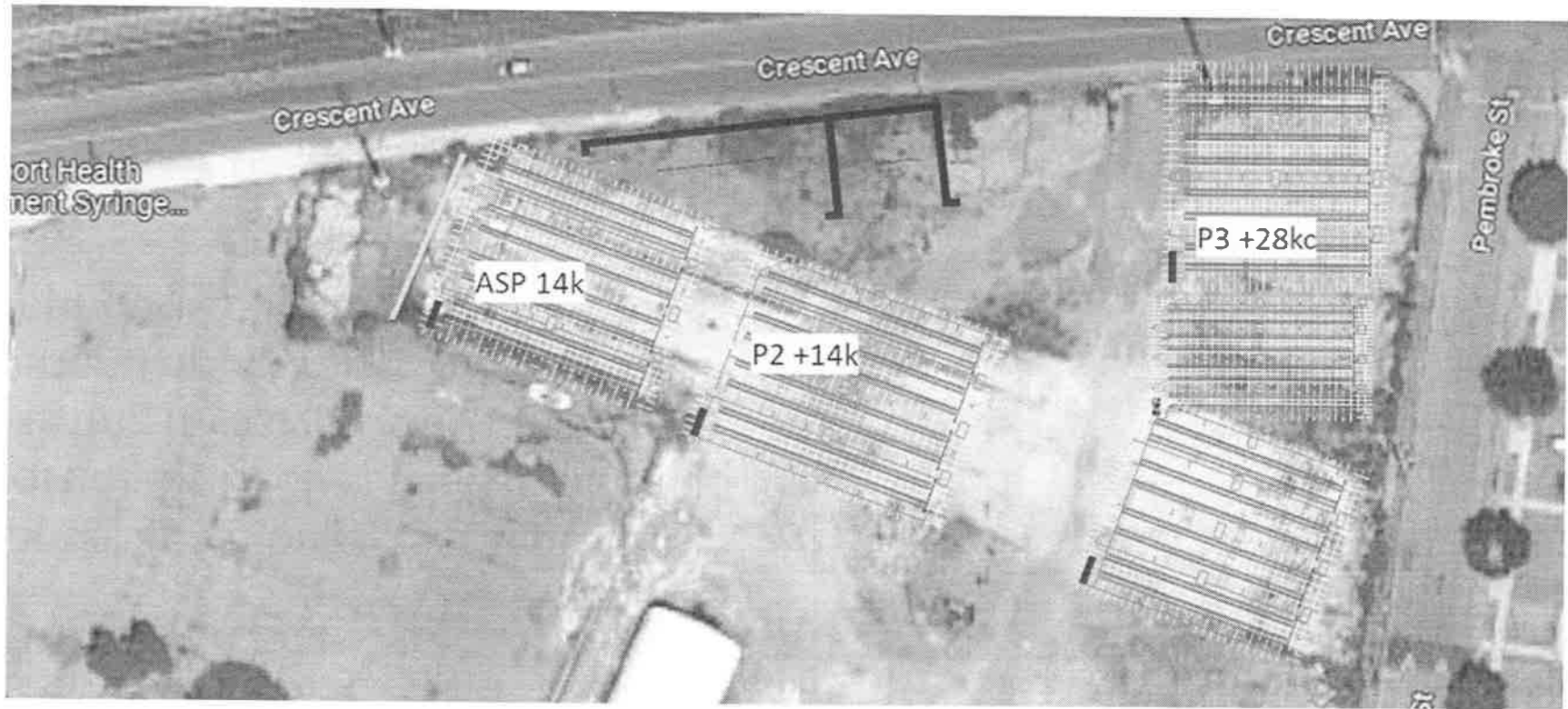


**774 East Main Site Conditions**

Legend

-  PCCI Drainage Direction
-  752 E Main Drainage
-  PCCI – block barrier
-  Storm Sewer
-  Drainage Divide – PCCI / 752 / COB Facilities
-  Potential surface catchment area using blocks and chips

Longer Term Options: Additional Composting Bays to expand capacity  
Initial Bays extended to 100' → 14k , Duplicate for total +28K Phase 2 (USDA Grant with COB)



## Broader Vision for Positive Impact on Neighborhood

Yr 1-4

Landscape along Crescent Ave  
Portion of PCCI as well as clean up  
existing invasives, trash and  
general appearance of the other  
boundaries (Parking lot for 752)







## Longer Term Positive Impact Work with COB and Interested Parties

### Pembroke Street Improvement

- Clean up Invasives
- Replant and Maintain Planters
- Repair Fence
- Design Grander Solution – more parking, Elevated berm instead of planters.

### Walter Street & Pembroke Pocket Park

- Collaborate with Trust for Public Land to create a Pocket Park for use by neighborhood, particularly Srs and Children of Hall Neighborhood House Programs.



## Questions and Concerns

### **PCCI**

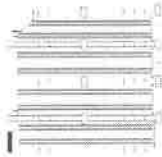
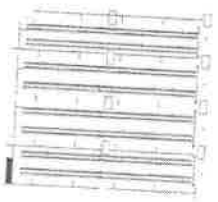
- Water Tap (like at Seaside arch entrance)
- Electric Service
- PortaJohn
- Shared Gate Collaboration

### **COB**

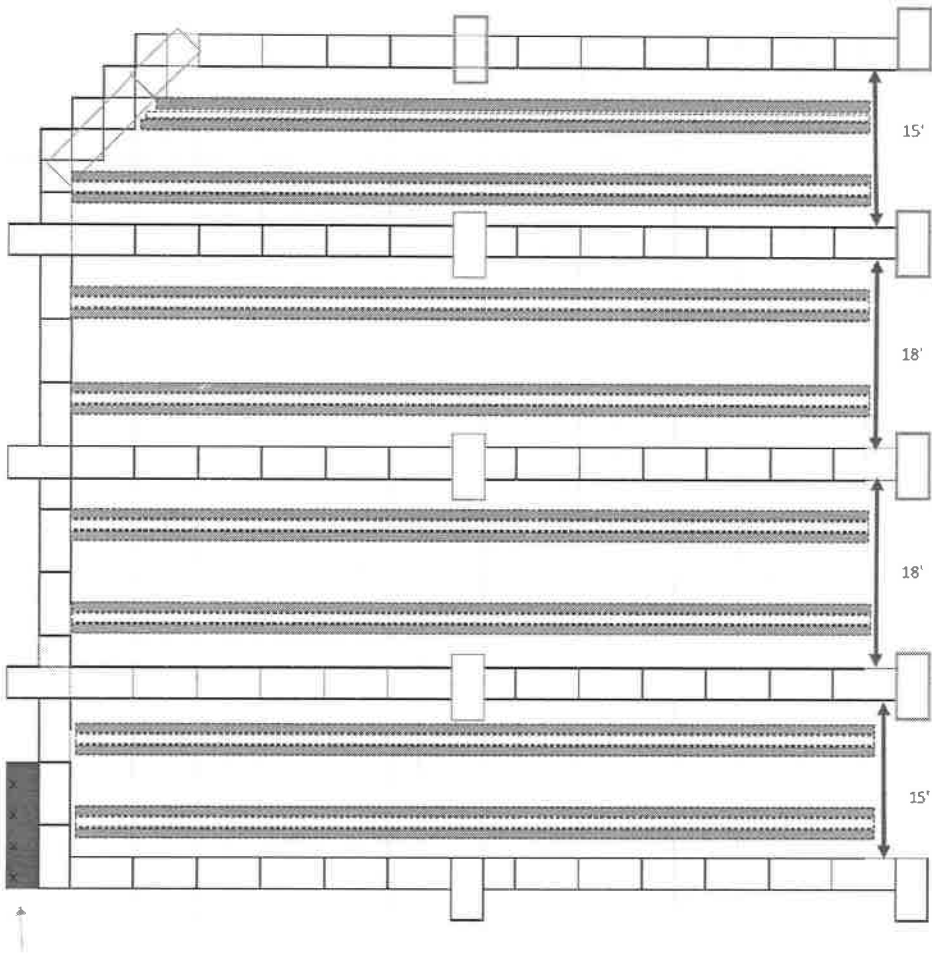
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PARK CITY  
COMPOST









**Adjacent Properties 100' from the block of 774 East Main Street, Bridgeport, CT**

<u>Location</u>	<u>Property / Owner</u>	<u>Owner Name</u>	<u>Owner Address</u>	<u>Owner Address 2</u>	<u>Owner City State Zip</u>
774 East Main Street COB- Dept of Public Works					
North Along Crescent Blvd					
	State of Connecticut - Railroad Corridor	CT Department of Transportation	2800 Berlin Turnpike	P.O. Box 317546	Newington, CT 06131-7546
	City Of Bridgeport CT - Crescent St	City of Bridgeport	45 Lyon Terrace		Bridgeport, CT 06604
	City Of Bridgeport CT - East Washington Ave	City of Bridgeport	45 Lyon Terrace		Bridgeport, CT 06604
East Along Pembroke Street					
	762-838 Pembroke St -- COB, Bridgeport Housing Authority	Bridgeport Housing Authority	150 Highland Ave		Bridgeport, CT 06604
	716 -720 Pembroke St -COB, Bridgeport Housing Authority	Bridgeport Housing Authority	150 Highland Ave		Bridgeport, CT 06604
Walter Street					
	62 Walter ST - Walter Street LLC	Walter Street LLC	52 George E Pipkins Way		Bridgeport, CT 06608
George E Pipkins Way					
	52 George E Pipkins Way	Hall Neighborhood House Inc	52 George E Pipkins Way		Bridgeport, CT 06608
Martin Luther King Dr					
	9 Martin Luther King Dr	Bridgeport Housing Authority	150 Highland Ave		Bridgeport, CT 06604
East Main Street					
East Side	752 East Main - not a legally separated parcel	Bridgeport Veterans Affairs	Veterans Health	752 East Main St	Bridgeport, CT 06608
East Side	724- 732 East Main -Also 30-32 Walter Street - Vacant	No owner or address listed on COB Tax Assessor or MetroCog Databases listed as Parcel 819-1			
	704 East Main - Possibly same owner as 724-732	633 East Main LLC	704 East Main St #708	address = vacant land	Bridgeport, CT 06607
	633 East Main LLC address from CT Corporates	Bangalore & Gayatri Mahesh	156 Morehouse Rd		Easton, CT 06612-2147
West Side					
	727 East Main Street				
	729 East Main Street				
	737 East Main Street	Ramona V Macias	20 Chimney Lane		Bay Shore, NY 11706
	739 East Main Street	Salvador Crespo	24 CHURCH HILL ST		FAIRFIELD , CT 06824
	741-747 East Main Street	741 EAST MAIN STREET LLC	101 PALMER LN		THORNWOOD , NY 10594
	751 East Main Street	Margaret Bazin	686 WILLIAM ST		BRIDGEPORT, CT 06608
	759-767 East Main Street (Vacant Lots)	QUERA EDISSON WILFRIDO CUVI & RODRIGO ESTUARDO	64 VINE STREET		BRIDGEPORT , CT 06604
	777 East Main Street	City of Bridgeport	45 Lyon Terrace		Bridgeport, CT 06604

Sources <https://metrocg.mapxpress.net/Bridgeport/>  
<https://gis.vgsi.com/bridgeportct/Parcel.aspx?pid=5418>  
[https://service.ct.gov/business/s/onlinebusinesssearch?language=en\\_US](https://service.ct.gov/business/s/onlinebusinesssearch?language=en_US)



CITY OF BRIDGEPORT

File No. \_\_\_\_\_

# PLANNING & ZONING COMMISSION APPLICATION

- NAME OF APPLICANT: Wilson Fabian Morquecho Sarmiento
  - Is the Applicant's name Trustee of Record? Yes \_\_\_\_\_ No X  
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
  - Address of Property: 1853 North Ave. CT 06604  
(number) (street) (state) (zip code)
  - Assessor's Map Information: Block No. 1101 Lot No. 16
  - Amendments to Zoning Regulations: (indicate) Article: N/A Section: N/A  
(Attach copies of Amendment)
  - Description of Property (Metes & Bounds): 49' x 141.65' x 15.05' x 38.60' x  
34.33' x 184.28'
  - Existing Zone Classification: NX1
  - Zone Classification requested: NO CHANGE
  - Describe Proposed Development of Property: PROPOSE HOME OCCUPATION OF BARBER SHOP  
USE AND 98 SF ADDITION.
- Approval(s) requested: Special permit and site plan review

Signature: [Signature] Date: 12-20-23  
 Print Name: Wilson Fabian Morquecho Sarmiento

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: \_\_\_\_\_  
 Print Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_  
 E-mail Address: \_\_\_\_\_

\$ \_\_\_\_\_ Fee received Date: \_\_\_\_\_ Clerk: \_\_\_\_\_

### THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- A-2 Site Survey
- Building Floor Plans
- Completed Site / Landscape Plan
- Drainage Plan
- Building Elevations
- Written Statement of Development and Use
- Property Owner's List
- Fee
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

### PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Wilson Fabian Morquecho Sarmiento [Signature] 12-20-23  
 Print Owner's Name Owner's Signature Date

\_\_\_\_\_  
 Print Owner's Name Owner's Signature Date



PHAM HAI  
1002 NORMAN ST

CORDOVES ALAIN E  
96 BEECHWOOD AVE

TITUS PRISCA JUDE  
1016 NORMAN ST

LIBERTE ACELIO  
1008 NORMAN ST

VELEZ TARA & FERNANDO VELEZ (TC)  
82 BEECHWOOD AVE #84

CINTRON IDA 1/2 & JUAN A  
1022 NORMAN ST

DUONG DANIEL  
1665 IRANISTAN AV #1671

DEOLIVEIRA ACACIO (CONSERVED  
PERSON)  
525 BRIDGEPORT AVE SUITE LL02

STEWART HERBERT A & TSITSINO  
1673-1675 IRANISTAN AVE

METALIAJ AMARILDO  
2047 HOLLAND AVE #5B

CORDERO ALMA  
1880 PARK AVE

KWOK CHUN WAI  
62 BIRDSEYE ROAD

COLON JIMMY  
1689 IRANISTAN AVENUE

SARMIENTO WILSON F MORQUECHO  
810 MADISON AVE

PIAZZA CEASAR  
1841 NORTH AVE

GUO ZHOU NENG  
82 POPLAR ST

RAVICHANDRAN DAVID &  
50 DEER RUN

COLLAGUAZO LUIS B & MONICA R  
1852 NORTH AV #1854

GONZALEZ EUGENIO & ADALGELIA  
1842 NORTH AVE

## Statement of Development Use

### **1. Introduction**

Wilson Fabian Morquecho Sarmiento owned a barber shop business in the city of Bridgeport, Mr. Morquecho Sarmiento opened his business in October 2012, and it is still open until today. During all this time, International Hair Salon has fulfilled its obligations both privately and with the city and state. Also, this is a family business, Mr. Morquecho Sarmiento and his wife take turns to take care of the clients. On October 25<sup>th</sup> of 2022, Mr. Morquecho Sarmiento bought a multifamily house located at 1853 North Avenue in Bridgeport, Connecticut, and he is residing in this property that date. This real estate property is a three-family house and it is located just 2 or 3 minutes by car from the location of Mr. Morquecho Sarmiento's barber shop.

### **2. Objective**

Mr. Morquecho Sarmiento is requesting authorization for a variation in the zoning that corresponds to his real estate property located at 1853 North Avenue in Bridgeport, Connecticut.

### **3. Description of the Development Use**

- a. To obtain the zoning variation and to open a home business.
- b. Through obtaining the variation to use the first floor of the real estate of Mr. Morquecho Sarmiento as a barber shop.
- c. No structural alterations or additions will be made to the real estate property with the purpose of installing the business on the real estate property of Mr. Morquecho Sarmiento.
- d. To follow the city's provisions about establishing home businesses.



---

Wilson Fabian Morquecho Sarmiento

WALLET CARD

STATE OF CONNECTICUT  
DEPARTMENT OF PUBLIC HEALTH

NAME

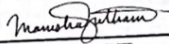
WILSON F MORQUECHO SARIENTO

VALIDATION NO.  
03-032671

LICENSE NO.  
061650

CURRENT THROUGH  
04/30/25

PROFESSION  
HAIRDRESSER/COSMETICIAN



SIGNATURE

COMMISSIONER

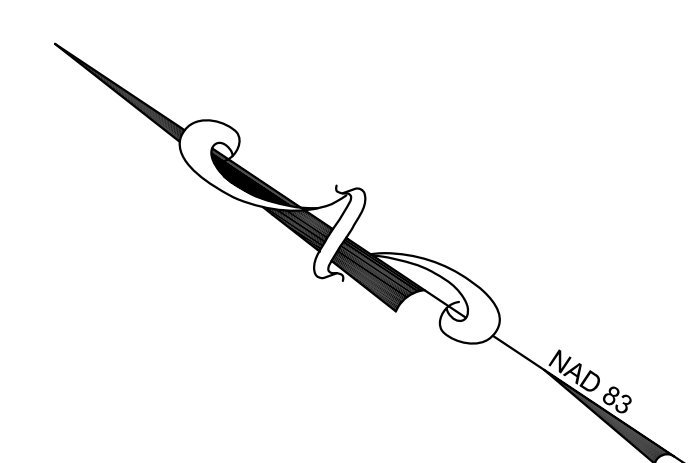


**NOTES**

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A **LIMITED PROPERTY/BOUNDARY SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS **A-2** AND TOPOGRAPHIC ACCURACY CLASS **T-2** AND IS INTENDED FOR **MUNICIPAL COMPLIANCE** PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD MEASUREMENTS AND OBSERVATIONS.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED USING GEOID03 AND CONVERTED TO THE CITY OF BRIDGEPORT DATUM (+14.60). LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (CORS94). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON **DECEMBER 16, 2015** IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:  
**STATION: ORANGE**  
**NORTHING 658307.101, EASTING 930968.510,**  
**LATITUDE 41°16'03.13601", LONGITUDE 73°00'03.97333",**  
**ELLIPSOID 6.5067**
- MAP REFERENCES**  
 A. BUILDING LOTS BELONGING TO ZALMON GOODSELL. SCALE: 1" = 40'. OCTOBER 10, 1891. PREPARED BY SCOFIELD & STARR ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOLUME 2 PAGE 49**.  
 B. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 1101**.

**NOTES - CONTINUED**

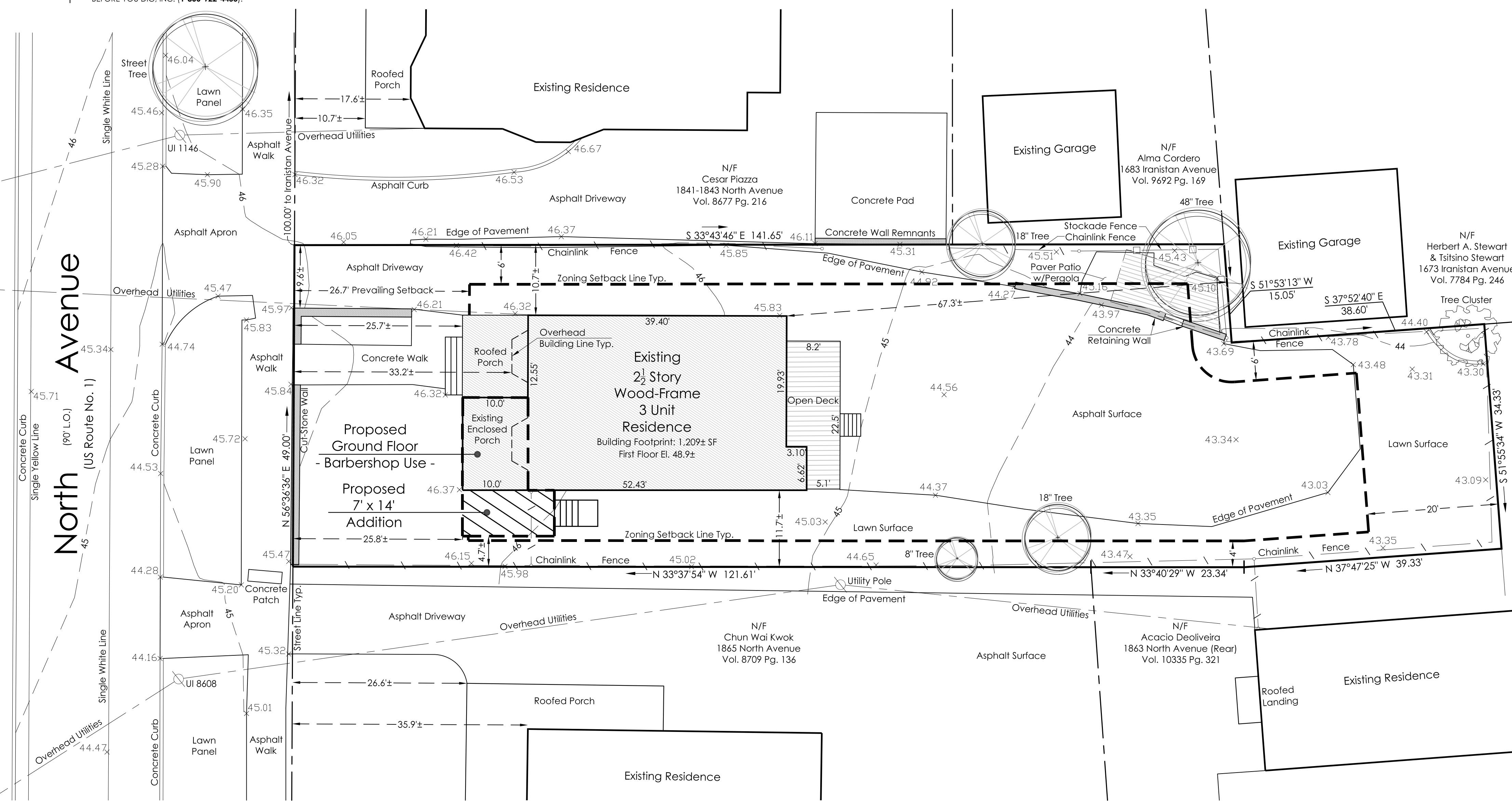
- RECORD OWNER: WILSON F. MORQUECHO SARMIENTO VOL. 10885 PG. 149
- ASSESSOR'S REFERENCE: MAP 34 | BLOCK 1101 | LOT 16
- PARCEL AREA: 8.381± SQ. FT., OR 0.192± AC.
- PARCEL IS LOCATED WITHIN THE **NX1** ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT [ALL JURISDICTIONS], PANEL **437** OF 626, COMMUNITY **BRIDGEPORT**, CITY OF, NUMBER **090002** PANEL **0437** SUFFIX **G**, MAP NUMBER **09001C0437G**, MAP REVISED **JULY 9, 2013**. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS **ZONE X (UNSHADED)**.
- RECORD MAPS, DEEDS, AND OTHER DRAWINGS IN THE FILES OF VARIOUS DEPARTMENTS OF THE CITY OF BRIDGEPORT EVIDENCE DISCREPANCIES. IN SOME CASES SIGNIFICANT, WITH RESPECT TO LINES OF TITLE (INCLUDING STREET LINES), THE LINES OF TITLE EVIDENCED IN THE DOCUMENTS REFERENCED HEREIN DO NOT NECESSARILY AGREE WITH PINS, PIPES, MONUMENTS, ETC., FOUND OR WITH OTHER PHYSICAL EVIDENCE FOUND. THE CITY OF BRIDGEPORT HAS ESTABLISHED STREET LINES IN THE SUBJECT AREA; HOWEVER, ORIGINAL DOCUMENTATION HAS BEEN REMOVED OR NOT FOUND. THE PROPERTY LINES, INCLUDING THE STREET LINES DEPICTED AND NOTED HEREON REPRESENT THE APPARENT "BEST FIT" OF THESE CONFLICTING ELEMENTS AND ARE CONSIDERED TO BE THOSE WHICH ARE TO BE MOST LIKELY CORRECT AND ARE SUBJECT TO ANY REVISION OR CORRECTION WHICH MAY BE REQUIRED BY APPROPRIATE LEGAL PROCEEDINGS OR BY DISCOVERY OF ADDITIONAL INFORMATION.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DEANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DEANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DEANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).



**LOCATION MAP**  
SCALE: 1" = 800'

**LEGEND**

- NF NOW OR FORMERLY
- MON MONUMENT
- I.P. IRON PIPE
- FND FOUND
- S.F. SQUARE FEET
- CONC CONCRETE
- BIT BITUMINOUS
- OHU OVERHEAD UTILITIES
- UG UNDER GROUND
- MH MANHOLE
- ELEC ELECTRIC
- UTILITY POLE
- DYL DOUBLE YELLOW LINE
- SWL SINGLE WHITE LINE
- BWL BROKEN WHITE LINE
- EOP EDGE OF PAVEMENT
- RET RETAINING
- CLF CHAIN LINK FENCE
- FFE FINISHED FLOOR ELEVATION
- C.O. CLEANOUT
- LP LIGHT POST
- CB CATCH BASIN
- WM WATER METER
- WV WATER VALVE
- GV GAS VALVE
- RET RETAINING
- SNET SOUTHERN NEW ENGLAND TELEPHONE
- UI UNITED ILLUMINATING COMPANY
- TMH TELEPHONE MANHOLE
- INT INTERSECTION
- INV INVERT
- C.I. CAST IRON
- V.C. VITRIFIED CLAY
- RCP REINFORCED CONCRETE PIPE
- RD ROOF DRAIN
- MW MONITOR WELL
- 6.65 EXISTING SPOT GRADE
- - - - - EXISTING CONTOUR ELEVATION
- L.O. LAYOUT OF STREET WIDTH
- (P) PARKING SPACES
- HDPE HIGH DENSITY POLYETHYLENE
- PVC POLYVINYL CHLORIDE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFER TREE



**NX1 Zone Development Standards**  
House 'A' Building Type

3.90.4. BUILDING LOCATION	REQUIRED	EXISTING	PROPOSED
1) LOT WIDTH PER PRINCIPAL BUILDING	45 FT MINIMUM	49.00 FT	49.00 FT
2) PRIMARY STREETWALL	40 FT MAXIMUM (MEASURED AT BUILD-TO-LINE ALONG ANY PRIMARY STREET)	26± FT	26± FT
3) PRIMARY STREET BUILD-TO-LINE	15 FT. (PREVAILING SETBACKS APPLY. SEE 14.20.6 FOR MEASURING. SEE 3.90.10 FOR ALLOWED ENCROACHMENTS AND ENCLOSED PORCH CONFIGURATIONS)	33.2± FT (26.7 FT PREV.)	25.8± FT (26.7 FT PREV.)
4) PORCH, ENCLOSED PORCH, BAY SETBACK	7 FT. MINIMUM. (PREVAILING SETBACKS APPLY. SEE 14.20.6 FOR MEASURING. SEE 3.90.10 FOR ALLOWED ENCROACHMENTS AND ENCLOSED PORCH CONFIGURATIONS)	25.7± FT (18.7 FT PREV.)	25.7± FT (18.7 FT PREV.)
5) NON-PRIMARY STREET SETBACK	8 FT. MINIMUM. (PREVAILING SETBACKS APPLY. SEE 14.20.6 FOR MEASURING. SEE 3.90.10 FOR ALLOWED ENCROACHMENTS AND ENCLOSED PORCH CONFIGURATIONS)	N/A	N/A
6) SIDE SETBACK	2 FT MINIMUM; 10 FT. MIN. COMBINED;	10.7± FT 22.4± FT COMBINED COMPLIES	4.7± FT 15.4± FT COMBINED COMPLIES
7) REAR SETBACK	20 FT MINIMUM	67.3± FT	67.3± FT
8) SITE COVERAGE	80% MAXIMUM (SEE 14.20.7 FOR MEASURING SITE COVERAGE)	62%	64%

**3.90.5. PARKING AND ACCESSORY STRUCTURES**

1) PARKING AND DRIVEWAY ACCESS	NON-PRIMARY STREET: IF NO NON-PRIMARY STREET, MAX. 8 FT. WIDTH AT PRIMARY LOT LINE; MAX ONE DRIVEWAY PER BUILDING (SEE 8.0 FOR PARKING)	9.6± FT. WIDTH ONE DRIVEWAY	9.6± FT. WIDTH ONE DRIVEWAY
2) ATTACHED GARAGE SETBACK	20 FT MIN. BEHIND PRIMARY FACADE IN REAR OF BUILDING	N/A	N/A
ALLOWED GARAGE DOOR LOCATION	REAR OR NON-PRIMARY FACADE	N/A	N/A
3) SURFACE PARKING AND ACCESSORY STRUCTURE LOCATION	REAR YARD ONLY (SEE 3.170 FOR ACCESSORY STRUCTURES)	REAR YARD	REAR YARD
STREET SIDE SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 3.170 FOR ACCESSORY STRUCTURES)	COMPLIES	COMPLIES
SIDE AND REAR SETBACK	3 FT. MINIMUM (SEE 3.170 FOR ACCESSORY STRUCTURES)	0± FT (SIDE) 20± FT (REAR)	0± FT (SIDE) 20± FT (REAR)

**3.90.6. HEIGHT**

1) HEIGHT	2 STORIES MIN.; 2.5 STORIES MAX. (SEE 3.90.10 FOR HALF-STORY REGULATIONS. SEE 14.20.10 FOR MEASURING HEIGHT.)	2.5 STORIES	2.5 STORIES
2) STORY HEIGHT	9 FT. MINIMUM; 11 FT. MAXIMUM (MEASURED FLOOR-TO-FLOOR)	9± FT	9± FT
3) HEIGHT TO EAVES	20 FT. MAXIMUM (HEIGHT TO EAVE IS MEASURED FROM THE FIRST FLOOR TO THE BOTTOM OF THE EAVE. SEE 14.20.10 FOR MEASURING HEIGHT TO EAVES.)	19± FT.	19± FT.

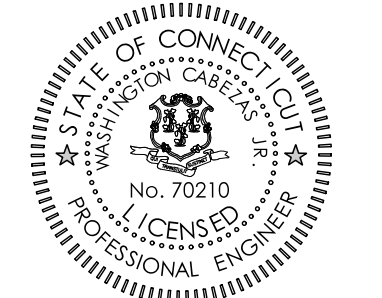
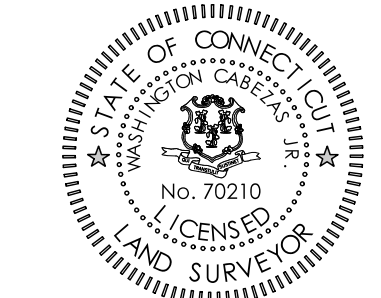
**3.90.7. ROOFS**

1) ROOF TYPES	PITCHED (SEE 6.00 FOR ROOF TYPES)	PITCHED	PITCHED
2) TOWER	NOT ALLOWED	N/A	N/A

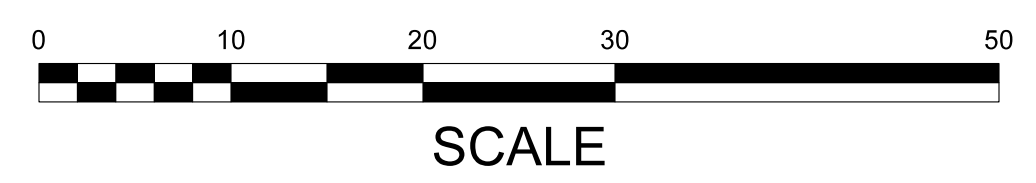
**3.90.9. ALLOWED USES**

RESIDENTIAL	UP TO 3 IN HOUSE PLUS 1 IN BACKYARD COTTAGE	3 UNITS	3 UNITS
NUMBER OF PRINCIPAL UNITS	UP TO 3 IN HOUSE PLUS 1 IN BACKYARD COTTAGE	3 UNITS	3 UNITS
NUMBER OF ACCESSORY APARTMENTS	NOT ALLOWED	N/A	N/A
HOUSEHOLD LIVING	ALLOWED	N/A	COMPLIES
ACCESSORY USES: SEE ARTICLE 4.70.3			
HOME OCCUPATIONS	ALLOWED	N/A	BARBERSHOP

SCALE: 1"=10'  
 FIELD FILE: 1853 north.rw5  
 PROJECT NO. CD1686  
 DATE: April 1, 2023  
 CAD FILE: 1853 North Avenue ILS.dwg  
 SHEET 1 OF 1  
 REV: Addition Update 12/20/2023



TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.  
 WASHINGTON CABEZAS, JR., PEL 70210  
 PROFESSIONAL ENGINEER & LAND SURVEYOR



**IMPROVEMENT LOCATION SURVEY - AND - TOPOGRAPHIC SURVEY**

PREPARED FOR  
**WILSON F. MORQUECHO SARMIENTO**

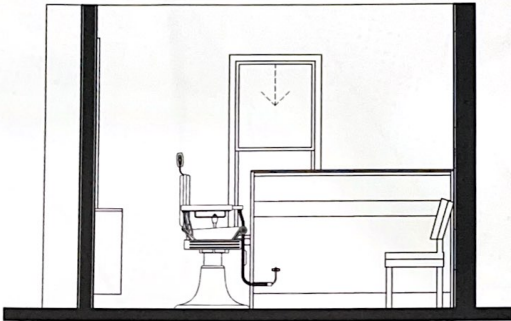
1853 NORTH AVENUE (US ROUTE NO. 1)  
 BRIDGEPORT, CONNECTICUT  
 ASSESSOR'S REFERENCE: MAP 34 | BLOCK 1101 | LOT 16



# BARBERSHOP ADDITION EXISTING MULTI-FAMILY RESIDENCE

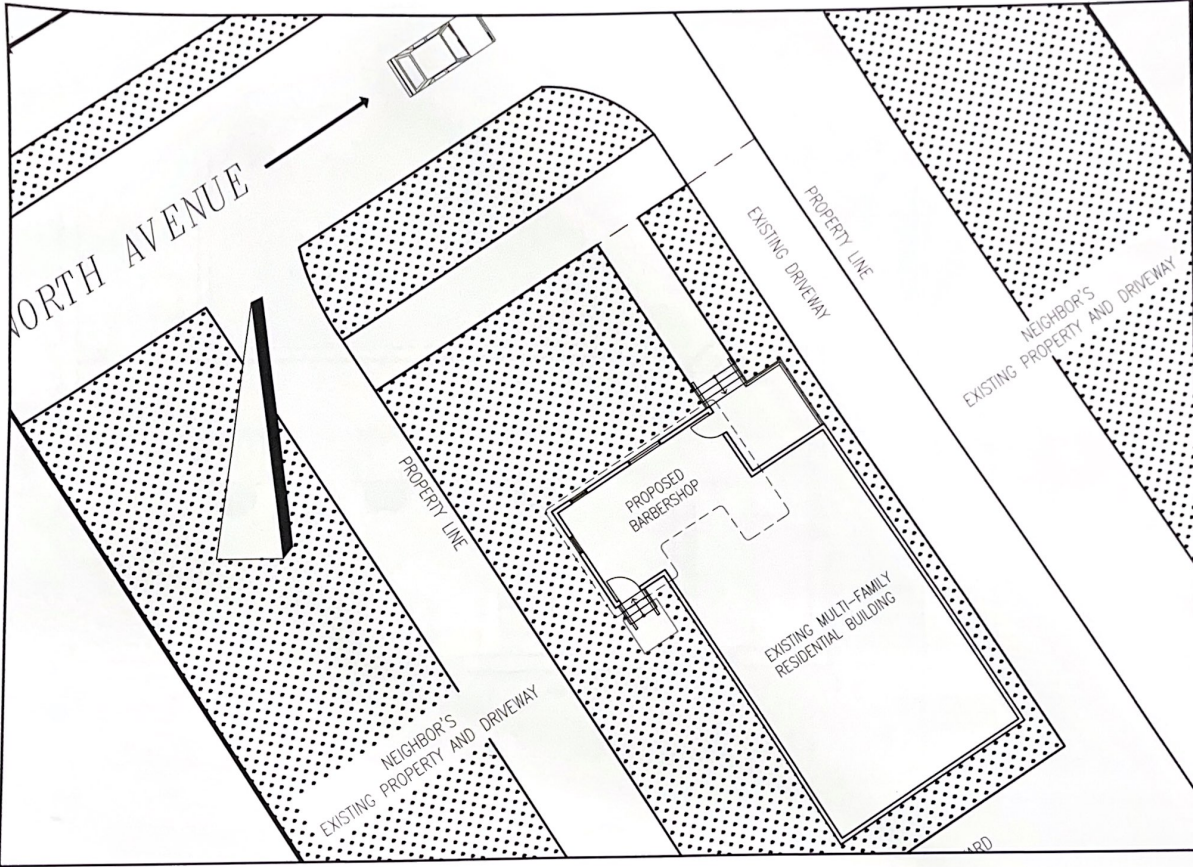
1853 North Ave, Bridgeport, CT 06604

## LIST OF DRAWINGS

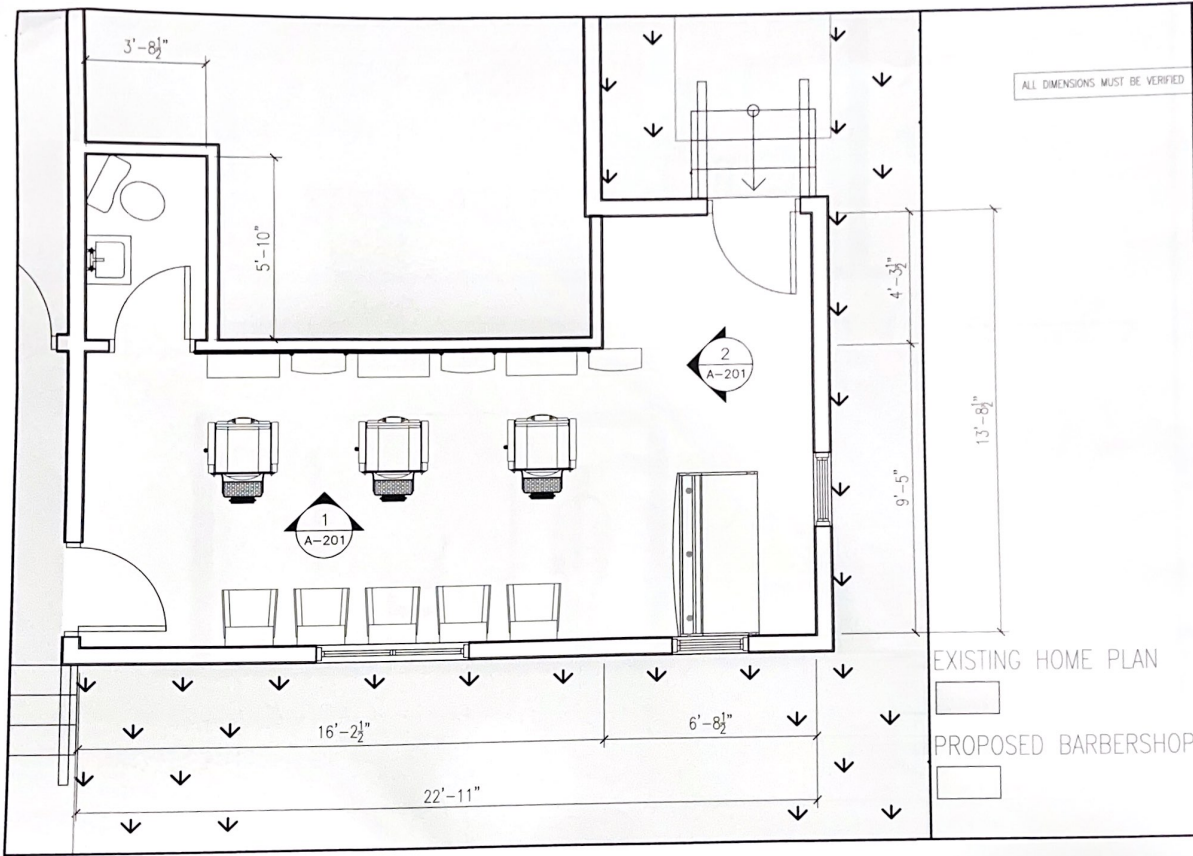


- A-001 INDEX SHEET
- A-101 SITE PLAN
- A-102 FLOOR PLAN
- A-201 ELEVATION

SHEET TITLE		INDEX SHEET	
PROJECT		BARBERSHOP	
REVISIONS	DATE	BY	DESCRIPTION
	2/04/23	Robert	Partial
DRAWN BY: ROBERT CASANOVA			DRAWING: A-001
SCALE: AS NOTED			
REF: _____	PROJECT NO: 01-107	CLIENT: WILSON F. WARDUECHO	DATE: 12-04-2023

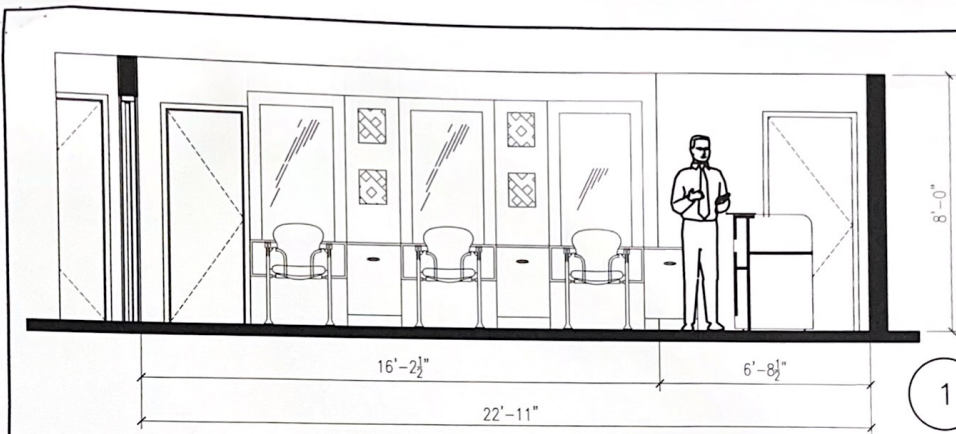


SHEET TITLE		PROJECT	
SITE PLAN		BARBERSHOP	
REVISIONS	DATE	BY	DESCRIPTION
	12/04/2023	Robert	Final
DRAWN BY: ROBERT CASANOVA		DRAWING: A-101	
SCALE: 3/32" = 1'-0"			
PROJECT NO: 01-107			
CLIENT: WILSON F. MORQUECHO			
DATE: 12-04-2023			

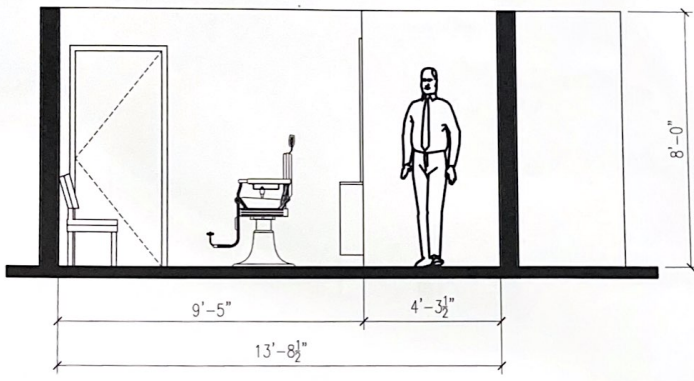


ALL DIMENSIONS MUST BE VERIFIED

SHEET TITLE		DRAWING	
FLOOR PLAN		A-102	
PROJECT		BARBERSHOP	
REVISIONS	DATE	BY	DESCRIPTION
	12/04/23	Robert	Barbed
REF.	PROJECT NO.	01-107	
	CLIENT	WILSON F. MORUECHO	
	DATE	12-04-2023	
DRAWN BY:	ROBERT CASANOVA		
SCALE:	3/8"=1'-0"		



1 ELEVATION  
Scale: 3/8"=1'-0"



2 ELEVATION  
Scale: 3/8"=1'-0"

SHEET TITLE		DRAWING	A-201
ELEVATIONS			
PROJECT		BARBERSHOP	
REVISIONS	DATE	BY	DESCRIPTION
	12/04/23	Robert	Drafted
REF: PROJECT NO.	01-107		
CLIENT	WILSON F. MARQUECHO		
DATE	12-04-2023		
DRAWN BY:	ROBERT CASANOVA		
SCALE:	3/8"=1'-0"		